

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985
(608) 266-4635



1. LOCATION

Project Address: 944 Williamson Street Aldermanic District: District 6

2. PROJECT

Project Title/Description: Heartland Credit Union - Willy Street Branch

This is an application for: (check all that apply)

- Alteration/Addition to a building in a Local Historic District or Designated Landmark (specify)**:**
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)**:**
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows Landmark
- Demolition**
- Alteration/Addition to a building adjacent to a Designated Landmark**
- Variance from the Historic Preservation Ordinance (Chapter 41)**
- Landmark Nomination/Rescission of Historic District Nomination/Amendment**
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- Other (specify):**

DPCED USE ONLY	Registrar #:
	DATE STAMP CITY OF MADISON DEC 18 2019 Planning & Community & Economic Development
	Preliminary Zoning Review Zoning Staff Initial: Date: / /

3. APPLICANT

Applicant's Name: Timothy J. Niemiec Company: LaMacchia Group

Address: 157 N Milwaukee Street Milwaukee WI 53202
Street City State Zip

Telephone: 414.763.8336 Email: taniemiec@lamacchiagroup.com

Property Owner (if not applicant): Heartland Credit Union

Address: 5325 High Crossings Blvd. Madison WI 53718
Street City State Zip

Property Owner's Signature: Sally Duscher Date: 12/17/2019

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located at 215 Martin Luther King Jr Blvd, Suite 017. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: <https://www.cityofmadison.com/dpced/planning/documents/2019-LCMeetingScheduleDates.pdf>

December 17, 2019

City of Madison
Planning Division
Madison Municipal Building Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985

RE: Heartland Credit Union – Williamson Branch Remodel / Alterations

Dear Landmarks Commission:

La Macchia Group, LLC, by the direction of Heartland Credit Union is proud to propose a remodel and alteration to Heartland Credit Unions current branch at 944 Williamson Street. Currently, the existing 5,259 square foot building houses (3) tenants. Heartland Credit Union proposes occupying the entire building and developing (2) drive thru lanes within the footprint of the existing building. This would reduce the building to 3,590 square feet with another 350 square feet of unoccupied storage and utility space.

Heartland Credit Union is committed to better serving their Membership and the community by increasing the types of services offered. The proposed plan actively reduces the amount of disturbance to the site and improves traffic circulation. Minimizing disturbance to the site is necessary because of poor soil conditions on site.

We have also taken care to diminish the changes to the aesthetics of the existing building. Care will be used during construction to recover as much material (brick & CMU) for reuse. Our reuse of CMU should be sufficient to meet our material quantity needed, Additional brick will be needed to complete the proposed design. Care will be taken to match the brick as closely as possible and staining all brick to provide a uniformed look is available. Our goal is to not change the existing roof and no changes to infrastructure (electrical, sanitary, storm or water) will be needed outside of the building footprint. While we are relocating the entry to the building, we are utilizing existing openings and structure to make the changes look original and even improve the existing aesthetic conditions.

The plan set forth also increases the security on the site by relocating the ATM of the sidewalk and bringing it into the site, the night deposit will be adjacent to the ATM. After hours, the drive through will be gated to prevent unsafe conditions.

At the completion of the project Heartland Credit Union will be bringing their Willy St. location a better level of service. Heartland Credit Union looks forward to continuing their commitment as a community partner as they have for the past 80 years. We look forward to



working with the city of Madison as Heartland takes their next steps to better serve the Willy Street neighborhood.

Sincerely,

Timothy J. Niemiec

A handwritten signature in black ink, appearing to read "Timothy J. Niemiec", with a long horizontal flourish extending to the right.

Senior Architectural Designer
LaMacchia Group, LLC

PLAN ▾ DESIGN ▾ BUILD ▾ BEYOND

157 North Milwaukee Street

Milwaukee, Wisconsin 53202

T 414.223.4400 F 414.223.4488

www.lamacchiagroup.com

HEARTLAND CREDIT UNION

Willy Street Branch remodel / alterations
Land Use & Landmarks Submittal
944 Williamson Street
Madison, WI 53703

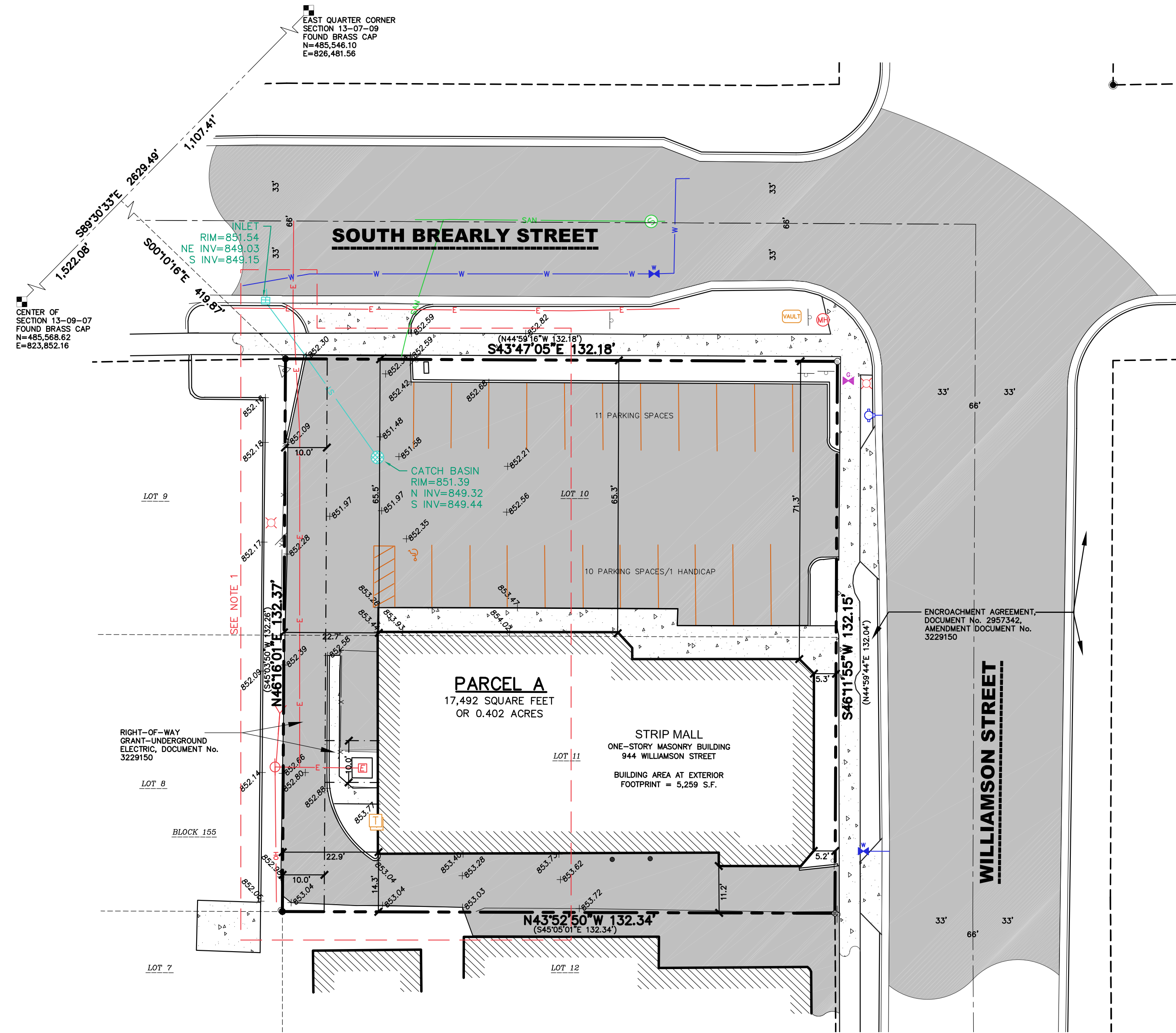


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C5.0	Details
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EXISTING CONDITIONS MAP

LOT 10 AND LOT 11, BLOCK 155, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, AS DOCUMENT NUMBER 122600, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



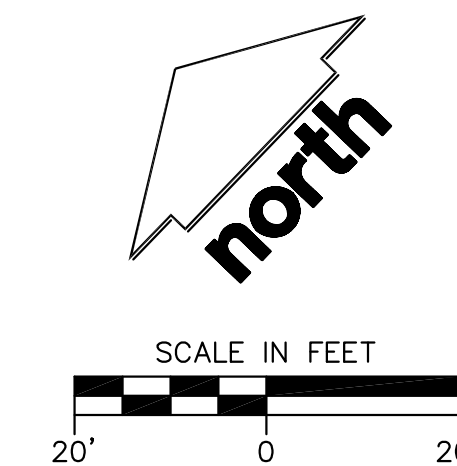
VICINITY MAP
NOT TO SCALE

LEGEND

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
- SIGN
- HYDRANT
- WATERMAIN OR GASMAIN VALVE
- ROUND CASTED INLET
- GAS REGULATOR/METER
- POWER POLE W/GUY
- LIGHT POLE
- VAULT
- TELEPHONE PEDESTAL
- HANDICAP PARKING
- CENTERLINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- PARCEL BOUNDARY
- PLATTED LOT LINE
- FENCE LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- OVERHEAD LINE
- BUILDING
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

NOTES

- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 02, 2015. ADDITIONAL FIELD DATA WAS MAPPED ON DECEMBER 02, 2019 (SEE OUTLINED AREA).
- BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, (WCCS), DANE COUNTY. THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 13-07-09 BEARS S89°30'33"E.



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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
LaMACCHIA GROUP

CLIENT ADDRESS:
**157 N. MILWAUKEE ST.
MILWAUKEE, WI 53202**



Toll Free (800) 242-8511

PROJECT:
**HEARTLAND
CREDIT
UNION**

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
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Design/Drawn: **CJO 12/03/19**
Approved: **TJB 12/04/19**

SHEET TITLE:
**EXISTING
CONDITIONS
MAP**

SHEET NUMBER:
1 OF 1

JSD PROJECT NO: 19-0432

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE. "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 106B.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED.

GRADING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.

PAVING NOTES

- GENERAL
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION AND APPLICABLE CITY OF MADISON ORDINANCES.
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION – NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE – THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE – THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE – THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS – THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- PAVEMENT MARKING SPECIFICATIONS
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.



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COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

LAMACCHIA GROUP

CLIENT ADDRESS:

**157 North Milwaukee Street
Milwaukee, WI 53202**

PROJECT:

**HEARTLAND CREDIT
UNION**

PROJECT LOCATION:

**944 Williamson Street
Madison, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.18.19	Municipal Submittal
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Design/Drawn: ABK
Approved: KJY

SHEET TITLE:

NOTES

SHEET NUMBER:

C1.0

JSD PROJECT NO:

19-9432

SOUTH BREARLY STREET

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	BUILDING OUTLINE
- - - -	BUILDING OVERHANG
---	EDGE OF PAVEMENT
====	STANDARD CURB AND GUTTER
====	REJECT CURB AND GUTTER
▨	ASPHALT PAVEMENT
▩	CONCRETE PAVEMENT
—	BIKE RACK

SITE INFORMATION BLOCK

SITE ADDRESS	944 WILLIAMSON STREET
PROPERTY ACREAGE	0.402 ACRES
NUMBER OF BUILDING STORIES (PHASE 1)	1
EXISTING BUILDING SQUARE FOOTAGE	5,259 SF
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	16
ACCESSIBLE	2
TOTAL SURFACE	18
NUMBER OF BICYCLE STALLS:	6
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	16,374 SF
EXISTING PERVIOUS SURFACE AREA	1,118 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.94
PROPOSED IMPERVIOUS SURFACE AREA	16,245 SF
PROPOSED PERVIOUS SURFACE AREA	1,247 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.93

MADISON REGIONAL OFFICE
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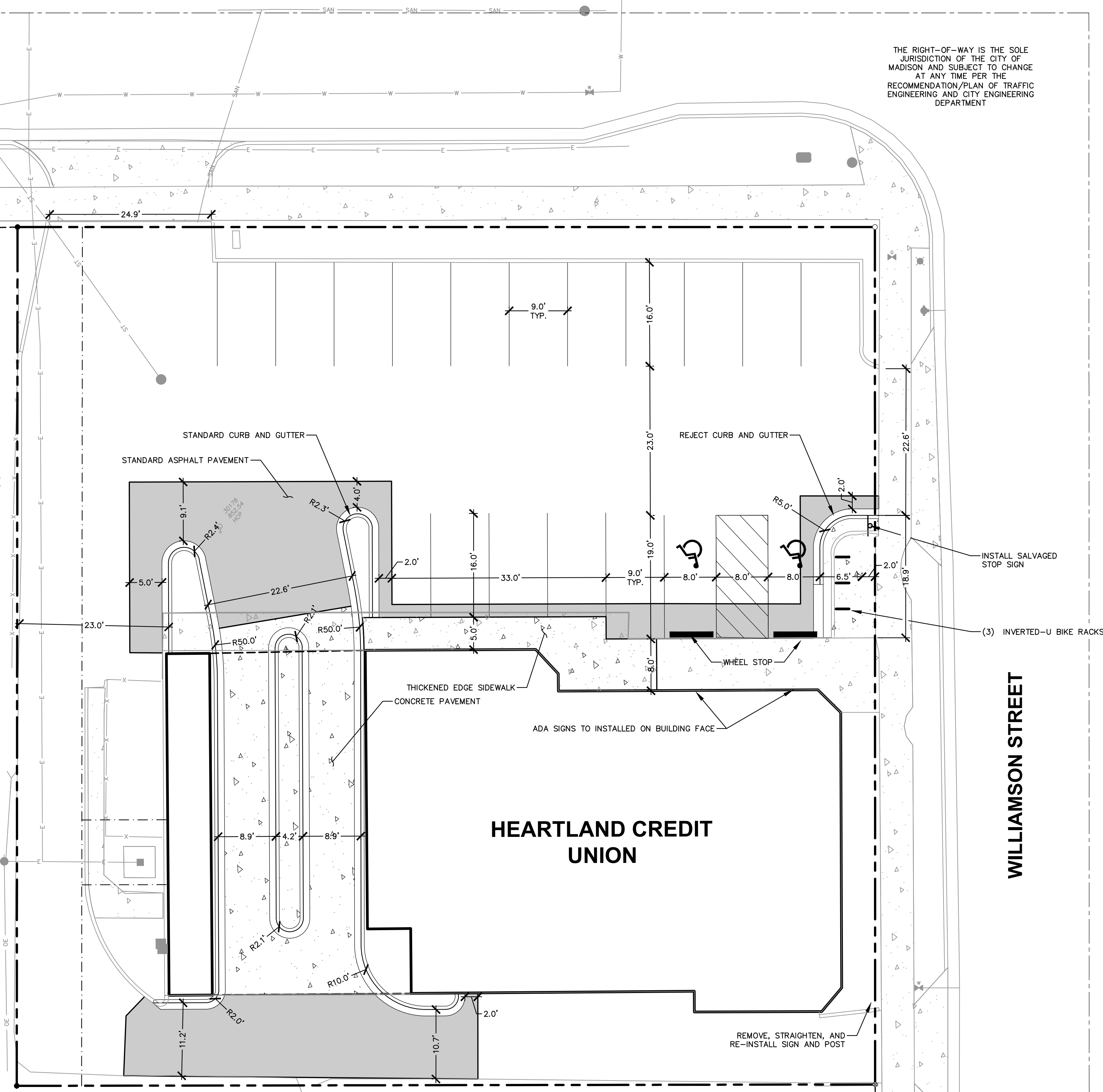
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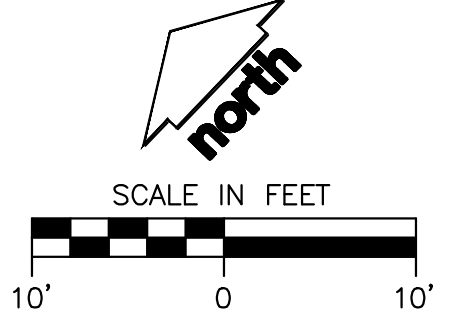
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SITE PLAN

