

5. Submission Requirements

Application: Each submittal must include **14 collated paper copies** (11" x 17" max.) and an **electronic copy** of all application materials. The electronic copy must include individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM submitted with the paper copies, or in an e-mail sent to: UDCApplications@cityofmadison.com. The transmittal shall include the name of the project, address, and applicant. Applicants unable to provide the materials electronically should contact the Secretary of the Urban Design Commission at 267-8740 for assistance. For an application to be considered complete and scheduled for a UDC meeting, both the paper copies and electronic copy need to be submitted prior to the application deadline. Late materials will not be accepted. An application is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be easily read when reduced.

Fees: Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer, Madison, Wisconsin.

Project Plans: The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Brief Narrative Description of the Project, Site Plan, and 2-dimensional images of proposed buildings or structures. Additional information may provide for a greater level of feedback from the Commission.
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Any and all relevant plans and information on which feedback from the UDC is requested.

2. Initial Approval

- Locator Map
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List
- Building Elevations for all building sides
- PD text and letter of intent (if applicable)

3. Final Approval

- Locator Map
- Site Plan showing location of existing and proposed buildings
- Grading Plan
- Landscape Plan
- Plant List, including scientific name, size at planting, quantity and root condition for each species.
- Building Elevations for all building sides, colored with shadow lines, including exterior building materials and colors.
- Proposed Signage
- Lighting Plan, including fixture cut sheets and photometrics plan
- Utility/HVAC equipment location and screening details
- PD text and letter of intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

Signage: The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Initial Approval

- Locator Map
- Signage as it relates to the Sign Control Ordinance provisions for Variances or Comprehensive Design Review of Signage
- Site Plan (show location of all existing and proposed buildings, and all existing and proposed signage, specifying which existing signs, if any, are to be removed)
- Scale drawing of each proposed sign, including awning graphics
- Photographs of site

2. Final Approval

- Locator Map
- Signage as it relates to the Sign Control Ordinance provisions for Variances or Comprehensive Design Review of Signage
- Site Plan (show location of all existing and proposed buildings, and all existing and proposed signage, specifying which existing signs, if any, are to be removed)
- Scale drawing of each proposed sign, including awning graphics
- Description and/or samples of materials and colors for each proposed sign
- Photographs of site
- Context of signs in surrounding parcels, in addition to the site being discussed

***NOTE:** If supplemental perspective renderings are provided, an emphasis should be placed on providing pedestrian/automobile scale viewsheds, in addition to the other required graphics.

***NOTE:** If applying for final approval without having received initial approval, all materials required for initial approval will be required.

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF, or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City's Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

Urban Design Commission Approval Process

INTRODUCTION

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

TYPES OF APPROVALS

Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback.

Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information.

Final Approval. Applicants may request final approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

PRESENTATIONS TO THE COMMISSION

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. The applicant is encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

CATALINA CROSSING
APARTMENTS

4525 Secret Garden Drive
Madison, Wisconsin

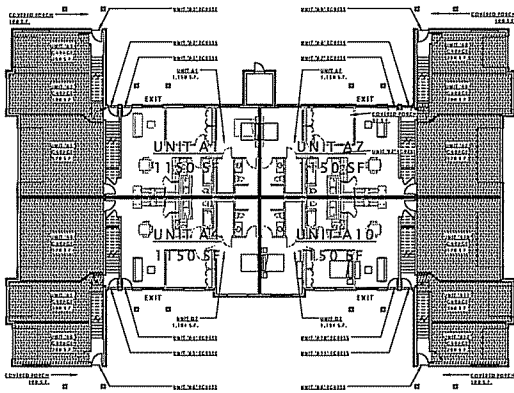


CONDITIONAL USE SUBMITTAL

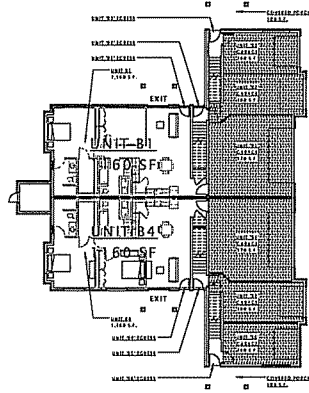
JLA
architects

JLA PROJECT NUMBER: 14-1103

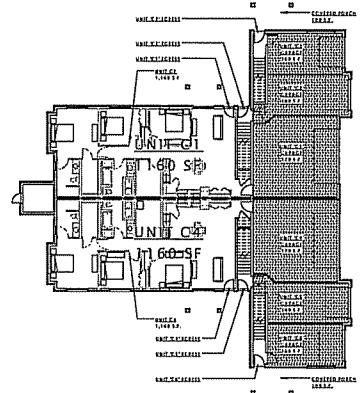
04 FEBRUARY 2015



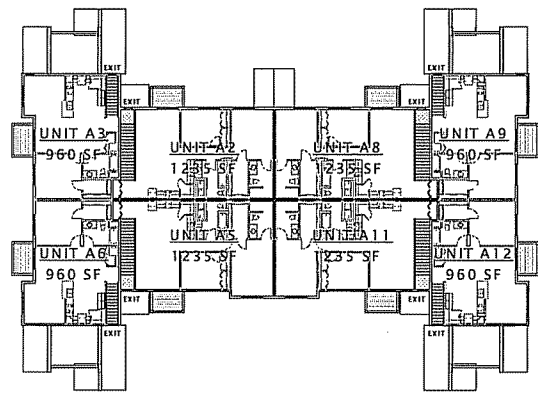
⑥ FIRST FLOOR PLAN - BUILDING 'A'
1/16" = 1'-0"



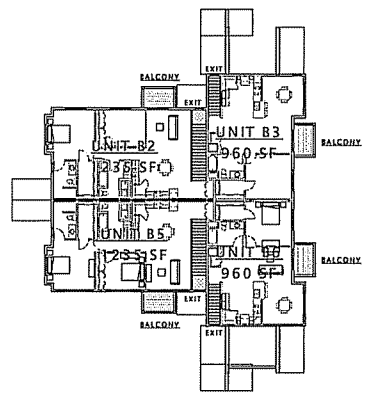
⑦ FIRST FLOOR PLAN - BUILDING 'B'
1/16" = 1'-0"



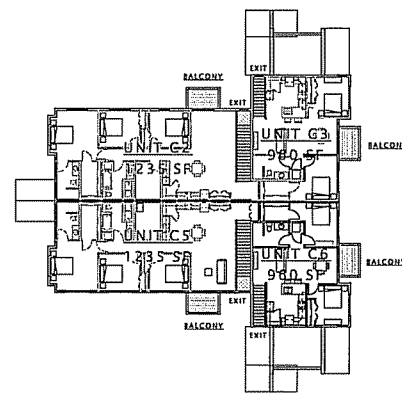
⑧ FIRST FLOOR PLAN - BUILDING 'C'
1/16" = 1'-0"



⑩ SECOND FLOOR PLAN - BUILDING 'A'
1/16" = 1'-0"



⑪ SECOND FLOOR PLAN - BUILDING 'B'
1/16" = 1'-0"



⑫ SECOND FLOOR PLAN - BUILDING 'C'
1/16" = 1'-0"

LIFE SAFETY LEGEND

INCIDENTAL USE AREAS SEPARATED WITH FIRE BARRIERS PER 2009 IBC TABLE 508.2.5

NOTES:

- ALL RESIDENTIAL UNITS ARE SEPARATED WITH 1 1/2 H RATED FIRE PARTITIONS.

EXIT TRAVEL DISTANCE - "B" BUILDING

Path ID	Travel Distance	Destination



DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS

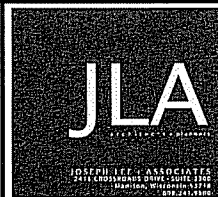
These documents reflect progress and intent and may be subject to change, including additional dates. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Mark	Date

SHEET TITLE
CODE INFORMATION

SHEET NUMBER
G002



JLA PROJECT NUMBER: 14-1103

D'OHORIO KOTTRK AND ASSOCIATES, INC.
 7530 Westwood Way, Madison, WI 53717
 Phone 608.833.7530 • Fax 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING
 PROGRESS SET

