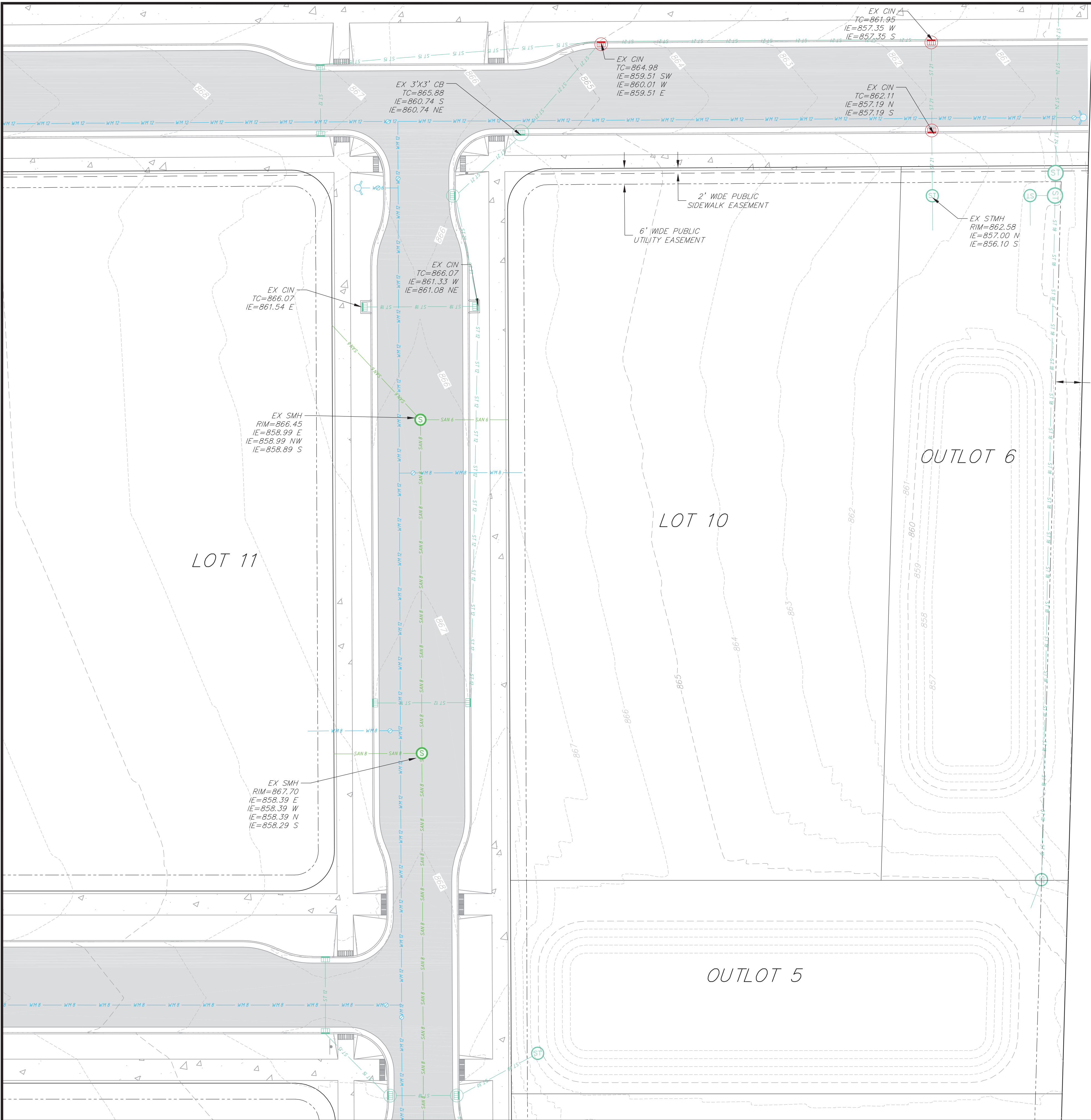
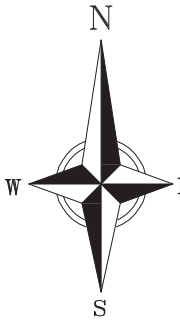




TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE



GRAPHIC SCALE, FEET
0 10 20 40

SURVEYED FOR:
MADISON AREA COMMUNITY
LAND TRUST
902 ROYSTER OAKS DRIVE
SUITE 105
MADISON, WI 53714

SURVEYED BY:
Vierbicher Associates, Inc.
999 Fourier Drive,
Suite 201
Madison, WI 53717
(608) 826-0532

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING GRAVEL SURFACE
- EXISTING CONCRETE SURFACE
- EXISTING ASPHALT SURFACE

GENERAL NOTES:

- This plan is based upon proposed development plans received from the City of Madison, Project No. 15389, Contract No. 9559. The plans provided are not final and are subject to change. This includes but is not limited to, utility locations, utility inverts, road alignment, road cross section and elevations of all hardscape.
- This plan is referenced to the Wisconsin County Coordinate System--Dane Zone, NAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum.
- No attempt has been made as a part of this plan to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence, or any other facts that a title search might reveal.



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

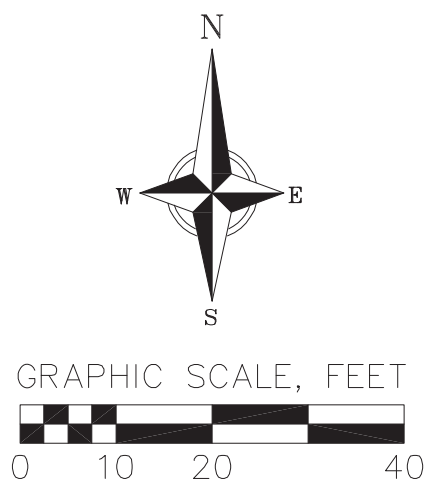
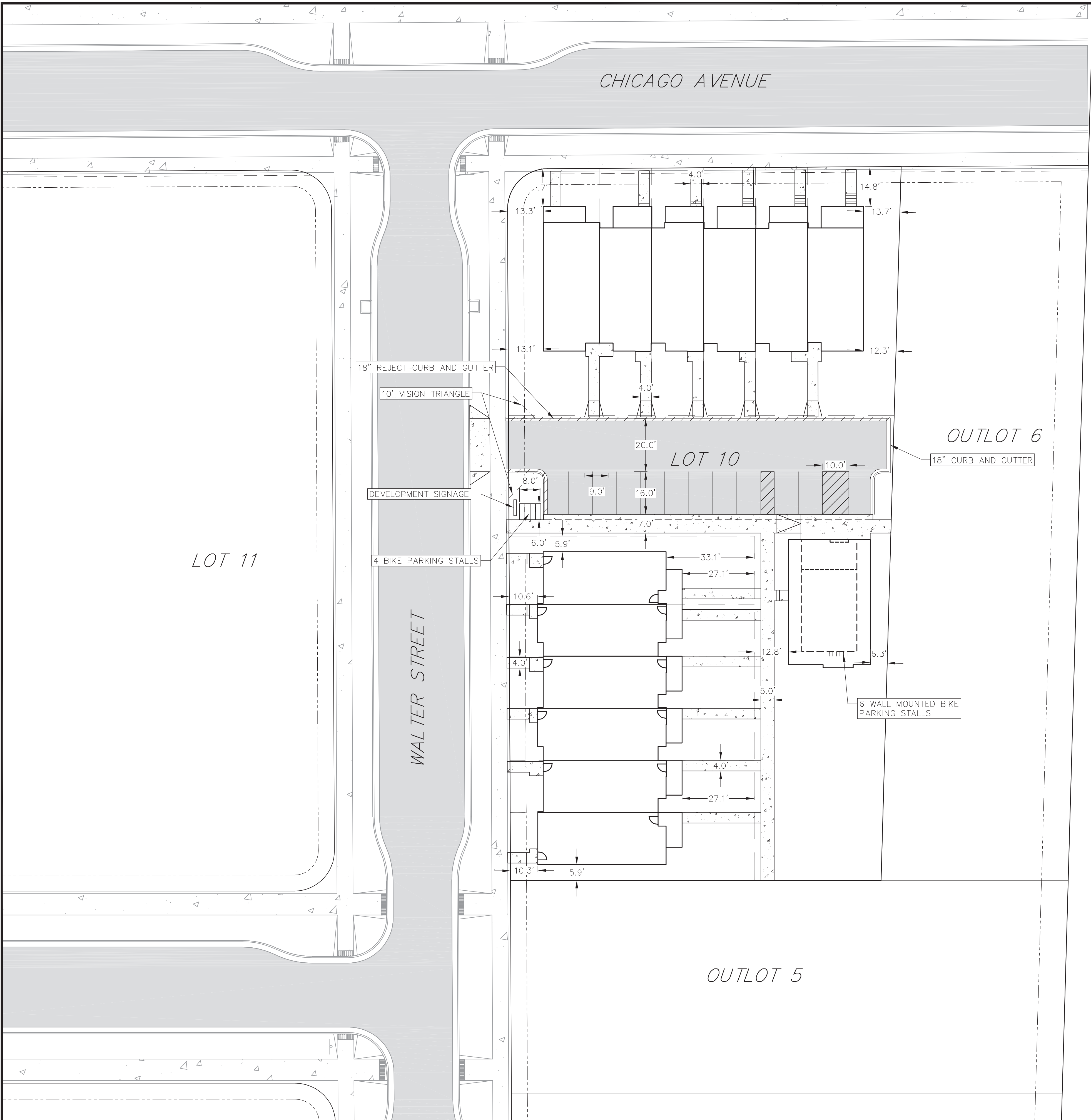
CALL DIGGER'S HOTLINE
1-800-242-8511

Existing Conditions
Lot 10, Starkweather Plat
City of Madison
Dane County, Wisconsin

REVISIONS NO.	DATE	REMARKS	REVISIONS NO.	DATE	REMARKS

DATE 12/15/2025
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CHECKED RKOL
PROJECT NO. 250040

C100



SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED BUILDING
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

ABBREVIATIONS

- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FL - FLOW LINE
- SW - TOP OF WALK
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

- SITE PLAN NOTES:**
- CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
 - CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
 - ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
 - CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
 - CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 - ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



vierbicher
planners | engineers | advisors

Site Plan

Lot 10, Starkweather Plat
City of Madison
Dane County, Wisconsin

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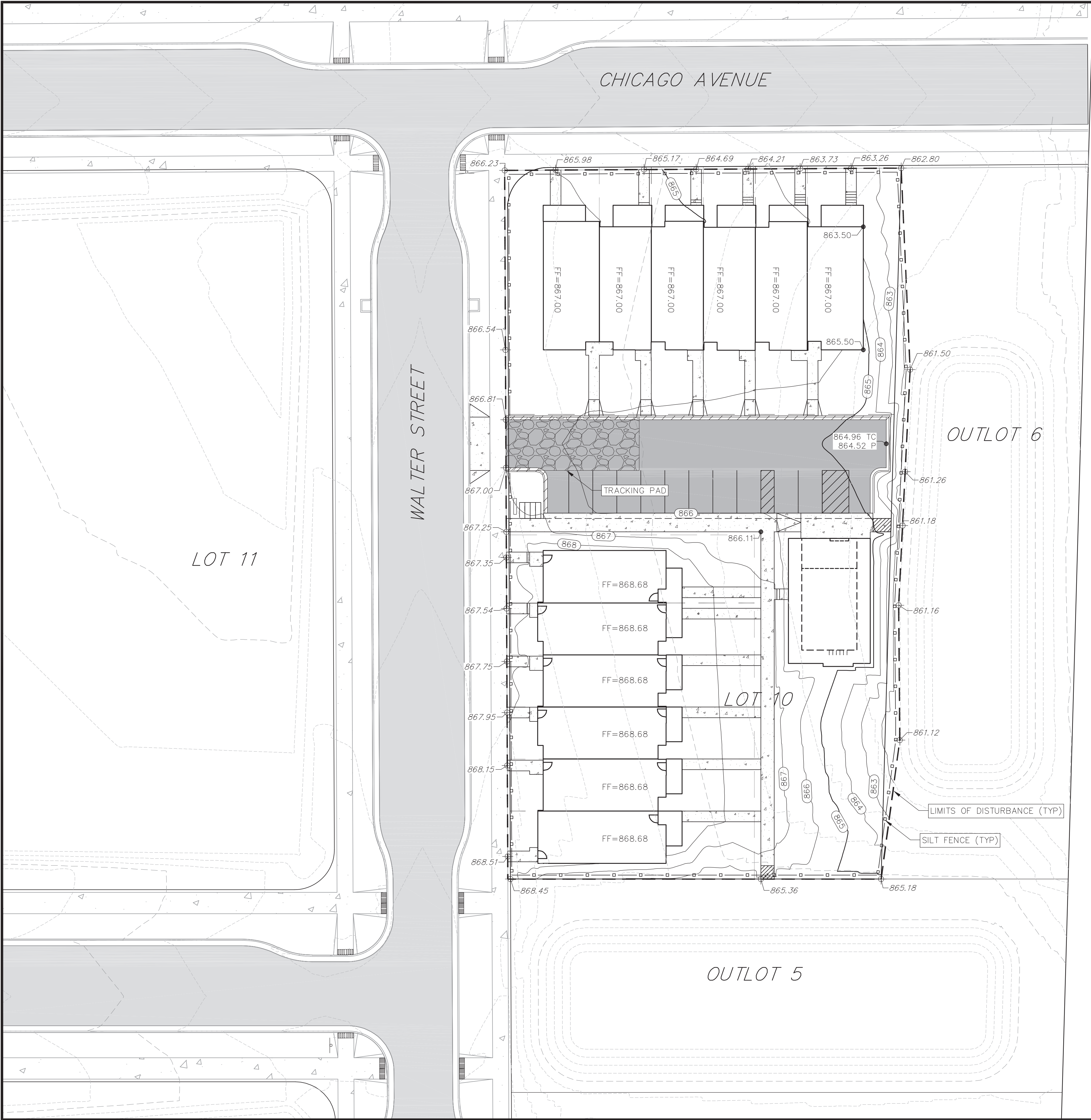
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RKOL

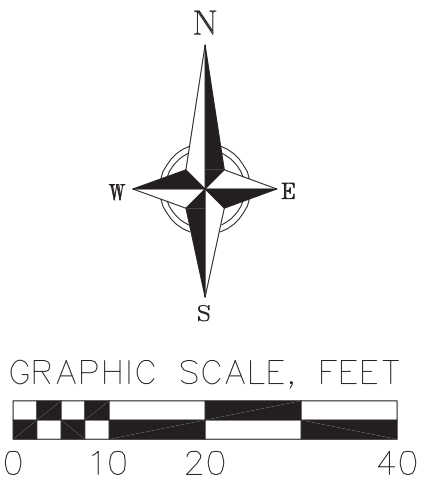
PROJECT NO.
250040

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GRADING LEGEND

- 820--- EXISTING MAJOR CONTOURS
- 818--- EXISTING MINOR CONTOURS
- (820)--- PROPOSED MAJOR CONTOURS
- (818)--- PROPOSED MINOR CONTOURS
- - - - - DITCH CENTERLINE
- o--- SILT FENCE
- DISTURBED LIMITS
- BERM
- > DRAINAGE DIRECTION
- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS I, TYPE A
- EROSION MAT CLASS II, TYPE B
- EROSION MAT CLASS III, TYPE C
- EROSION MAT CLASS II, TYPE A
- TRACKING PAD
- RIP RAP



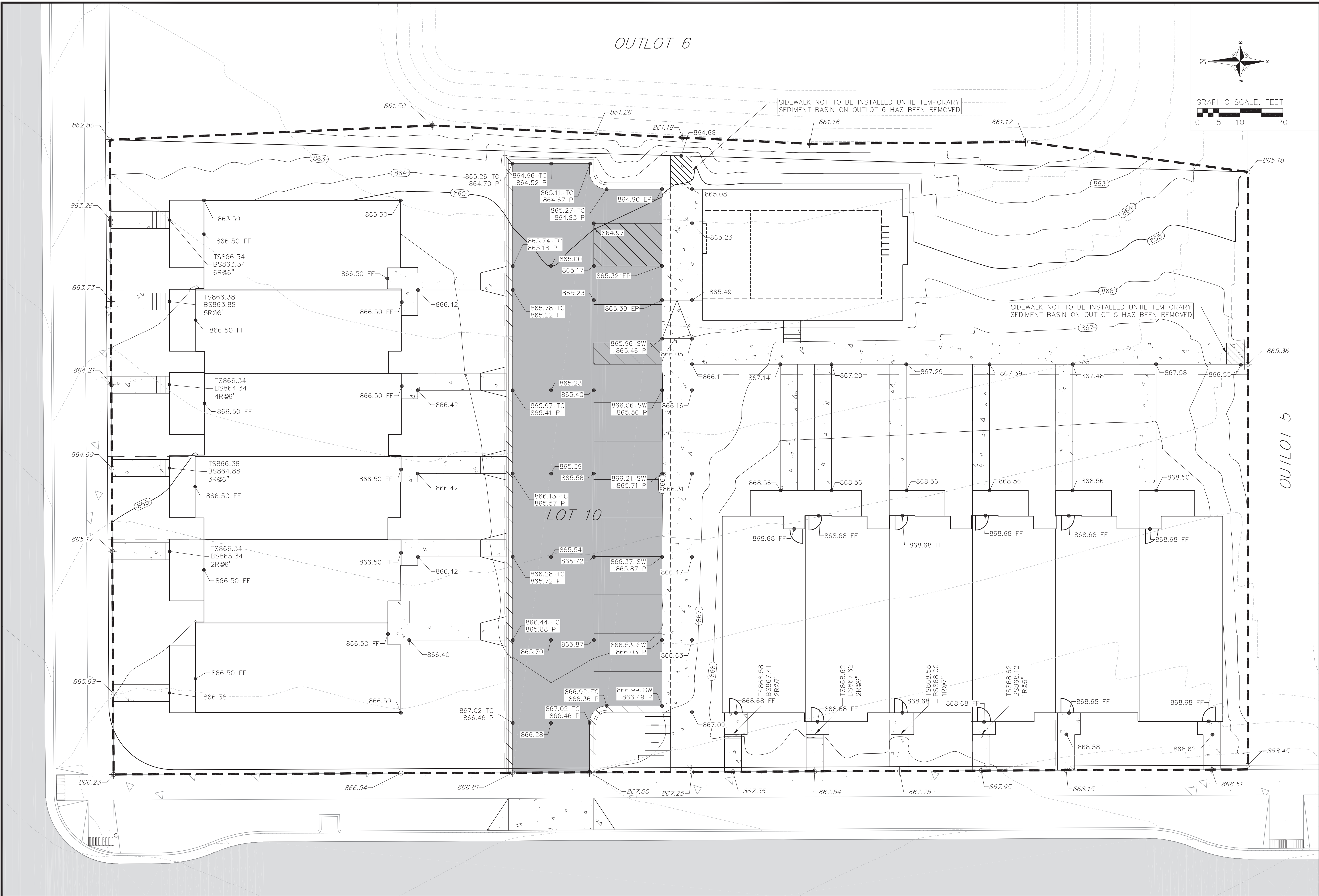
ABBREVIATIONS

TC	-	TOP OF CURB
FF	-	FINISHED FLOOR
FL	-	FLOW LINE
SW	-	TOP OF WALK
TW	-	TOP OF WALL
BW	-	BOTTOM OF WALL

- GRADING NOTES:**
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
 - CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
 - LONGITUDINAL GRADE OF SIDEWALK RAMPs SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE, WHICHEVER IS GREATER.
 - ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPs SHALL BE 8.33% MAX SLOPE.
 - NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
 - SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

REVISIONS NO.	DATE	REMARKS	REVISIONS NO.	DATE	REMARKS

DATE	12/15/2025
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planners engineers advisors

Detailed Grading Plan
Lot 10, Starkweather Plat
City of Madison
Dane County, Wisconsin