SHEET NUMBER:
C3.0

JSD PROJECT NO: 19-9432



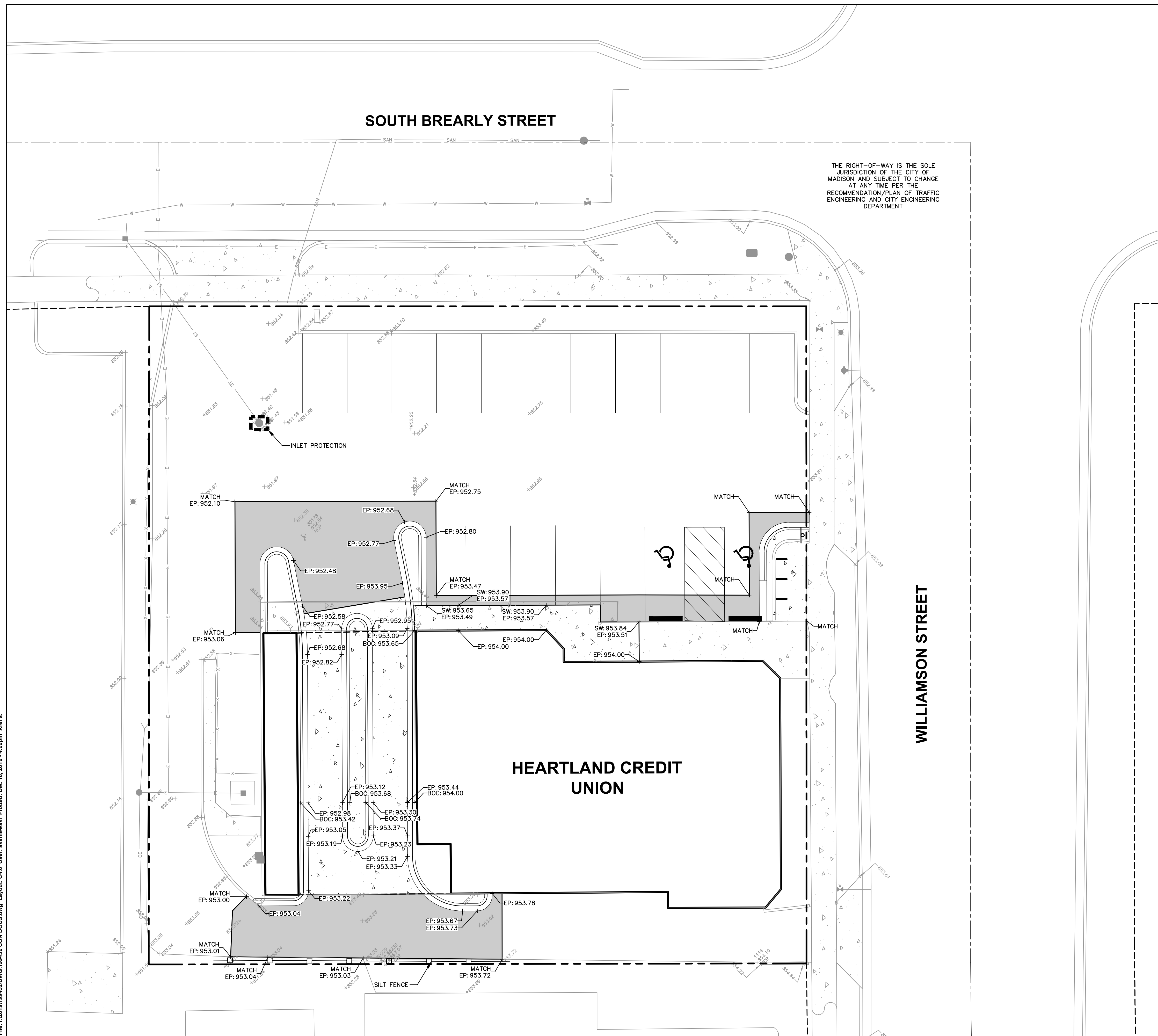
DIGGERS HOTLINE
Toll Free (800) 242-8511



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THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- - - BUILDING OVERHANG
- - - EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- SILT FENCE
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- BOC - BACK OF CURB
- MATCH - MATCH EXISTING GRADE
- HP - HIGH POINT
- SW - SIDEWALK
- INLET PROTECTION



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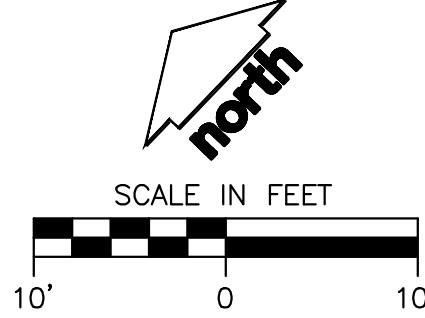
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Design/Drawn: ABK
Approved: KJY

SHEET TITLE:
GRADING AND EROSION CONTROL PLAN

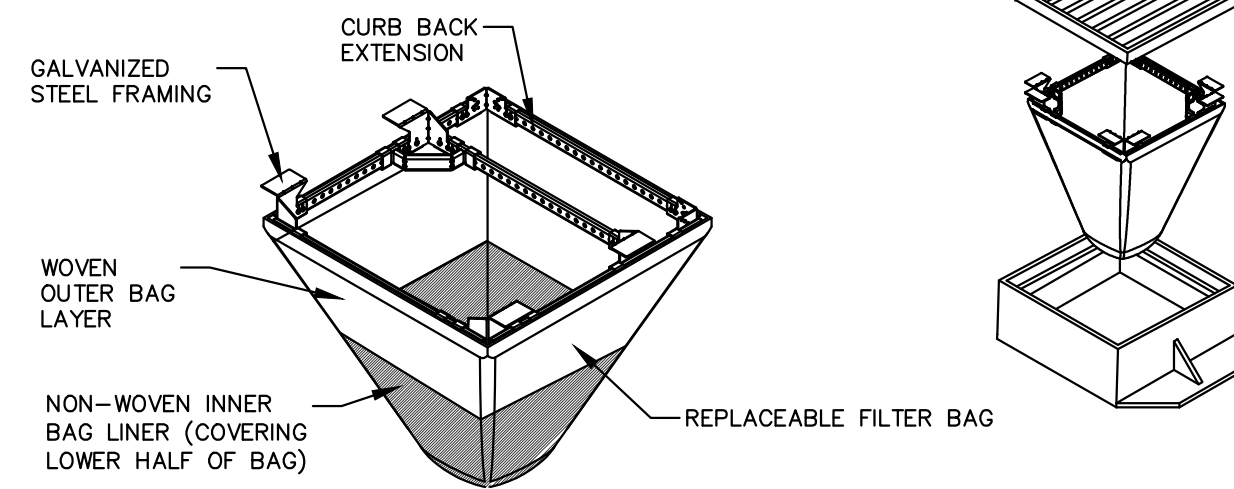
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JSD PROJECT NO: 19-9432



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FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS



CATCH-IT INLET FILTER (Temporary Inlet Protection)							
Mensch Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)		ADS P/N
					HB (Hybrid Bag)	Bypass	
3067	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0	5.8	62LCBEXTHB
3248A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCB3624HB
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.8	0.7	2.2	62MCR2316HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62LSQ3618HB
R-2501	Round (RD)	-26	-24	2.3	0.8	5.2	62MRD26HB
R-1772/2560	Round (RD)	22.25-23.5	20.5-21	1.5	0.6	4.6	62MRD22HB

(HB) HYBRID FILTER BAG SPECIFICATIONS:

Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Roll Values)			
PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (LINER)
TENSILE STRENGTH	ASTM D4632	350 x 225 Lbs	100 Lbs
ELONGATION	ASTM D4632	20% x 15%	50%
CER PUNCTURE	ASTM D6241	1000 Lbs	65 Lbs
TRAPEZOIDAL TEAR	ASTM D4533	110 x 75 Lbs	45 Lbs
UV RESISTANCE	ASTM D4355	90%	70%
OPENING SIZE (AOS)	ASTM D4751	20 US STD SIEVE	40 US STD SIEVE
PERMEABILITY	ASTM D4481	1.5 Sec ⁻¹	3.0 Sec ⁻¹
WATER FLOW RATE	ASTM D4491	200 gpi/min/ft ²	145 gpi/min/ft ²
MINIMUM FILTER BAG VOLUME		2 CUBIC FT	

INSTALLATION INSTRUCTIONS:

- REMOVE GRATE FROM THE DRAINAGE STRUCTURE
- CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
- DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
- REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

MAINTENANCE GUIDELINES:

- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
- REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE
- DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACTOR. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

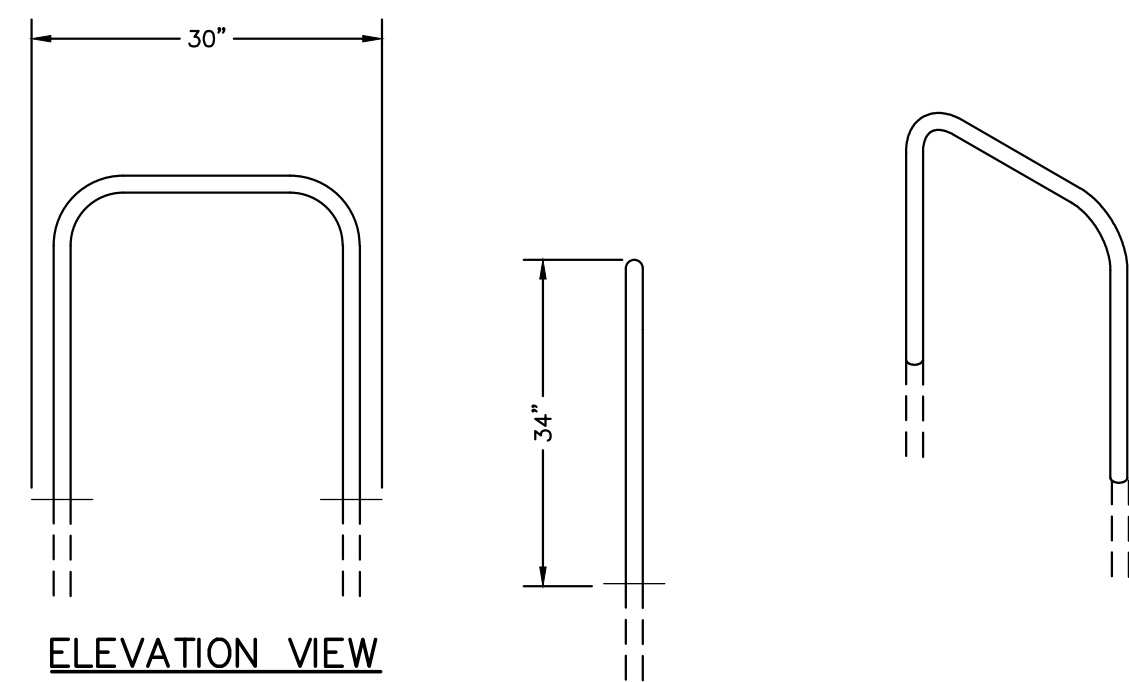


DESIGNED BY: JPP Flexstorm HD Specs
DATE: 11/11/19
SHEET: 1 OF 1

FRAMED INLET PROTECTION

N.T.S.

REV. 7-01-2019



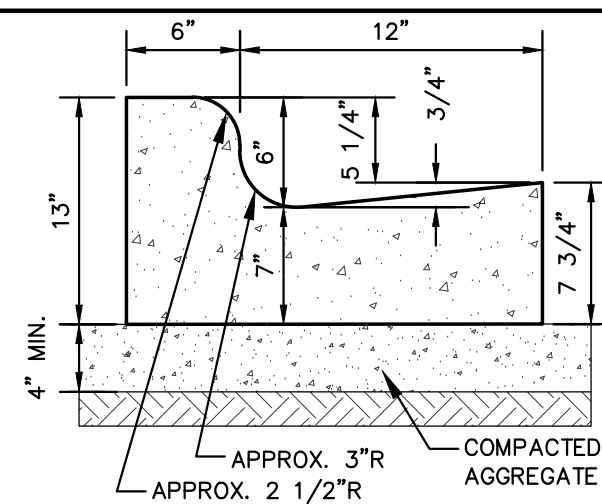
GENERAL NOTES:

- MADRAX INVERTED U BIKE RACK - "UX" BIKE RACK, WET SET IN-GROUND MOUNTED, COLOR GUNMETAL
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

INVERTED-U BIKE RACK

N.T.S.