PROGRESS DOCUMENTS
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

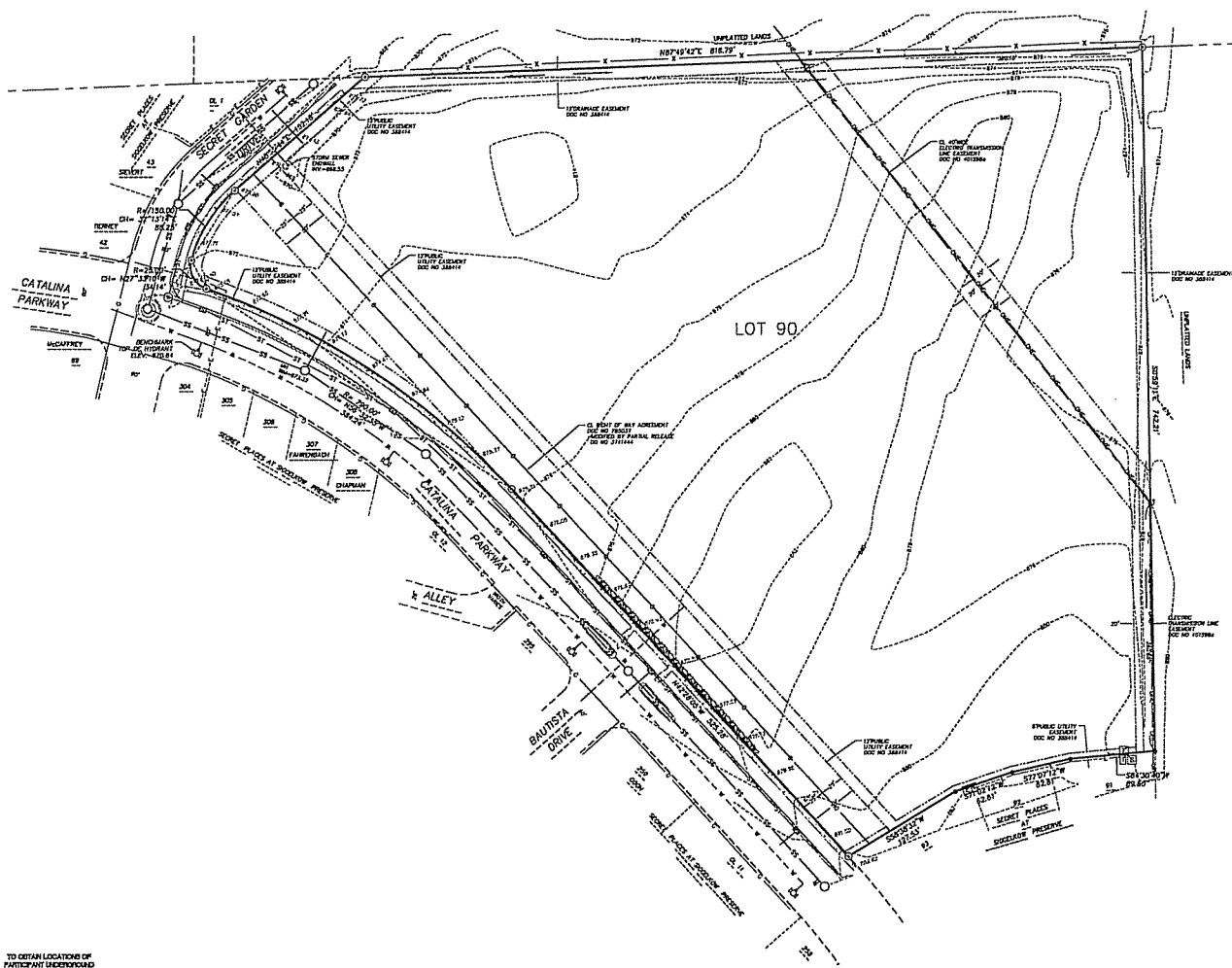
DATE OF ISSUANCE: 04 FEBRUARY 2015

Mark	Description	Date

SHEET TITLE: EXISTING CONDITIONS

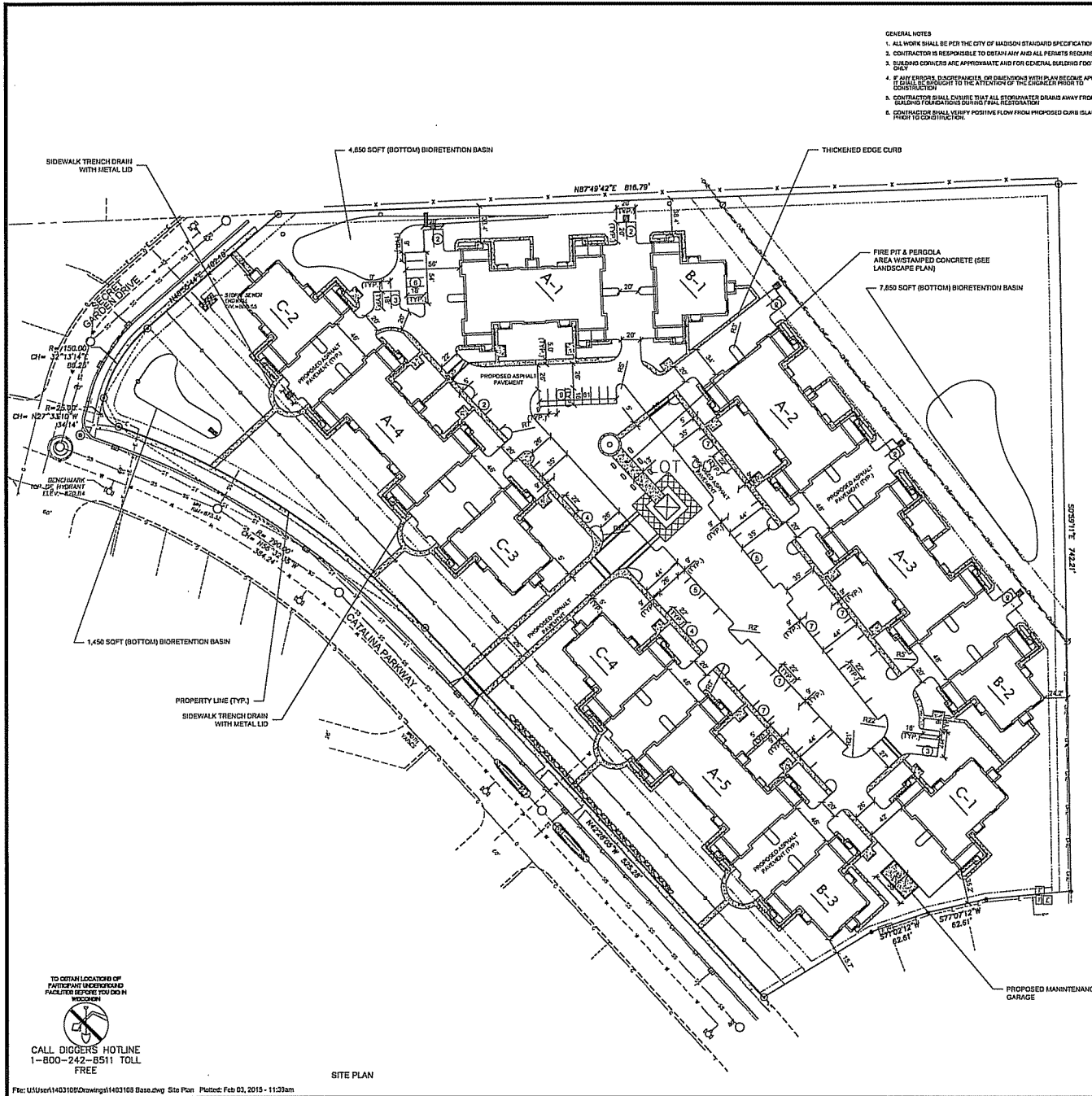
SHEET NUMBER: C100

- LEGEND**
- FOUND 1-1/4" RIM REBAR
 - FOUND 3/4" RIM REBAR
 - UNDERGROUND ELECTRIC
 - SANITARY SEWER
 - WATER MAIN
 - GAS MAIN
 - OVERHEAD ELECTRIC
 - STORM SEWER
 - ELECTRIC TRANSFORMER
 - TELEPHONE PEDESTAL
 - MANHOLE
 - CATCH BASIN/VALET
 - PUMP POLE
 - HYDRANT
 - CONCRETE
 - BOLLARD RETAINING WALL
 - CONC. CURB
 - DRAINAGE DIRECTION (SEE NOTE 9)
 - EXISTING CONTOUR



TO OBTAIN LOCATIONS OF PARTICULAR UNDERGROUND FACILITIES BEFORE YOU DIG, WE COVER
 CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE

EXISTING CONDITIONS



- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. BUILDING EDGELINES ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
 4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, CONTRACTOR SHALL BE BOUND TO BRING THEM TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION DURING FINAL REGISTRATION.
 6. CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

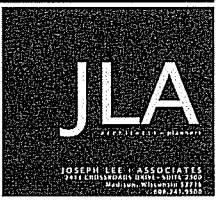
LEGEND

- CONCRETE PAVEMENT
- FIRE LANE ACCESS (30' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADI ARE 28' AS REQUIRED)

EXISTING CONDITIONS LEGEND

- FOUND 3/4" SOLID ROUND WOOD STAKE
- UNDERGROUND ELECTRIC
- SANITARY SEWER
- WATER MAIN
- GAS MAIN
- OVERHEAD ELECTRIC
- TELECOMMUNICATION LINE
- STEELMAN SIGN
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- MANHOLE
- CATCH BASIN/VALET
- POWER POLE
- LIGHT POLE
- GAS METER
- VALVE
- HYDRANT
- GUY WIRE
- CONCRETE
- SHOULDER RETAINING WALL
- CHAIN-LINK FENCE
- CONC. CURB
- EXISTING CONTOUR
- TOP OF CURB SPOT ELEVATION (0 DECIMAL PT.)
- SPOT ELEVATION (0 DECIMAL PT.)
- "RECORDED AS" INFORMATION

SITE PLAN INFORMATION BLOCK CATALINA CROSSING	
LOT AREA	7.83 AC ±
EXISTING TOTAL IMPERVIOUS AREA	0 SF ±
PROPOSED TOTAL IMPERVIOUS AREA	241,160 SF ±
TOTAL BUILDING ROOF AREA	107,275 SF ±
NUMBER OF PROPOSED SURFACE PARKING STALLS	88



JLA PROJECT NUMBER: 14-1101

D'HOFFRIED KOTTKE AND ASSOCIATES, INC.
 7530 Wenhaven Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

**CATALINA CROSSING
PROGRESS SET**

PROGRESS DOCUMENTS
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015		
Mark	Revision Schedule	Date

SHEET TITLE
SITE PLAN

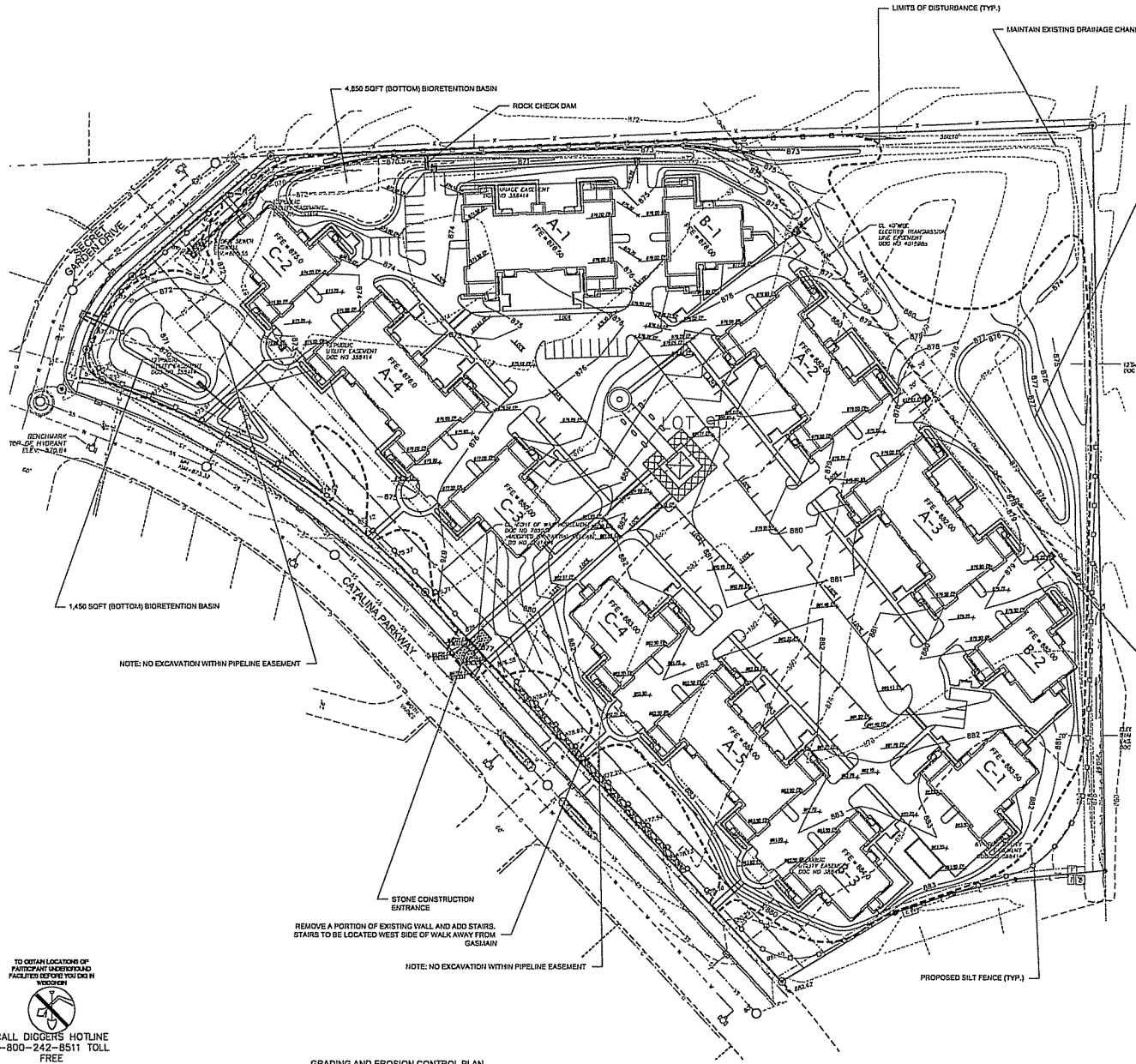
SHEET NUMBER
C101

TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN MADISON
 CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE

SITE PLAN

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
BY EDGE OF PAVEMENT
- LIMITS OF DISTURBANCE
- FLOW ARROW
- SILT FENCE/STOCK
- RIPRAP PAD



- GENERAL NOTES
- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - RECORD COPIES ARE APPROPRIATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
 - IF ANY ERROR, OMISSIONS, CONFLICTS OR DISCREPANCIES ARE DETECTED, THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS AND SHALL BE MAINTAINED.
 - CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

- GRADING AND EROSION CONTROL NOTES:
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR ACCORDING WITH THE FOLLOWING TECHNICAL STANDARDS. IF IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 - THE LIMITS OF DISTURBANCE SHALL BE MAINTAINED AT ALL TIMES. ANY VIOLATION OF THE LIMITS OF DISTURBANCE SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THESE MEASURES.



JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Wisconsin Way, Madison, WI 53717
Phone: 608.833.7340 • Fax: 608.833.1895
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING
PROGRESS SET

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	04 FEBRUARY 2015
Mark	Revision Schedule Date

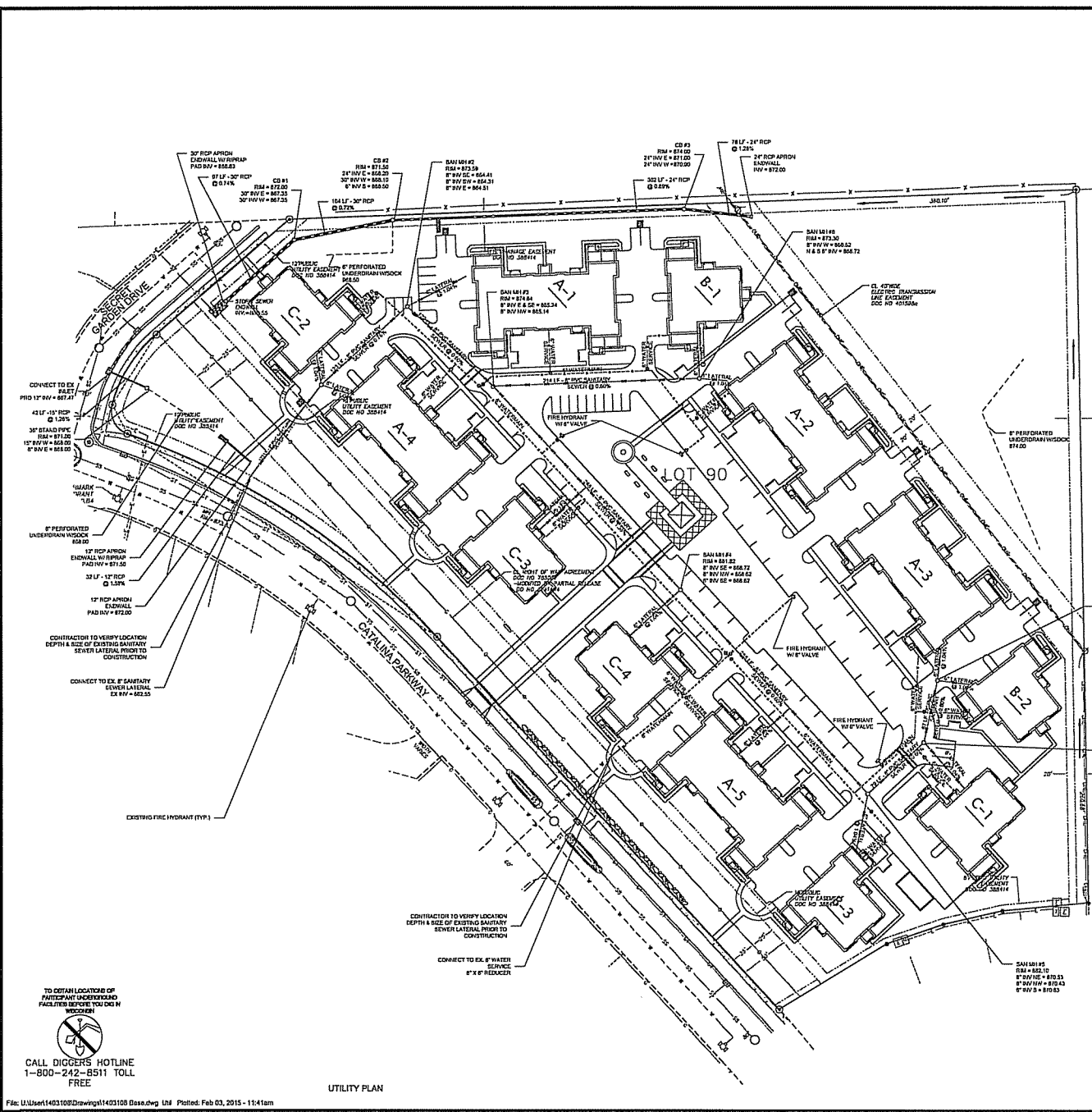
SHEET TITLE
GRADING AND
EROSION CONTROL
PLAN

SHEET NUMBER
C102

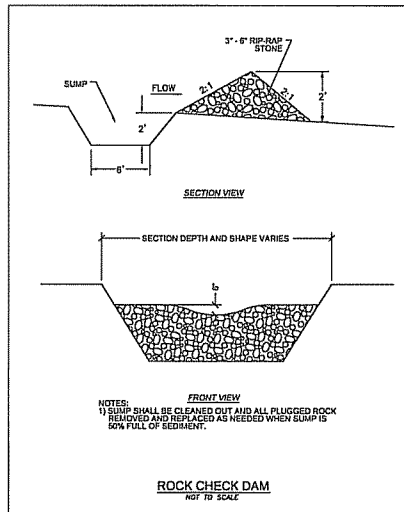
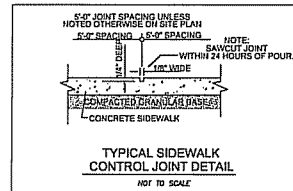
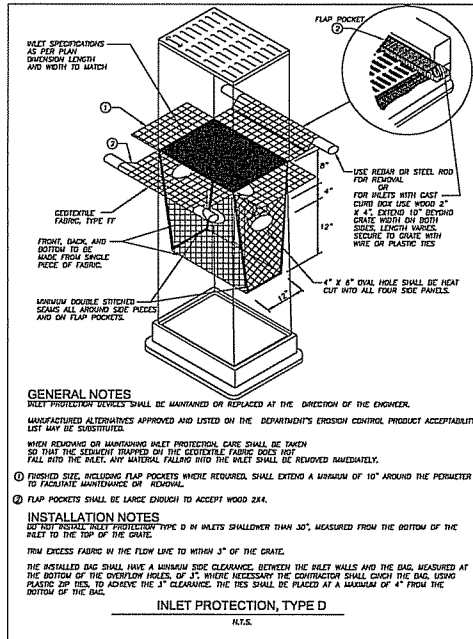
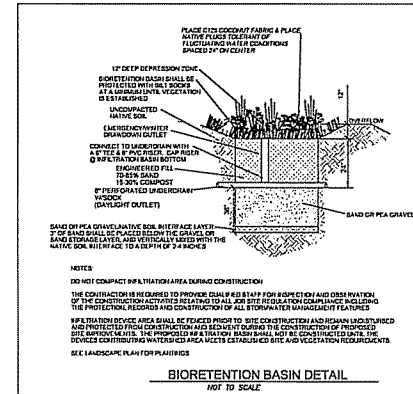
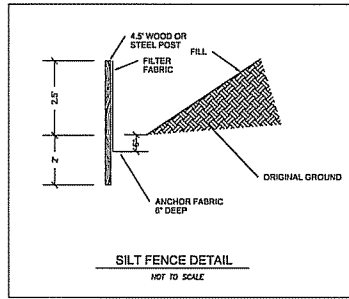
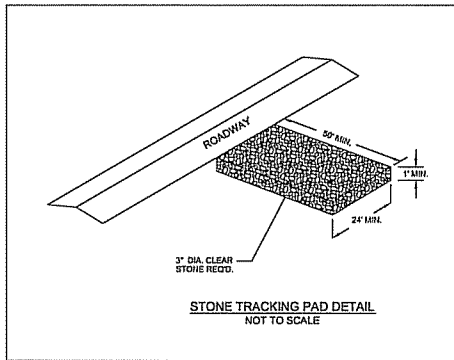
TO OBTAIN LOCATION OF
PARTICIPANT UNDERGROUND
FACILITIES BEFORE YOU DIG IN
WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511 TOLL
FREE

- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
 4. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ARE APPARENT, CONTRACTOR SHALL BE RESPONSIBLE TO THE EXTENT OF THE WORK PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL EXAMINE THAT ALL STORMWATER CHANNELS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.
 6. CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

- SITE UTILITY NOTES**
1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
 2. CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING WATER AND SEWER PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO VERIFY AND COORDINATE SANITARY AND WATER SERVICE CONNECTION LOCATION WITH ARCHITECTURAL PLUMBING PLAN.
 4. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
 5. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
 6. ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
 7. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH MEEHAN R-2001 VALVE FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN.



TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE



GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DISCRETION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLEN INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIDE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

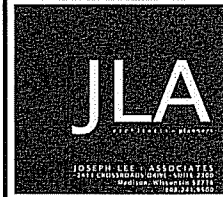
DO NOT INSTALL INLET PROTECTION TYPE D IN WALLETS SMALLER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

DETAIL SHEET

File: U:\User\1403108\Drawings\1403108_Base.dwg Detail Plotted: Feb 03, 2015 - 11:42am



JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTTE AND ASSOCIATES, INC.
7530 Weymouth Way, Malibu, CA 90263
Phone: 608.833.7530 Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

**CATALINA CROSSING
PROGRESS SET**

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional details. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Mark	Description	Date

SHEET TITLE: **DETAIL SHEET**

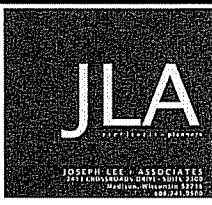
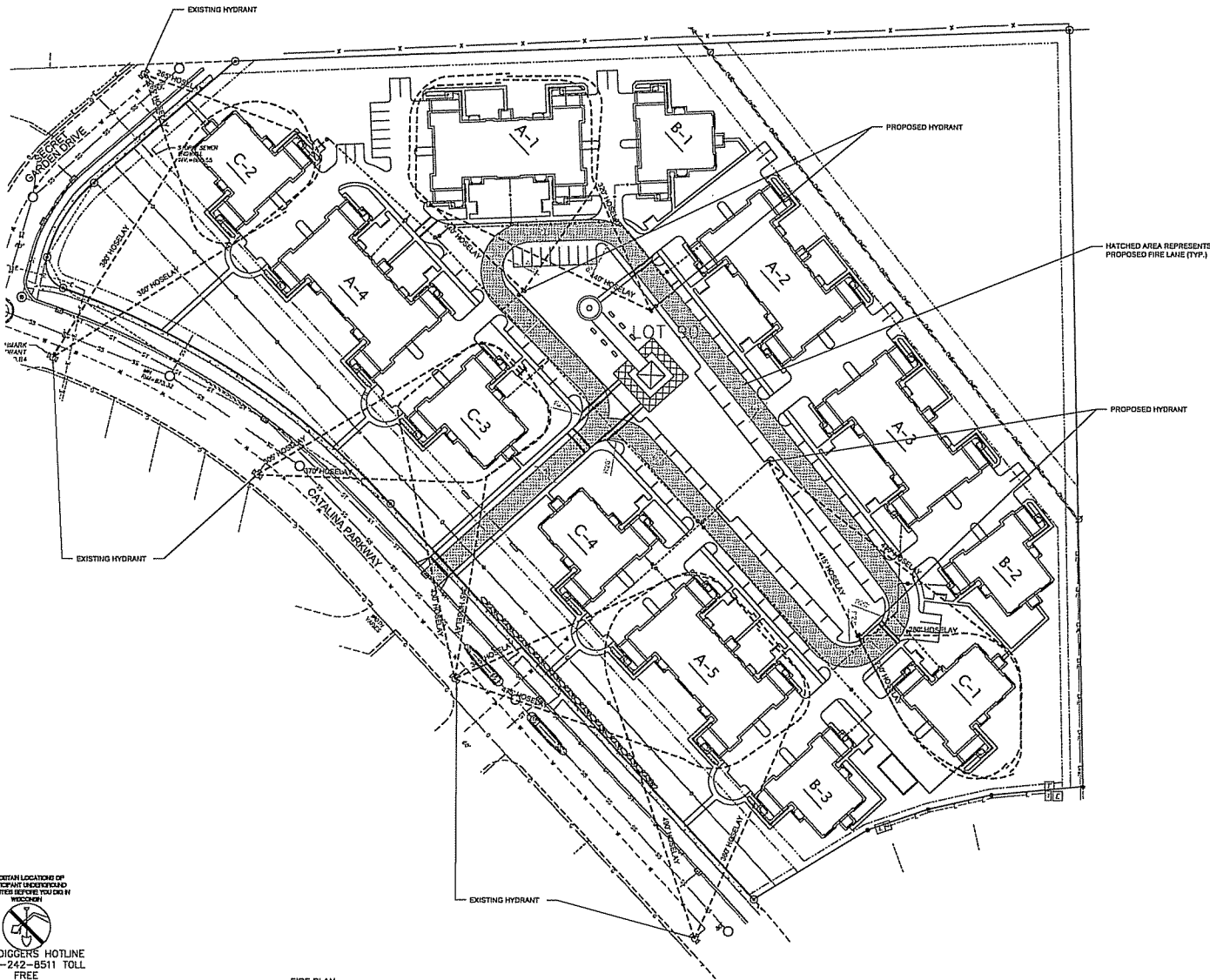
SHEET NUMBER: **C104**



LEGEND



FIRE LANE ACCESS (20' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADIUS ARE 20' AS REQUIRED)



JLA PROJECT NUMBER: 14-1102

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
 7530 Wernand Way, Madison, WI 53717
 Phones 608.833.7330 • Fax 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING
 PROGRESS SET

PROGRESS DOCUMENTS
 These documents reflect progress and herein and may be subject to change, including additional details. There are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE		04 FEBRUARY 2015	
Revision Schedule			
Blank	Revision	Deviation	Date