REVISIONS		REVISIONS	
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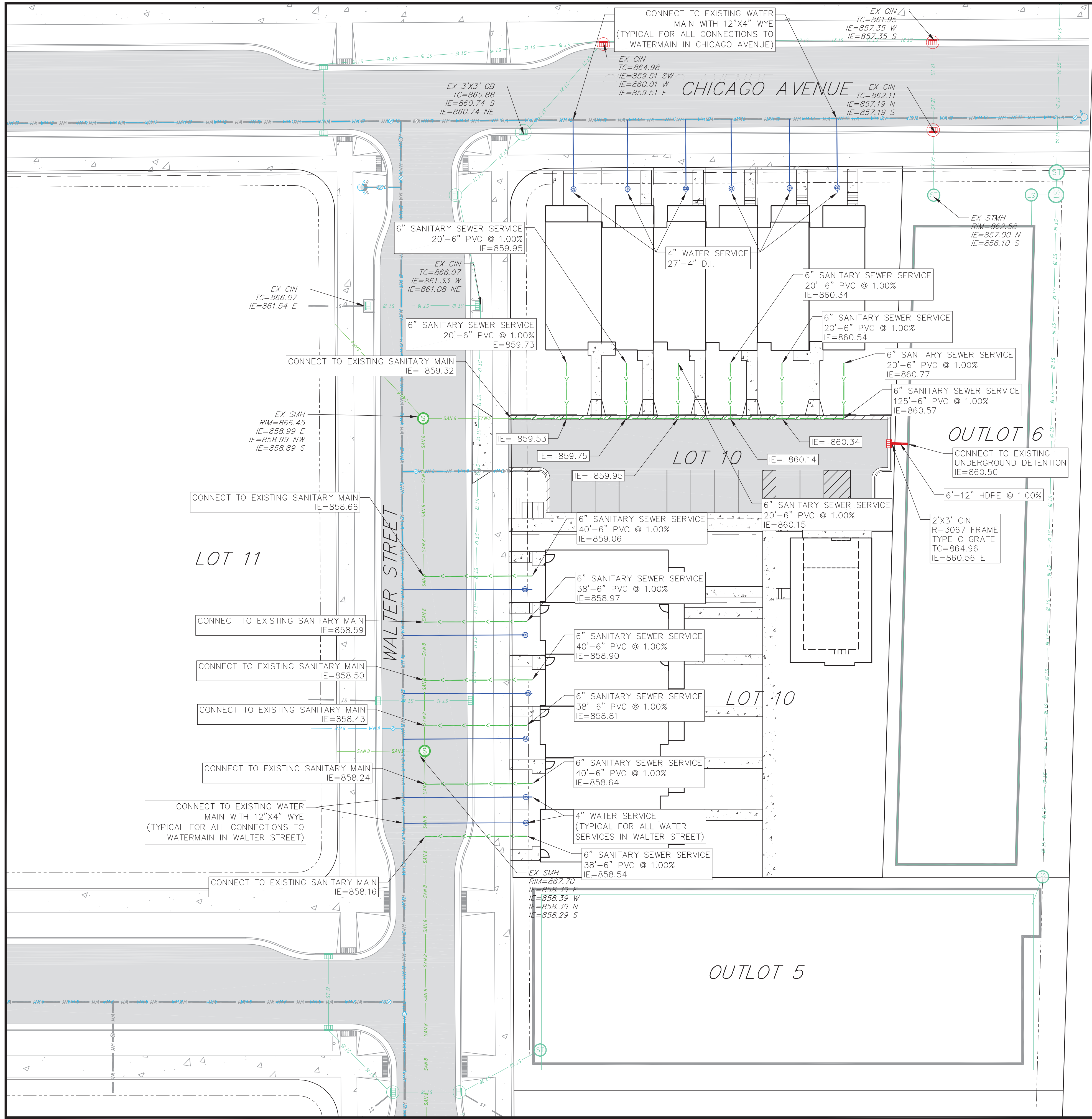
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PROJECT NO.
250040

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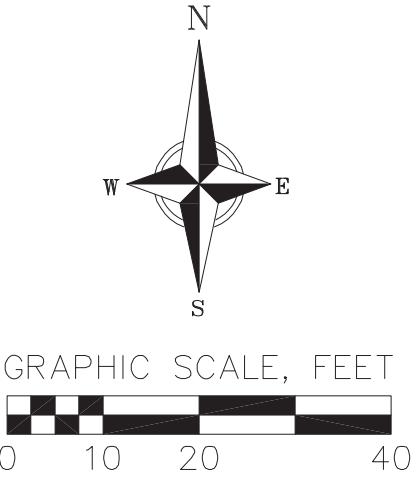


PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

UTILITY NOTES:

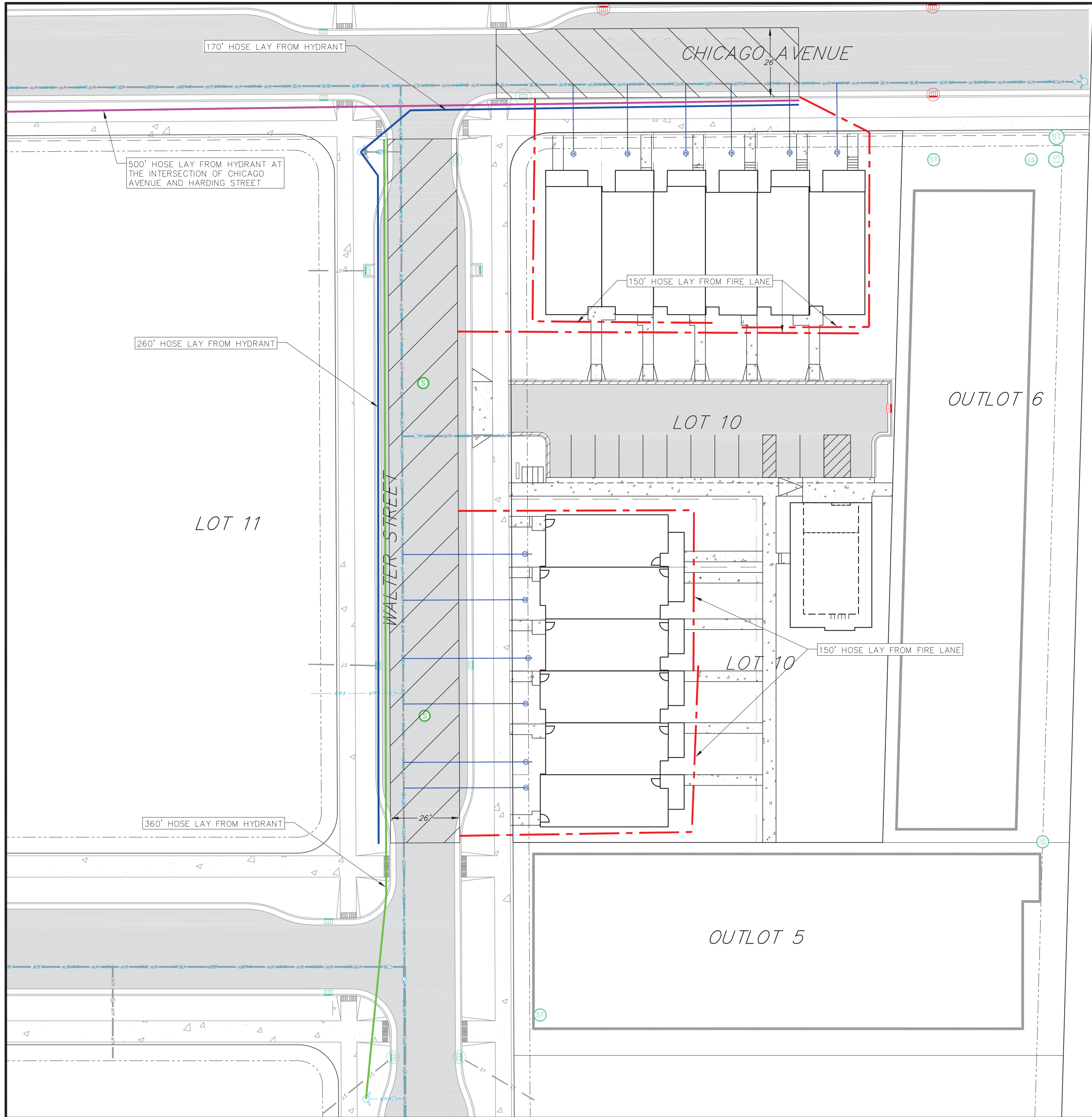
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.



ABBREVIATIONS

STMH	-	STORM MANHOLE
FI	-	FIELD INLET
CI	-	CURB INLET
CB	-	CATCH BASIN
EW	-	ENDWALL
SMH	-	SANITARY MANHOLE

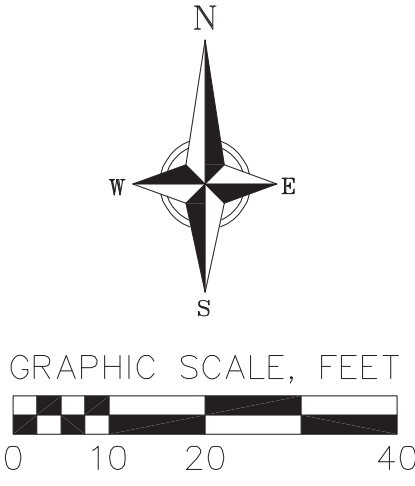
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C104			



FIRE ACCESS LEGEND

- HOSE LAY FROM FIRE LANE
- HOSE LAY FROM HYDRANT
- EXISTING FIRE LANE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- WATER MAIN
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- FIRE LANE NO PARKING SIGN (12"x18")
- LOCATION(S) TO BE DETERMINED BY FIRE DEPARTMENT OR MUNICIPALITY

NOTE:
PROPOSED BUILDING EAVE HEIGHT = 25'



ABBREVIATIONS

STMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE

Fire Access Plan
Lot 10, Starkweather Plat
City of Madison
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	12/15/2025
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PROJECT NO.	250040

CONSTRUCTION SEQUENCE:

- SEEDING RATES:

TEMPORARY

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED

AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

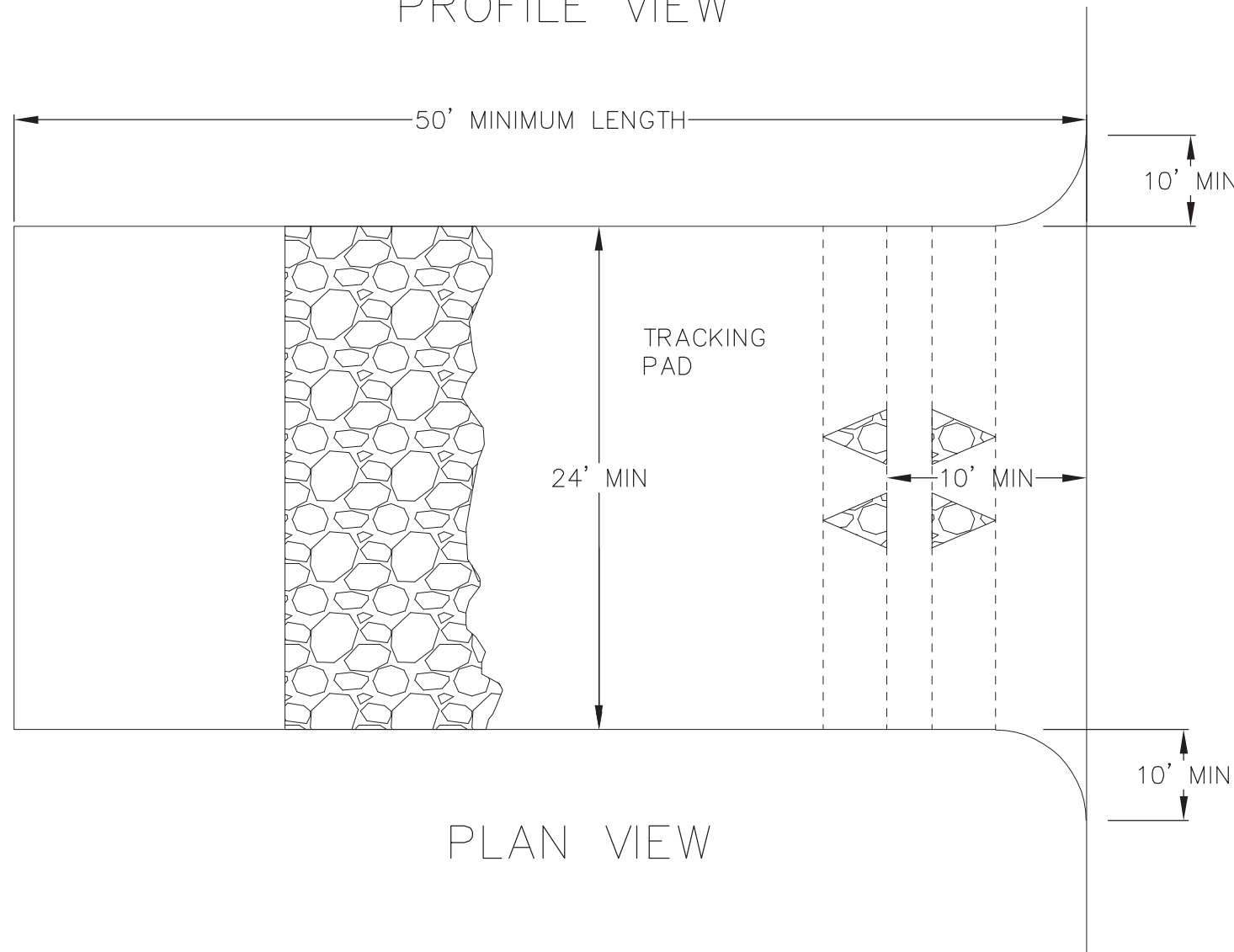
MULCHING RATES:

TEMPORARY AND PERMANENT:

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

-
- Diagram illustrating the cross-section of a culvert structure. Key dimensions and components include:
- 50' MINIMUM LENGTH**: Dimension across the top of the structure.
 - MINIMUM 12" DEEP PAD OF 3" CLEAR STONE OVER FULL LENGTH AND WIDTH OF STRUCTURE**: Dimension for the stone bedding.
 - EXISTING GROUND**: Indicated by a dashed line on the left.
 - EXISTING PAVEMENT**: Indicated by a dashed line on the right.
 - PIPE AS NECESSARY SEE NOTE 6**: Dimension for the pipe diameter.
 - EARTH FILL**: Dimension for the fill above the pipe.
 - MOUNTABLE BERM 6" MIN. HEIGHT (OPTIONAL)**: Dimension for the optional berm.
 - Slopes**: Indicated by **5:1** and **3:1** ratios.

PROFILE VIEW

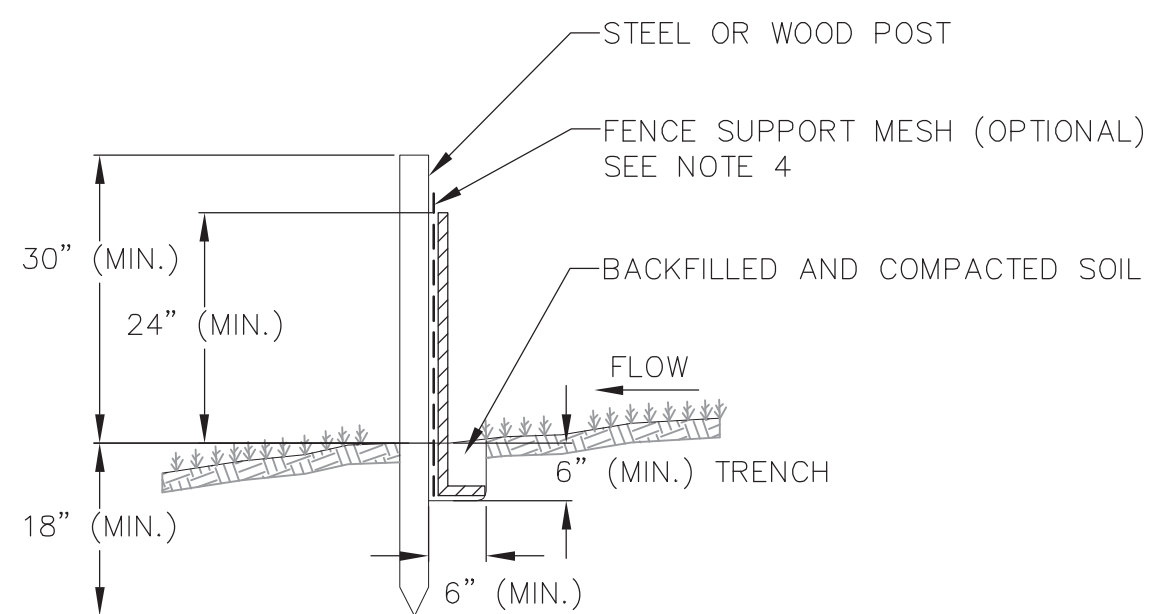


PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH – MINIMUM OF 50’
3. WIDTH – 24’ MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE – CRUSHED 3” CLEAR STONE SHALL BE PLACED AT LEAST 12” DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6” STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6”. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION – A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD

NOT TO SCALE



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

2) SILT FENCE

NOT TO SCALE

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C106			



- 1 EROSION MAT
6.1 NOT TO SCALE

PROTECTION, ALL MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.

REPLACEABLE FILTER BAG W/STAINLESS CLAMPING BAND

CURB BACK EXTENSION

FLEXSTORM CATCH-IT INLET FITLERS FOR CURB BOX OPENINGS (MAGNETIC CURB FLAP)