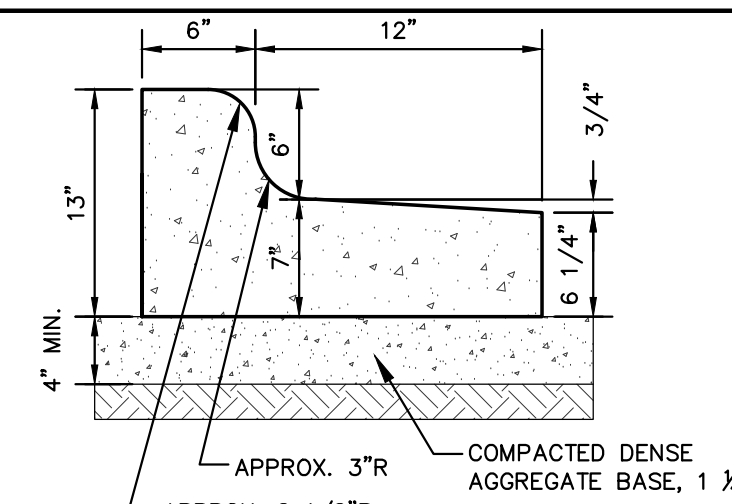
REV. 12-10-2016



18" STANDARD CURB & GUTTER

N.T.S.

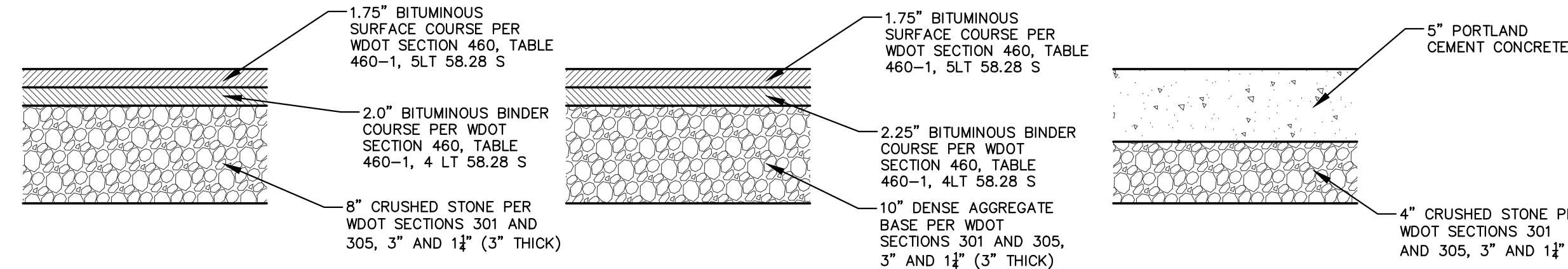
REV. 12-17-2016



18" REJECT CURB & GUTTER

N.T.S.

REV. 12-17-2016



STANDARD ASPHALT PAVEMENT SECTION

HEAVY DUTY ASPHALT PAVEMENT SECTION

CONCRETE SIDEWALK SECTION

GENERAL NOTES:

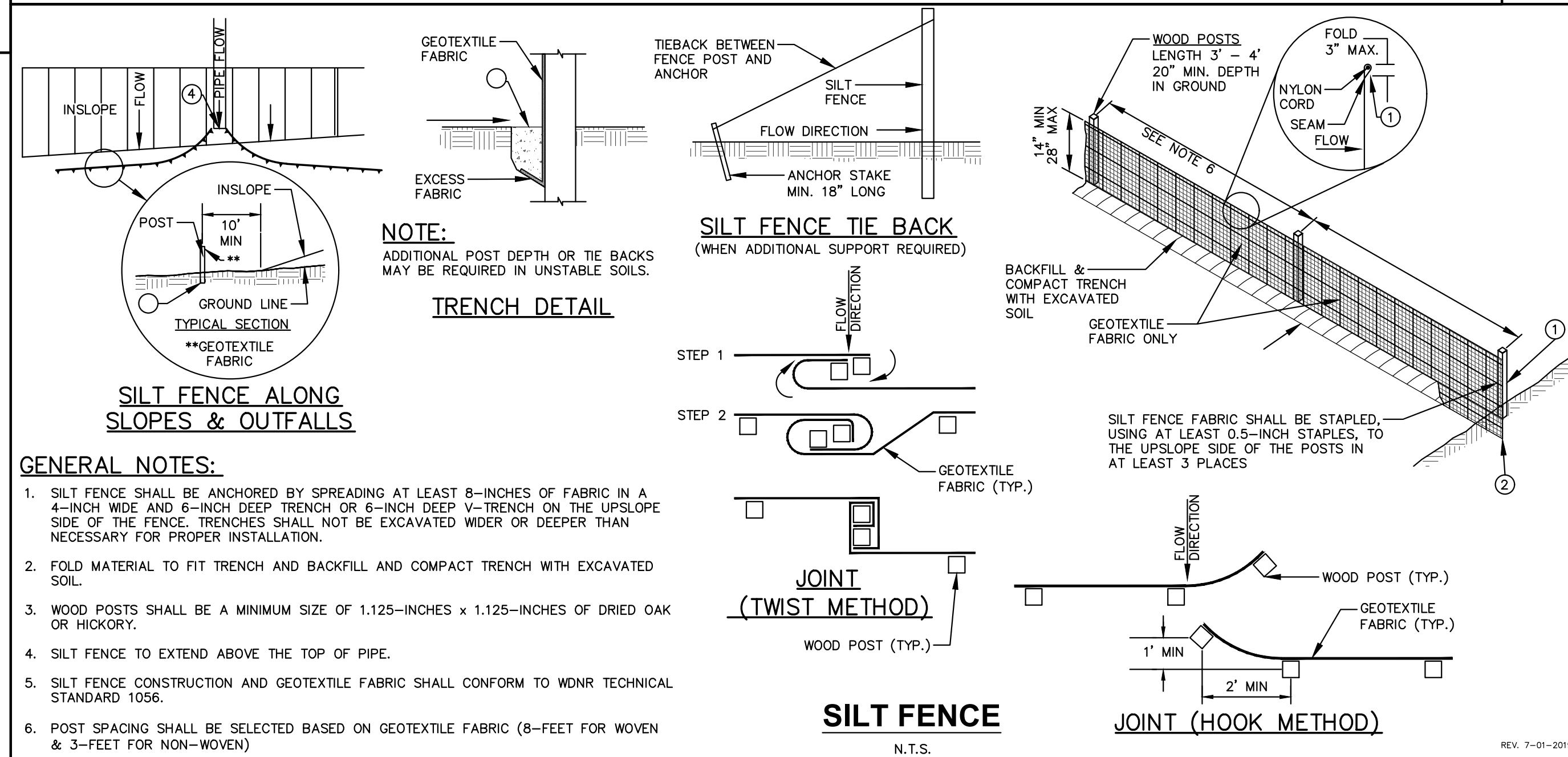
- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, GEOTECHNICAL REPORT TO BE PROVIDED ONCE GEOTECHNICAL WORK HAS BEEN COMPLETED. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- MSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
- CONCRETE PADS SHALL HAVE A WIRE REINFORCEMENT MESH (W6X6, 2.9X2.9) FOR CRACK CONTROL.
- AGGREGATE BASE SHALL BE 3" MINUS UP TO 3" BELOW PAVEMENT AND 1 1/2" MINUS TO PAVEMENT.

PAVEMENT THICKNESSES SHALL BE CONFIRMED FOLLOWING GEOTECHNICAL REPORT

PAVEMENT SECTIONS

N.T.S.

REV. 7-01-2019



GENERAL NOTES:

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)



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COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

LAMACCHIA GROUP

CLIENT ADDRESS:

**157 North Milwaukee Street
Milwaukee, WI 53202**

PROJECT:

HEARTLAND CREDIT UNION

PROJECT LOCATION:

**944 Williamson Street
Madison, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	12.18.19	Municipal Submittal
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Design/Drawn: ABK
Approved: KJY

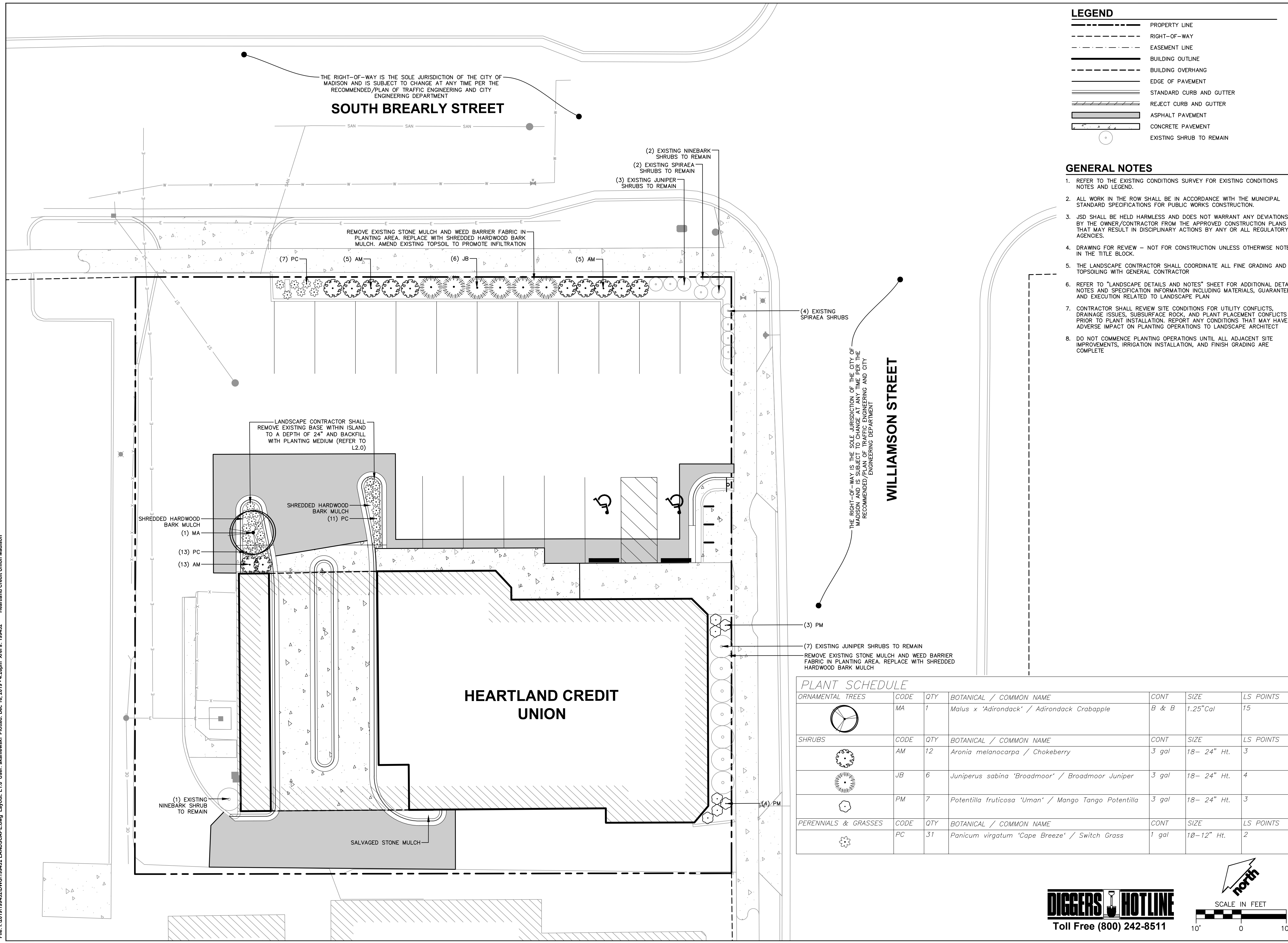
**SHEET TITLE:
DETAILS**

SHEET NUMBER:

C5.0

JSD PROJECT NO: 19-9432

File: I:\2019\194432\DWG\194432.LANDSCAPE.dwg Layout: L1.0 User: akaniewski Plotted: Dec 16, 2019 - 4:28pm Xref's: 194432 Heartland Credit Union Madison



LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
○	EXISTING SHRUB TO REMAIN

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
 - REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
 - CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
 - DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE

PLANT SCHEDULE

ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	MA	1	Malus x 'Adirondack' / Adirondack Crabapple	B & B	1.25" Cal	15
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	AM	12	Aronia melanocarpa / Chokeberry	3 gal	18- 24" Ht.	3
	JB	6	Juniperus sabinia 'Broadmoor' / Broadmoor Juniper	3 gal	18- 24" Ht.	4
	PM	7	Potentilla fruticosa 'Uman' / Mango Tango Potentilla	3 gal	18- 24" Ht.	3
PERENNIALS & GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	PC	31	Panicum virgatum 'Cape Breeze' / Switch Grass	1 gal	10-12" Ht.	2



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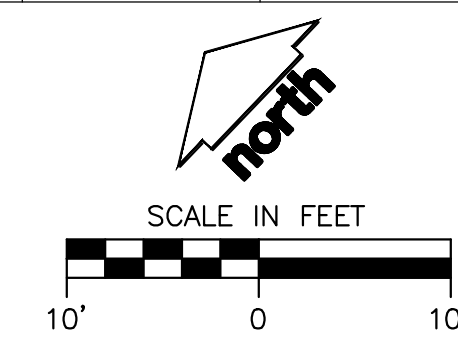
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Design/Drawn: **ABK**
Approved: **KJY**