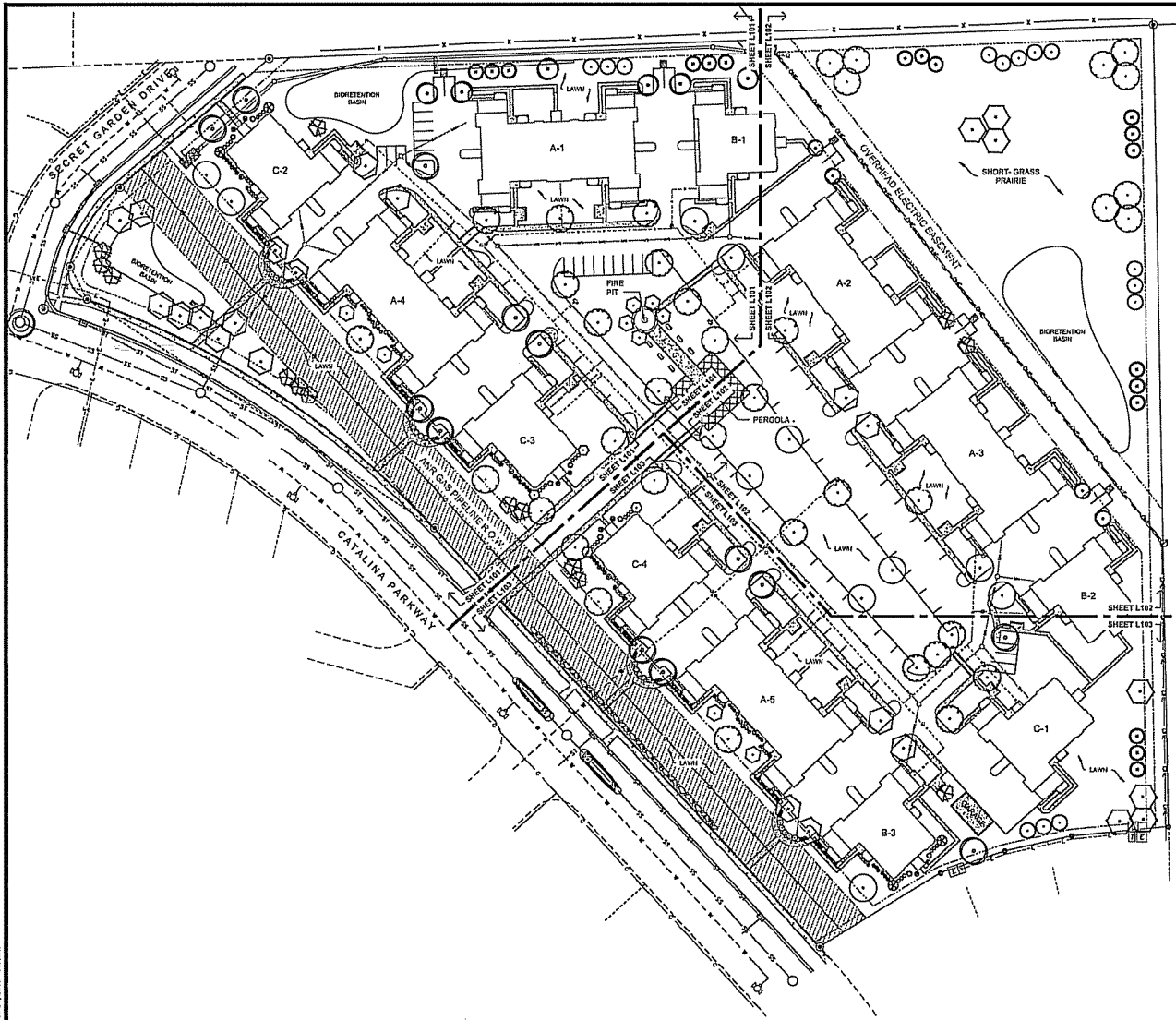
SHEET TITLE
FIRE PLAN

SHEET NUMBER
C105

TO OBTAIN LOCATION OF PARTICIPANT GREENERIES AND FACILITIES BEFORE YOU DIG IN WISCONSIN

 CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE

FIRE PLAN



LANDSCAPE REQUIREMENTS SUMMARY

BUILDING TYPE A (5)
 AREA = 10,328 SF (51,640 SF)
 PERIMETER = 827 LF (3,135 SF)

BUILDING TYPE B (3)
 AREA = 6,222 SF (15,666 SF)
 PERIMETER = 379 LF (1,137 LF)

BUILDING TYPE C (4)
 AREA = 5,888 SF (23,544 SF)
 PERIMETER = 407 LF (1,628 LF)

TOTAL BUILDINGS
 AREA = 90,850 SF
 PERIMETER = 5,900 LF

DEVELOPED AREA REQUIREMENT:
 6 PTS PER 300 SQ FT OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 326,823 SQ FT
 BUILDING FOOTPRINTS = 90,850 SQ FT
 NET DEVELOPED AREA = 235,973 SQ FT

POINTS REQUIRED = 3,833 POINTS
 POINTS PROVIDED = 5,926 POINTS

STREET FRONTAGE REQUIREMENT:
 1 OVERSTORY TREE OR 2 EVERGREEN & 5 SHRUB PER 30 FT

CATALINA PARKWAY FRONTAGE = 935 FT
 PLANTS REQUIRED = 31 OVERSTORY TREES OR
 62 EVERGREEN / ORNAMENTAL TREES
 156 SHRUBS
 PLANTS PROVIDED = 25 OVERSTORY TREES
 14 ORNAMENTAL TREES
 189 SHRUBS

SECRET GARDEN DRIVE FRONTAGE = 99 FT
 PLANTS REQUIRED = 3 OVERSTORY TREES OR
 7 EVERGREEN / ORNAMENTAL TREES
 17 SHRUBS
 PLANTS PROVIDED = 3 OVERSTORY TREES
 18 SHRUBS

PARKING LOT LANDSCAPING REQUIREMENT:
 1 OVERSTORY TREE PER 160 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 114,454 SQ FT
 REQUIRED LANDSCAPED AREA = 9,156 SQ FT (8% TOTAL PARKING LOT AREA)

LANDSCAPED AREA PROVIDED = 28,416 SQ FT
 OVERSTORY TREES REQUIRED = 57 OVERSTORY TREES
 OVERSTORY TREES PROVIDED = 57 OVERSTORY TREES

PLANT SCHEDULE



JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTKIE AND ASSOCIATES, INC.
 7330 Westward Way, Madison, WI 53717
 Phone: 608.833.7330 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

**CATALINA CROSSING
 PROGRESS SET**

PROGRESS DOCUMENTS
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Mark	Revision Schedule	Date

SHEET TITLE: **OVERALL LANDSCAPE PLAN**

SHEET NUMBER: **L100**

File: L100.dwg (1/20/15) 10:00 AM 1/20/15 10:00 AM

TO OBTAIN LOCATIONS OF PARTICIPANT LANDSCAPING FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE



DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

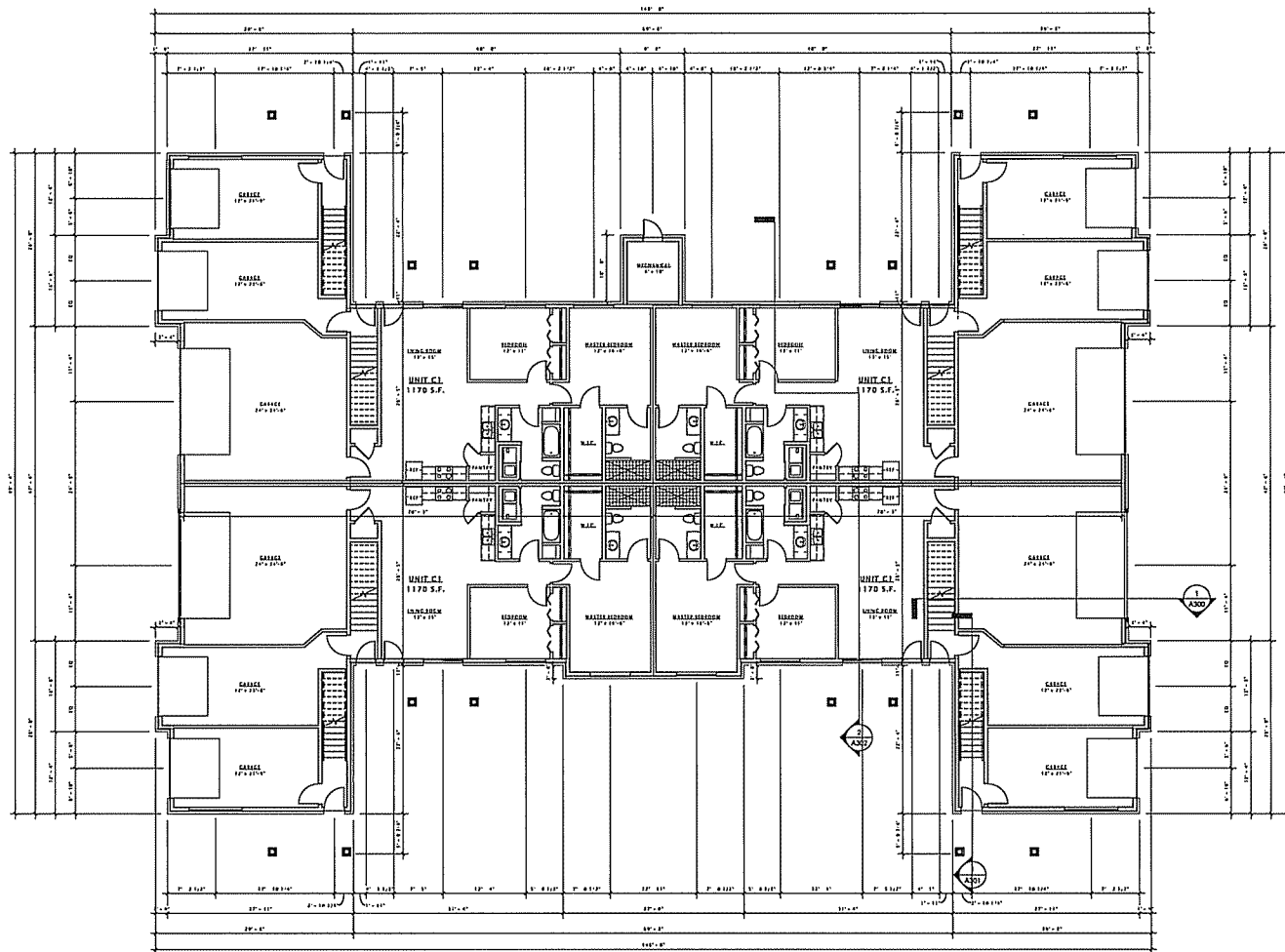
PROGRESS DOCUMENTS
 These documents reflect progress and intent and may be subject to change, including additional detail. They are for informational purposes only and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Author: Matthew Skowronski
 Date: _____
 Checked: _____
 Date: _____

SHEET TITLE
**FIRST FLOOR PLAN -
 BUILDING TYPE 'A'**

SHEET NUMBER
A101-A



JLA

JOSEPH LEE & ASSOCIATES
 300 EAST BROADWAY DRIVE, SUITE 200
 MADISON, WISCONSIN 53703
 TEL: 608.261.1100 FAX: 608.261.1100
 JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and notes and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

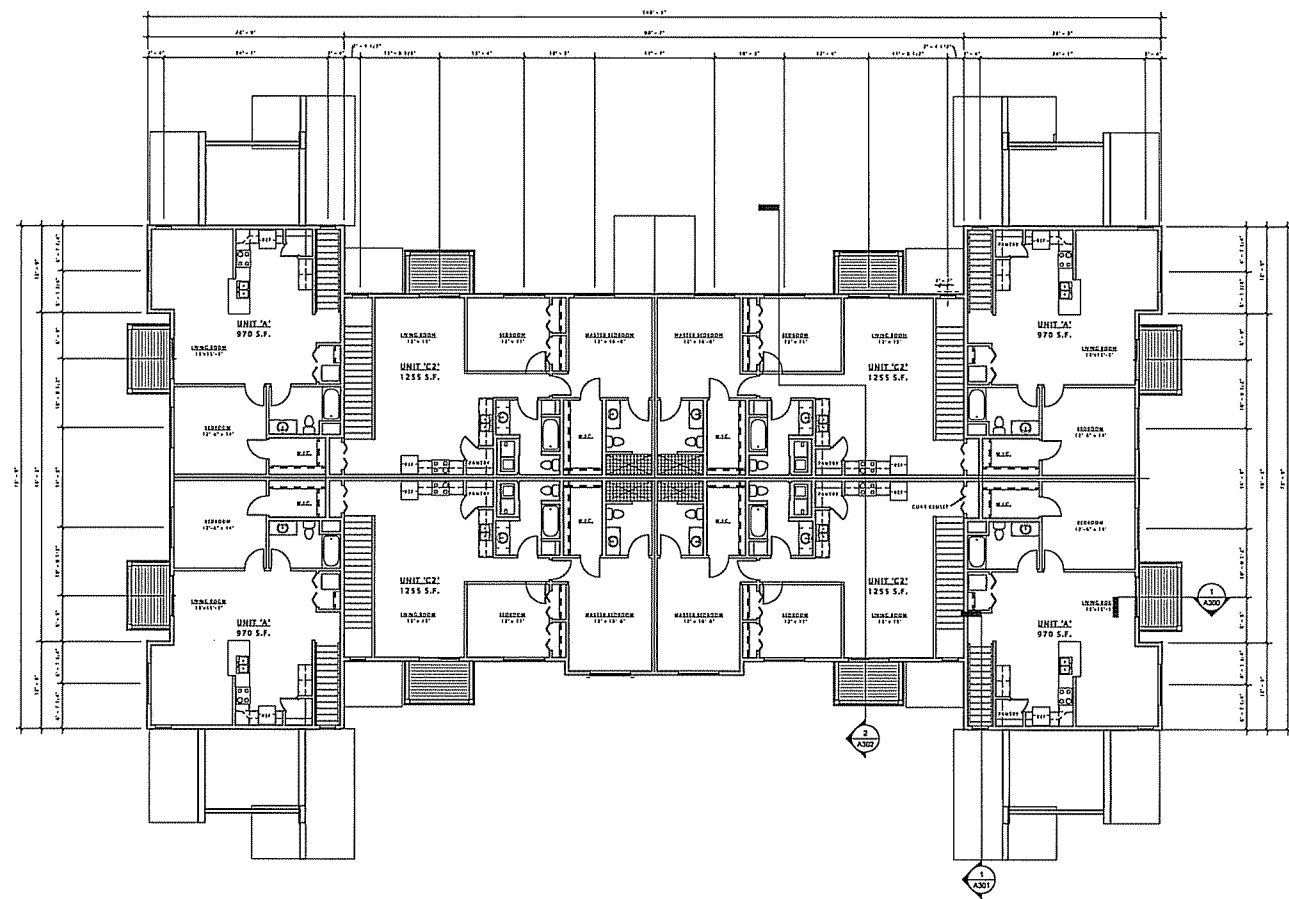
Revision Schedule	
Mark	Date

SHEET TITLE

SECOND FLOOR PLAN
 - BUILDING TYPE 'A'