FLEXSTORM CATCH-IT INLET FILTERS FOR
SQUARE/RECTANGULAR OPENINGS

NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

2 FRAMED INLET PROTECTION
6.1 NOT TO SCALE



3 RIP-RAP OUTLET
6.1 NOT TO SCALE

Construction Details

Lot 10, Starkweather Plat
City of Madison
Dane County, Wisconsin

REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS

DATE
12/15/2025

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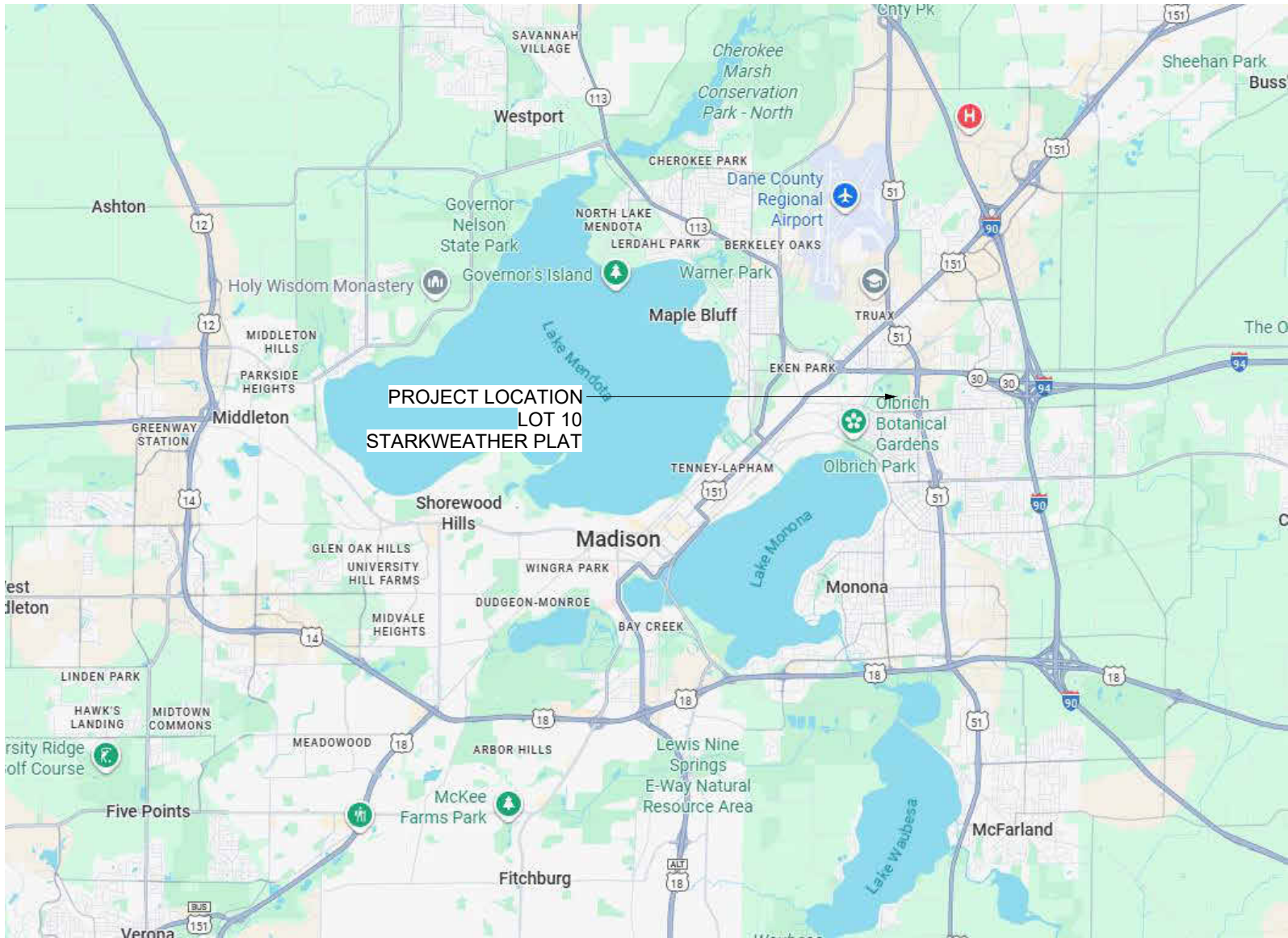
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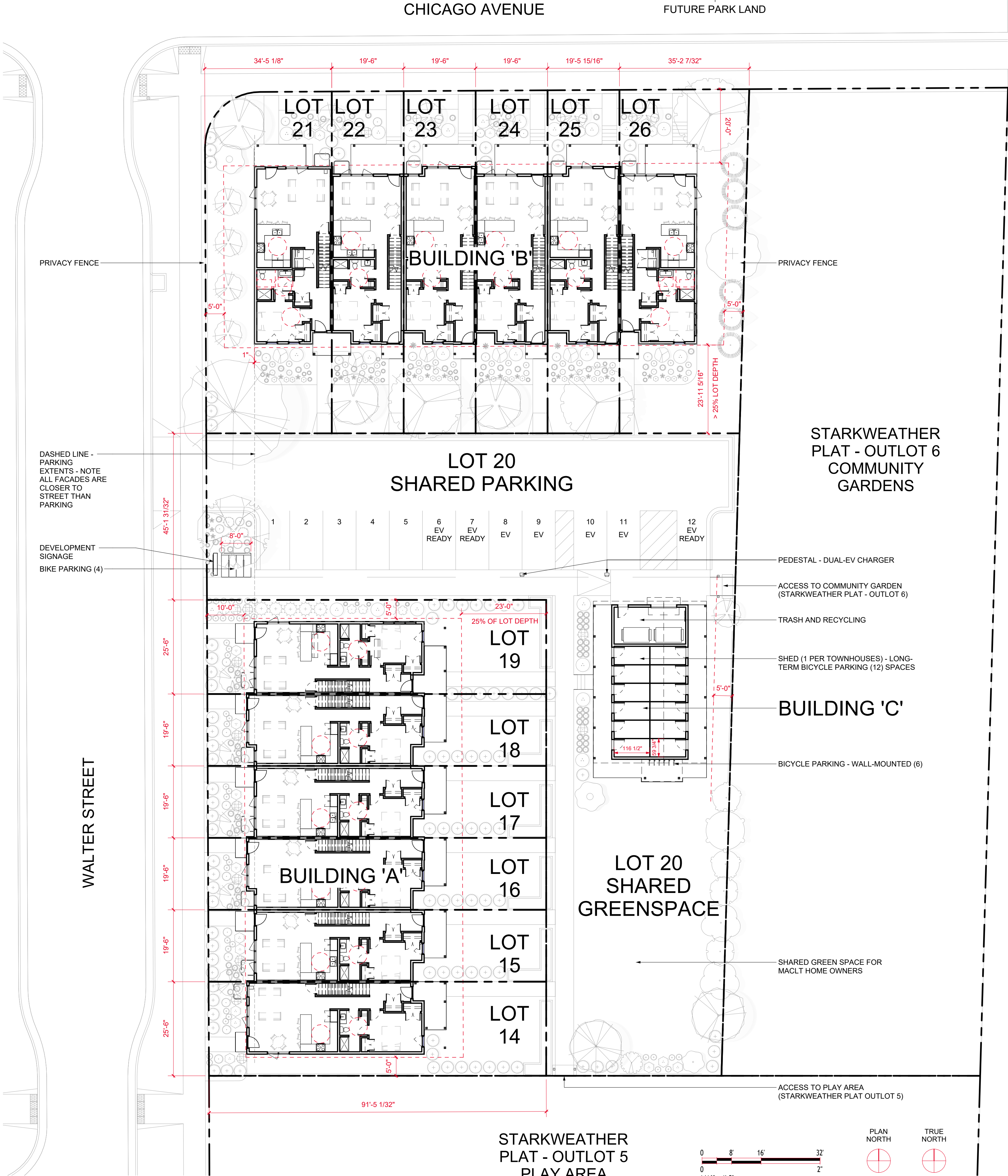
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PRELIMINARY

1A LOCATOR MAP
12" = 1'-0"



3D SITE PLAN - ARCHITECTURAL
1/16" = 1'-0"



SITE INFORMATION

ADDRESS:	LOT 10 OF THE STARKWEATHER PLAT
PARCEL NO:	TBD
ZONING DISTRICT:	TR-V2
ALDERMANIC DISTRICT:	15 (MARTINEZ-RUTHERFORD)
NEIGHBORHOOD ASSOC:	EASTMORLAND COMMUNITY ASSOCIATION
SITE CALCULATIONS	
SITE AREA:	38,221 SF
PROPOSED IMPROVEMENTS:	TBD SF TOTAL LOT COVERAGE (X%)
	TBD SF REMAINDER GREEN SPACE (X%)
DWELLING UNITS	12 DWELLINGS (2-STORIES PLUS BASEMENT)
	(10) 3-BEDROOM PLUS DEN
	(2) 4-BEDROOM PLUS DEN
	AVERAGE GROSS BUILDING AREA 2,739 SF (WITH BASEMENT)
BUILDING FOOTPRINTS	BUILDING A FOOTPRINT: 5,417 GSF
	BUILDING B FOOTPRINT: 5,542 GSF
	BUILDING C FOOTPRINT: 1,438 GSF
	TOTAL: 12,397 GSF
PERVIOUS AREA	BUILDING A FOOTPRINT: 5,417 GSF
	BUILDING B FOOTPRINT: 5,542 GSF
	BUILDING C FOOTPRINT: 1,438 GSF
	SITE PARKING: 5,899 GSF
	TOTAL: 18,296 GSF
SITE AREA	38,211 SF (0.877 ACRES)
	48% PERVIOUS

ZONING INFORMATION

SINGLE-FAMILY ATTACHED REQUIREMENTS (MGO 28.043)		
	PERMITTED	PROPOSED / PROVIDED
PRINCIPAL DWELLING(S):	8 DU MAX/LOT	1 DU/LOT (<8)
LOT AREA (MIN):	1,500 SF	SEE TABLE
LOT WIDTH (MIN):	15'	SEE PLAN
SETBACK - FRONT YARD:	20' (30' MAX OR 20%)	20' & 10'
SETBACK - SIDE YARD:	5' OR 6'	> 5'
SETBACK - REV CORNER:	12'	NA
SETBACK - REAR YARD:	LESSER OF 25' OR 25% LOT DEPTH	BLDG A: 22'-10 1/2"
HEIGHT:	3-STORIES & 40'	BLDG B: 23'-6"
MAX LOT COVERAGE:	<90%	2-STORIES / 25' +/-
USABLE OPEN SPACE:	100 SF/DU	>100 SF/DU
MAX BUILDING COVER:	NA	NA
AUTOMOBILE PARKING:	1/DU	1/DU
BICYCLE PARKING:	1/DU	1/DU - STORAGE BUILDING + SITE

SCHEDULE - LOTS	
LOT NUMBER	AREA
LOT 14	2,333 SF
LOT 15	1,786 SF
LOT 16	1,787 SF
LOT 17	1,789 SF
LOT 18	1,791 SF
LOT 19	2,344 SF
LOT 20 - MACLT SHARED	12,861 SF
LOT 21	3,120 SF
LOT 22	1,808 SF
LOT 23	1,810 SF
LOT 24	1,812 SF
LOT 25	1,814 SF
LOT 26	3,157 SF
STARKWEATHER OUTLOT 5	16,621 SF
STARKWEATHER OUTLOT 6	18,771 SF

LUA/UDC	01	2025.12.15
Issued For	Revision	Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERNEIDER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO 24-0010 DATE 2025.12.15 DRAWN BY SM CHECKED BY SM
THRESHOLD BUILDS	SITE PLAN - ARCHITECTURAL
REVISION	SHEET NO
01	A010

2 INCHES
IF ACTUAL DIMENSION IS NOT 2 INCHES THE
SHEET IS SCALED INPROPERLY

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TB_22x34_V24.01 12/14/2025 10:32:19 PM



1 PERSPECTIVE VIEW



2 PERSPECTIVE VIEW

LUA/UDC	01	2025.12.15
Issued For	Revision	Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS WERNICHER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
	STATUS UDC - INFORMATIONAL	
CLIENT MADISON AREA COMMUNITY LAND TRUST	INFORMATION	24-0010
PROJECT LOT 10 - TOWNHOMES	PROJECT NO	DATE
	DRAWN BY	2025.12.15
	CHECKED BY	SM
	SHEET NAME	SM
THRESHOLD BUILDS	EXTERIOR VISUALS	
	REVISION	SHEET NO
	01	A020



1 PERSPECTIVE VIEW



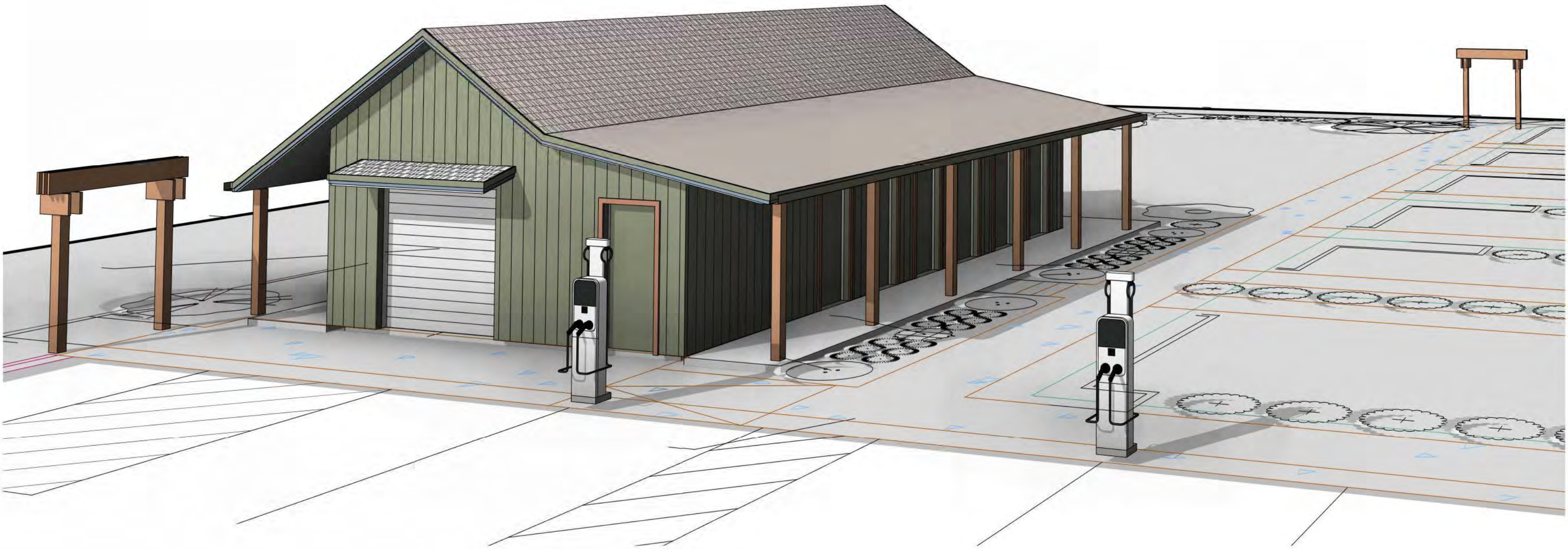
2 PERSPECTIVE VIEW

LUA/UDC	01	2025.12.15
Issued For	Revision	Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBOSER ASSOCIATES		PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
CLIENT MADISON AREA COMMUNITY LAND TRUST		STATUS UDC - INFORMATIONAL	
PROJECT LOT 10 - TOWNHOMES		INFORMATION PROJECT NO	24-0010
		DATE	2025.12.15
		DRAWN BY	SM
		CHECKED BY	SM
		SHEET NAME	EXTERIOR VISUALS
THRESHOLD BUILDS		REVISION	SHEET NO
		01	A021



1 PERSPECTIVE VIEW

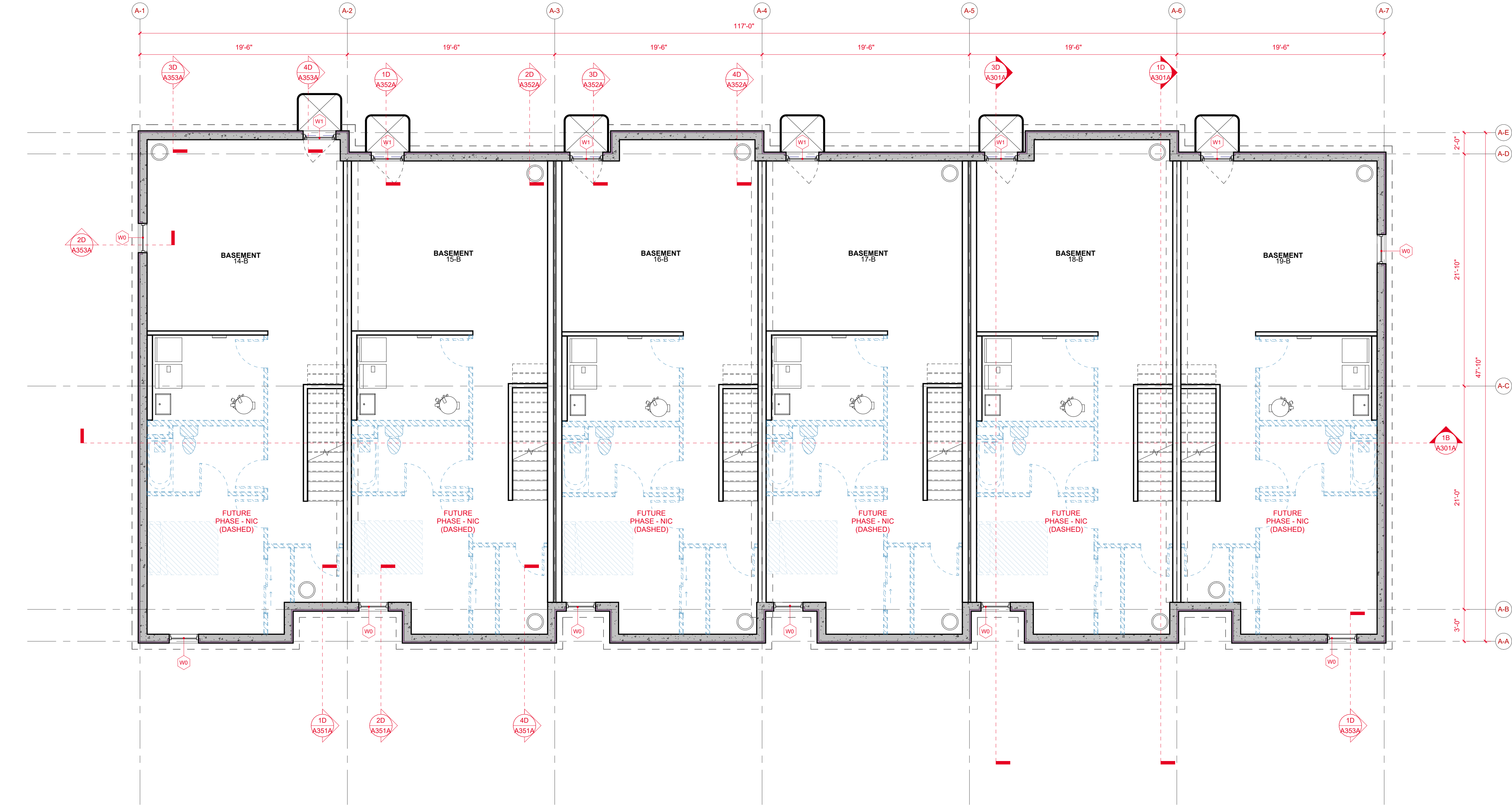


2 PERSPECTIVE VIEW

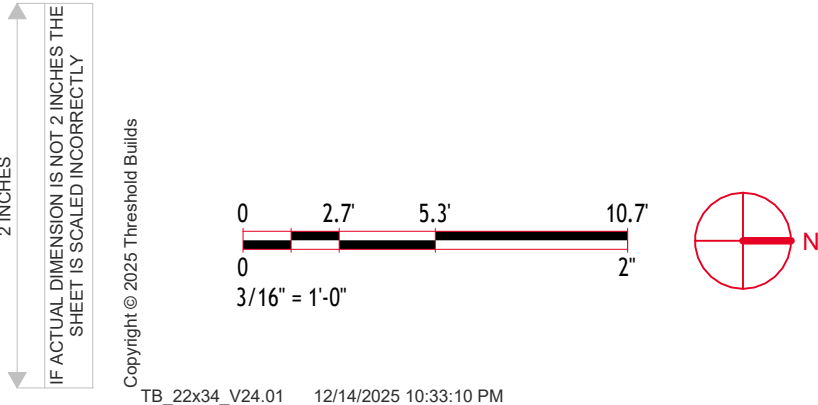
LUA/UDC	01	2025.12.15
Issued For	Revision	Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS WEBER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
	STATUS UDC - INFORMATIONAL	
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	INFORMATION	24-0010
	PROJECT NO	2025.12.15
Copyright © 2025 Threshold Builds, LLC	DATE	SM
	DRAWN BY	SM
THRESHOLD BUILDS	CHECKED BY	SM
	SHEET NAME	EXTERIOR VISUALS
REVISION	SHEET NO	
	01 A022	

PRELIMINARY

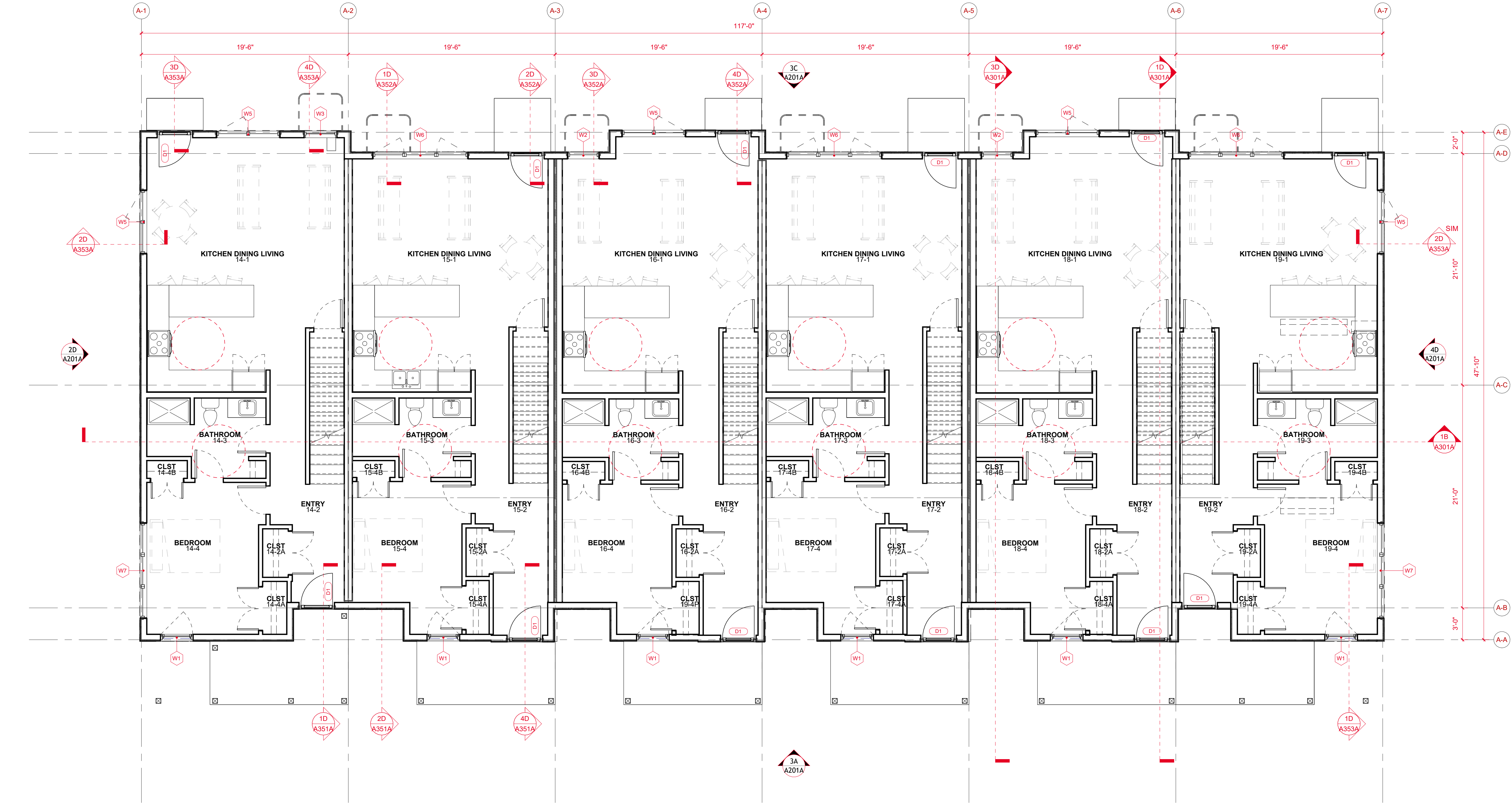


1C BUILDING A - BASEMENT PLAN
3/16" = 1'-0"