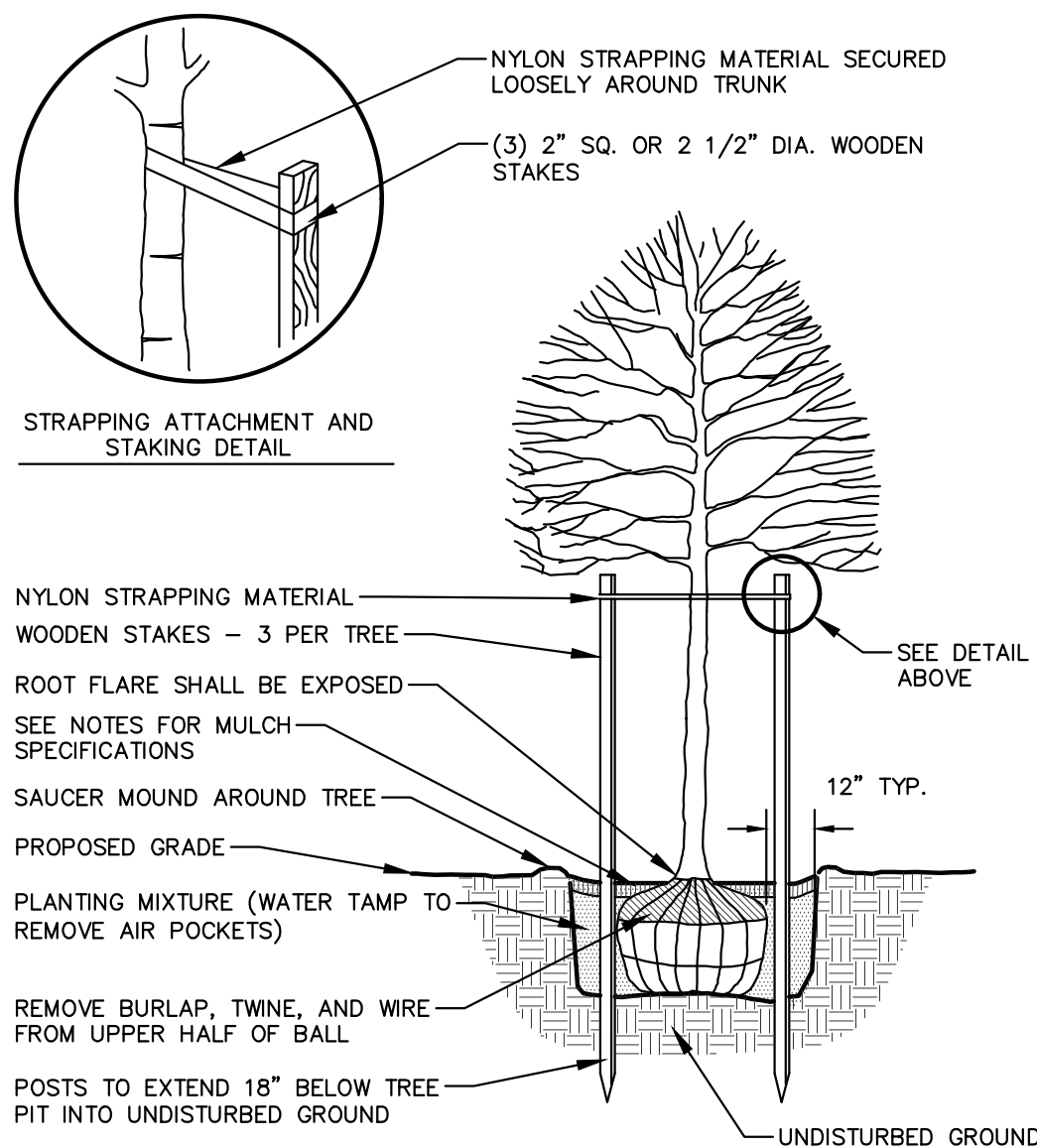
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LANDSCAPE PLAN

SHEET NUMBER:
L1.0

JSD PROJECT NO: 19-9432



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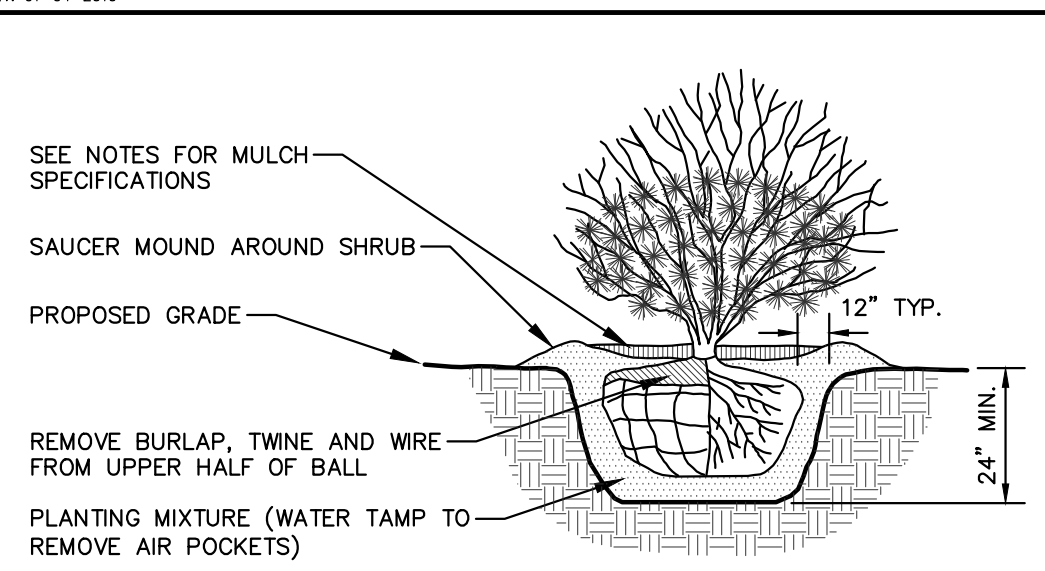


DECIDUOUS TREE PLANTING DETAIL
N.T.S.

REV. 01-04-2019

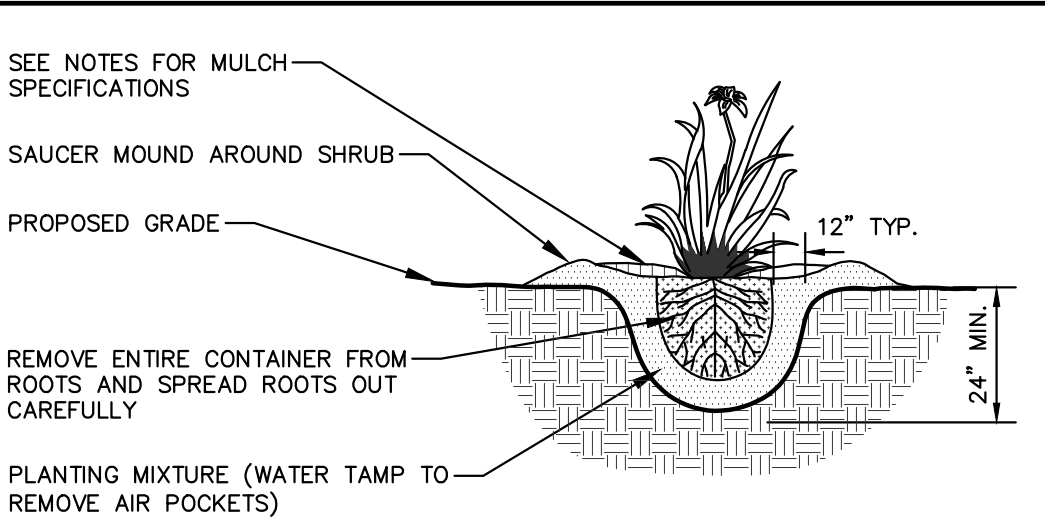
NOTE:
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED
2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

DECIDUOUS TREE PLANTING DETAIL
N.T.S.



NOTE:
1. ROOT FLARE TO BE EXPOSED.

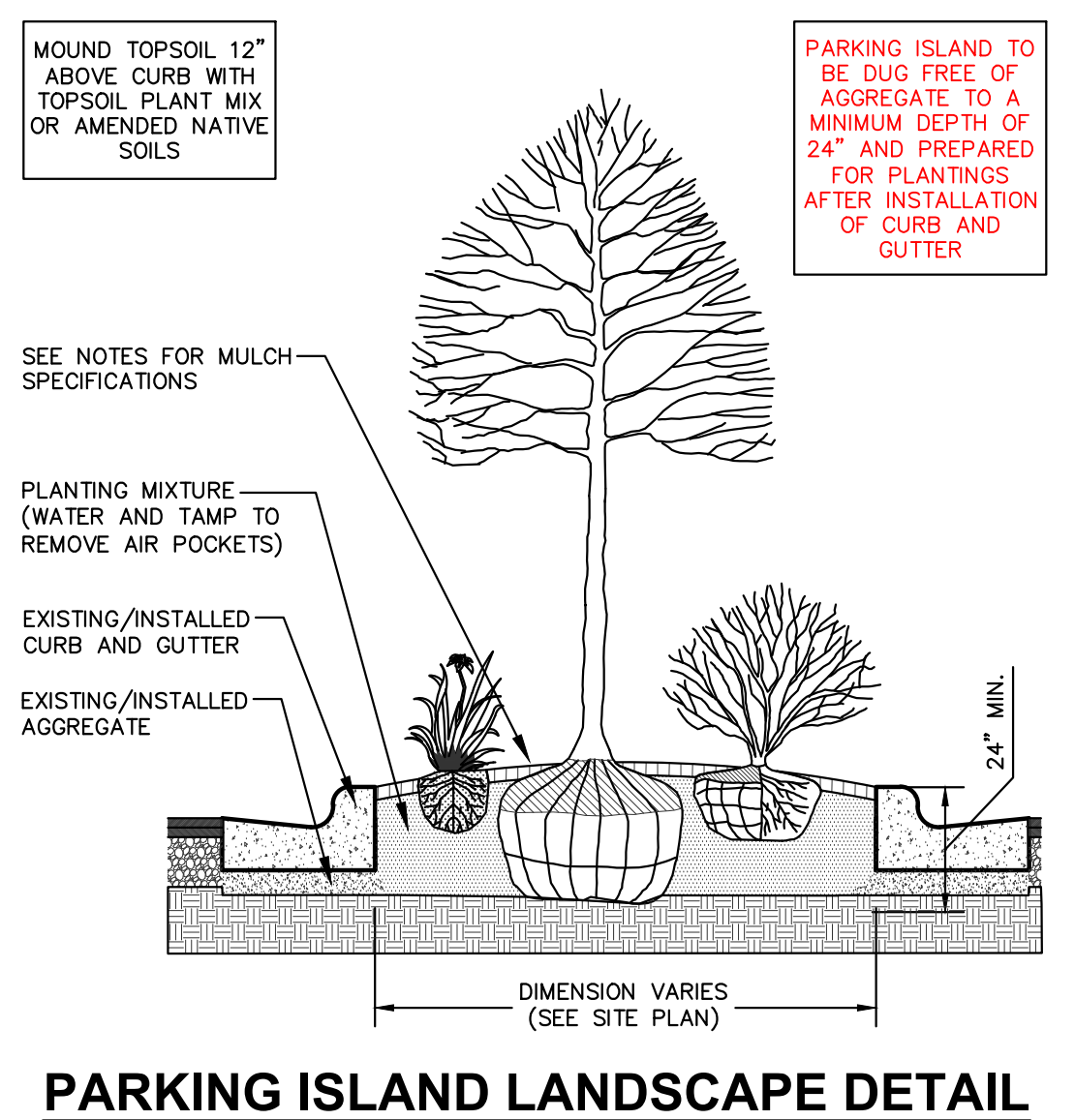
SHRUB PLANTING DETAIL
N.T.S.



NOTE:
1. ROOT FLARE TO BE EXPOSED

PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
N.T.S.

REV. 01-03-2019



PARKING ISLAND LANDSCAPE DETAIL
N.T.S.

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35				
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			1	15
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	8	24	19	57
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	10	40	6	24
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			31	62
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				64		158

Total Number of Points Provided 222

Landscape Calculations and Distribution
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
- Total square footage of developed area 12,320
Total landscape points required 206

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.



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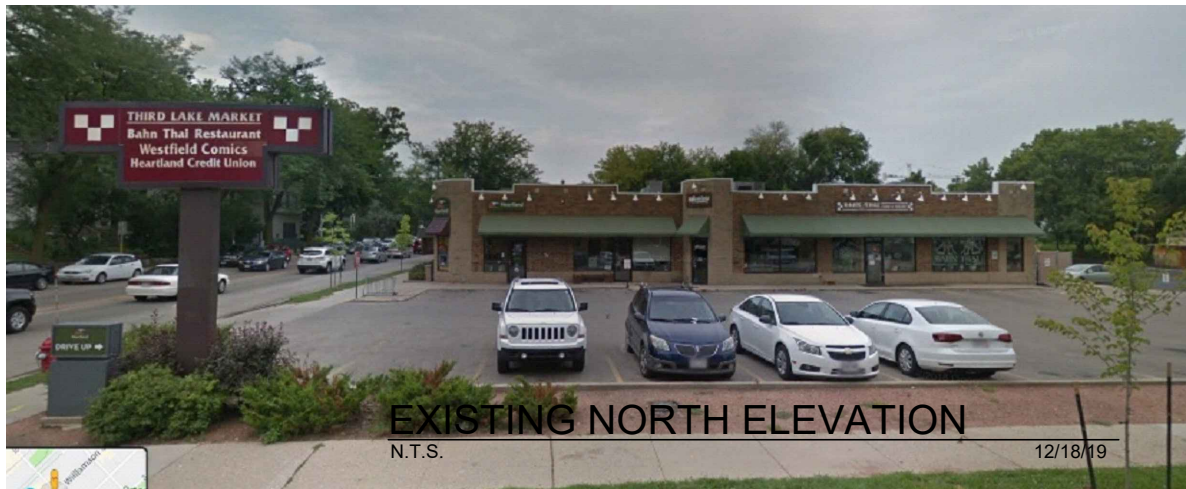
**SHEET TITLE:
LANDSCAPE DETAILS
AND NOTES**

SHEET NUMBER:
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PROPOSED NORTHWEST ELEVATION
N.T.S. 12/18/19





EXISTING NORTH ELEVATION

N.T.S.