SHEET NUMBER

A102-A



16 SECOND FLOOR PLAN - BUILDING 'A'
 1/8" = 1'-0"

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. They are not final construction documents and should not be used for field building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

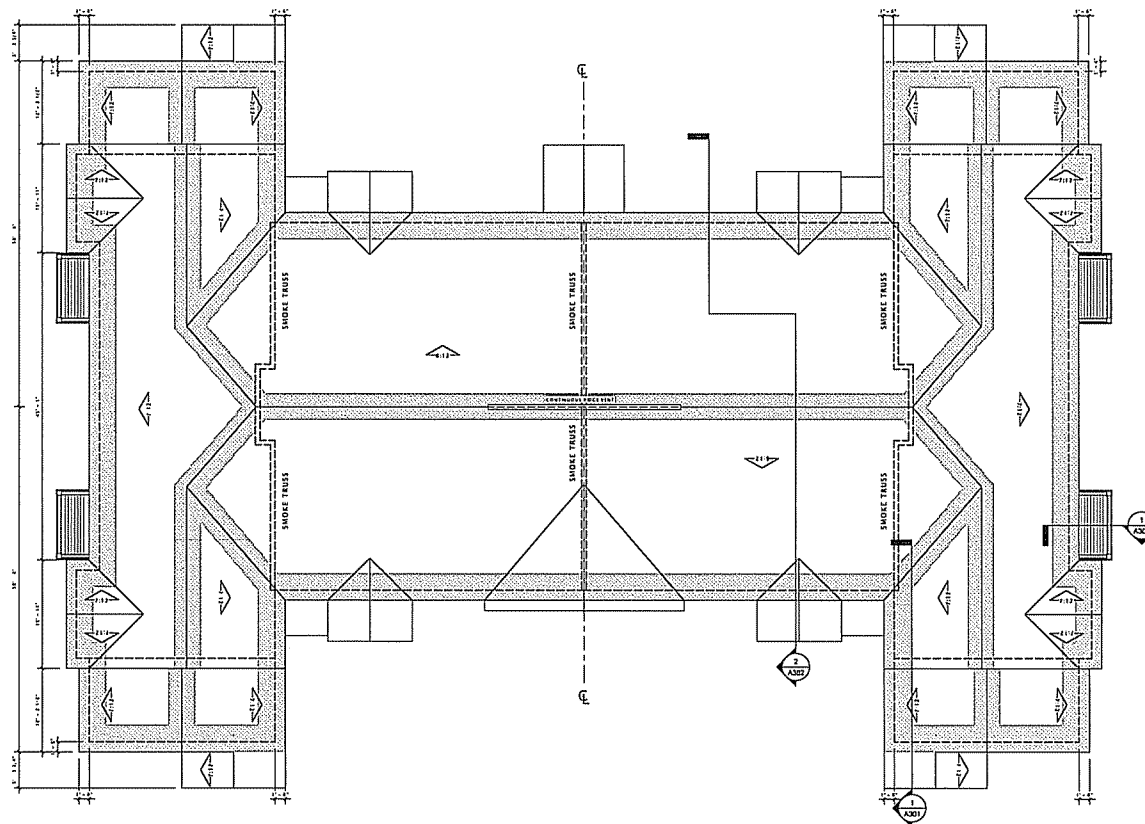
Borislin Scharf		
Mod.	Description	Date

SHEET TITLE

ROOF PLAN -
BUILDING TYPE 'A'

SHEET NUMBER

A109-A



① ROOF PLAN
1/8" = 1'-0"

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

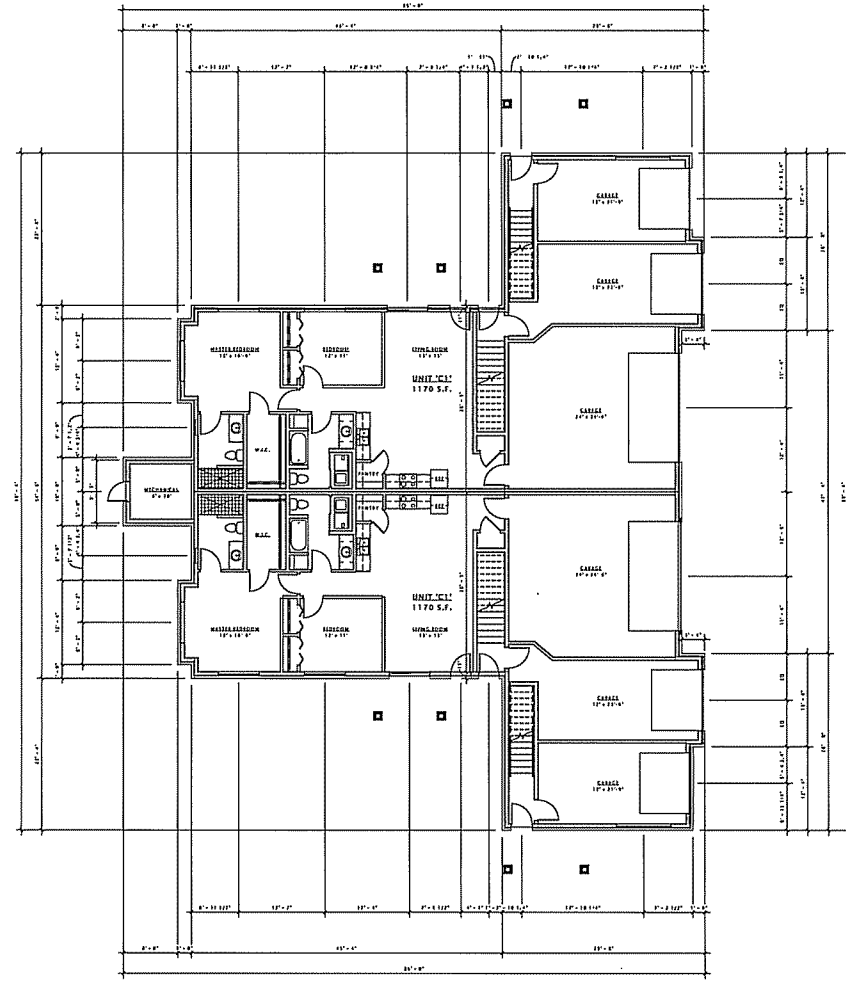
These documents reflect progress and notes and may be subject to change, including additional detail. They are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Rev.	Description	Date

SHEET TITLE
**FIRST FLOOR PLAN -
 BUILDING TYPE 'B'**

SHEET NUMBER
A101-B



16 FIRST FLOOR PLAN - BUILDING 'B'
 1/8" = 1'-0"

JLA

JOSEPH LEE & ASSOCIATES
 1404 KATLABECK DRIVE - SUITE 200
 MADISON, WISCONSIN 53713
 608.261.6000

JLA PROJECT NUMBER: 14-1102

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

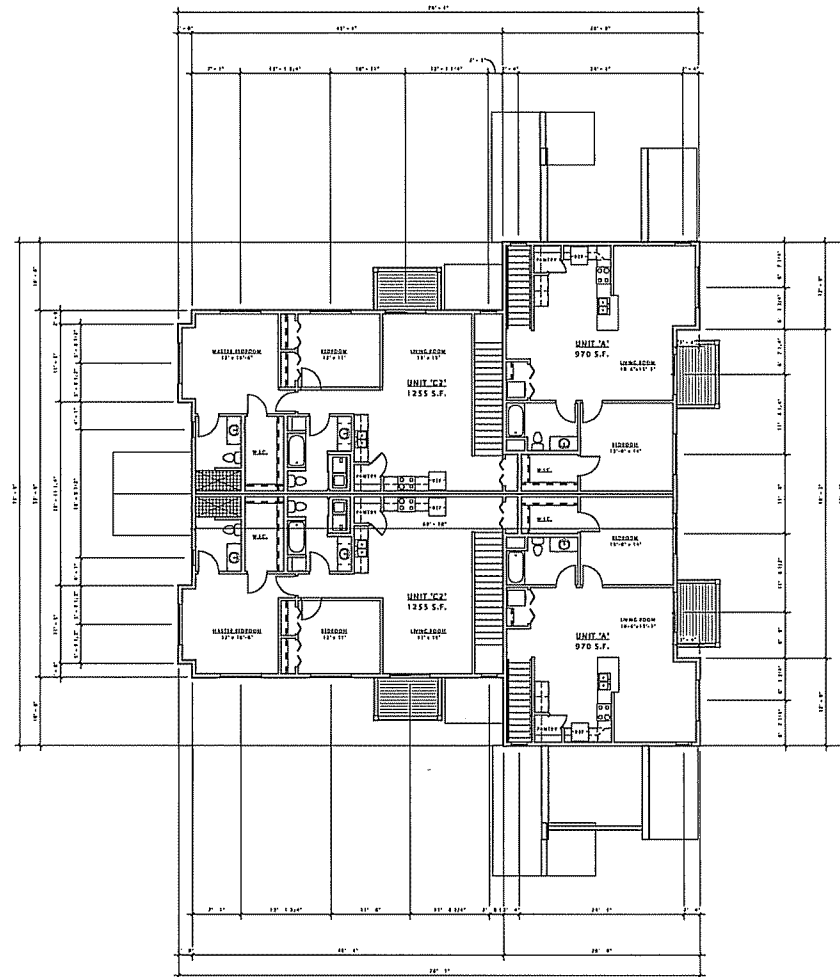
Revisions Schedule	Date

SHEET TITLE

SECOND FLOOR PLAN
 - BUILDING TYPE 'B'

SHEET NUMBER

A102-B



10 SECOND FLOOR PLAN - BUILDING 'B'
 1/8" = 1'-0"

JLA

JOSEPH J. LEE ASSOCIATES
2000 CROSSROADS DRIVE, SUITE 100
MADISON, WISCONSIN 53718
TEL: 608.241.1100
FAX: 608.241.1100
JLA PROJECT NUMBER: 14-109-B

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule

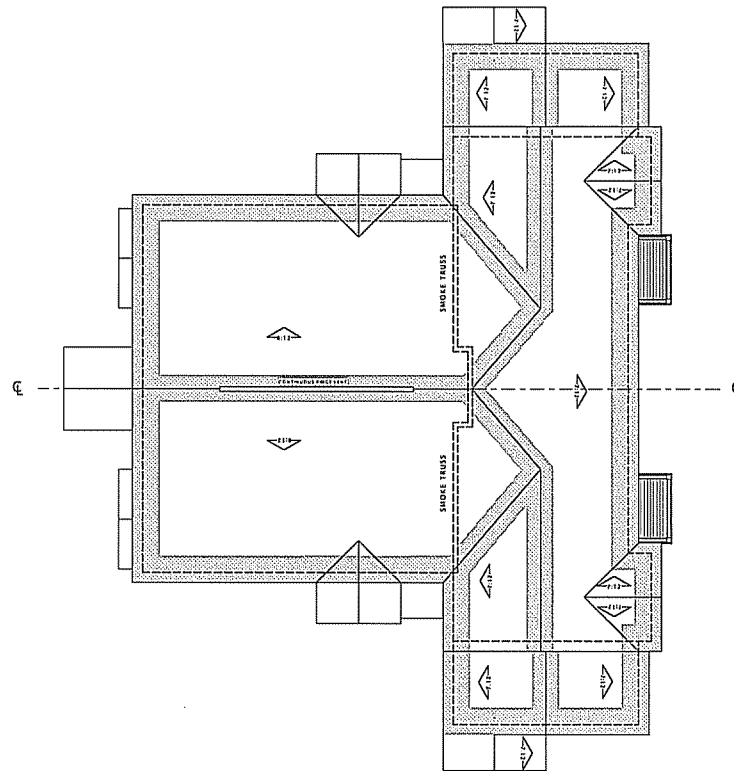
Rev.	Description	Date

SHEET TITLE

ROOF PLAN -
BUILDING TYPE 'B'