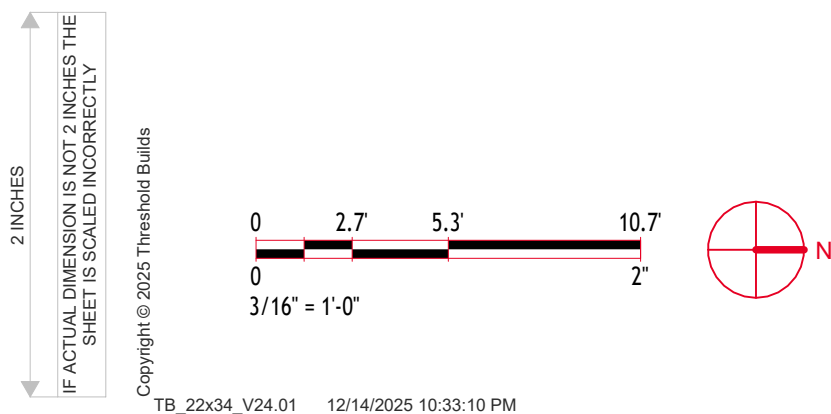


LUA/UDC Issued For	01 Revision	2025.12.15 Date
PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBOSCH ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO 24-0010 DATE 2025.12.15 DRAWN BY SM CHECKED BY SM	
Copyright © 2025 Threshold Builds	SHEET NAME BUILDING A - FLOOR PLAN - BASEMENT	
THRESHOLD BUILDS	REVISION SHEET NO 01 A100A	

PRELIMINARY



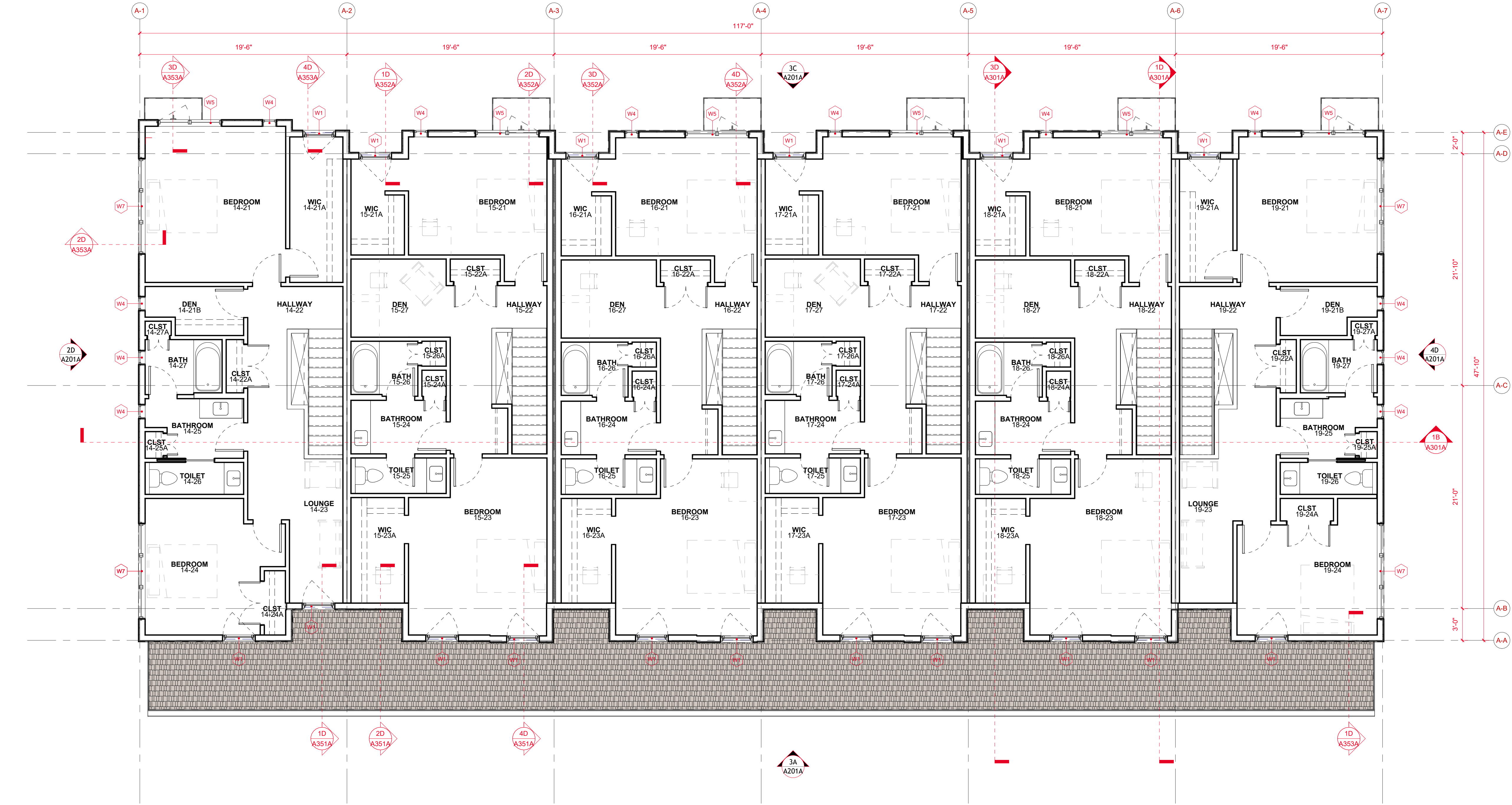
1C BUILDING A - FLOOR PLAN - LEVEL 01
3/16" = 1'-0"



LUA/UDC Issued For	01 Revision	2025.12.15 Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBOSER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO 24-0010 DATE 2025.12.15 DRAWN BY SM CHECKED BY SM SHEET NAME
THRESHOLD BUILDS	BUILDING A - FLOOR PLAN - LEVEL 01
REVISION	SHEET NO
01	A101A

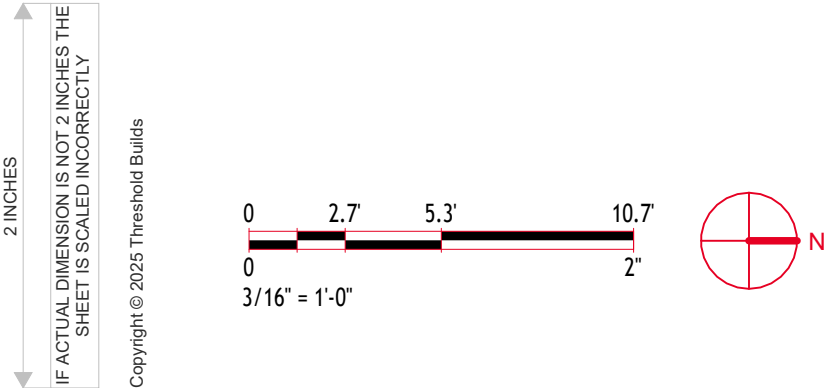
PRELIMINARY



1C BUILDING A - FLOOR PLAN - LEVEL 02
3/16" = 1'-0"

LUA/UDC Issued For	01 Revision	2025.12.15 Date

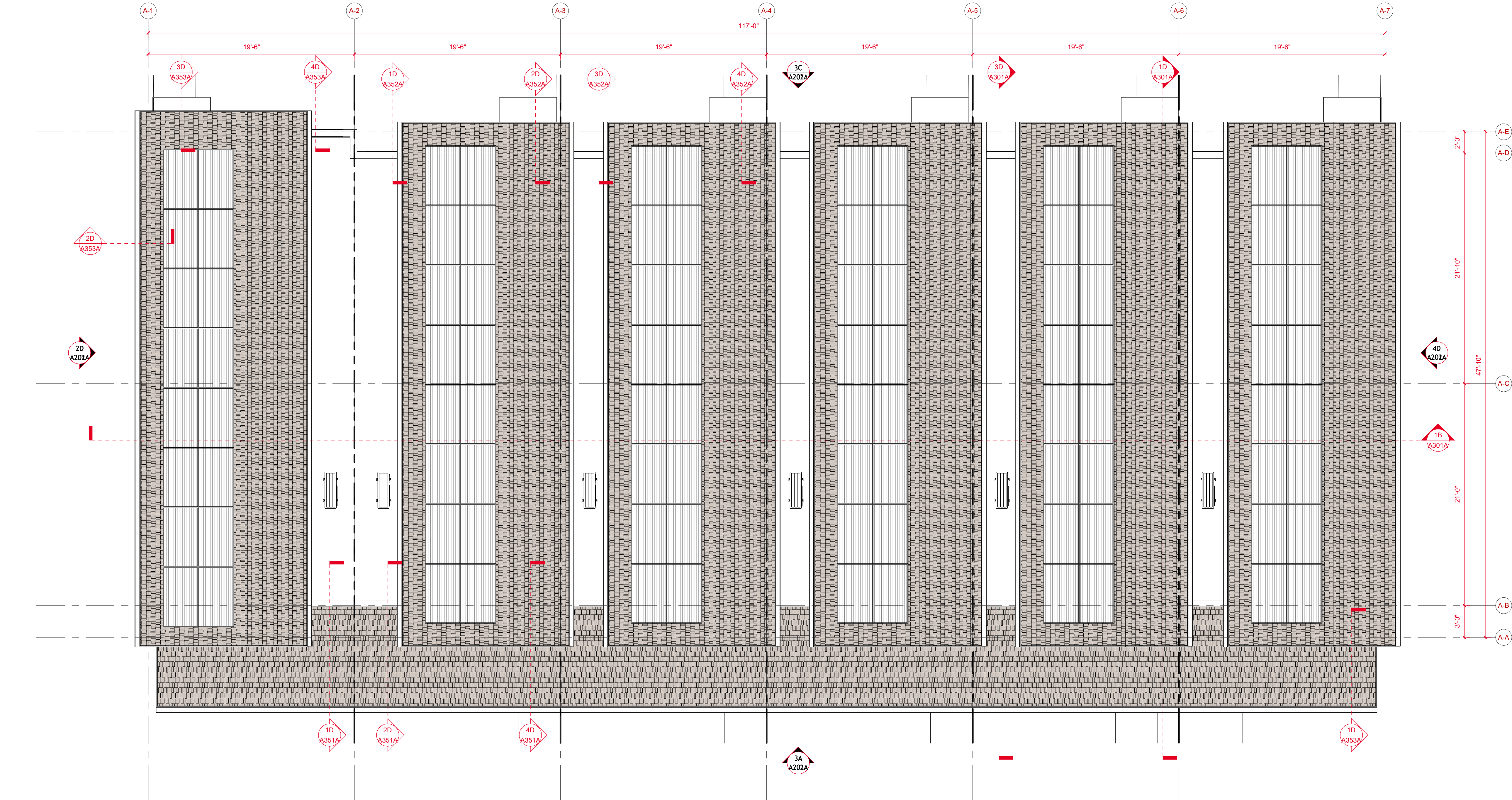
PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBOSER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO DATE DRAWN BY CHECKED BY SHEET NAME
THRESHOLD BUILDS	BUILDING A - FLOOR PLAN - LEVEL 02
REVISION	SHEET NO
01	A102A



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PRELIMINARY



1C BUILDING A - ROOF PLAN
3/16" = 1'-0"

LUA/UDC	01	2025.12.15
Issued For	Revision	Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS WERNER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO DATE 2025.12.15 DRAWN BY SM CHECKED BY SM	
THRESHOLD BUILDS	BUILDING A - ROOF PLAN	
	REVISION SHEET NO 01 A103A	

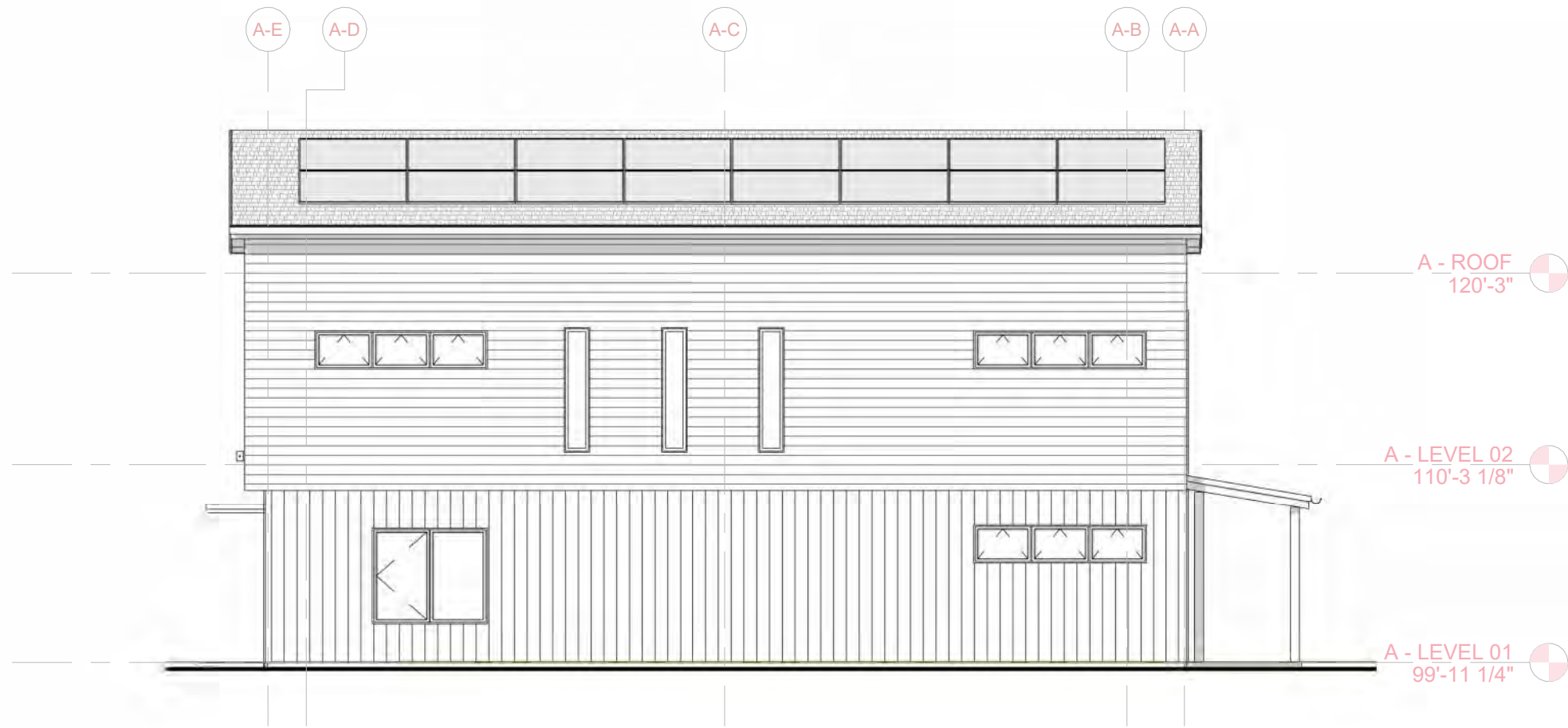
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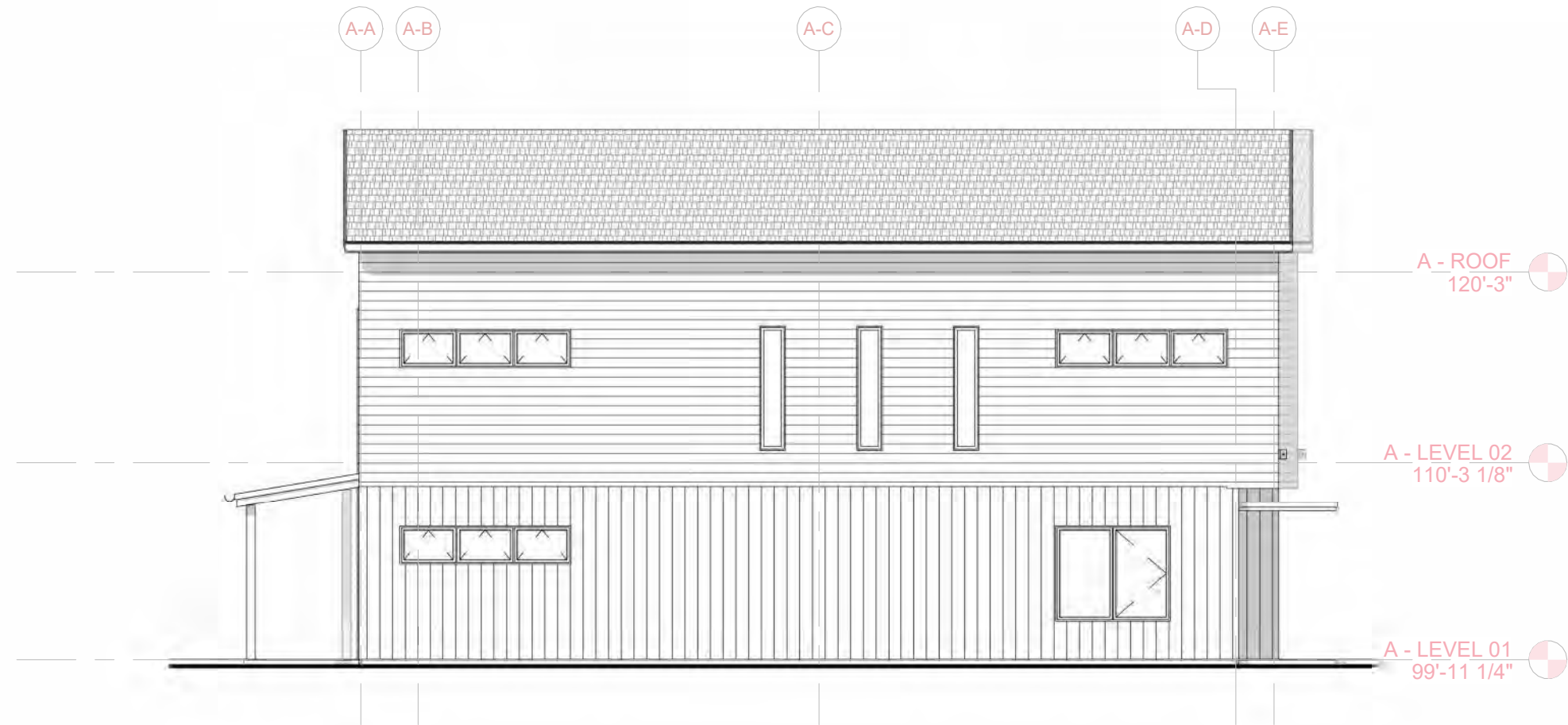
3A EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