12/18/19

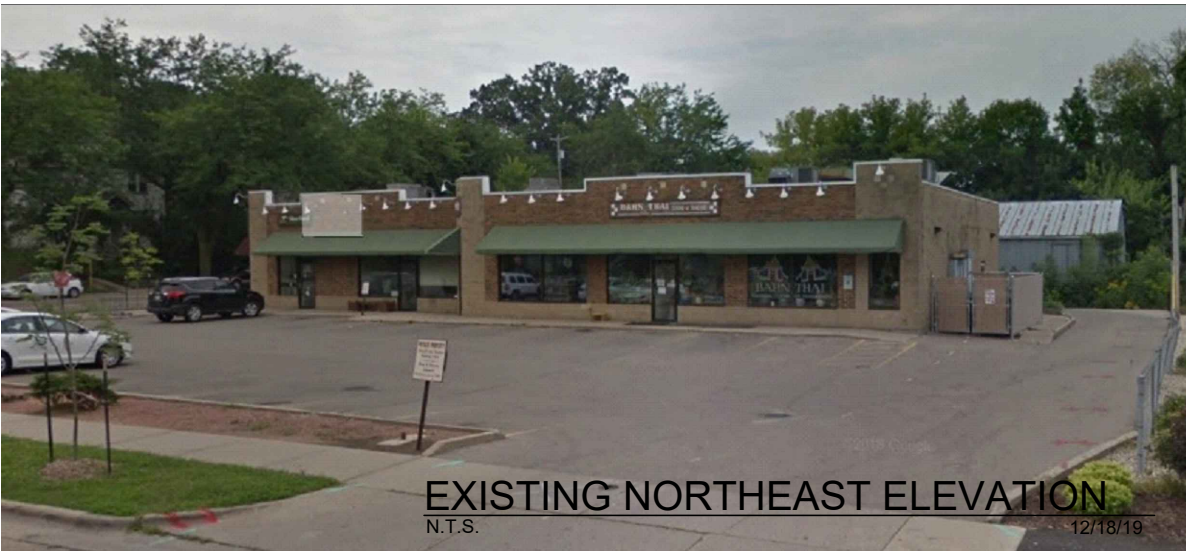


PROPOSED NORTH ELEVATION

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12/18/19



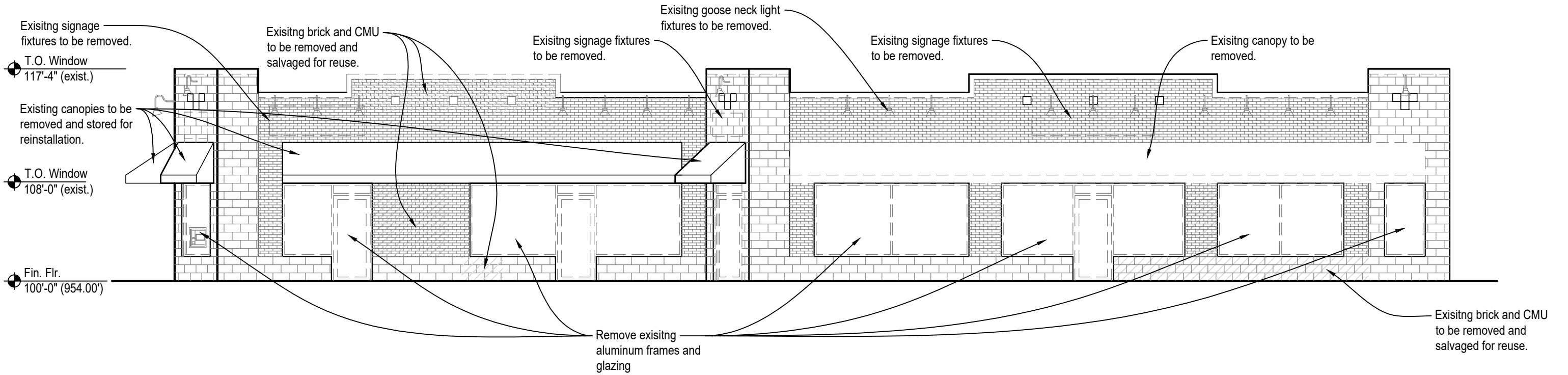


EXISTING NORTHEAST ELEVATION
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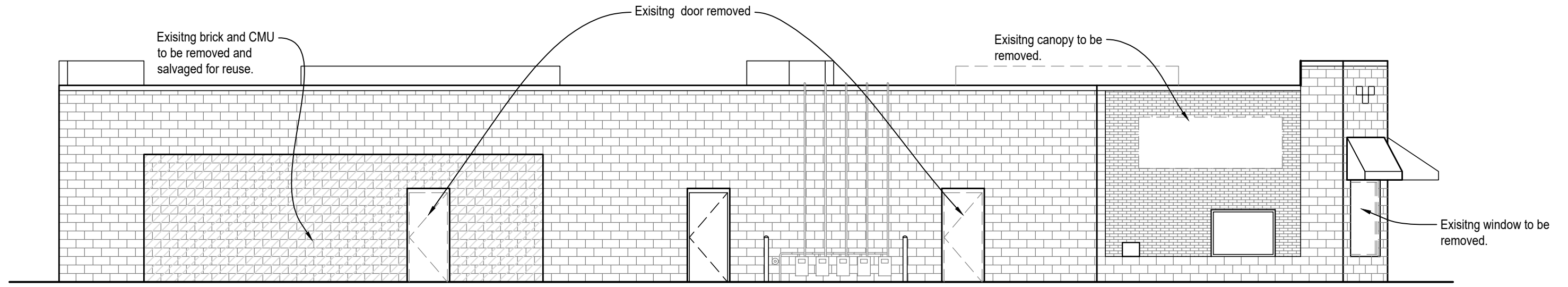


PROPOSED NORTH ELEVATION
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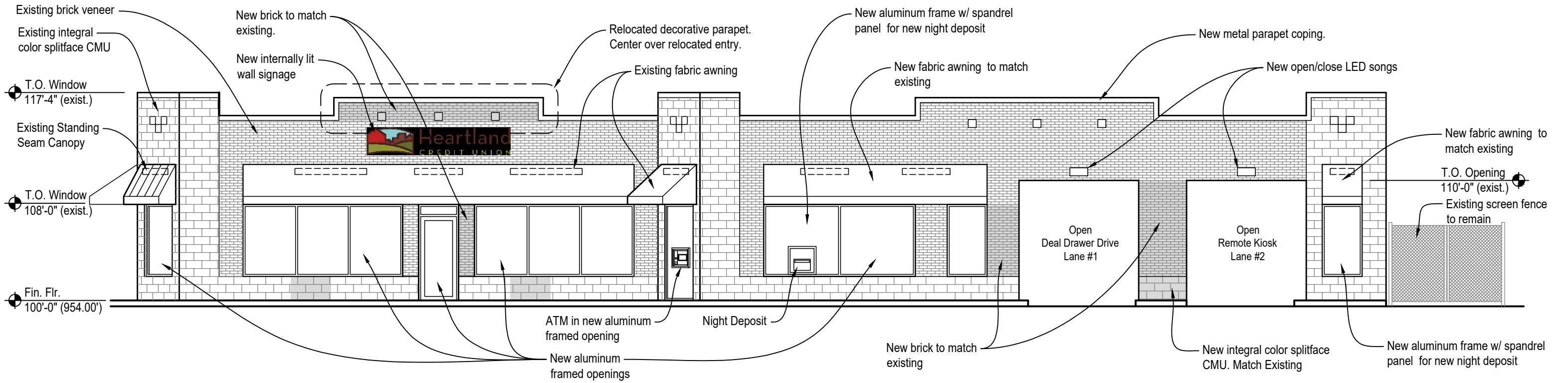


HEARTLAND CREDIT UNION
 NORTH DEMOLITION ELEVATION
 Madison, WI
 SCALE: 1/8" = 1'-0" 12/18/19



HEARTLAND CREDIT UNION
 SOUTH DEMOLITION ELEVATION
 Madison, WI
 SCALE: 1/8" = 1'-0" 12/18/19



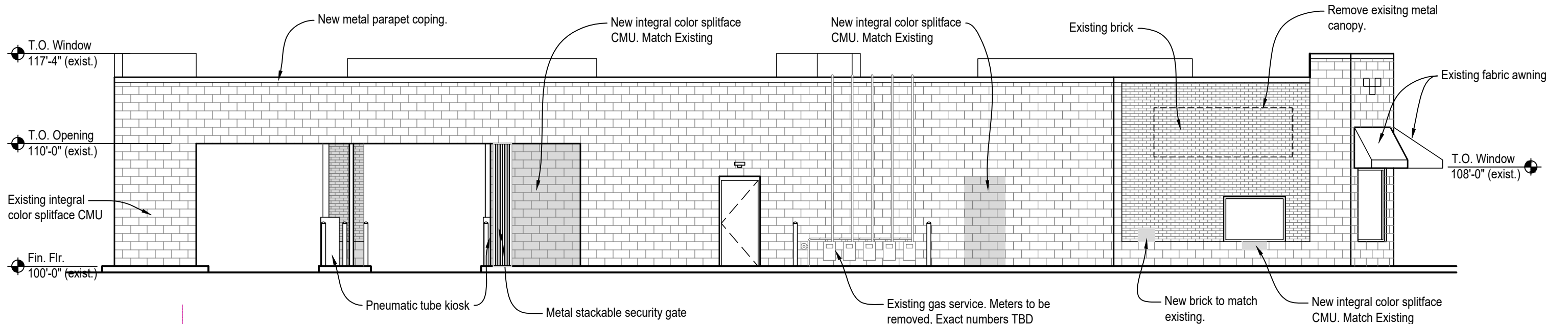


HEARTLAND CREDIT UNION

NORTH ELEVATION
Madison, WI

SCALE: 1/8" = 1'-0"

12/18/19



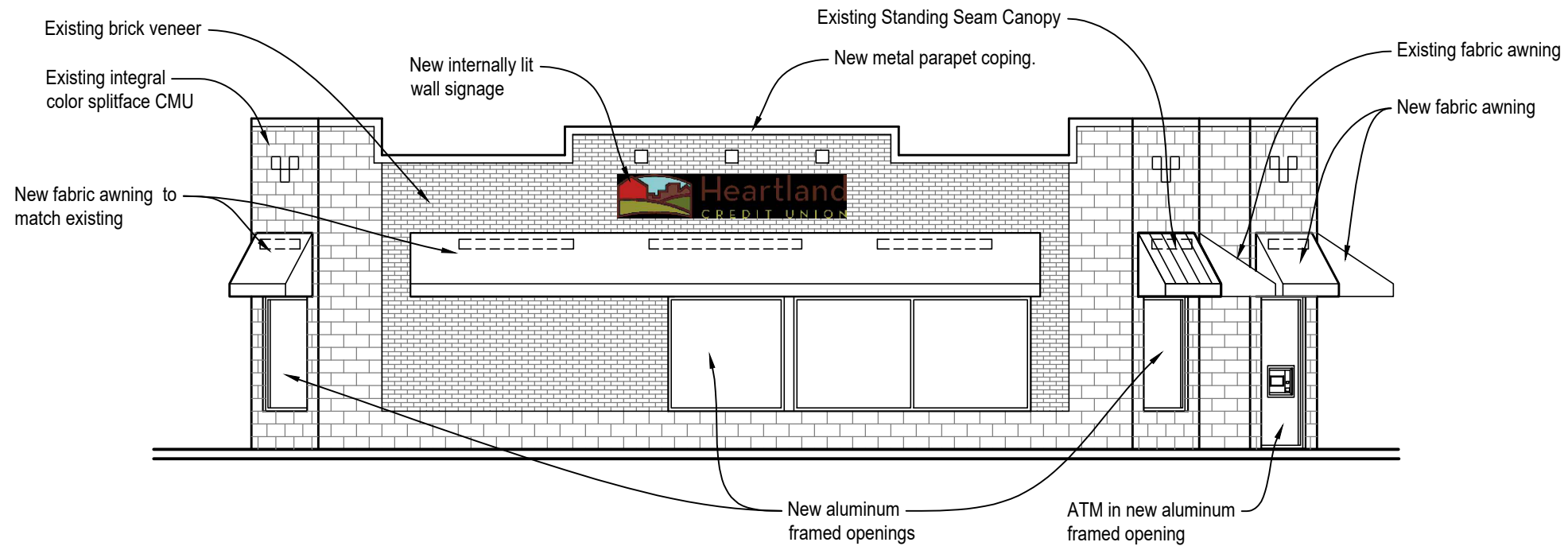
HEARTLAND CREDIT UNION

SOUTH ELEVATION
Madison, WI

SCALE: 1/8" = 1'-0"