SHEET NUMBER

A109-B



① ROOF PLAN
1/8" = 1'-0"

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. They are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

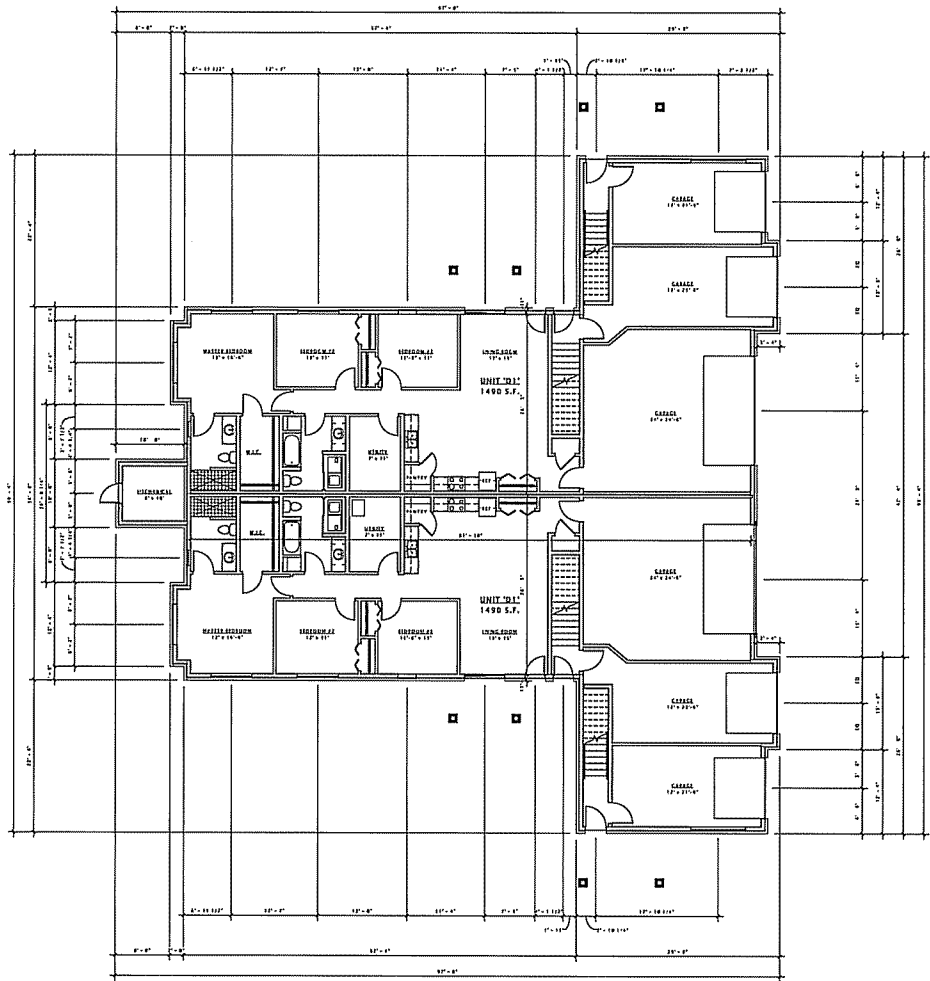
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -
 BUILDING TYPE 'C'

SHEET NUMBER

A101-C



16 FIRST FLOOR PLAN - BUILDING 'C'
 1/8" = 1'-0"

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and what may be subject to change, including approval issues. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

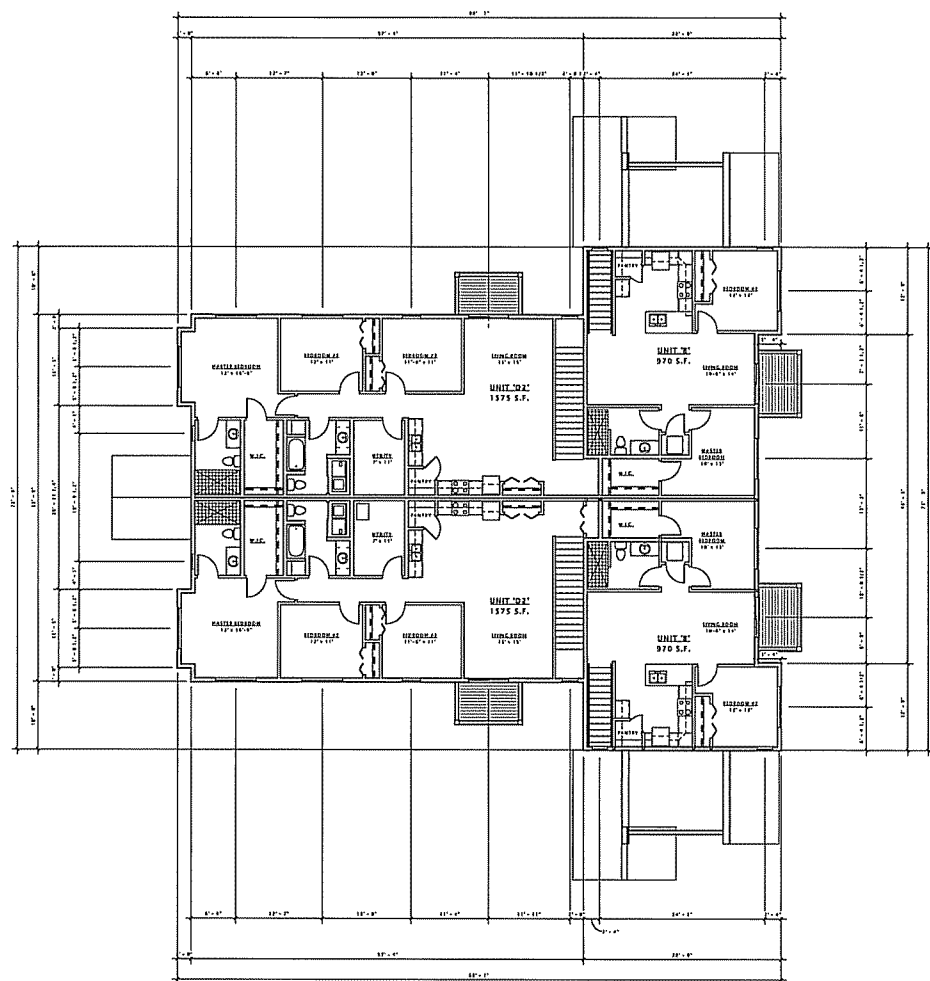
Revision Schedule		
Mat.	Description	Date

SHEET TITLE

SECOND FLOOR PLAN - BUILDING TYPE 'C'

SHEET NUMBER

A102-C



16 SECOND FLOOR PLAN - BUILDING 'C'
 1/8" = 1'-0"

JLA

JOSEPH LEICHT ASSOCIATES
2474 CATALINA DRIVE - SUITE 200
MADISON, WISCONSIN 53713
608.261.9000

BA PROJECT NUMBER: 14-0183

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

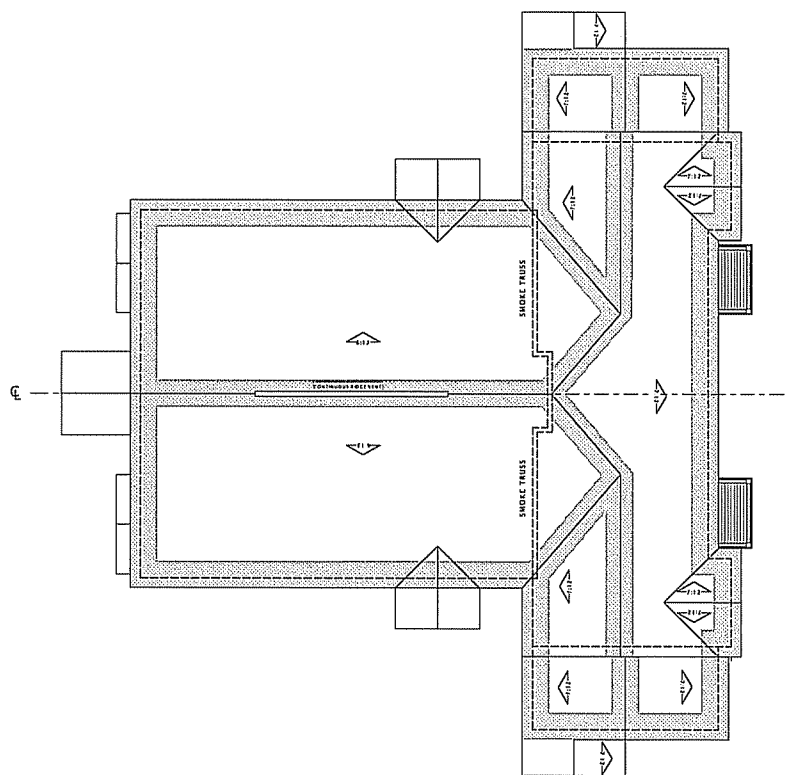
Work	Description	Date

SHEET TITLE

ROOF PLAN -
BUILDING TYPE 'C'

SHEET NUMBER

A109-C



① ROOF PLAN
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
1. ROOF 1	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
2. ROOF 2	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
3. ROOF 3	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
4. ROOF 4	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
5. EXTERIOR WALLS	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
6. ROOF 5	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
7. ROOF 6	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
8. ROOF 7	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
9. ROOF 8	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
10. ROOF 9	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
11. ROOF 10	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
12. ROOF 11	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding



16 BUILDING 'A' - ELEVATION 2
1/8" = 1'-0"



16 BUILDING 'A' - ELEVATION 3
1/8" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2414 EASTMAN AVENUE - SUITE 200
MILWAUKEE, WISCONSIN 53212
TEL: 414.224.1100 FAX: 414.224.1101
USA PROJECT NUMBER: 1643181

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and must not be used for final bidding or construction-related purposes. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Version	Issued	By

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-A

EXTERIOR MATERIAL SCHEDULE		
1. BRICK 1	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
2. BRICK 2	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
3. BRICK 3	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
4. BRICK 4	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
5. BRICK 5	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
6. BRICK 6	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
7. BRICK 7	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
8. BRICK 8	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
9. BRICK 9	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
10. BRICK 10	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
11. BRICK 11	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
12. BRICK 12	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
13. BRICK 13	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
14. BRICK 14	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER
15. BRICK 15	EXTERIOR WALL	3" BRICK WITH 1/2" PLASTER



1 BUILDING 'A' - ELEVATION 1
3/16" = 1'-0"



2 BUILDING 'A' - ELEVATION 4
3/16" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2414 FLORENCE DRIVE, SUITE 200
HOUSTON, TEXAS 77002
713.865.1111
JLA@JLA.COM

BA PROJECT NUMBER: 14-0121

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Mark	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