3C EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



2D EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



4D EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

Material ID Schedule

ID	Spec	Description
EPDM	07 53 23	EPDM ROOFING
FAF-01	07 25 00	TYVEK FAF, OR SIM
INSUL-01	07 21 00	GPS
INSUL-02	07 21 00	EPS
INSUL-03	07 21 00	BIBS
INSUL-04	07 21 00	CC-SPF
INSUL-05	07 21 00	LOOSE-FILL CELLULOSE
INSUL-06	07 21 00	MINERAL WOOL
MET-01	07 41 13	STANDING-SEAM METAL
MET-02	07 42 13	CORRUGATED METAL
SAM-01	07 25 00	DUPONT FLEXWRAP
SAM-02	07 25 00	HENRY BLUESKIN SA
SDNG-01	07 46 42	LAP SIDING - ENGINEERED
SEALANT	07 92 00	OSI SC175 - GREENGUARD
TAPE-01	07 25 00	TYVEK WINDOW TAPE
TAPE-02	07 25 00	3M 8067
VB-01	07 27 00	STEGO WRAP VB (15-MIL)
VB-02	07 27 00	CERTAINTED MEMBRAIN
WRB-01	07 25 00	TYVEK COMMERCIALWRAP
WRB-02	07 41 13	SA ROOF UNDERLAYMENT

NOTE: REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION

LUA/UDC	01	2025.12.15
Issued For	Revision	Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBOSCH ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
	STATUS UDC - INFORMATIONAL	
CLIENT MADISON AREA COMMUNITY LAND TRUST	INFORMATION PROJECT NO	24-0010
PROJECT LOT 10 - TOWNHOMES	DATE	2025.12.15
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	CHECKED BY	SM
THRESHOLD BUILDS	BUILDING A - ELEVATIONS - EXTERIOR	
	SHEET NAME	
REVISION	SHEET NO	
	01 A201A	

2 INCHES
IF ACTUAL DIMENSION IS NOT 2 INCHES THE
SHEET IS SCALED INCORRECTLY

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0 4 8 16
0 2
1/8" = 1'-0"

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PRELIMINARY

ASPHALT SHINGLE ROOF
WEATHERED WOOD



METAL FASCIA, SOFFIT + GUTTER
PATINA GREEN



LP LAP SIDING
SAND DUNE



LP BOARD + BATTEN SIDING
WOODTONE - OLD CHERRY



LP BOARD + BATTEN SIDING
GARDEN SAGE



3A EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



3C EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



2D EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



4D EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

Material ID Schedule

ID	Spec	Description
EPDM	07 53 23	EPDM ROOFING
FAF-01	07 25 00	TYVEK FAF, OR SIM
INSUL-01	07 21 00	GPS
INSUL-02	07 21 00	EPS
INSUL-03	07 21 00	BIBS
INSUL-04	07 21 00	CC-SPF
INSUL-05	07 21 00	LOOSE-FILL CELLULOSE
INSUL-06	07 21 00	MINERAL WOOL
MET-01	07 41 13	STANDING-SEAM METAL
MET-02	07 42 13	CORRUGATED METAL
SAM-01	07 25 00	DUPONT FLEXWRAP
SAM-02	07 25 00	HENRY BLUESKIN SA
SDNG-01	07 46 42	LAP SIDING - ENGINEERED
SEALANT	07 92 00	OSI SC175 - GREENGUARD
TAPE-01	07 25 00	TYVEK WINDOW TAPE
TAPE-02	07 25 00	3M 8067
VB-01	07 27 00	STEGO WRAP VB (15-MIL)
VB-02	07 27 00	CERTAINTED MEMBRAIN
WRB-01	07 25 00	TYVEK COMMERCIALWRAP
WRB-02	07 41 13	SA ROOF UNDERLAYMENT

NOTE: REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION

LUA/UDC Issued For	01 Revision	2025.12.15 Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBESHER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
	STATUS UDC - INFORMATIONAL	
CLIENT MADISON AREA COMMUNITY LAND TRUST	INFORMATION PROJECT NO	24-0010
PROJECT LOT 10 - TOWNHOMES	DATE	2025.12.15
Copyright © 2025 Threshold Builds, LLC	DRAWN BY	SM
	CHECKED BY	SM
THRESHOLD BUILDS	BUILDING A - ELEVATIONS - EXTERIOR - COLOR	
	REVISION	SHEET NO
	01	A202A

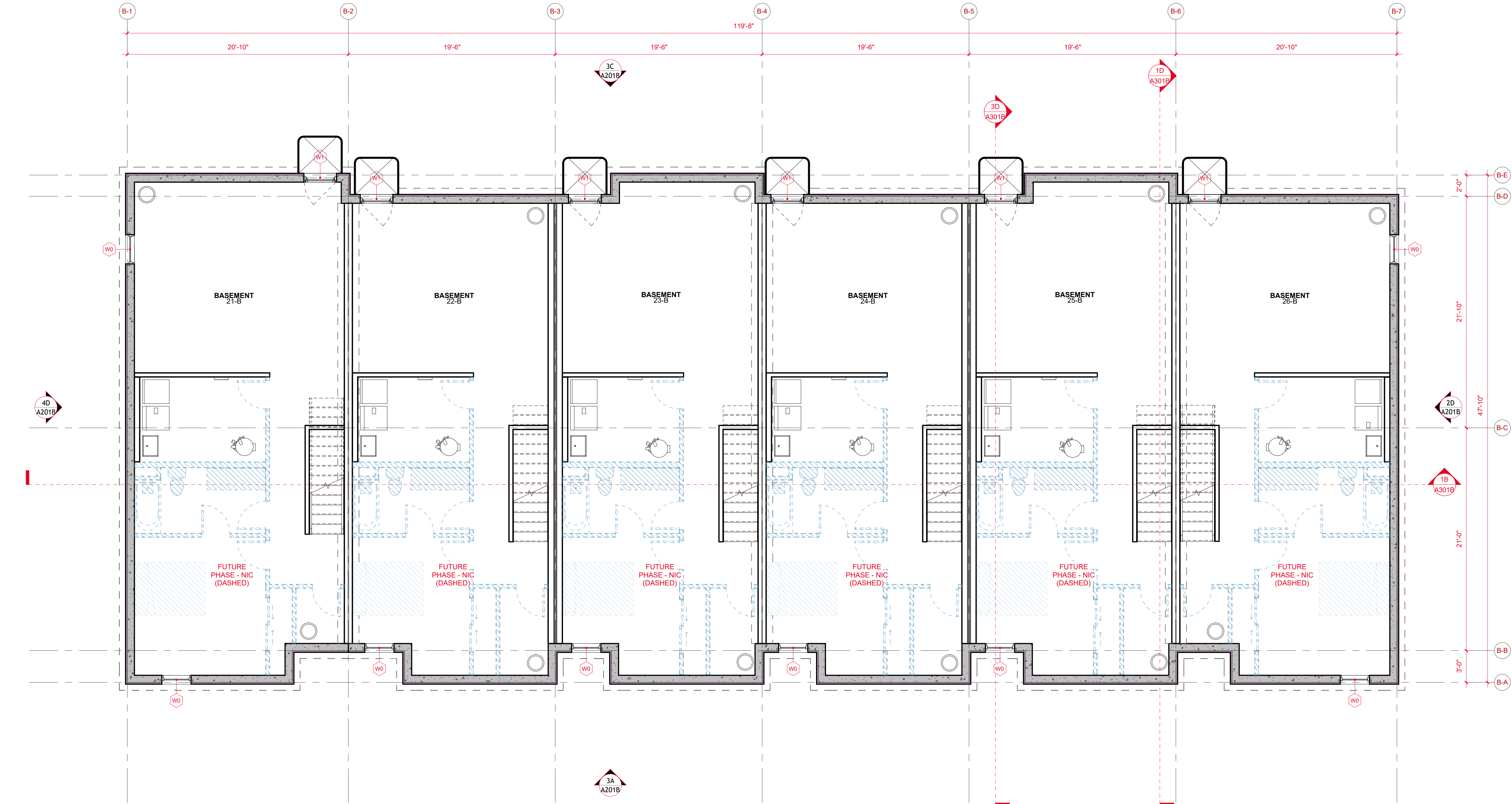
2 INCHES
IF ACTUAL DIMENSION IS NOT 2 INCHES THE
SHEET IS SCALED INCORRECTLY

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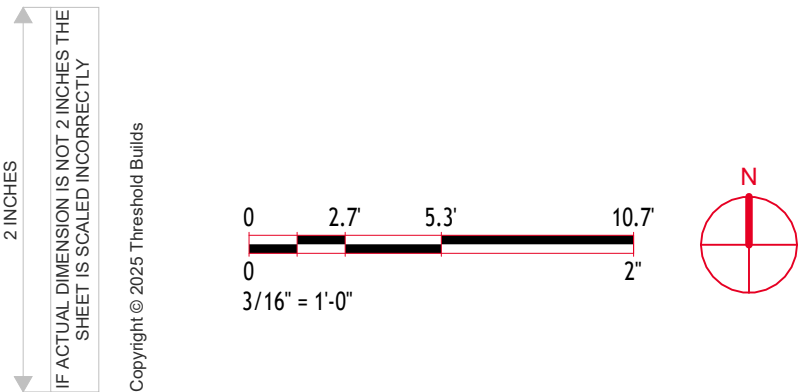
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0 2'
1/8" = 1'-0"

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PRELIMINARY

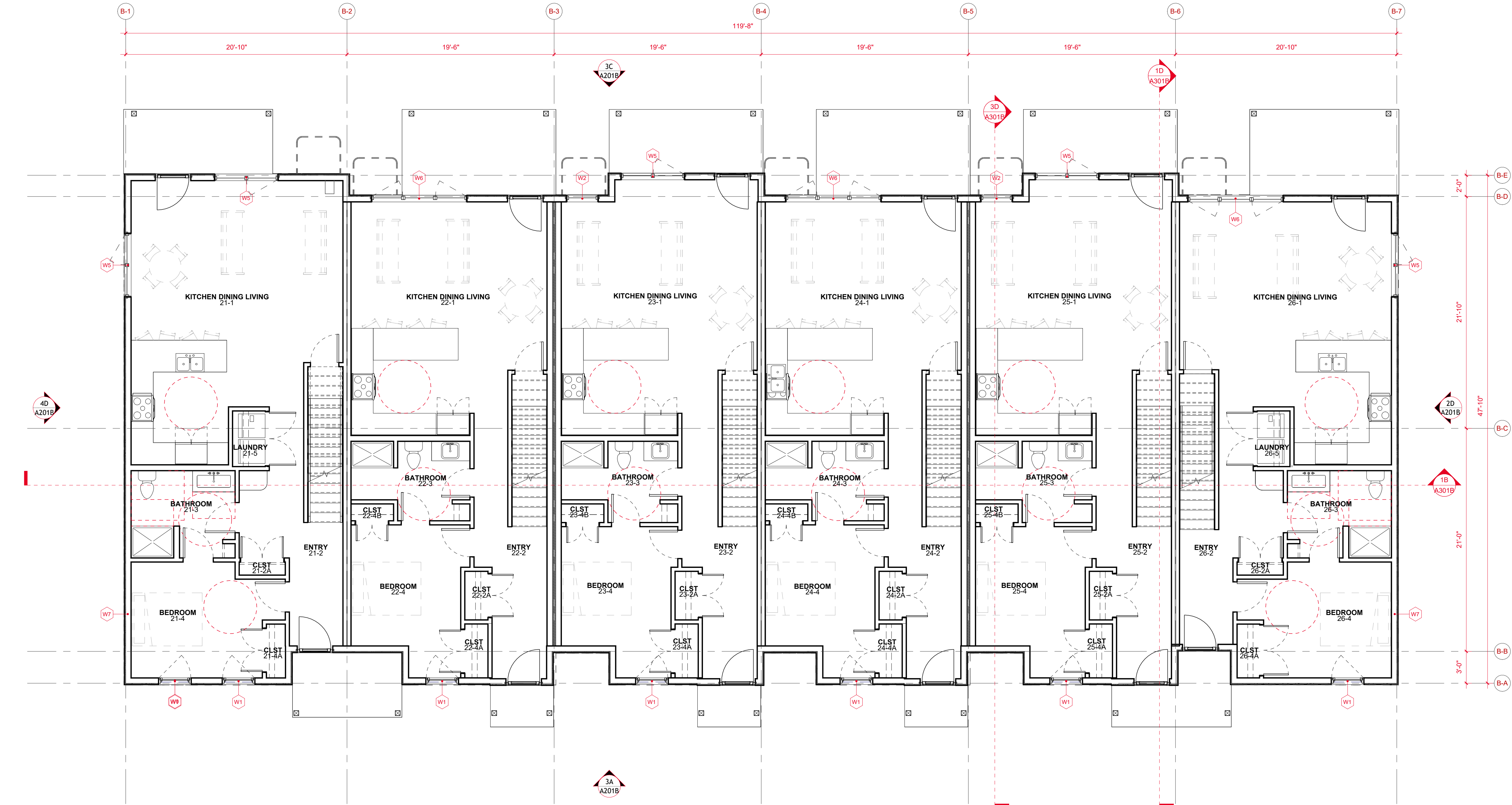


1C BUILDING B - BASEMENT PLAN
3/16" = 1'-0"

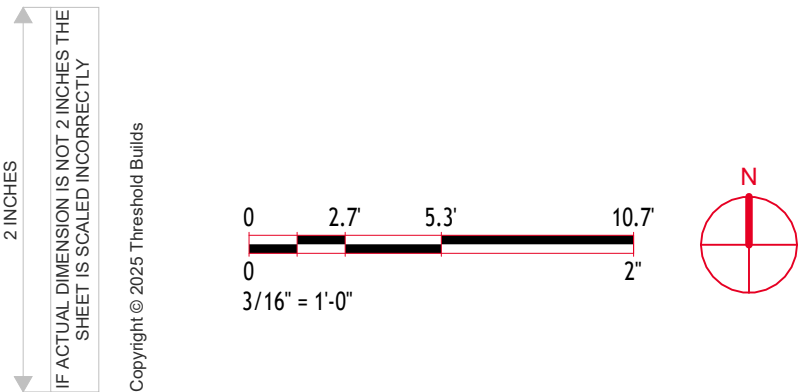


LUA/UDC Issued For	01 Revision	2025.12.15 Date
PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBOSER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO DATE DRAWN BY CHECKED BY SHEET NAME	
THRESHOLD BUILDS		24-0010 2025.12.15 SM SM
BUILDING B - FLOOR PLAN - BASEMENT		
REVISION	SHEET NO	
01	A100B	

PRELIMINARY



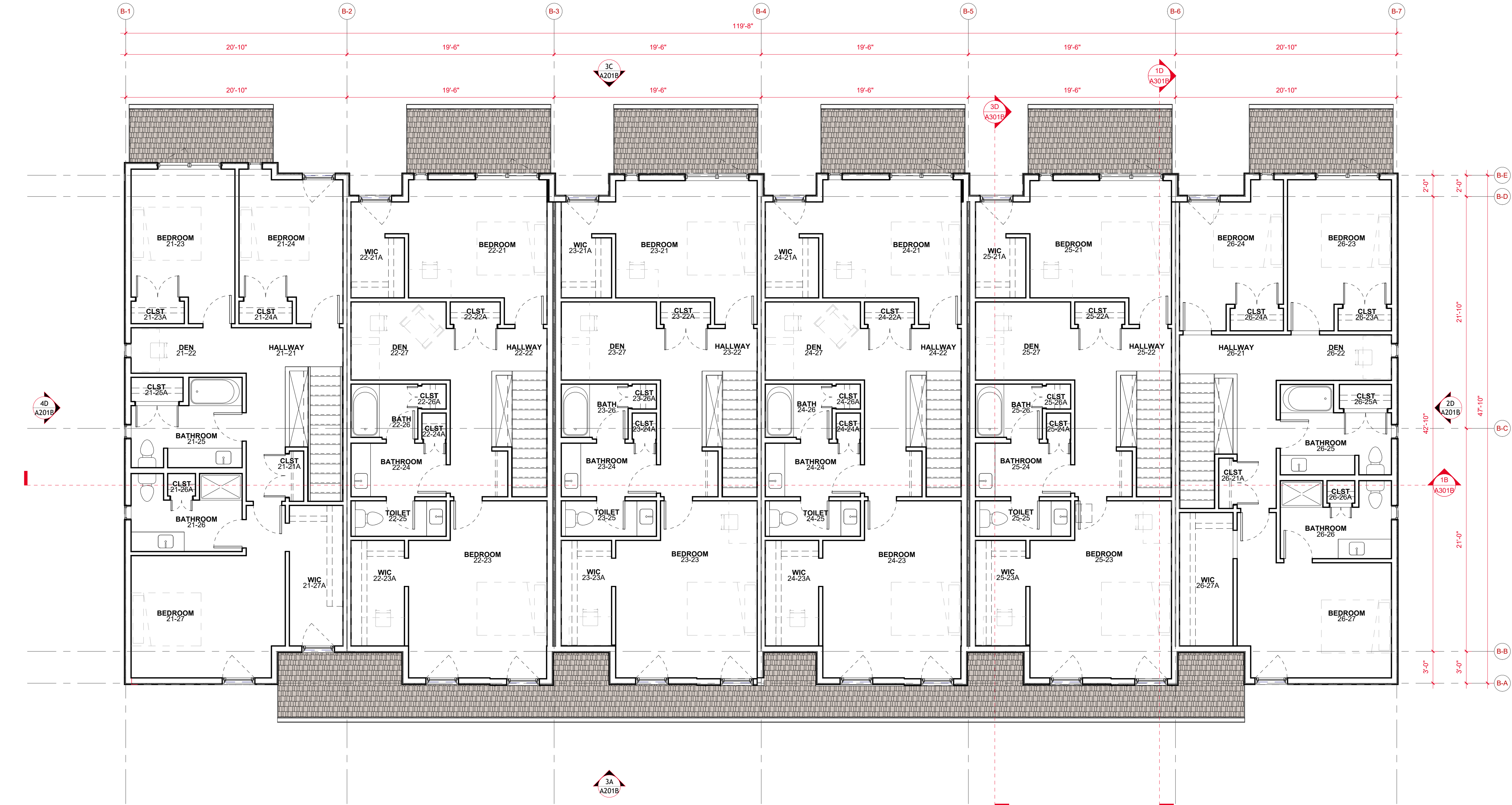
1C BUILDING B - FLOOR PLAN - LEVEL 01
3/16" = 1'-0"



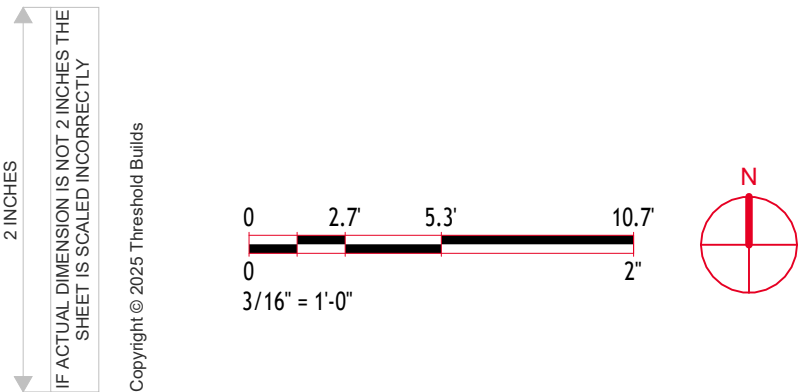
LUA/UDC Issued For	01 Revision	2025.12.15 Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBOSER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO 24-0010 DATE 2025.12.15 DRAWN BY SM CHECKED BY SM SHEET NAME
THRESHOLD BUILDS	BUILDING B - FLOOR PLAN - LEVEL 01
REVISION	SHEET NO 01 A101B