12/18/19



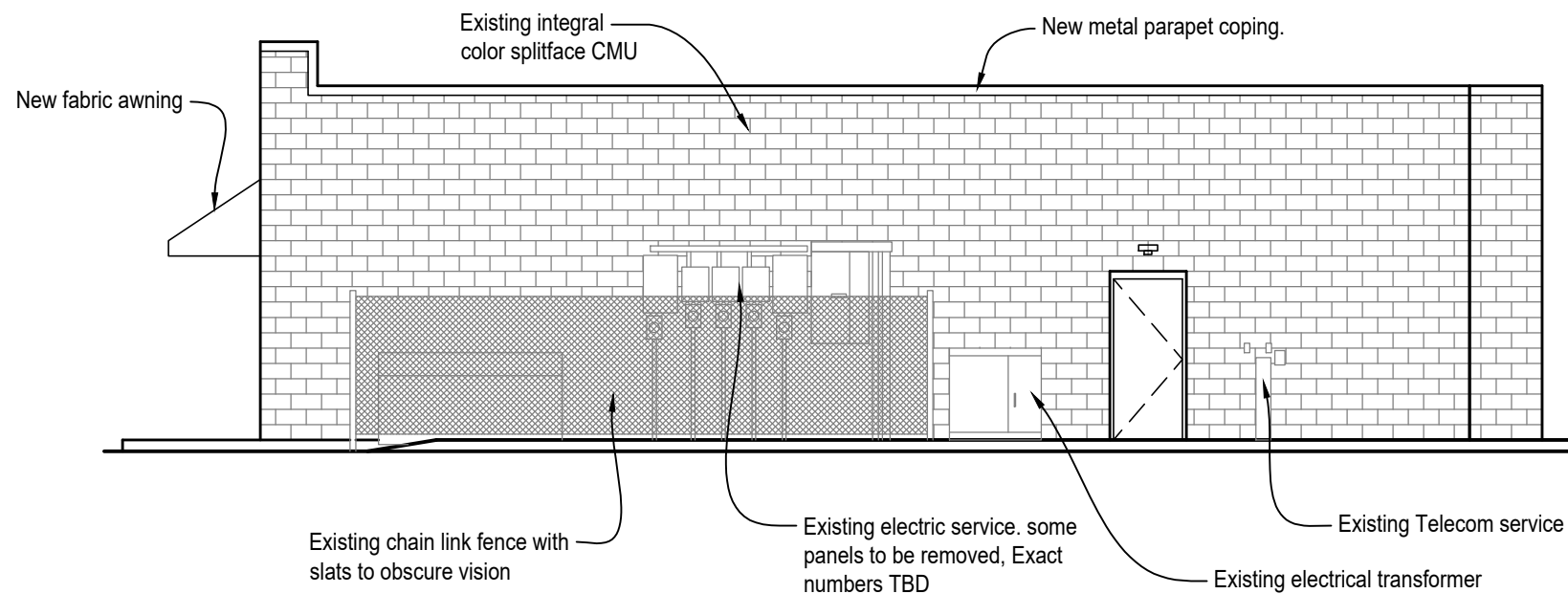


HEARTLAND CREDIT UNION

EAST ELEVATION
Madison, WI

SCALE: 1/8" = 1'-0"

12/18/19



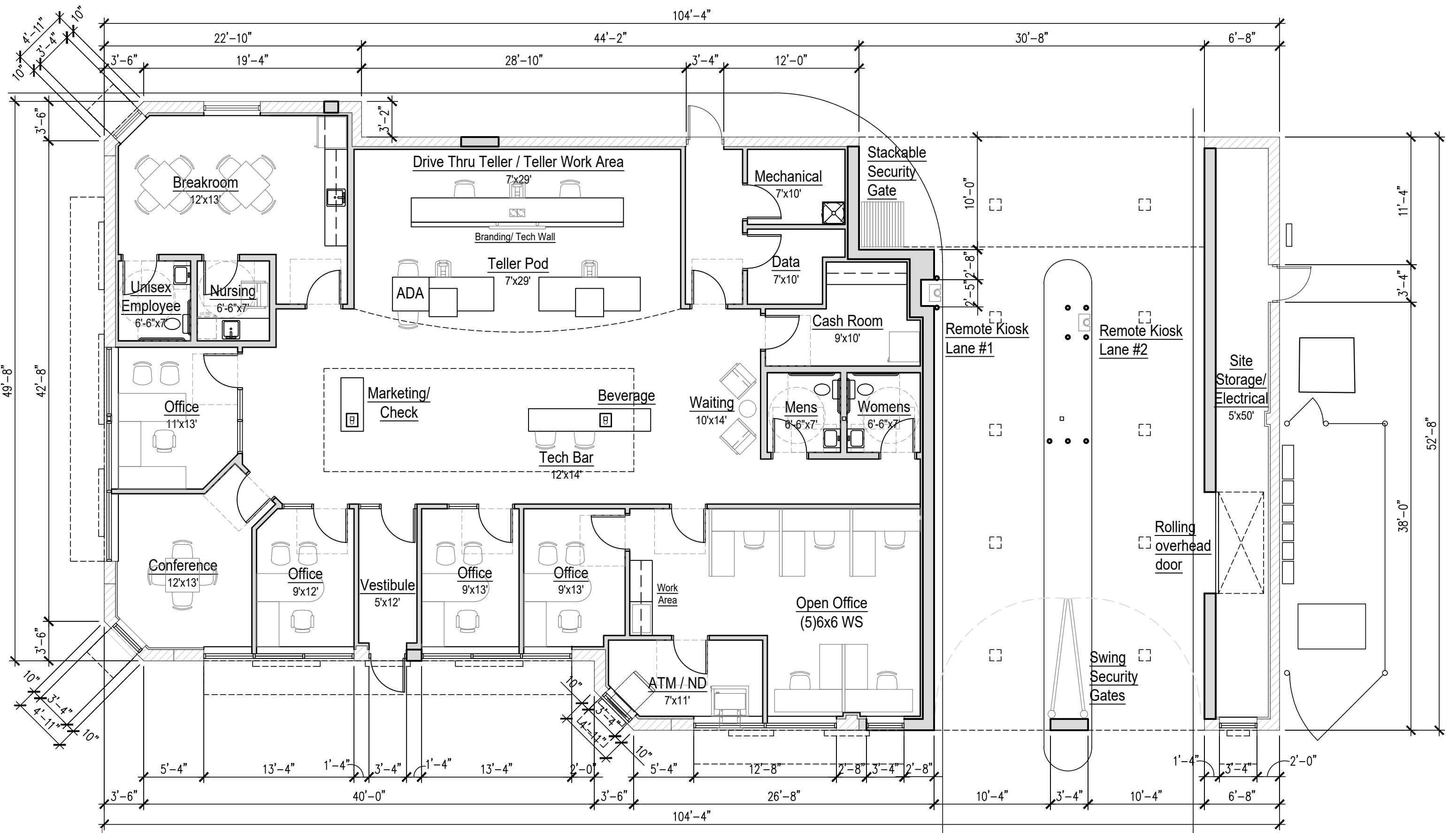
HEARTLAND CREDIT UNION

WEST ELEVATION
Madison, WI

SCALE: 1/8" = 1'-0"

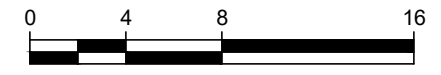
12/18/19





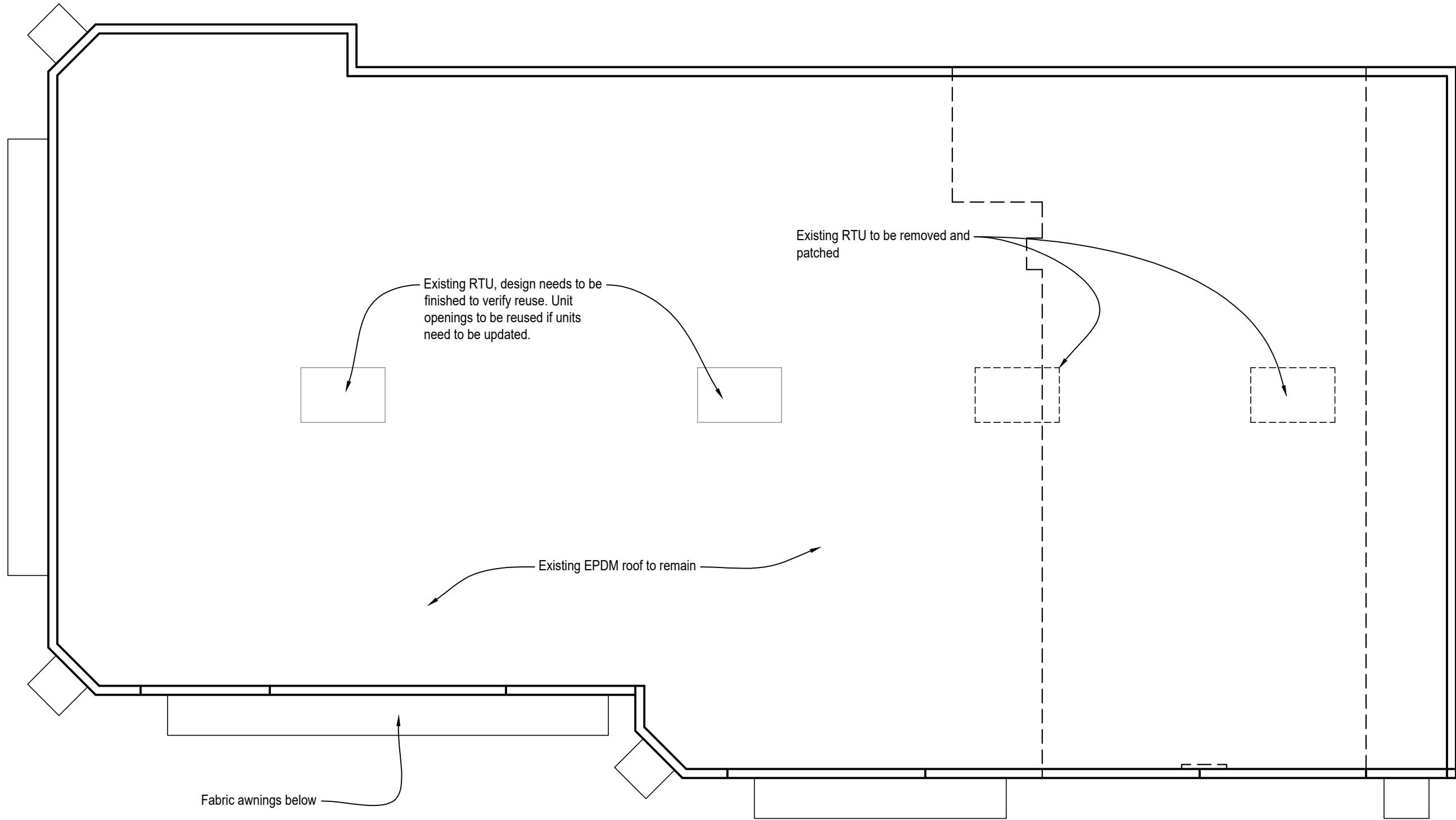
HEARTLAND CREDIT UNION
 CONCEPTUAL FLOOR PLAN
 Madison, WI
 SCALE: 1/8" = 1'-0"

Update: 11-20-19



New Wall
 Existing Wall







Existing Integral Color CMU
-Reuse Existing

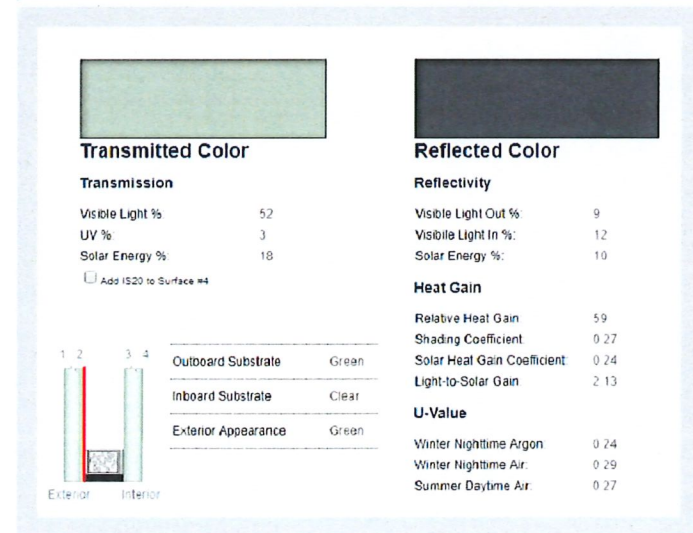


Existing brick
-Reuse Existing, Matched
Brick and Stain if Necessary

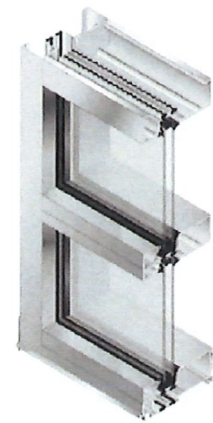


Existing Canopy
-Reuse Existing, New to
Matched Existing

▶ **SNX 62/27** (Surface #2) SuperNeutral Low-E



New Glazing



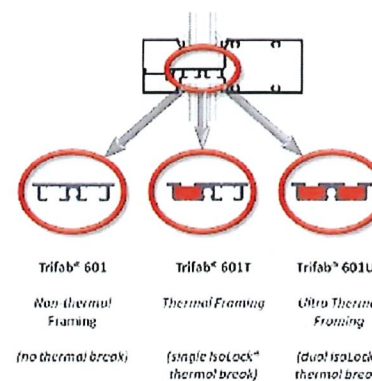
Color: #40 Dark Bronze – Architectural Class I



▲★ Hunter Green

New Parapet Coping
- Pac Clad Hunter Green

Trifab™ 601/601T/601UT Framing System



- 2" (50.8mm) sightline
- 6" (152.4mm) depth
- Ultra thermal, high thermal or non-thermal performance
- Center glazed
- Hurricane resistance

New Aluminum Window Frame

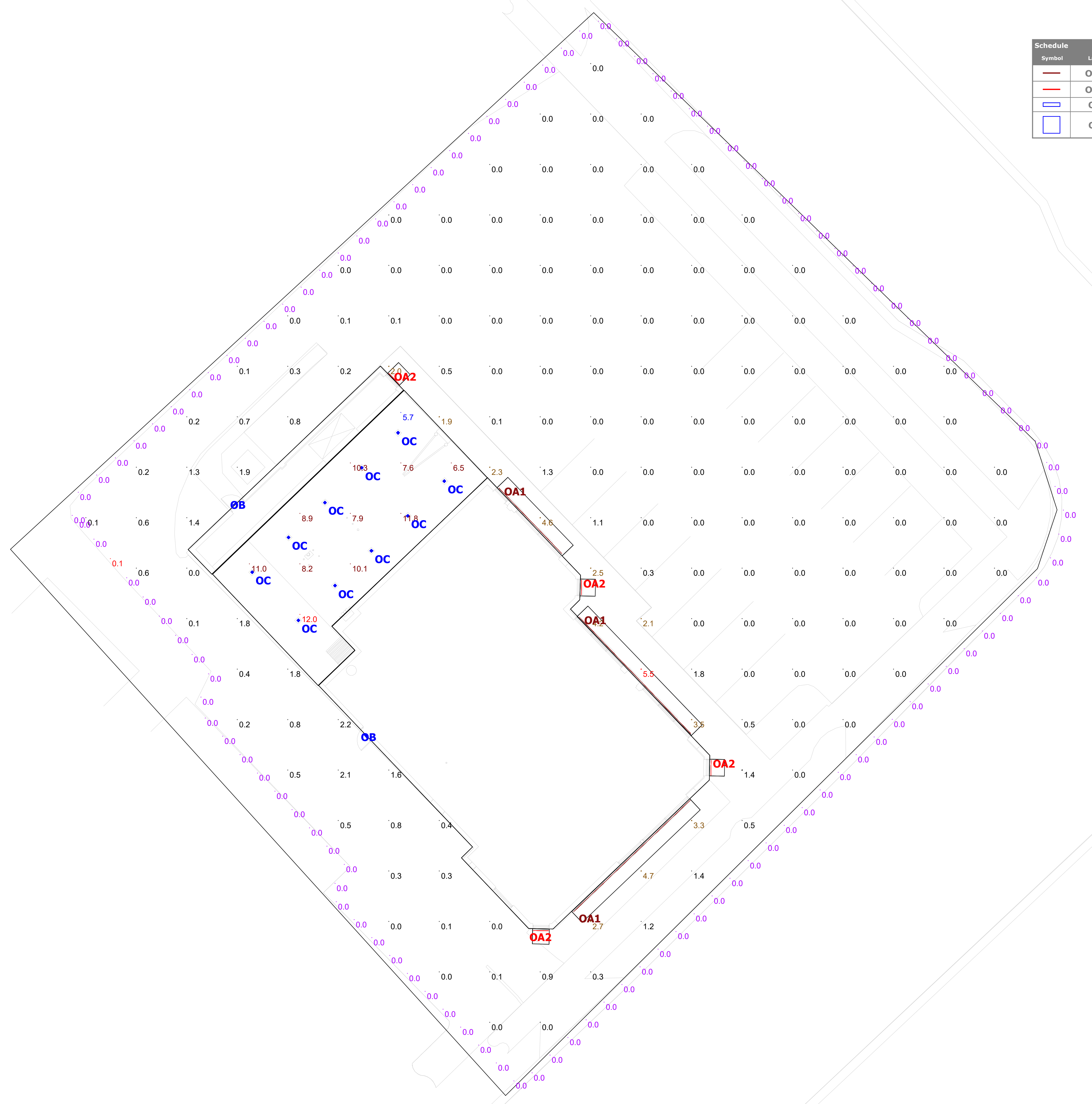


Woodland Consulting, LLC
12000 WISCONSIN DRIVE
MADISON, WI 53717

HEARTLAND CREDIT UNION
MADISON, WI - WILLY STREET

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens	Wattage
—	OA1	3	OMNILIGHT	HELWL-41-SO-XX OCH-SCS-4-FR OCH-CLIP-RC	WALL MOUNTED WET LOCATION STANDARD OUTPUT TAPE LIGHT WITH ALUMINUM CHANNEL, FROSTED LENS AND ADJUSTABLE CLIP	160	2.2
—	OA2	4	OMNI LIGHT	HELWL-41-HO-XX OCH-SCS-4-FR OCH-CLIP-RC	WALL MOUNTED WET LOCATION HIGH OUTPUT TAPE LIGHT WITH ALUMINUM CHANNEL, FROSTED LENS AND ADJUSTABLE CLIP	335	4.4
▭	OB	2	Lithonia Lighting	DSXW1 LED 10C 350 40K T2M MVOLT	LED WALL PACK	1448	14
▭	OC	10	Lithonia Lighting	LDN6SQ 40/15 LS6AR LD	6IN SQUARE RECESSED DOWNLIGHT	1347	20

Description	Symbol	Avg	Max	Min	Max/Min
DRIVE THRU	+	9.1 fc	12.0 fc	5.7 fc	2.1:1
PROPERTY BOUNDARY @ 4'-0" AFG	+	0.0 fc	0.1 fc	0.0 fc	N/A
SITE ALL	+	0.5 fc	5.5 fc	0.0 fc	N/A
WALKS	X	3.1 fc	5.5 fc	1.4 fc	3.9:1



Designer	JAW
Date	12/17/2019
Scale	SEE PLAN
Drawing No.	
Summary	

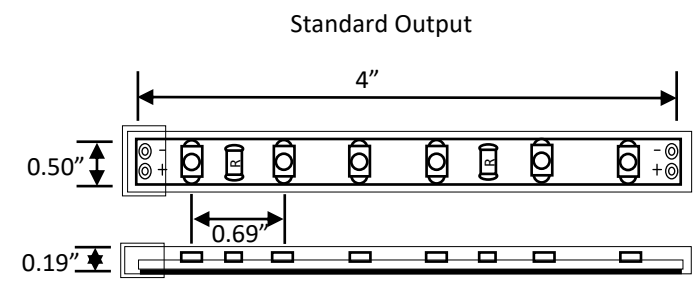


Project: _____
 Type: _____
 Catalog Number: _____
 Wattage: _____

Helix Series (Exterior) 24VDC flexible exterior LED ribbon in standard & high output. 85+ CRI • IP65 Rated

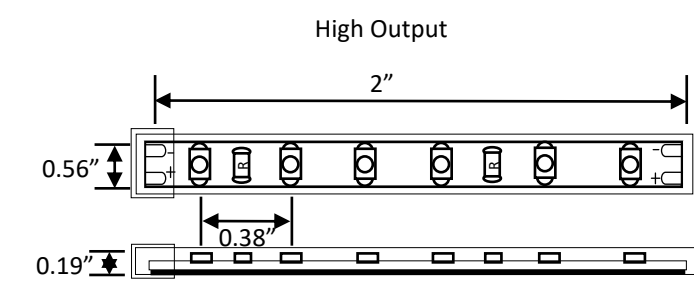
Product Description: The Helix series ribbon for exterior use is offered in four kelvin temperatures, two lumen outputs and is 85+ CRI. The ribbon can be cut every 6 diodes and can be installed using silicone brackets or with clear exterior silicone caulk.

Product Specifications: • 24 Volt DC • 85+ CRI • 120° Beam Angle • IP 65 Rated • Dimmable • Can be Cut in the Field
 • 50,000 Hour Life • 5 Year Warranty • Available in 16.4' or custom cut lengths (consult Omnilight).



Lumen Output

Standard Output : High Output	Standard Output : High Output
2700K	175 lumens/ft : 355 lumens/ft
3000K	185 lumens/ft : 365 lumens/ft
3500K	195 lumens/ft : 380 lumens/ft
4100K	210 lumens/ft : 400 lumens/ft



Accessories

WSLW-24:	24" Ribbon to Power Supply Connector
WSLW-48:	48" Ribbon to Power Supply Connector
WSLW-72:	72" Ribbon to Power Supply Connector
WSCW-12:	12" Ribbon to Ribbon Connector
WSCW-36:	36" Ribbon to Ribbon Connector
WSCW-72:	72" Ribbon to Ribbon Connector

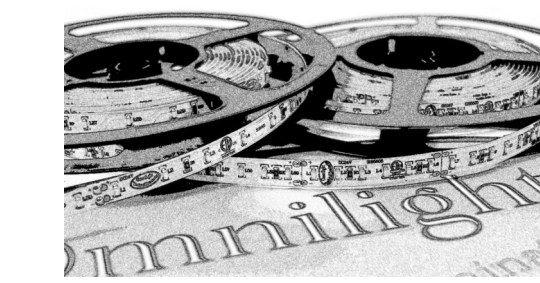
Note: Drawings not to scale.

Ribbon Builder:

Series	Kelvin	Output	Length
HELWL	27 (2700K)	SO (2.2watts/ft)	16 (full reel—16.4 feet)
	30 (3000K)	HO (4.4watts/ft)	CC@XX (custom cut, specify footage)
	35 (3500K)		
	41 (4100K)		



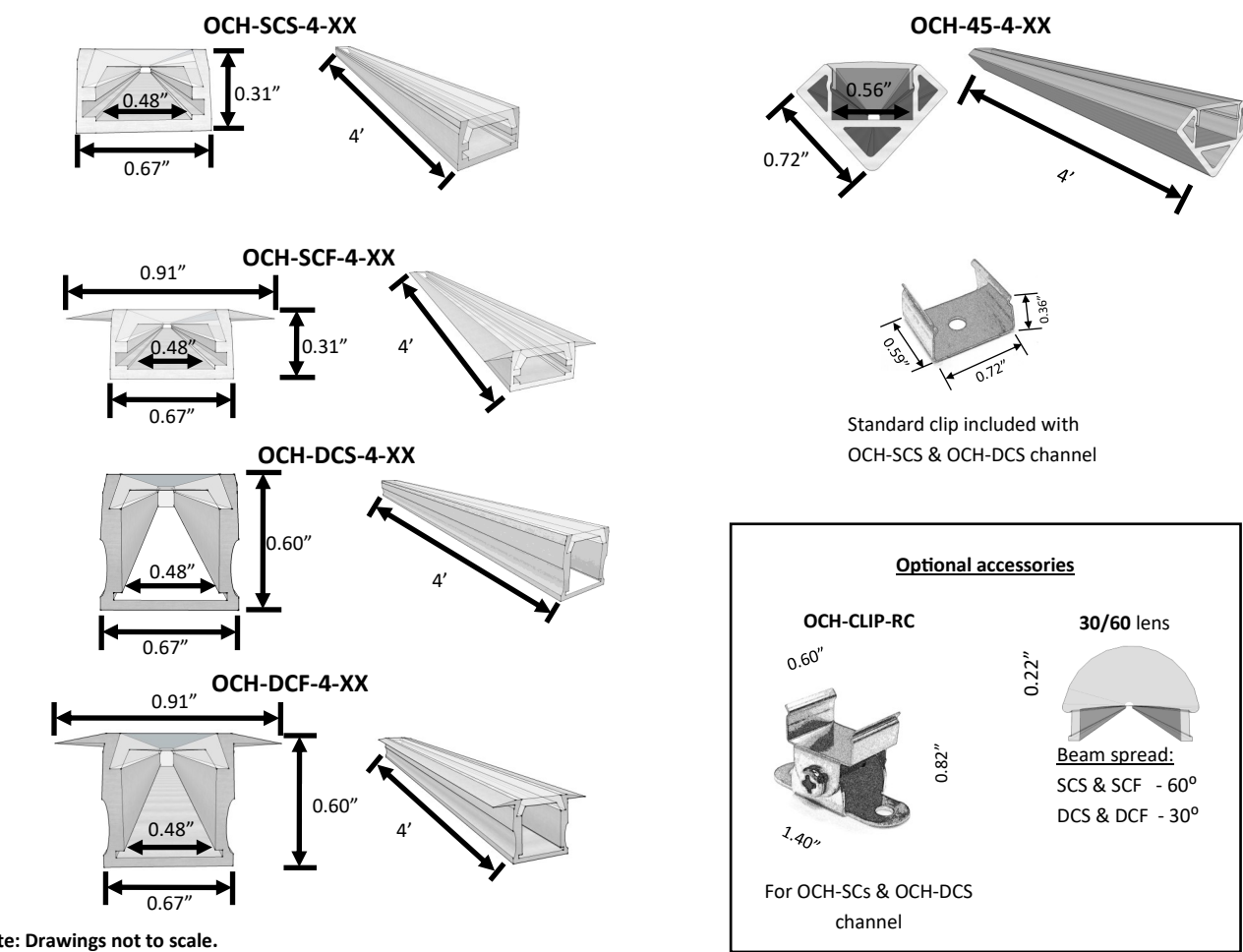
All Omnilight products are tested and warranted for use with Omnilight power supplies only
 Omnilight, Inc. • 6501 N. Avondale Ave. • Chicago • Illinois • 60631 • (773) 696-1602 • sales@omnilightinc.com • www.omnilightinc.com



Project: _____
 Type: _____
 Catalog Number: _____
 Wattage: _____

OCH Series Aluminum Channel

Product Description: The OCH Series aluminum channel is offered in surface mount, recessed mount and 45 degree versions. Channel comes complete with (2) end caps, (2) clips (SCS, DCS & 45) and lens (need to specified lens opaquesness).