PRELIMINARY



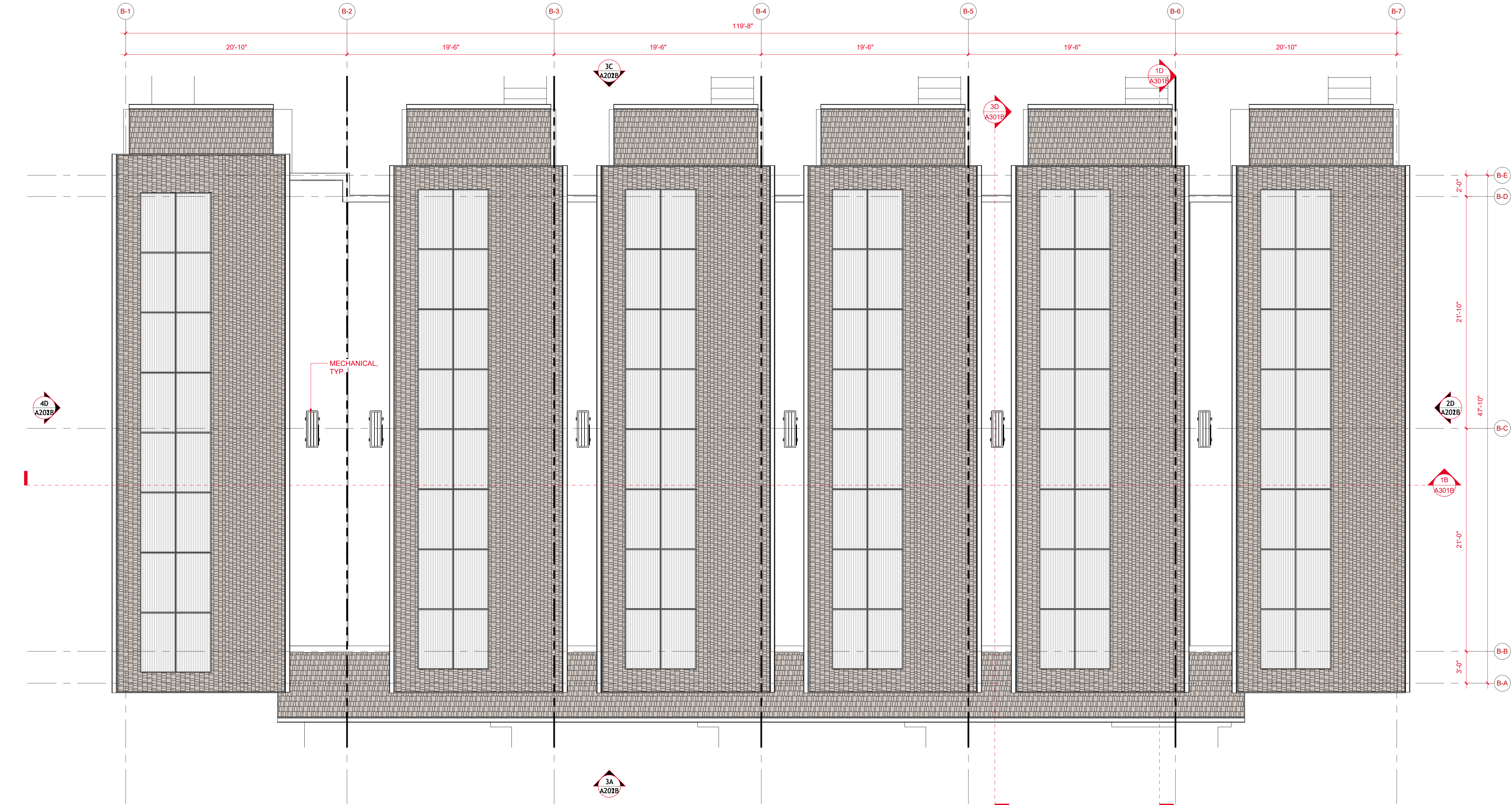
1C BUILDING B - FLOOR PLAN - LEVEL 02
3/16" = 1'-0"



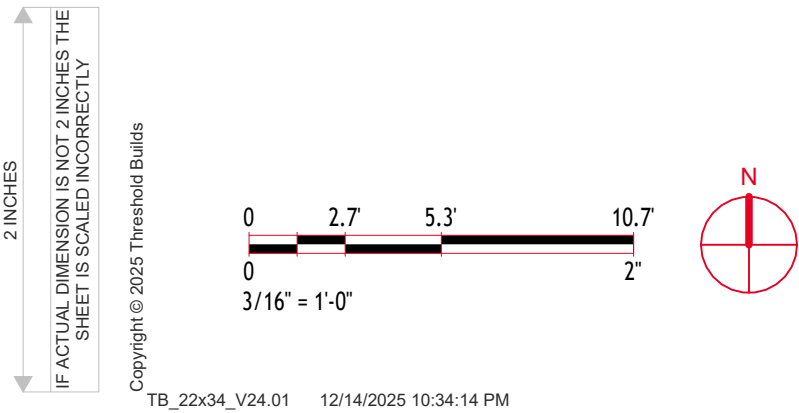
LUA/UDC Issued For	01 Revision	2025.12.15 Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBICHER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO 24-0010 DATE 2025.12.15 DRAWN BY SM CHECKED BY SM
THRESHOLD BUILDS	BUILDING B - FLOOR PLAN - LEVEL 02
REVISION 01	SHEET NO A102B

PRELIMINARY



1C BUILDING B - ROOF PLAN
3/16" = 1'-0"



LUA/UDC Issued For	01 Revision	2025.12.15 Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS WERNICHER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO 24-0010 DATE 2025.12.15 DRAWN BY SM CHECKED BY SM SHEET NAME
THRESHOLD BUILDS	BUILDING B - ROOF PLAN
REVISION 01	SHEET NO A103B

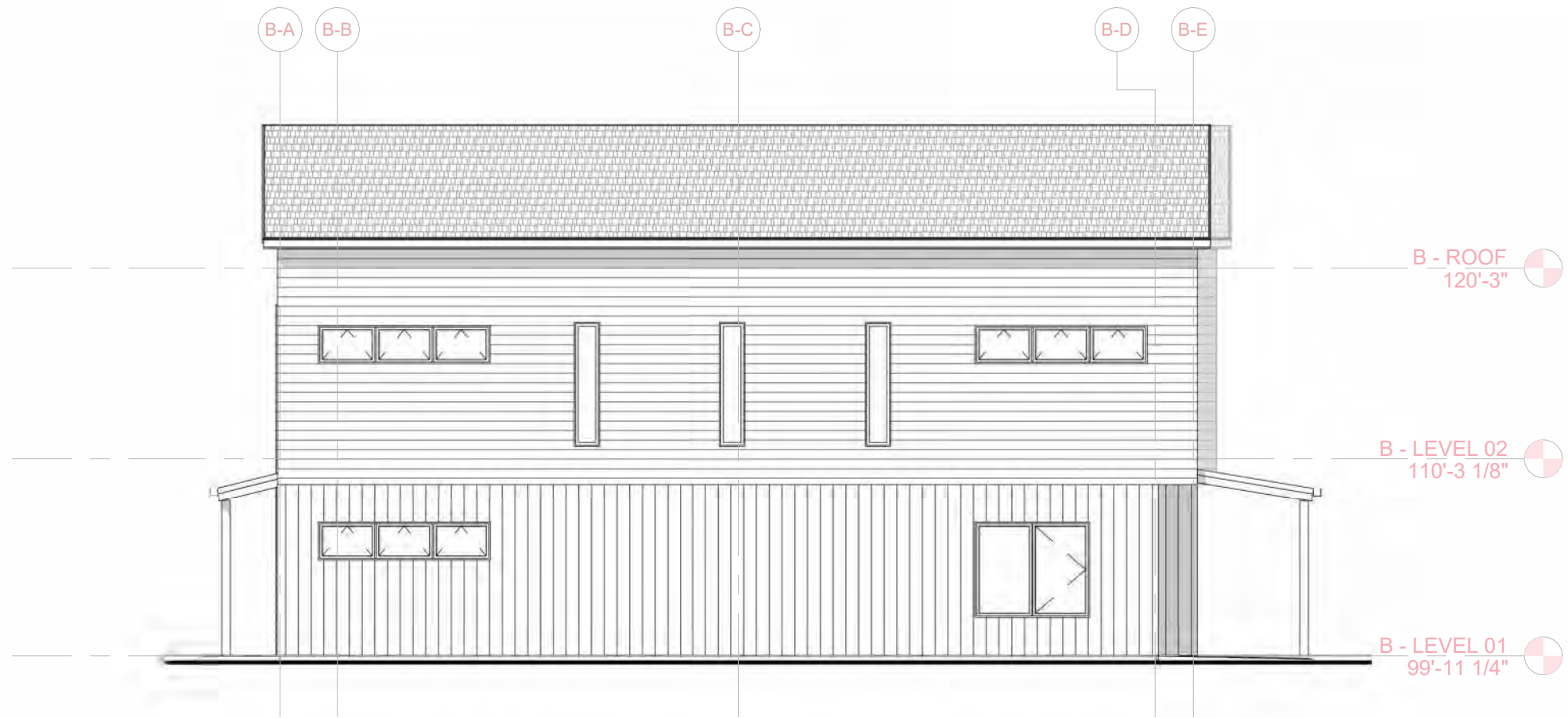
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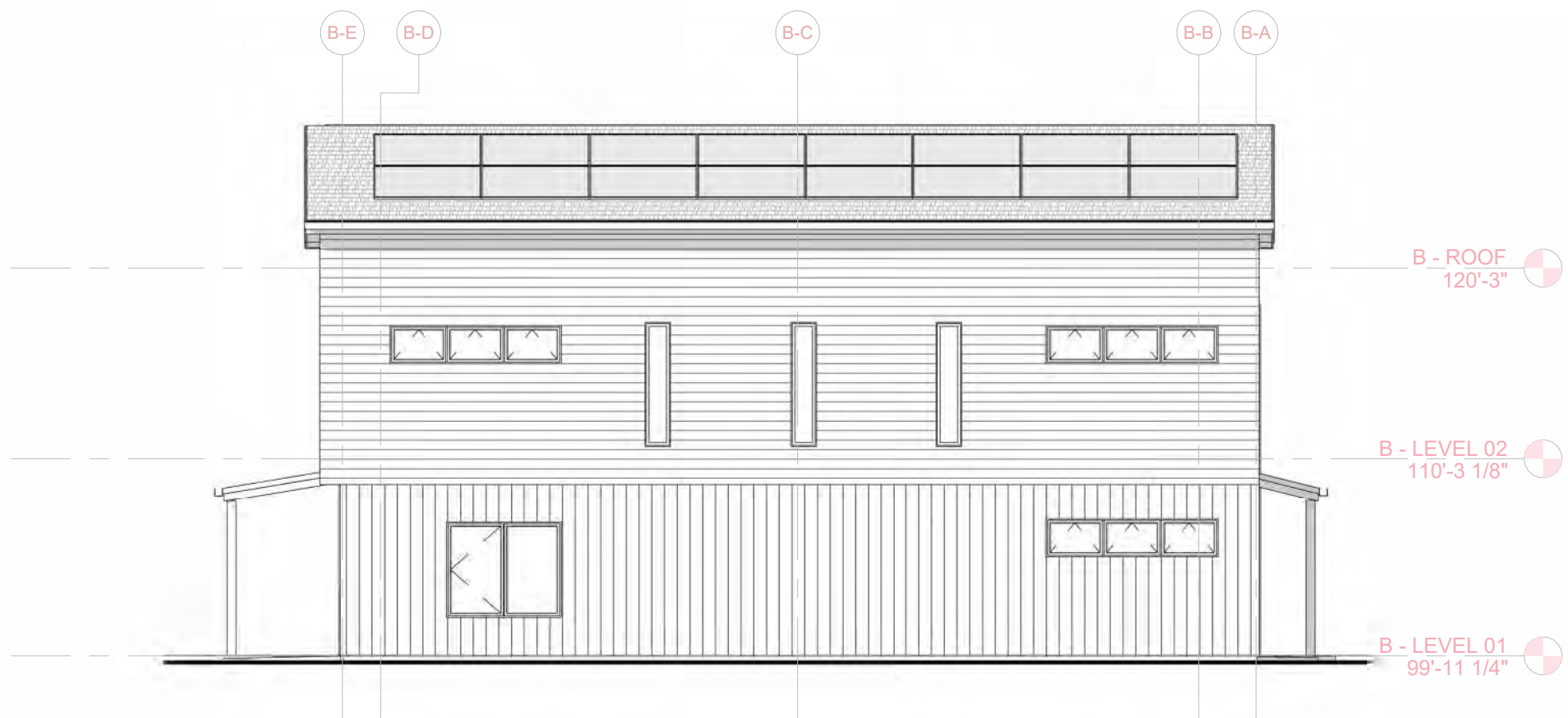
3A EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



3C EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



2D EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



4D EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

Material ID Schedule

ID	Spec	Description
EPDM	07 53 23	EPDM ROOFING
FAF-01	07 25 00	TYVEK FAF, OR SIM
INSUL-01	07 21 00	GPS
INSUL-02	07 21 00	EPS
INSUL-03	07 21 00	BIBS
INSUL-04	07 21 00	CC-SPF
INSUL-05	07 21 00	LOOSE-FILL CELLULOSE
INSUL-06	07 21 00	MINERAL WOOL
MET-01	07 41 13	STANDING-SEAM METAL
MET-02	07 42 13	CORRUGATED METAL
SAM-01	07 25 00	DUPONT FLEXWRAP
SAM-02	07 25 00	HENRY BLUESKIN SA
SDNG-01	07 46 42	LAP SIDING - ENGINEERED
SEALANT	07 92 00	OSI SC175 - GREENGUARD
TAPE-01	07 25 00	TYVEK WINDOW TAPE
TAPE-02	07 25 00	3M 8067
VB-01	07 27 00	STEGO WRAP VB (15-MIL)
VB-02	07 27 00	CERTAINTED MEMBRAIN
WRB-01	07 25 00	TYVEK COMMERCIALWRAP
WRB-02	07 41 13	SA ROOF UNDERLAYMENT

NOTE: REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION

LUA/UDC	01	2025.12.15
Issued For	Revision	Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS WERNER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO 24-0010 DATE 2025.12.15 DRAWN BY SM CHECKED BY SM
THRESHOLD BUILDS	BUILDING B - ELEVATIONS - EXTERIOR
REVISION	SHEET NO
01	A201B

2 INCHES
IF ACTUAL DIMENSION IS NOT 2 INCHES THE
SHEET IS SCALED INCORRECTLY

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0 4 8 16
0 2
1/8" = 1'-0"

TB_22x34_V24.01 12/14/2025 10:34:43 PM

PRELIMINARY

ASPHALT SHINGLE ROOF
WEATHERED WOOD



METAL FASCIA, SOFFIT + GUTTER
PATINA GREEN



LP LAP SIDING
SAND DUNE



LP BOARD + BATTEN SIDING
WOODTONE - OLD CHERRY



LP BOARD + BATTEN SIDING
GARDEN SAGE



3A EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



B - ROOF
120'-3"

B - LEVEL 02
110'-3 1/8"

B - LEVEL 01
99'-11 1/4"

3C EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



B - ROOF
120'-3"

B - LEVEL 02
110'-3 1/8"

B - LEVEL 01
99'-11 1/4"

2D EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



B - ROOF
120'-3"

B - LEVEL 02
110'-3 1/8"

B - LEVEL 01
99'-11 1/4"

4D EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



B - ROOF
120'-3"

B - LEVEL 02
110'-3 1/8"

B - LEVEL 01
99'-11 1/4"

Material ID Schedule

ID	Spec	Description
EPDM	07 53 23	EPDM ROOFING
FAF-01	07 25 00	TYVEK FAF, OR SIM
INSUL-01	07 21 00	GPS
INSUL-02	07 21 00	EPS
INSUL-03	07 21 00	BIBS
INSUL-04	07 21 00	CC-SPF
INSUL-05	07 21 00	LOOSE-FILL CELLULOSE
INSUL-06	07 21 00	MINERAL WOOL
MET-01	07 41 13	STANDING-SEAM METAL
MET-02	07 42 13	CORRUGATED METAL
SAM-01	07 25 00	DUPONT FLEXWRAP
SAM-02	07 25 00	HENRY BLUESKIN SA
SDNG-01	07 46 42	LAP SIDING - ENGINEERED
SEALANT	07 92 00	OSI SC175 - GREENGUARD
TAPE-01	07 25 00	TYVEK WINDOW TAPE
TAPE-02	07 25 00	3M 8067
VB-01	07 27 00	STEGO WRAP VB (15-MIL)
VB-02	07 27 00	CERTAINTED MEMBRAIN
WRB-01	07 25 00	TYVEK COMMERCIALWRAP
WRB-02	07 41 13	SA ROOF UNDERLAYMENT

NOTE: REFER TO PROJECT SPECIFICATIONS FOR MORE INFORMATION

LUA/UDC Issued For	01 Revision	2025.12.15 Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBICHER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
	STATUS UDC - INFORMATIONAL	
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	INFORMATION PROJECT NO DATE DRAWN BY CHECKED BY	
	24-0010 2025.12.15 SM SM	
THRESHOLD BUILDS	BUILDING B - ELEVATIONS - EXTERIOR - COLOR	
	REVISION 01	SHEET NO A202B

2 INCHES
IF ACTUAL DIMENSION IS NOT 2 INCHES THE
SHEET IS SCALED INCORRECTLY

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0 4 8 16'
0 2'
1/8" = 1'-0"

TB_22x34_V24.01 12/14/2025 10:35:13 PM

PRELIMINARY

2 INCHES

IF ACTUAL DIMENSION IS NOT 2 INCHES THE SHEET IS SCALED INCORRECTLY

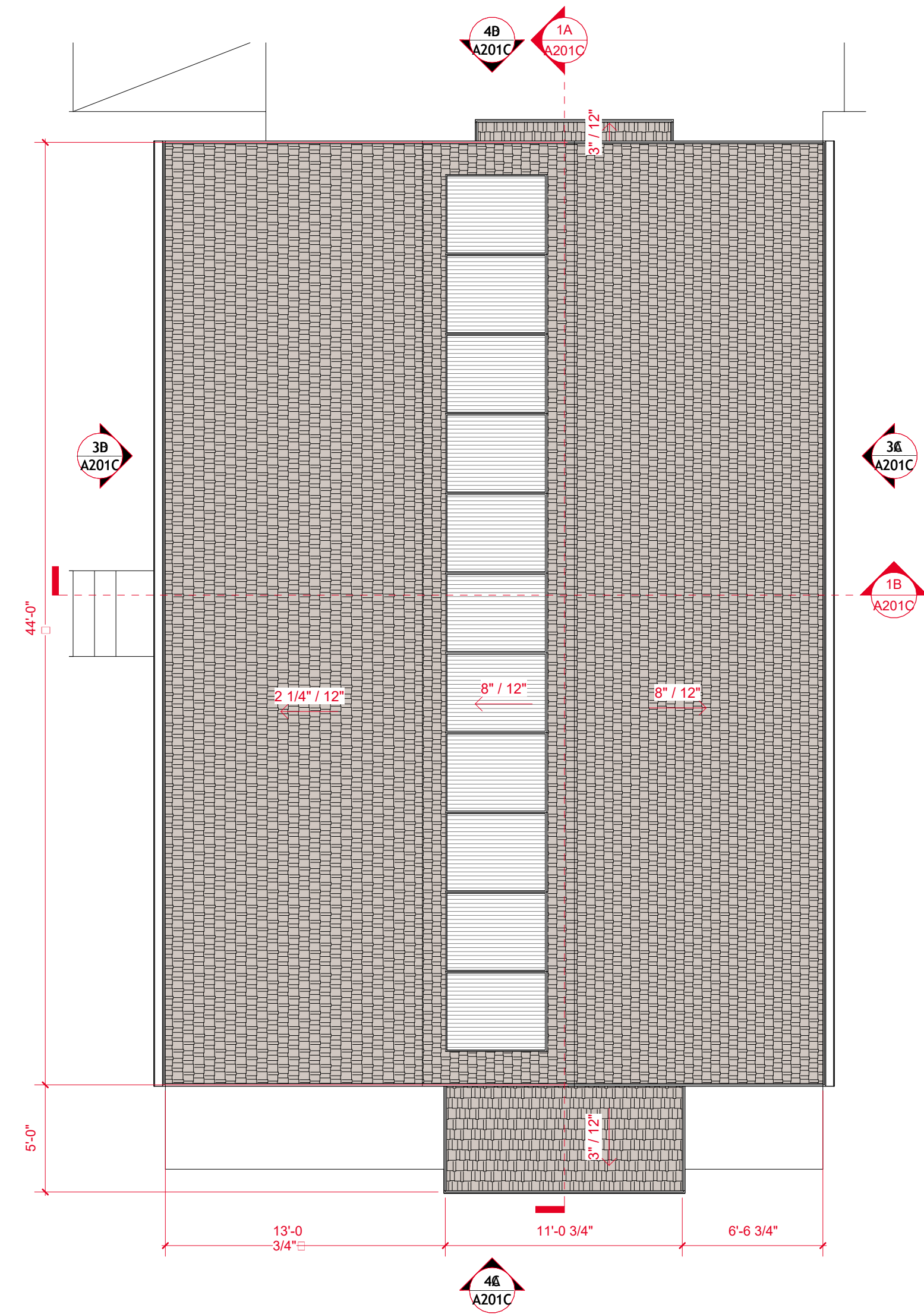
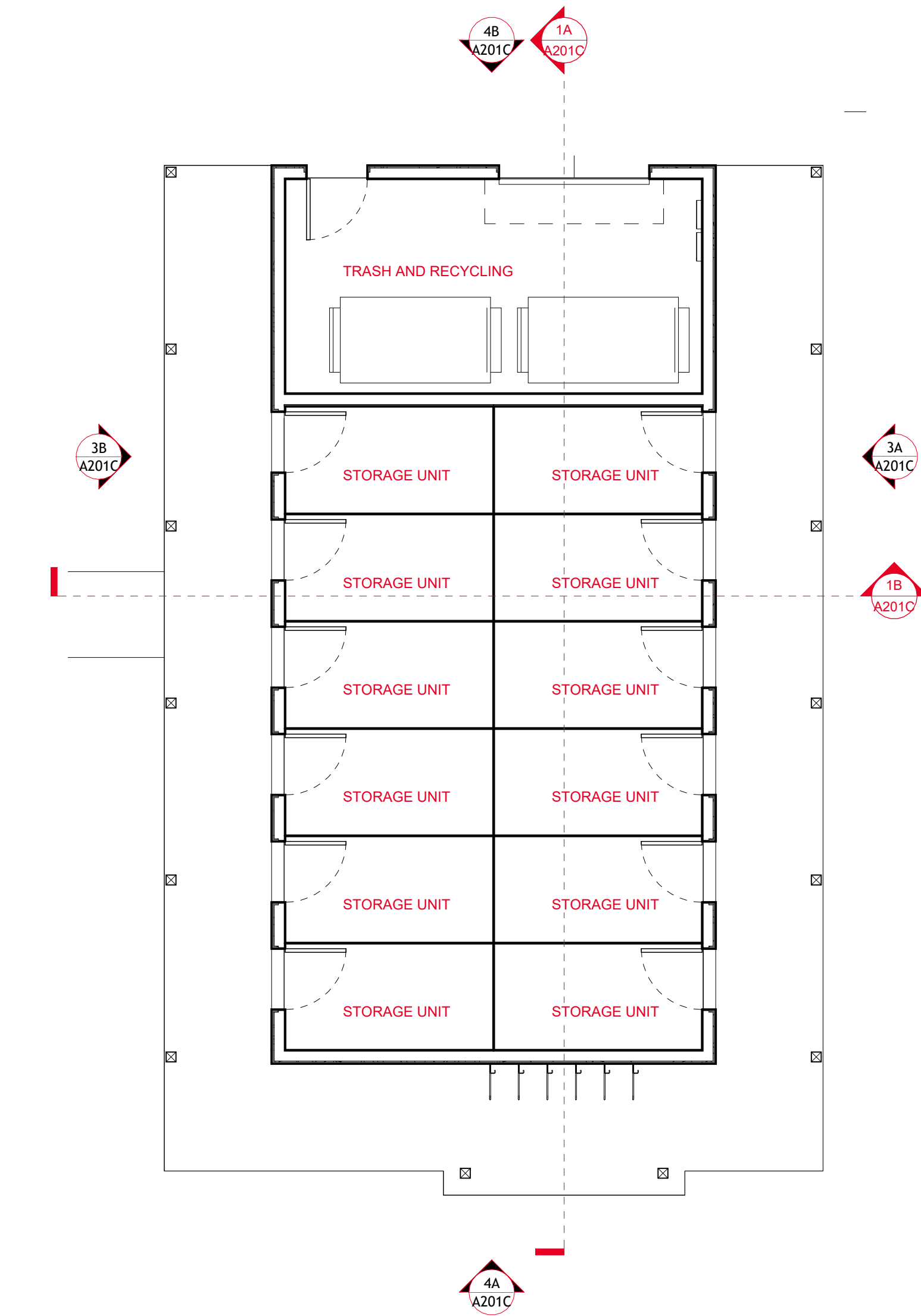
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02.75.10.7