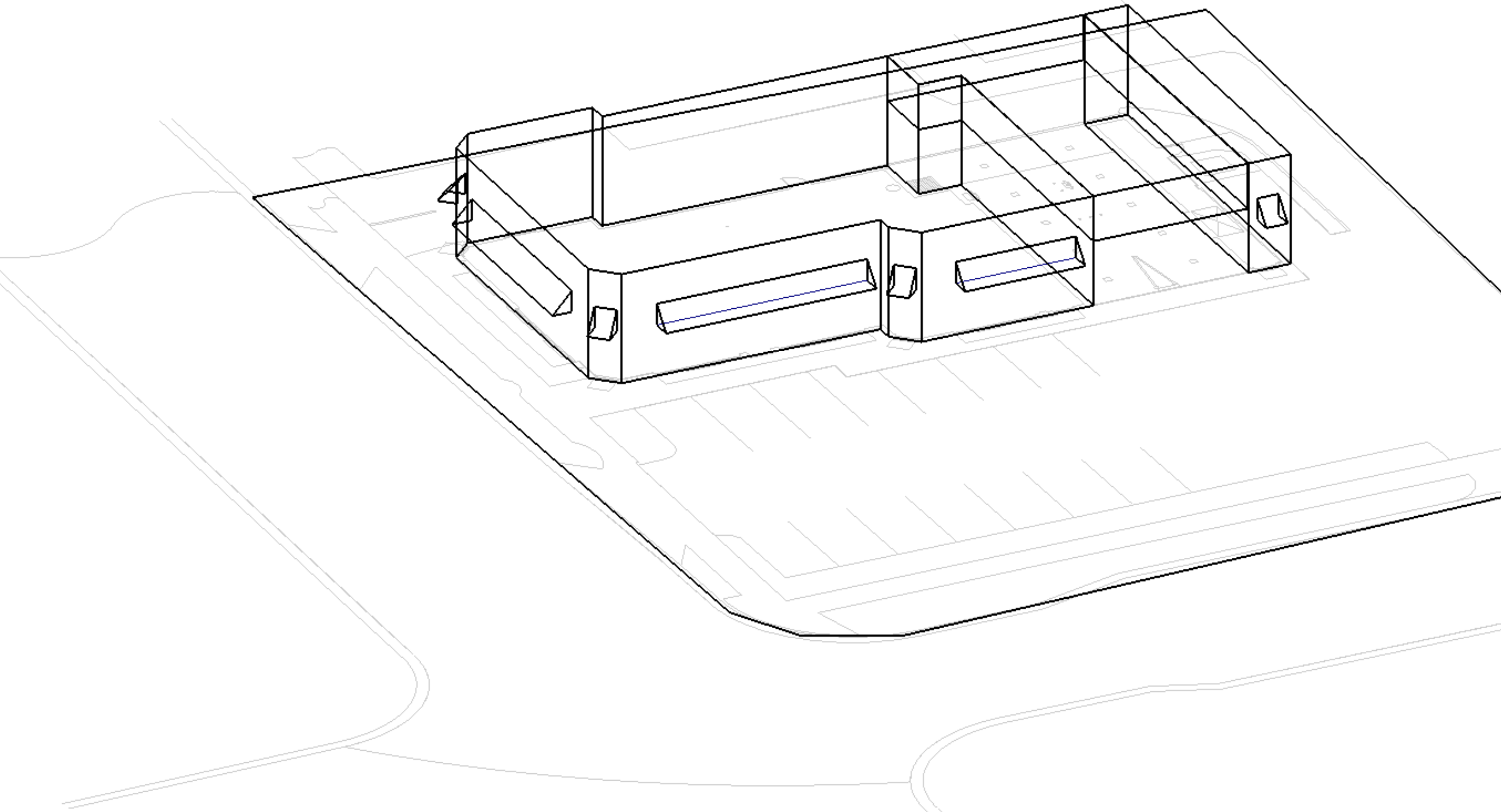


Note: Drawings not to scale.
 OCH-SCS-4, OCH-DCS-4 & OCH-45-4 come with (2) mounting clips. All OCH series aluminum channels come with (2) end caps. Delivered lumen adjustment for lens: CL (Clear) - 5% (Frosted) - 20% (Opal Matte) - 50%

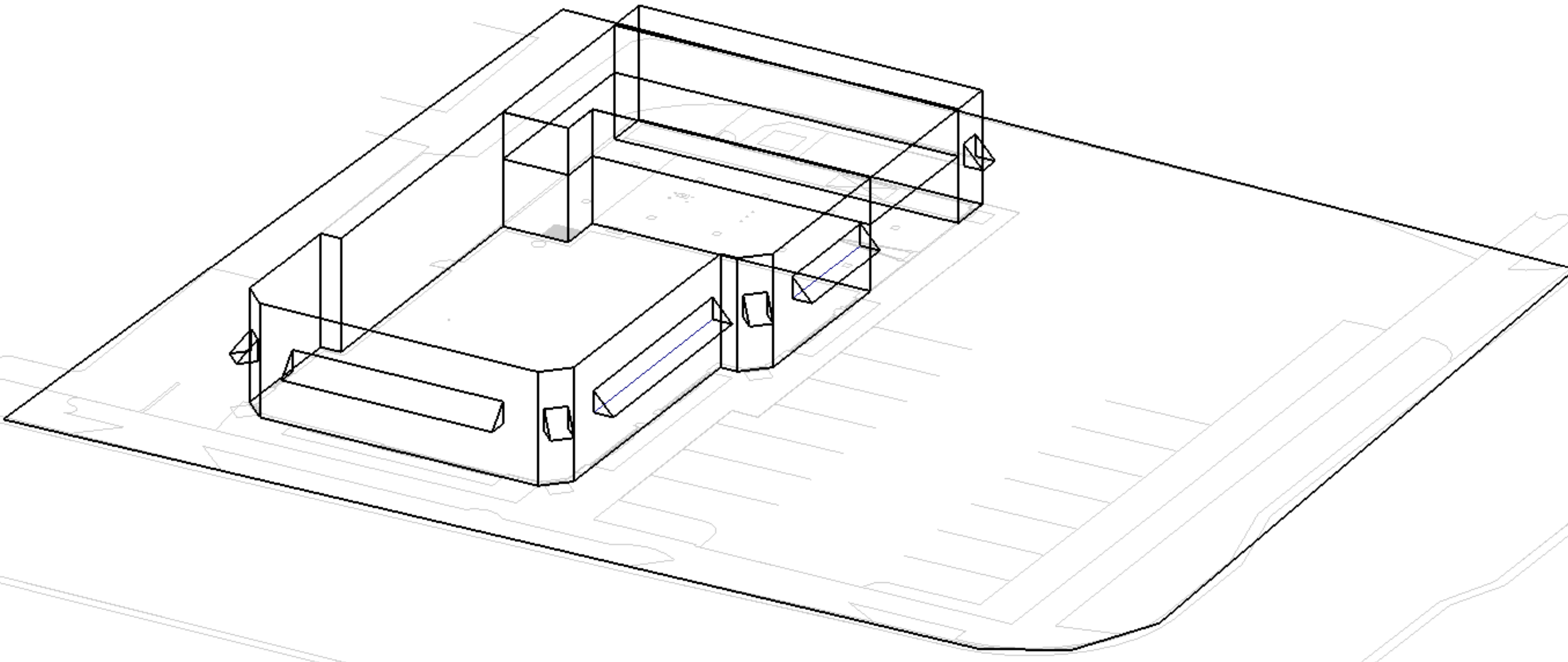
Channel Builder:

Series	Mounting	Length	Lens
OCH	SCS SCF DCS DCF 45	4'	CL (Clear) FR (Frosted) OM (Opal Matte) 30/60 (30°-60°)

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View #1

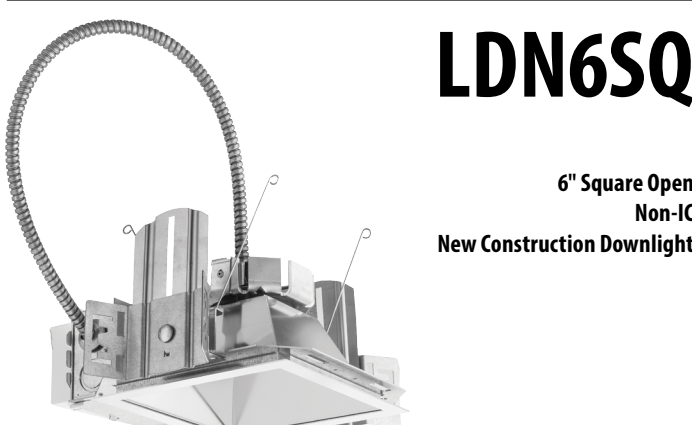


View #2



FEATURES & SPECIFICATIONS
INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Durable square metal reflector retained by tension springs. Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2" x 3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C. Accommodates 1/2" x 3/4" joist spacing. Passive cooling thermal management for 25°C standard; high ambient 40°C option available. Light engine and drivers are accessible from above or below ceiling. Max ceiling thickness: 1-1/2".
OPTICS — LEDs are binned to a 3-step SDCM, 80 CRI minimum, 90 CRI optional. LED light source concealed with diffusing optical lens. Self-flanged anodized reflector in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors. Self-flanged anodized reflector in specular, semi-specular, or matte diffuse finishes. 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours.
LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.
WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/customerresources/terms_and_conditions.aspx
 Note: Actual performance may differ as a result of end-use environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

Catalog Number: _____
 Notes: _____
 Type: _____



LDN65Q

6" Square Open Non-IC New Construction Downlight



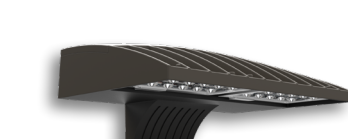
4-Capable options indicated by this color background.
ORDERING INFORMATION: Lead times will vary depending on options selected. Consult with your sales representative. Example: LDN65Q 35/15 L56GR LSS MVOLT E21

Series	Color temperature	Lumens ¹	Aperture/Trim Color	Finish	Voltage
LDN65Q	27° 2700K	85 500 lumens	L56 Downlight	AR	MVOLT
	30° 3000K	85 1000 lumens	L56 Wallwash	BR	120V
	35° 3500K	15 1500 lumens		LS	277V
	40° 4000K	20 2000 lumens		LS	347V

Driver	Options
G210 0-10V driver dims to 10%	Single face White painted flange
G21 0-10V driver dims to 1%	TBL1 ⁴ Black painted flange
E210 0-10V eLED driver with smooth and flicker-free dimming performance down to 10%	Emergency battery pack with integral test switch. 10W Constant Power. Not Certified in CA Title 20 MAEDS
E21 0-10V eLED driver with smooth and flicker-free dimming performance down to 1%	EL1 ⁴ Emergency battery pack with remote test switch. 10W Constant Power. Not Certified in CA Title 20 MAEDS ELSD ⁴ Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power. Not Certified in CA Title 20 MAEDS ELWCP ⁴ Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDS NPP14D ⁴ nLight [™] network power relay pack with 0-10V dimming for non-eLED drivers (G210, G21). NPP14ZER ⁴ nLight [™] network power relay pack with 0-10V dimming for non-eLED drivers (G210, G21). ER controls features on emergency circuit.

Notes:
 1 Overall height varies based on lumen package; refer to dimensional chart on page 1.
 2 Not available with finish.
 3 Not available with emergency options.
 4 Must specify voltage 120V or 277V.
 5 Available with clear (AR) reflector only.
 6 12.5" of plenum depth or top access required for battery pack maintenance.
 7 Specify voltage. ER for use with generator supply (EM power). Will require an emergency hot lead and normal hot lead.
 8 Fixture begins at 80% light level. Must be specified with NPSB02 or NPSB02ER. Only available with E210 and E21 drivers.
 9 Not available with CP, NPSB02, NPSB02ER, NPP14D or NPP14ZER options.
 10 NLTAR2 and NLTARER2 not recommended for metal ceiling installations.
 11 Fixture height is 6.5" for all lumen packages with HAO.
 12 Must specify voltage for 3000K, 3500K with marked spacing 24 x 24 in. x 4 in. Not available with emergency battery pack option.

DOWNLIGHTING LDN65Q



D-Series Size 1 LED Wall Luminaire



d-series

Specifications Luminaire	Back Box (BBW, ELCW)
Width: 13-3/4" (34.9 cm)	Width: 13-3/4" (34.9 cm)
Weight: 12 lbs (5.4 kg)	BBW Weight: 5 lbs (2.3 kg)
Depth: 10" (25.4 cm)	ELCW Weight: 10 lbs (4.5 kg)
Height: 6-3/8" (16.2 cm)	Height: 6-3/8" (16.2 cm)



For 3/4" NPT side-entry conduit (BBW only)

Catalog Number: _____
 Notes: _____
 Type: _____

SEE THE TABS OR INDEX OVER THE PAGE TO SEE ALL INTERACTIVE ELEMENTS.

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (line engine)	350 350 mA	30K 3000K	T25 Type I Short	MVOLT ¹ 120 ²	Shipped included (blank) Surface mounting bracket	Shipped installed Photoelectric cell, button type ³
		530 530 mA	40K 4000K	T2M Type I Medium	208 ¹		
		700 700 mA	50K 5000K	T35 Type II Short	240 ¹		
		1000 1000 mA (1 A) ⁴	AMB ⁵ Amber phosphor converted	T3M Type II Medium	277 ¹		
				T4M Type II Medium	347 ¹	BBW Surface-mounted back box (for conduit entry) ¹	PIR18 ⁶ 180° motion/ambient light sensor, <15 mpy by 11° PIR18FCW ⁶ Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" PIR18FCW ⁶ Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ELCW ⁷ Emergency battery back box (for external component enclosure), CA Title 20 Noncompliant ⁸
				TFTM Forward Throw Medium	480 ¹		

Other Options

Shipped installed	Shipped separately ¹¹	DSB02	Dark bronze	DS50D	Sandstone	DWH02D	Textured white
SF	Single face (120, 277 or 347V) ¹⁰	DSB03	Black	DSB02D	Textured dark bronze	DS50D	Textured sandstone
DF	Double face (208, 240 or 480V) ¹⁰	WN	Wire guard	DNAXD	Natural aluminum	DNB03D	Textured black
HS	House-side shield ¹¹	VG	Vandal guard	DWH02	White	DNATXD	Textured natural aluminum
SPD	Separate surge protection ¹¹	DDL	Diffused drop lens				

Accessories
 1 20C 1000 is not available with PIR, PIR18, PIR18FCW or PIR18FCV.
 2 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
 3 Single face (SF) requires 120, 277 or 347 voltage option. Double face (DF) requires 208, 240 or 480 voltage option.
 4 Only available with 20C, 700mA or 1000mA. Not available with PIR or PIR18.
 5 Back box (BBW) is not included on fixture. Cannot be field-installed. Cannot be ordered as an accessory.
 6 Photocell (PIR) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIR18).
 7 Reference Motion Sensor table on page 1.
 8 Cold weather (COC) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode (ES) listed on product page at: www.lithonia.com
 9 Not available with DCS.
 10 Not available with ELCW.
 11 Also available as a separate accessory; see Accessories information.
 12 Not available with ELCW.

LITHONIA LIGHTING One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-7378 • www.lithonia.com
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HEARTLAND CREDIT UNION
 MADISON, WI - WILLY STREET

Designer JAW
 Date 12/17/2019
 Scale SEE PLAN
 Drawing No. Summary