002.7510.7

3/16" = 1'-0"

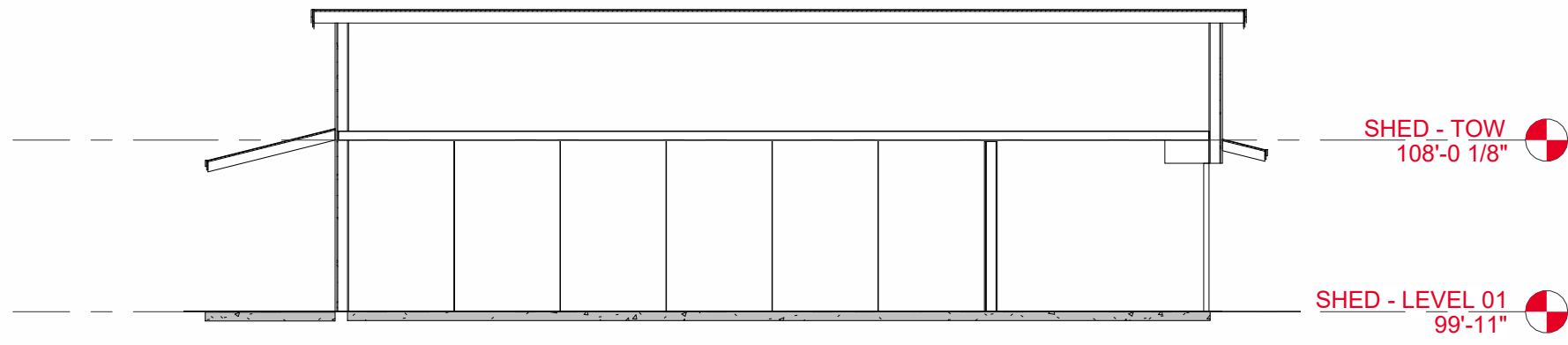
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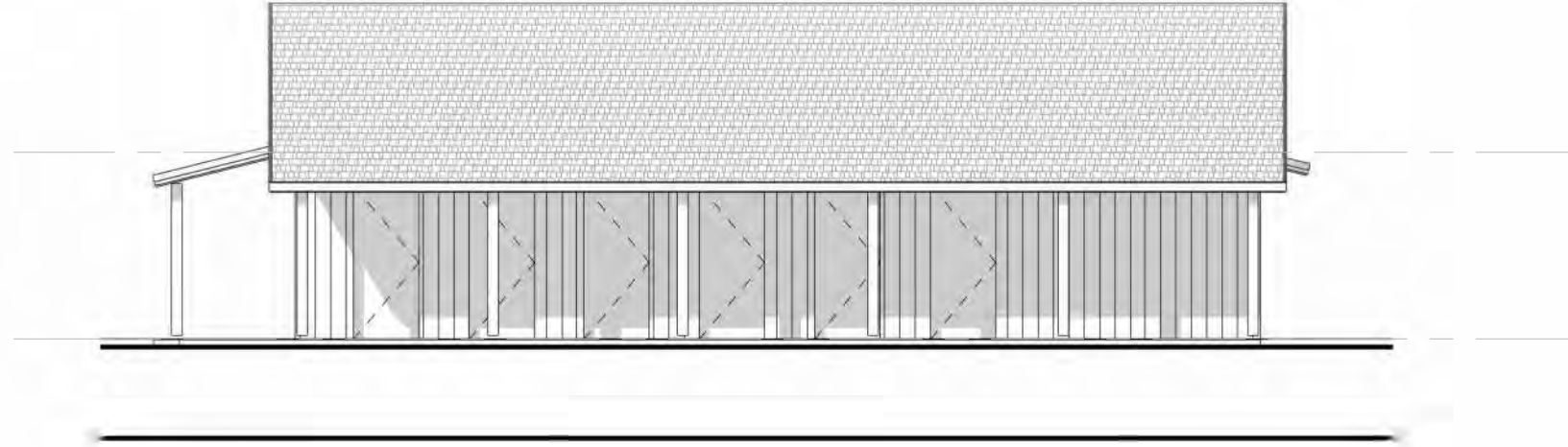
LUA/UDC	01	2025.12.15
Issued For	Revision	Date

PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBOSER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	STATUS UDC - INFORMATIONAL INFORMATION PROJECT NO 24-0010 DATE 2025.12.15 DRAWN BY SM CHECKED BY SM SHEET NAME
THRESHOLD BUILDS	BUILDING C - PLANS
REVISION 01	SHEET NO A101C

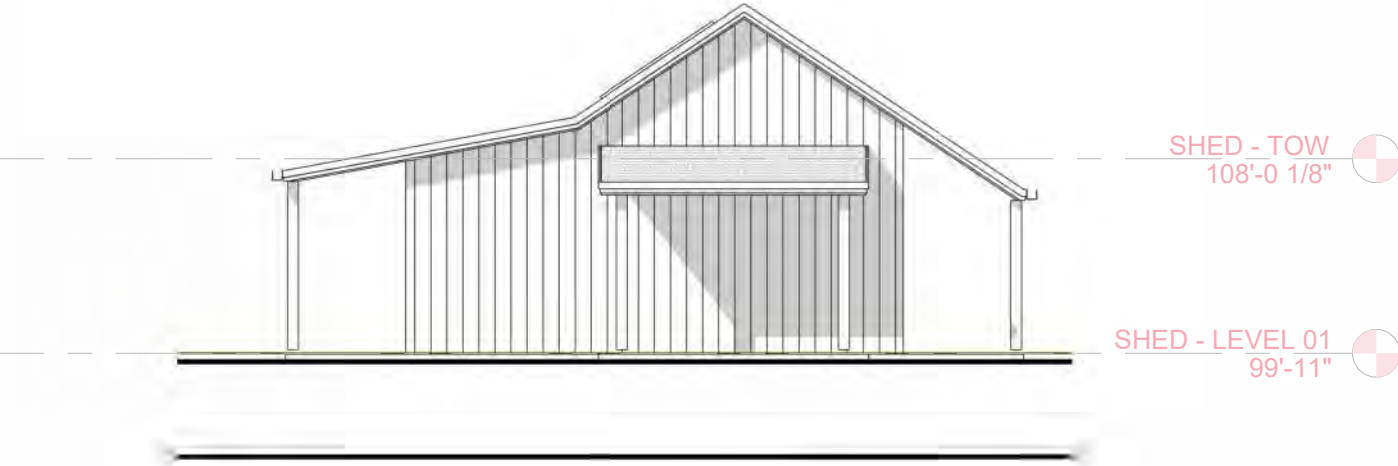
PRELIMINARY



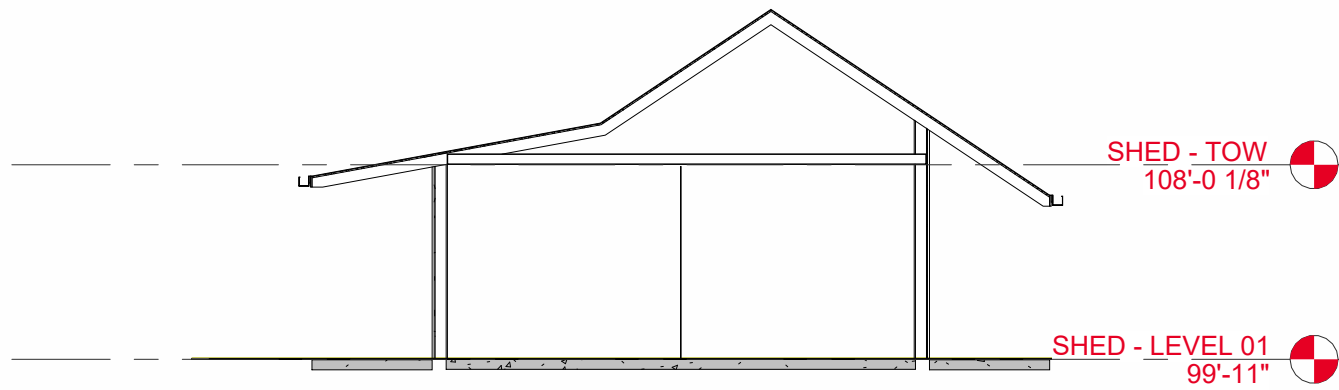
1A BUILDING SECTION
1/8" = 1'-0"



3A EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



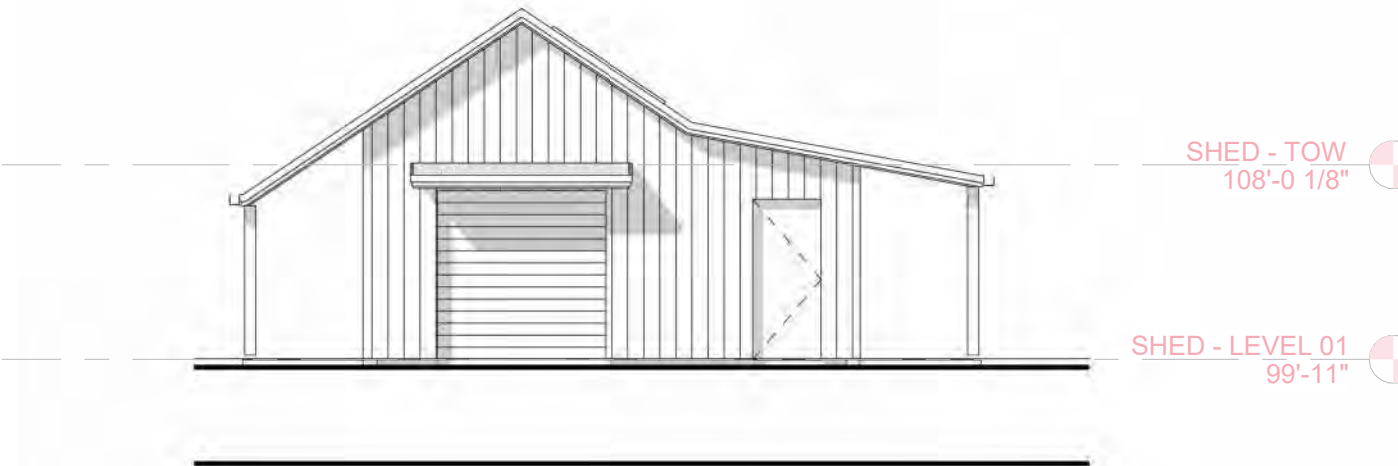
4A EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



1B BUILDING SECTION
1/8" = 1'-0"



3B EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

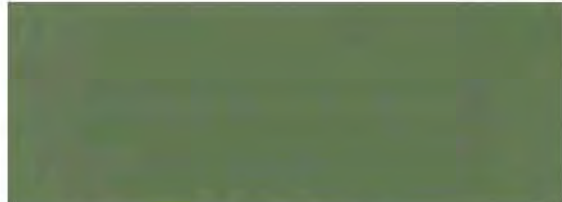


4B EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

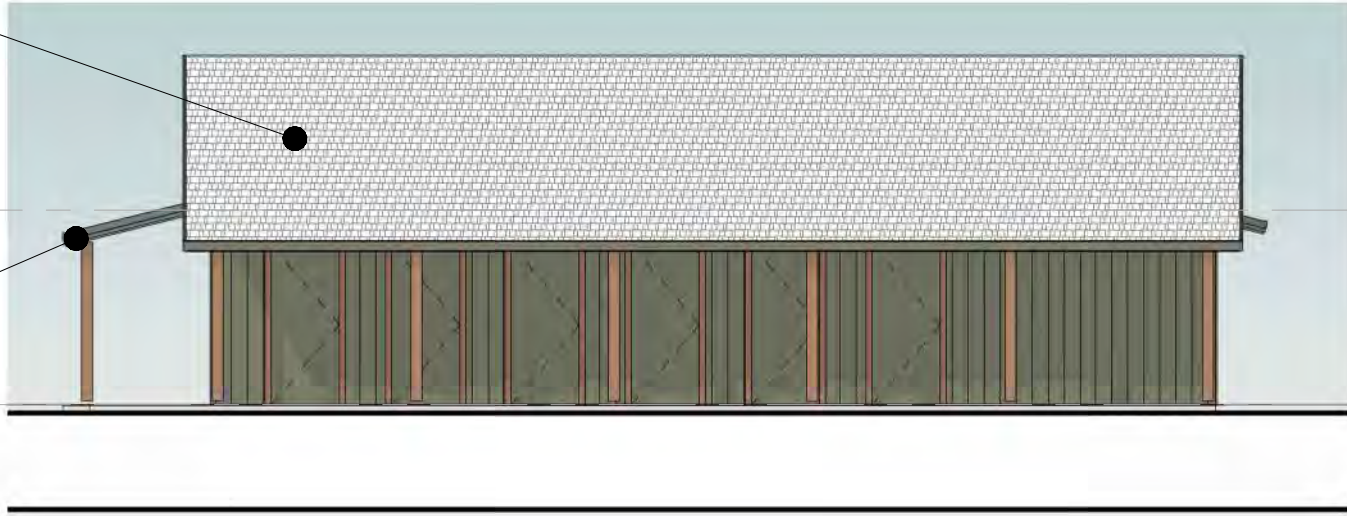
ASPHALT SHINGLE ROOF
WEATHERED WOOD



METAL FASCIA, SOFFIT + GUTTER
PATINA GREEN



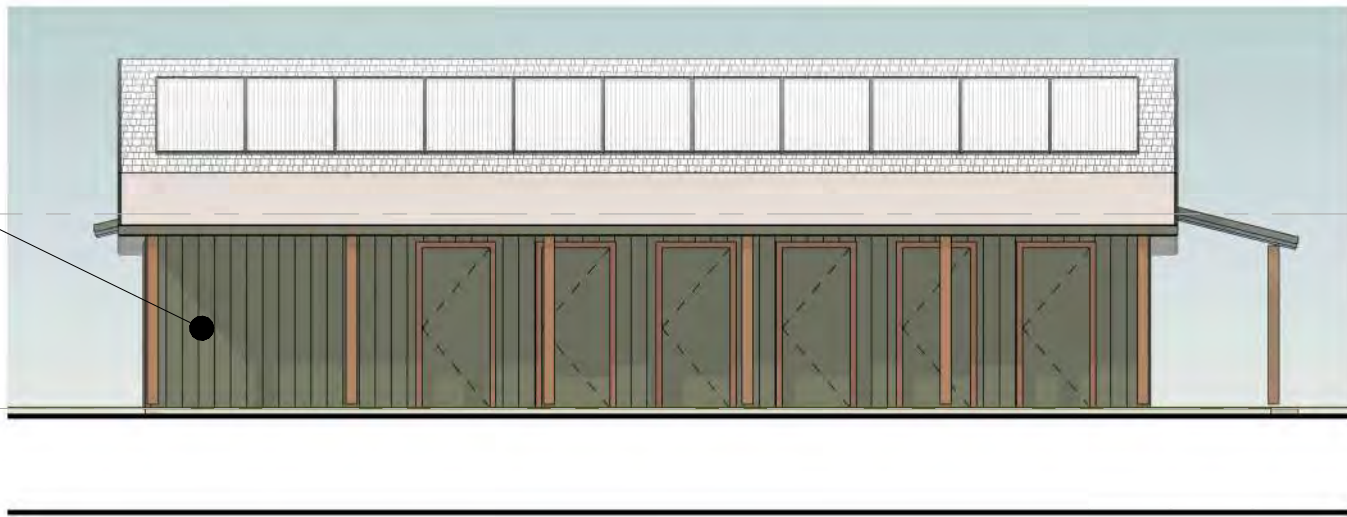
LP BOARD + BATTEN SIDING
GARDEN SAGE



3C EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



4C EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



3D EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



4D EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

2 INCHES
IF ACTUAL DIMENSION IS NOT 2 INCHES THE
SHEET IS SCALED INCORRECTLY

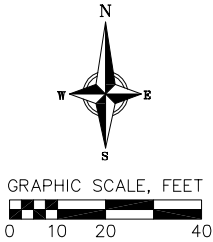
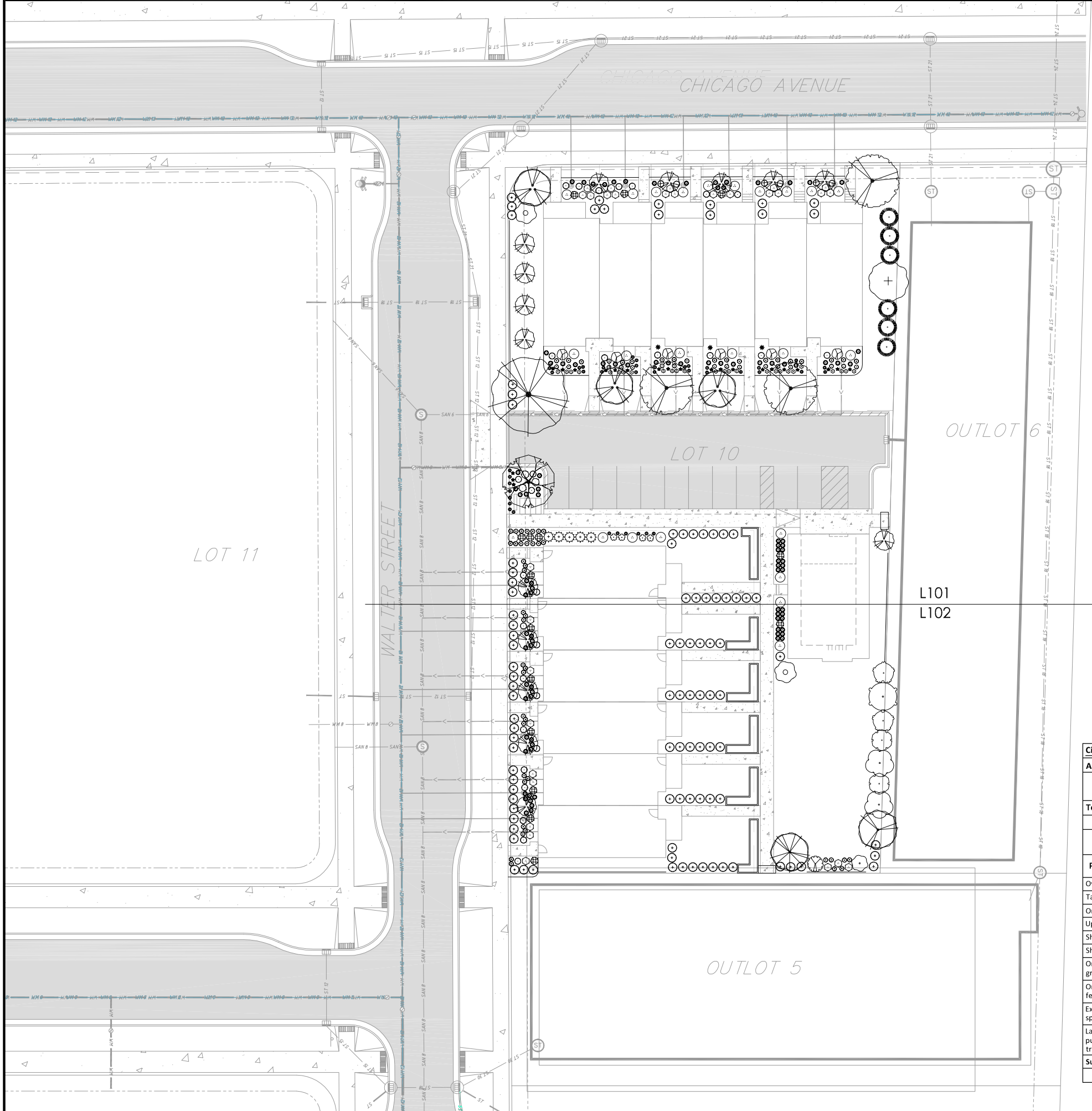
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0 4 8 16
0 2
1/8" = 1'-0"

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LUA/UDC Issued For	01 Revision	2025.12.15 Date

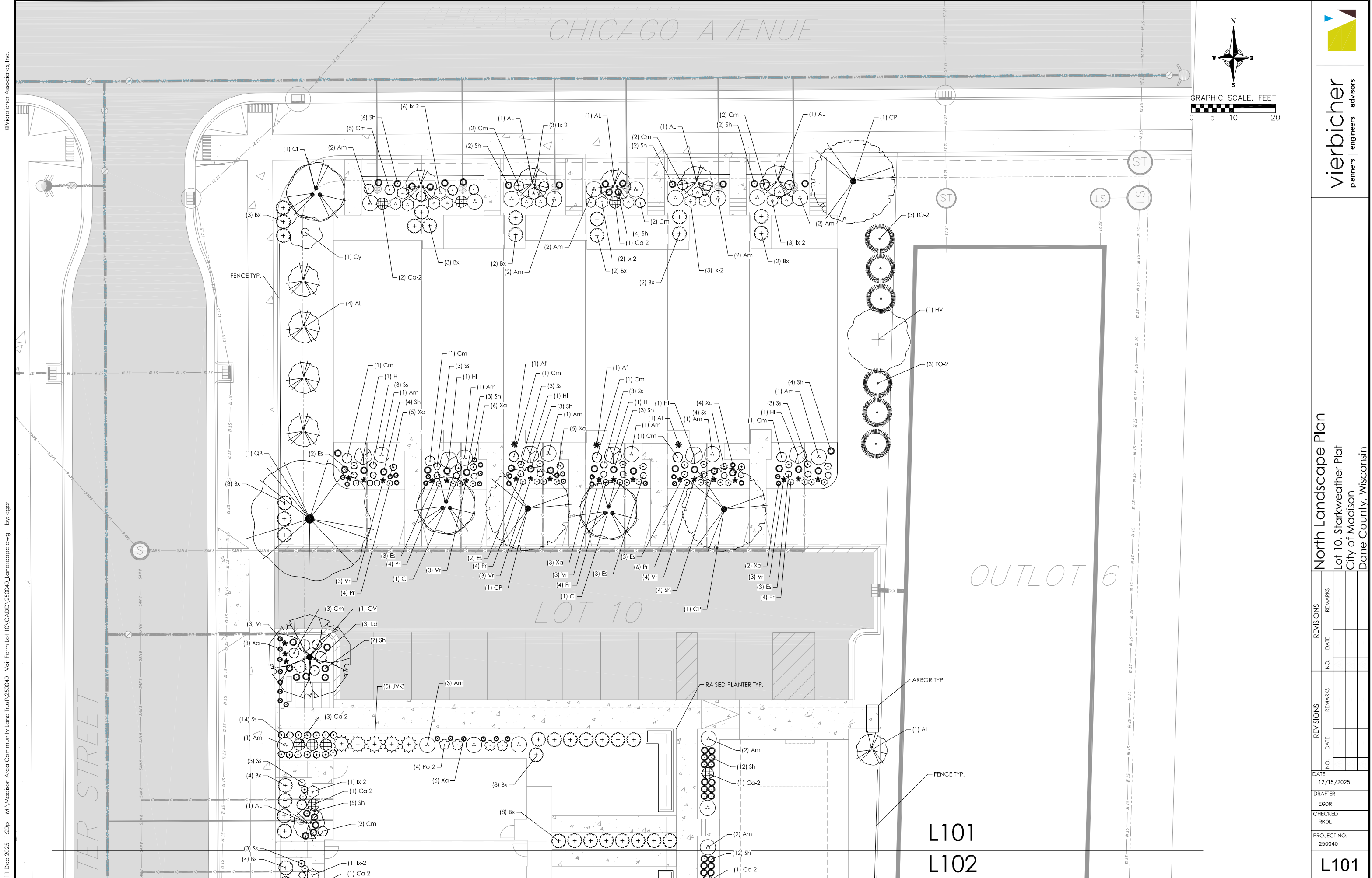
PROJECT TEAM MADISON AREA COMMUNITY LAND TRUST THRESHOLD BUILDS VERBICHER ASSOCIATES	PRELIMINARY NOT FOR PERMITTING NOT FOR CONSTRUCTION	
	STATUS UDC - INFORMATIONAL	
CLIENT MADISON AREA COMMUNITY LAND TRUST PROJECT LOT 10 - TOWNHOMES	INFORMATION PROJECT NO	24-0010
	DATE	2025.12.15
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	CHECKED BY	SM
THRESHOLD BUILDS	BUILDING C - ELEVATIONS AND BUILDING SECTIONS	
	REVISION	SHEET NO
	01	A201C



PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
DECIDUOUS TREES					
OV	Ostrya virginiana / American Hopbeam	B & B	2.5'Cal		1
QB	Quercus bicolor / Swamp White Oak	B & B	2"Cal		1
EVERGREEN TREES					
JV-3	Juniperus virginiana 'Taylor' / Taylor Eastern Redcedar	B & B	6' ht.		5
TO-2	Thuja occidentalis 'Nigra' / Black Arborvitae	B & B	5' ht.		6
UNDERSTORY TREES					
AL	Amelanchier laevis / Allegheny Serviceberry	B & B	4' ht.	Multi-Stem	15
CP	Carpinus caroliniana / American Hornbeam	B & B	7' ht.		3
CE	Cercis canadensis / Eastern Redbud Multi-Trunk	B & B	1.5"Cal		1
CI	Crataegus crus-galli inermis / Thornless Cockspur Hawthorn	B & B	1.5"Cal		3
HV	Hamelis virginiana / Common Witch Hazel	B & B	5' ht.		1
MH	Malus x domestica 'Honeycrisp' / Honeycrisp Apple	10 gal			1
ME	Malus x domestica 'Liberty' / Liberty Apple	10 gal			2
PA	Prunus americana / American Plum	B & B	6' ht.		1
PA2	Prunus x 'Alderman' / Alderman Plum	10 gal			2
PX2	Prunus x 'Toka' / Toka Plum	10 gal			2
DECIDUOUS SHRUBS					
Am	Aronia melanocarpa / Black Chokeberry	Cont.	5 Gal.		24
Cm	Ceanothus americanus / New Jersey Tea	Cont.	3 Gal.		35
Ca-2	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	Cont.	5 Gal.		15
Cy	Corylus americana / American Hazelnut	Cont.	5 Gal.		2
Ld	Diervilla lonicera / Honeysuckle	Cont.	3 Gal.		3
HI	Hamelis virginiana 'Little Suzie' / Little Suzie Witch Hazel	Cont.	3 Gal.		6
Pa-2	Physocarpus opulifolius 'Nanus' / Dwarf Ninebark	Cont.	3 Gal.		4
Sc	Sambucus canadensis / American Elderberry	Cont.	5 Gal.		1
Vc	Viburnum cassinoides / Witherod Viburnum	Cont.	5 Gal.		1
EVERGREEN SHRUBS					
Bx	Buxus x 'Green Mountain' / Green Mountain Boxwood	Cont.	5 Gal.		100
Ix-2	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	Cont.	3 Gal.		29
PERENNIALS					
Af	Athyrium filix-femina / Common Lady Fern	Cont.	1 Gal.		3
Vr	Callirhoe involucrata / Purple Poppymallow	Cont.	1 Gal.		22
Xa	Carex albicans / White-fingered Sedge	Cont.	4 In		39
Es	Eragrostis spectabilis / Purple Lovegrass	Cont.	Pint		16
Pr	Polemonium reptans / Greek Valerian	Cont.	1 Gal.		26
Ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.		59
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.		96

City of Madison Landscape Worksheet								
Address:		Voit Lot 10		Date:	12/15/2025			
Total Square Footage of Developed Area:	(Site Area)	-	(Building Footprint at Grade)			=	28191.5	sf
		38210.5				10019		
Total Landscape Points Required (<5 ac):		28,192	/ 300 =	94	x 5 =	470	470	
Landscape Points Required >5 ac:			/ 100 =	0	x 1 =	-		
				Credits/ Existing Landscaping			New/ Proposed Landscaping	
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved		
Overstory deciduous tree	2.5" cal	35		0	2	70		
Tall Evergreen Tree	5-6 feet tall	35		0		0		
Ornamental tree	1.5" cal	15		0	4	60		
Upright evergreen shrub	3-4 feet tall	10		0		0		
Shrub, deciduous	#3 gallon	3		0	91	273		
Shrub, evergreen	#3 gallon	4		0	129	516		
Ornamental grasses/perennials	#1 gallon	2		0		0		
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0		
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0		0		
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0		0		
Sub Totals				0		919		
			Total Points Provided:			919		



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GRAPHIC SCALE, FEET
0 5 10 20

vierbicher
planners engineers advisors

North Landscape Plan

Lot 10, Starkweather Plat

City of Madison

Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE

12/15/2025

DRAFTER

EGOR

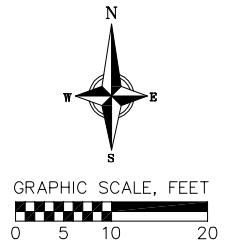
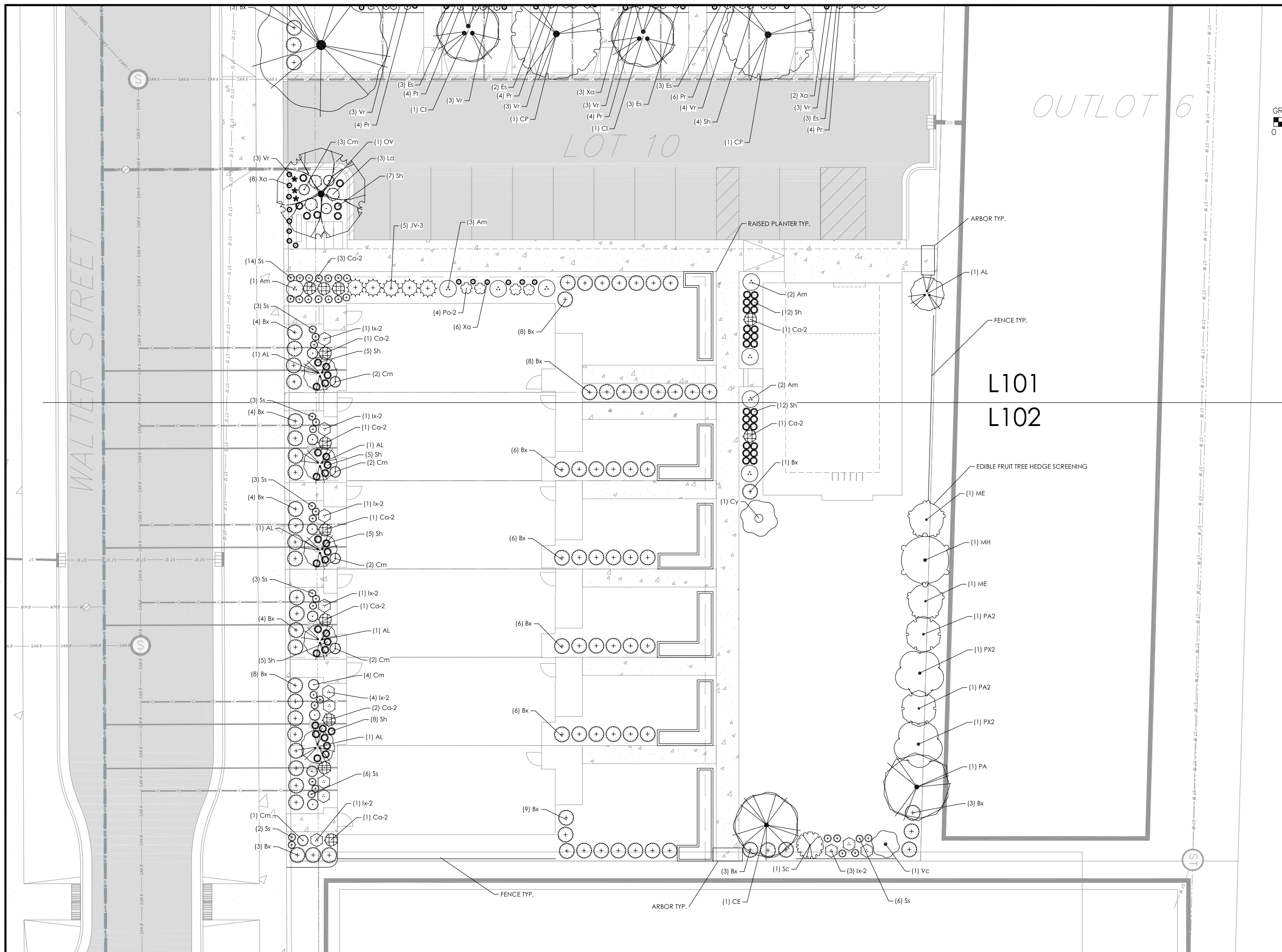
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RKOL

PROJECT NO.

250040

L101



REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS

PLANT MATERIAL NOTES:

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
5. EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

LANDSCAPE MATERIAL NOTES:

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
3. LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS, OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITHIN PLANTED AREAS.
4. LANDSCAPE BEDS, AND SEEDED AREAS ARE SEPARATED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 1 1/2"x4" OR EQUAL, COLOR BLACK ANODIZED.
4. ALL TREES AND/OR SHRUBS PLANTED IN SEEDED AREAS TO BE INSTALLED WITH A 6" DIAMETER UNDYED SHREDDED HARDWOOD BARK MULCH RING AT A DEPTH OF 3" AND SHOVEL CUT EDGE. A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULATE SHOULD BE APPLIED TOPICALLY AT TIME OF PLANTING PRIOR TO MULCH APPLICATION ACCORDING TO MANUFACTURER SPECIFICATIONS.

GENERAL LANDSCAPE NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY RIGHT OF WAY WORK.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
3. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
4. CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
5. ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
6. PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
7. ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.

FENCE PRECEDENT



ARBOR PRECEDENT

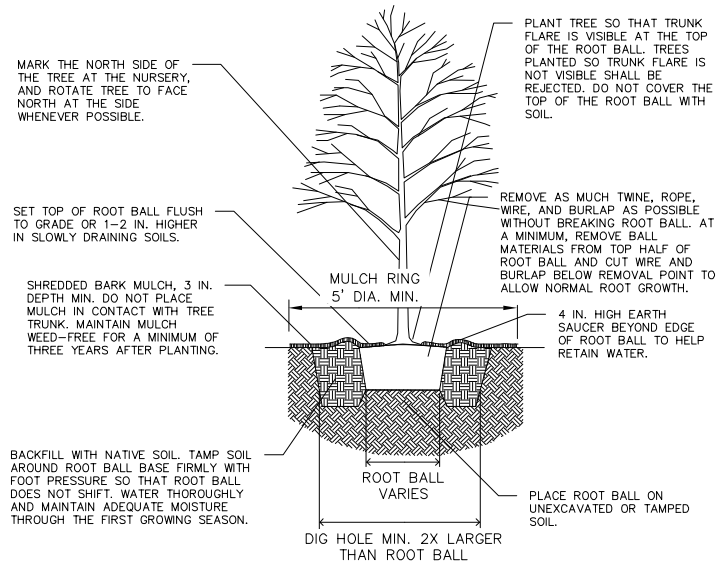


SEEDING AND PLUG PLANTING NOTES:

1. ALL UNLABELLED DISTURBED AREAS AND AREAS SHOWN AS TURF GRASS TO BE SEEDDED WITH "MADISON PARKS" SEED MIX BY LA CROSSE SEED OR EQUIVALENT. ALL SEEDDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 3" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"-6".) PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.

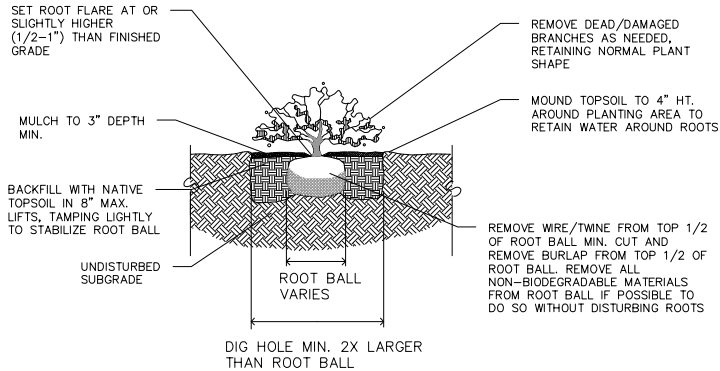
NOTES:

1. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
3. WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.



NOTES:

1. KEEP CONTAINERS ON PLANTS UNTIL READY TO INSTALL TO MINIMIZE ROOT DAMAGE FROM EXPOSURE TO AIR. GENTLY LOOSEN ROOTS ON ROOTBOUND PLANTS. SEVERELY ROOTBOUND PLANTS WILL BE REJECTED.
2. APPLY MYCORRHIZAL INOCULANT TO SOIL PRIOR TO MULCHING, PER SPECIFIED APPLICATION RATES.
3. WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.



NOTES:

1. KEEP CONTAINERS ON PLANTS UNTIL READY TO INSTALL TO MINIMIZE ROOT DAMAGE FROM EXPOSURE TO AIR. GENTLY LOOSEN ROOTS ON ROOTBOUND PLANTS. SEVERELY ROOTBOUND PLANTS WILL BE REJECTED.
2. WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.