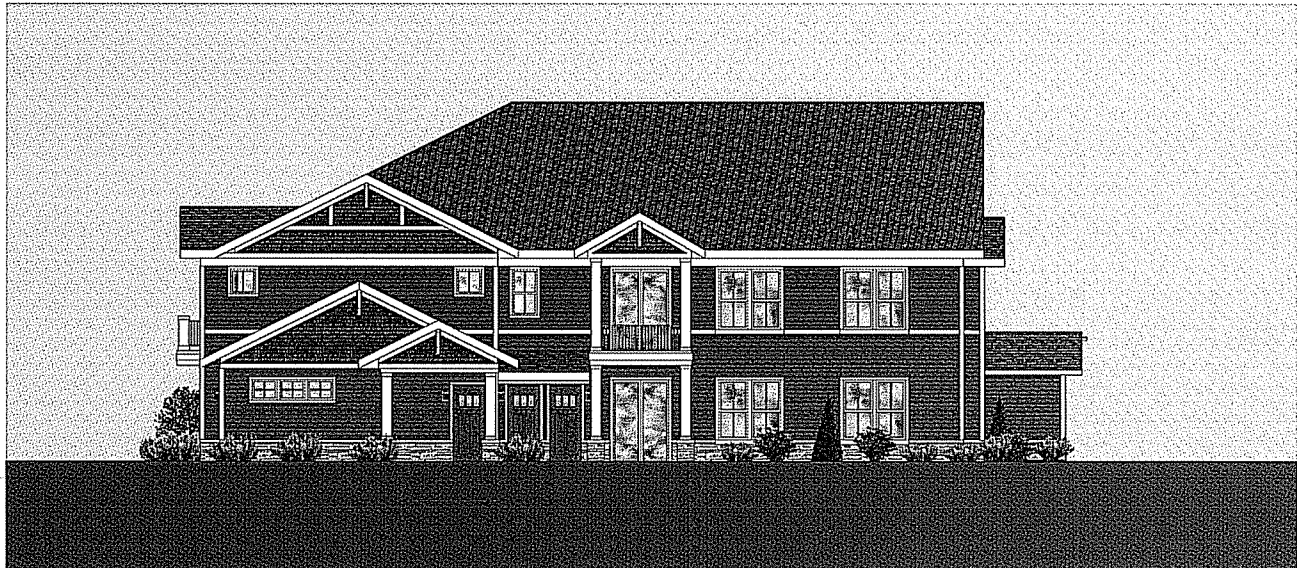
A201-A

EXTERIOR MATERIAL SCHEDULE

ITEM #	DESCRIPTION	QUANTITY	UNIT
1. ROOF 1	ASPH/FLT SHINGLES	10,000	SQ FT
2. ROOF 2	ASPH/FLT SHINGLES	10,000	SQ FT
3. ROOF 3	ASPH/FLT SHINGLES	10,000	SQ FT
4. ROOF 4	ASPH/FLT SHINGLES	10,000	SQ FT
5. ROOF 5	ASPH/FLT SHINGLES	10,000	SQ FT
6. ROOF 6	ASPH/FLT SHINGLES	10,000	SQ FT
7. ROOF 7	ASPH/FLT SHINGLES	10,000	SQ FT
8. ROOF 8	ASPH/FLT SHINGLES	10,000	SQ FT
9. ROOF 9	ASPH/FLT SHINGLES	10,000	SQ FT
10. ROOF 10	ASPH/FLT SHINGLES	10,000	SQ FT
11. ROOF 11	ASPH/FLT SHINGLES	10,000	SQ FT
12. ROOF 12	ASPH/FLT SHINGLES	10,000	SQ FT
13. ROOF 13	ASPH/FLT SHINGLES	10,000	SQ FT
14. ROOF 14	ASPH/FLT SHINGLES	10,000	SQ FT
15. ROOF 15	ASPH/FLT SHINGLES	10,000	SQ FT
16. ROOF 16	ASPH/FLT SHINGLES	10,000	SQ FT
17. ROOF 17	ASPH/FLT SHINGLES	10,000	SQ FT
18. ROOF 18	ASPH/FLT SHINGLES	10,000	SQ FT
19. ROOF 19	ASPH/FLT SHINGLES	10,000	SQ FT
20. ROOF 20	ASPH/FLT SHINGLES	10,000	SQ FT



② BUILDING 'B' - ELEVATION 2
3/16" = 1'-0"



① BUILDING 'B' - ELEVATION 3
3/16" = 1'-0"

JLA
JOSEPH LEE & ASSOCIATES

JOSEPH LEE & ASSOCIATES
2000 KENNEDY DRIVE, SUITE 2000
BOSTON, MASSACHUSETTS 02118
TEL: 617.552.1234
FAX: 617.552.1235
IA PROJECT NUMBER: 14-0102

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and issues and may be subject to change, including addition of detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule

Month	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A 200 - B

EXTERIOR MATERIAL SCHEDULE		
1. WINDOW 1	FRAMING	1" x 4" SIPS
2. WINDOW 2	FRAMING	2" x 4" SIPS
3. WINDOW 3	FRAMING	2" x 4" SIPS
4. WINDOW 4	FRAMING	2" x 4" SIPS
5. WINDOW 5	FRAMING	2" x 4" SIPS
6. WINDOW 6	FRAMING	2" x 4" SIPS
7. WINDOW 7	FRAMING	2" x 4" SIPS
8. WINDOW 8	FRAMING	2" x 4" SIPS
9. WINDOW 9	FRAMING	2" x 4" SIPS
10. WINDOW 10	FRAMING	2" x 4" SIPS
11. WINDOW 11	FRAMING	2" x 4" SIPS
12. WINDOW 12	FRAMING	2" x 4" SIPS
13. WINDOW 13	FRAMING	2" x 4" SIPS
14. WINDOW 14	FRAMING	2" x 4" SIPS
15. WINDOW 15	FRAMING	2" x 4" SIPS



② BUILDING 'B' - ELEVATION 1
3/16" = 1'-0"



① BUILDING 'B' - ELEVATION 4
3/16" = 1'-0"

JLA
ARCHITECTURE

JOSEPH LEE & ASSOCIATES
2214 CALLE SAN JOSE, SUITE 2200
SAN JOSE, CALIFORNIA 95131
408.435.1100

04 PROJECT NUMBER: 142103

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and history and may be subject to change, including editorial error. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-B

EXTERIOR MATERIAL SCHEDULE		
1. ROOFING	ASPHALT/FLT	3" MINIMUM INSULATION
2. EXTERIOR WALLS	BRICK	8" MINIMUM INSULATION
3. EXTERIOR FLOORS	CONCRETE	4" MINIMUM INSULATION
4. EXTERIOR CEILING	PLASTER	5" MINIMUM INSULATION
5. EXTERIOR ROOFING	ASPHALT/FLT	3" MINIMUM INSULATION
6. EXTERIOR WALLS	BRICK	8" MINIMUM INSULATION
7. EXTERIOR FLOORS	CONCRETE	4" MINIMUM INSULATION
8. EXTERIOR CEILING	PLASTER	5" MINIMUM INSULATION
9. EXTERIOR ROOFING	ASPHALT/FLT	3" MINIMUM INSULATION
10. EXTERIOR WALLS	BRICK	8" MINIMUM INSULATION
11. EXTERIOR FLOORS	CONCRETE	4" MINIMUM INSULATION
12. EXTERIOR CEILING	PLASTER	5" MINIMUM INSULATION
13. EXTERIOR ROOFING	ASPHALT/FLT	3" MINIMUM INSULATION
14. EXTERIOR WALLS	BRICK	8" MINIMUM INSULATION
15. EXTERIOR FLOORS	CONCRETE	4" MINIMUM INSULATION
16. EXTERIOR CEILING	PLASTER	5" MINIMUM INSULATION



Ⓢ BUILDING 'C' - ELEVATION 2
3/16" = 1'-0"



Ⓢ BUILDING 'C' - ELEVATION 3
3/16" = 1'-0"

JLA
JOSEPH LEE & ASSOCIATES

2010 EASTMAN AVENUE, SUITE 200
MARIETTA, GEORGIA 30067
770.421.2222

04 PROJECT NUMBER: 14-0113

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and issues and may be subject to change, including additional issues. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Month	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A200-C

EXTERIOR MATERIAL SCHEDULE		
1. BRICK	Exterior	3" Solid Brick, Mortar Joint
2. BRICK	Exterior	3" Solid Brick, Mortar Joint
3. BRICK	Exterior	3" Solid Brick, Mortar Joint
4. BRICK	Exterior	3" Solid Brick, Mortar Joint
5. STONE	Exterior	3" Solid Brick, Mortar Joint
6. BRICK	Exterior	3" Solid Brick, Mortar Joint
7. BRICK	Exterior	3" Solid Brick, Mortar Joint
8. BRICK	Exterior	3" Solid Brick, Mortar Joint
9. BRICK	Exterior	3" Solid Brick, Mortar Joint
10. BRICK	Exterior	3" Solid Brick, Mortar Joint
11. BRICK	Exterior	3" Solid Brick, Mortar Joint
12. BRICK	Exterior	3" Solid Brick, Mortar Joint



1 BUILDING 'C' - ELEVATION 1
3/16" = 1'-0"



2 BUILDING 'C' - ELEVATION 4
3/16" = 1'-0"

JLA
ARCHITECTS

JULIUS LEE & ASSOCIATES
2515 FARMINGTON DRIVE, SUITE 200
BOSTON, MASSACHUSETTS 02116
TEL: 617-252-1100 FAX: 617-252-1101

RA PROJECT NUMBER: 14-0112

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS
These documents reflect progress and history and may be subject to change, including different dates. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015
Revision Schedule
Mark Description Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201-C

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional items. These are not final construction documents and should not be used for building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule

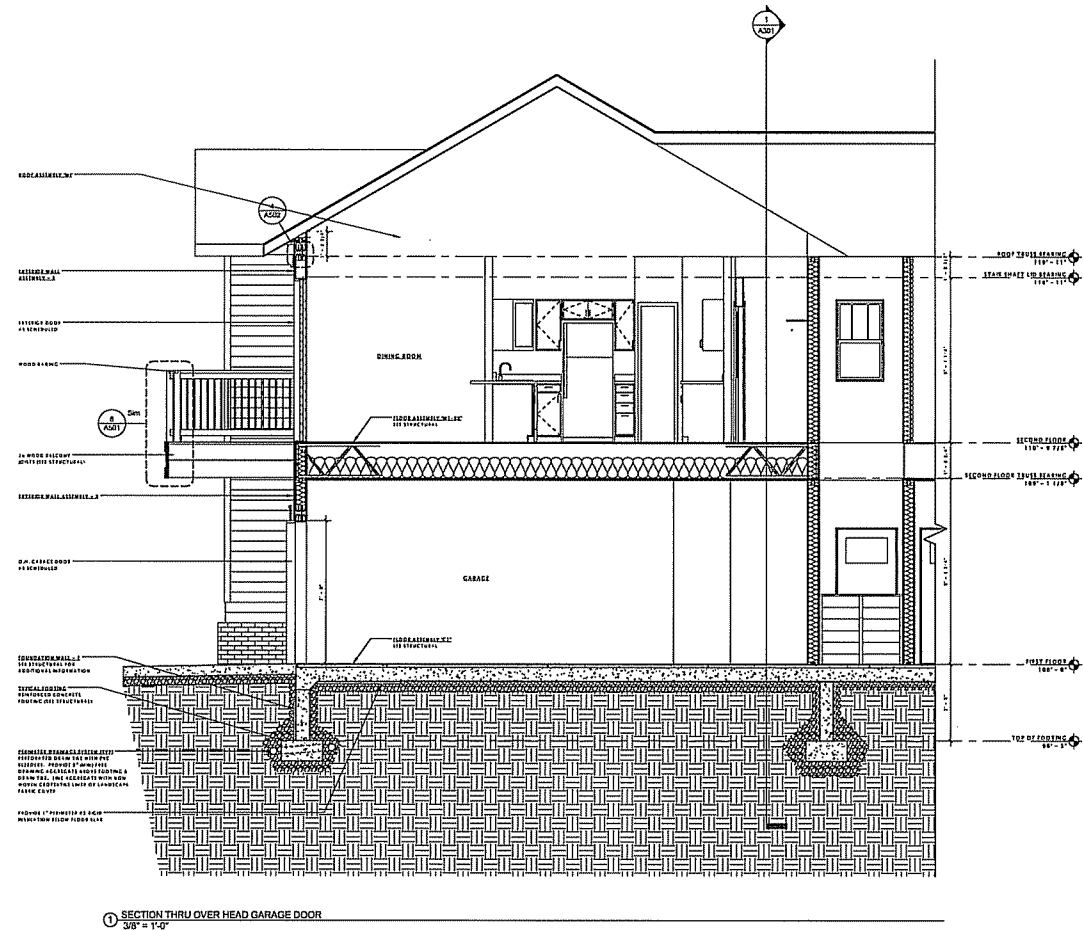
NO.	DESCRIPTION	DATE

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A300



1 SECTION THRU OVER HEAD GARAGE DOOR
 3/8" = 1'-0"

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

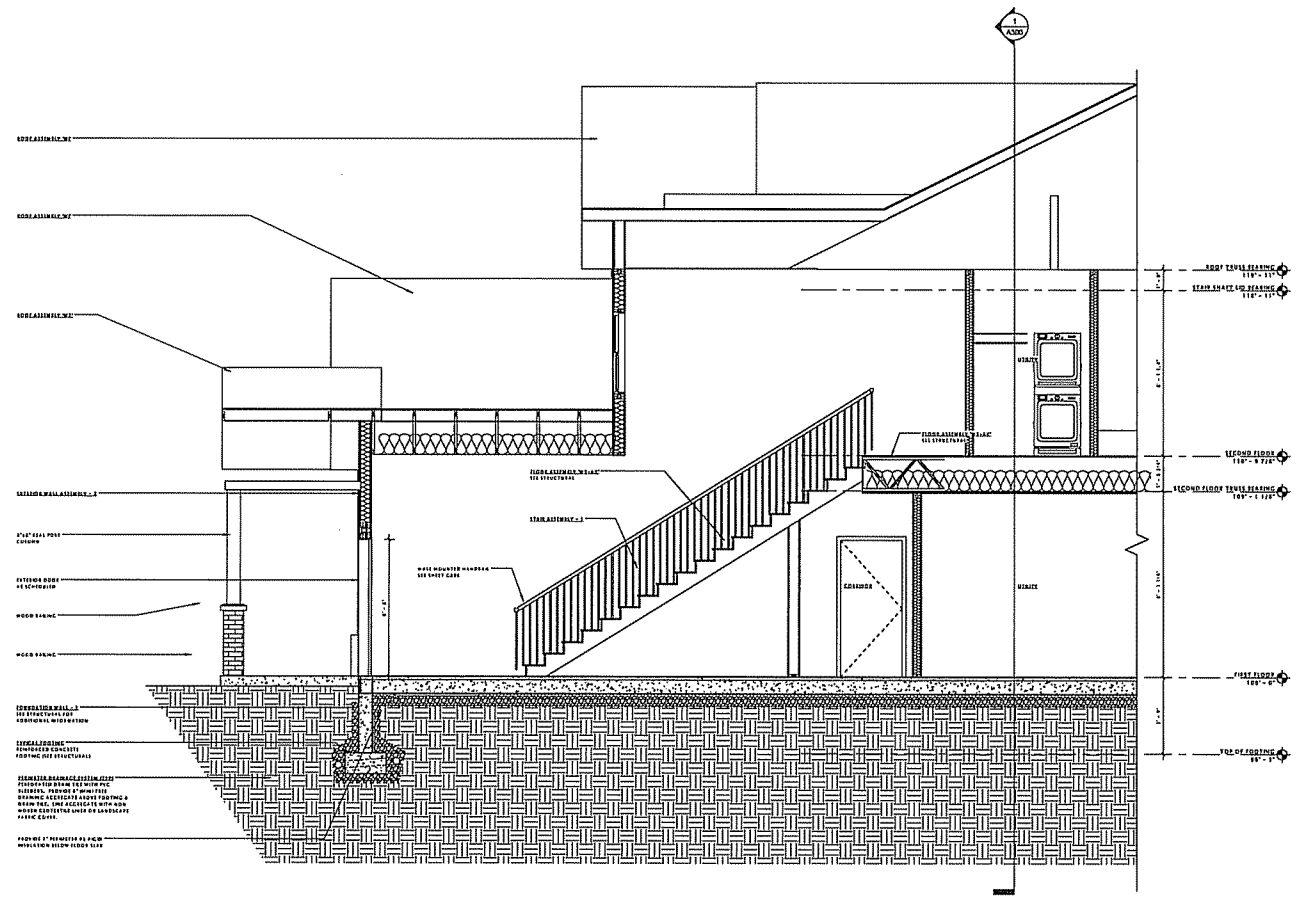
PROGRESS DOCUMENTS
 These documents reflect progress and issues and may be subject to change, including additional detail. They are not final construction documents and should not be used for finalizing or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

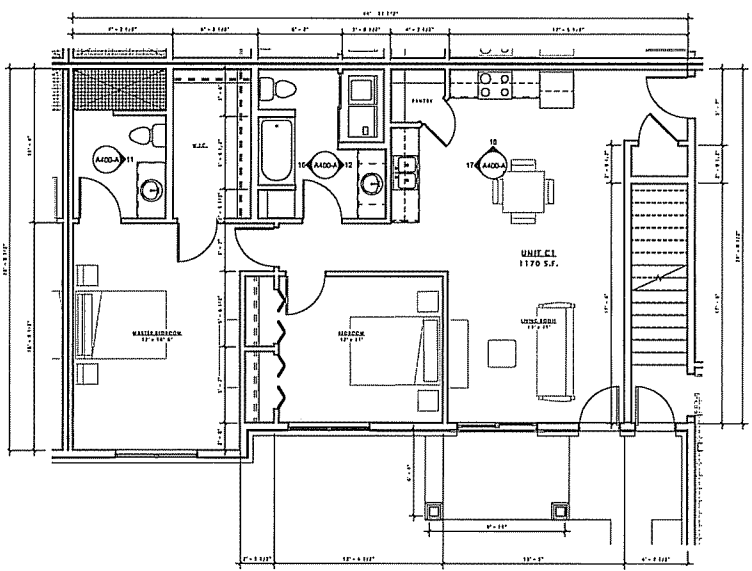
Revision Schedule		
Rev.	Description	Date

SHEET TITLE
BUILDING SECTIONS

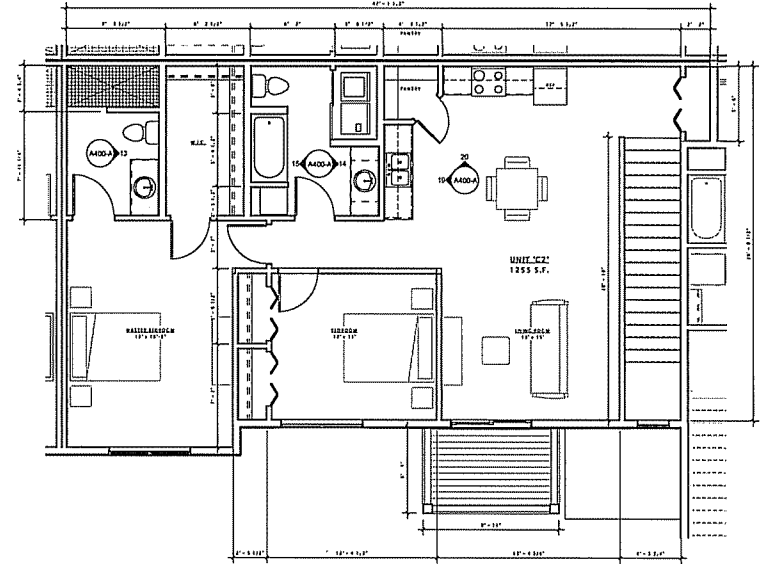
SHEET NUMBER
A301



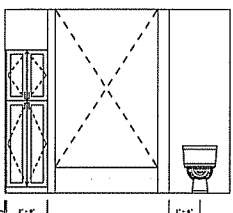
① GARAGE STAIR SECTION
 3/8" = 1'-0"



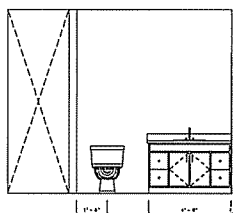
① UNIT 'A1' - FLOOR PLAN
1/4" = 1'-0"



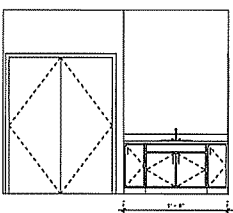
② UNIT 'A2' - FLOOR PLAN
1/4" = 1'-0"



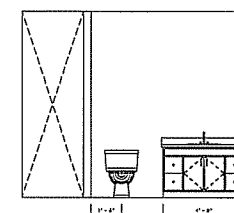
⑬ A1 - BATH 3
3/8" = 1'-0"



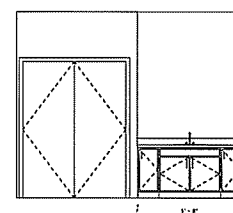
⑭ A1 - BATH 1
3/8" = 1'-0"



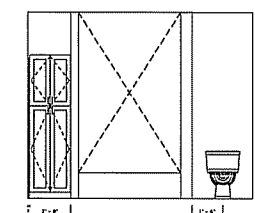
⑮ A1 - BATH 2
3/8" = 1'-0"



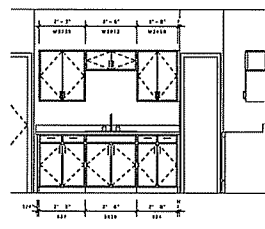
⑯ A2 - BATH 1
3/8" = 1'-0"



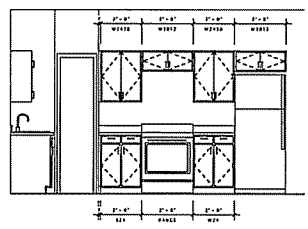
⑰ A2 - BATH 2
3/8" = 1'-0"



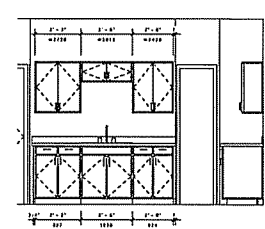
⑱ A2 - BATH 3
3/8" = 1'-0"



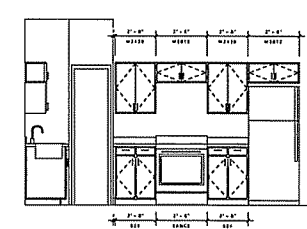
⑲ A1 - KITCHEN 1
3/8" = 1'-0"



⑳ A1 - KITCHEN 2
3/8" = 1'-0"



㉑ A2 - KITCHEN 1
3/8" = 1'-0"



㉒ A2 - KITCHEN 2
3/8" = 1'-0"

JLA
JOSEPH LEE & ASSOCIATES

JOSEPH LEE & ASSOCIATES
3115 CATALINA DRIVE, SUITE 200
MADISON, WISCONSIN 53711
TEL: 608.261.5100
FAX: 608.261.5100
JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

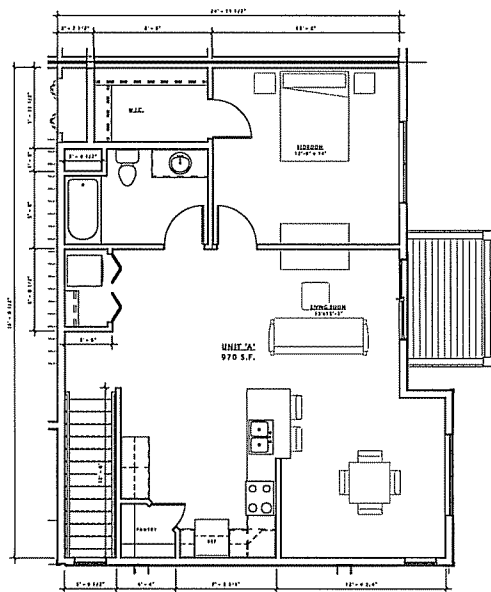
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

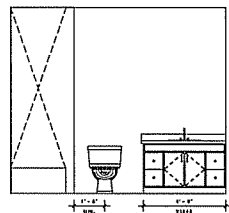
Revision Schedule	
Mat.	Date

SHEET TITLE
**PLANS & INTERIOR
ELEVATIONS -
BUILDING TYPE 'A'**

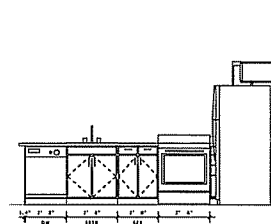
SHEET NUMBER
A400-A



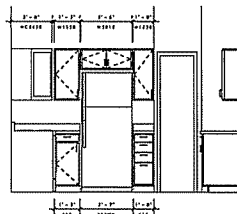
② SECOND FLOOR PLAN - BUILDING 'A'
1/4" = 1'-0"



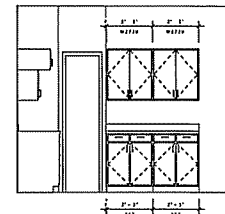
④ A3 - BATH
3/8" = 1'-0"



⑤ A3 - KITCHEN 1
3/8" = 1'-0"



⑥ A3 - KITCHEN 2
3/8" = 1'-0"



⑦ A3 - KITCHEN 3
3/8" = 1'-0"

JLA
ARCHITECTS

JOSEPH LEE ASSOCIATES
424 EAST BROADWAY DRIVE, SUITE 200
MILWAUKEE, WISCONSIN 53212
TEL: 414.224.1100
FAX: 414.224.1101

JLA PROJECT NUMBER: 14-1183

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. They are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Rev.	Revision Schedule	Date
001	02/04/15	02/04/15

SHEET TITLE
**PLANS & INTERIOR
ELEVATIONS -
BUILDING TYPE 'A'**

SHEET NUMBER
A401-A

JLA

JOSEPH LEE & ASSOCIATES
 2400 CROSSROADS DRIVE, SUITE 200
 MADISON, WISCONSIN 53718
 TEL: 608.261.3300
 FAX: 608.261.3300

JLA PROJECT NUMBER: 14-1101

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule

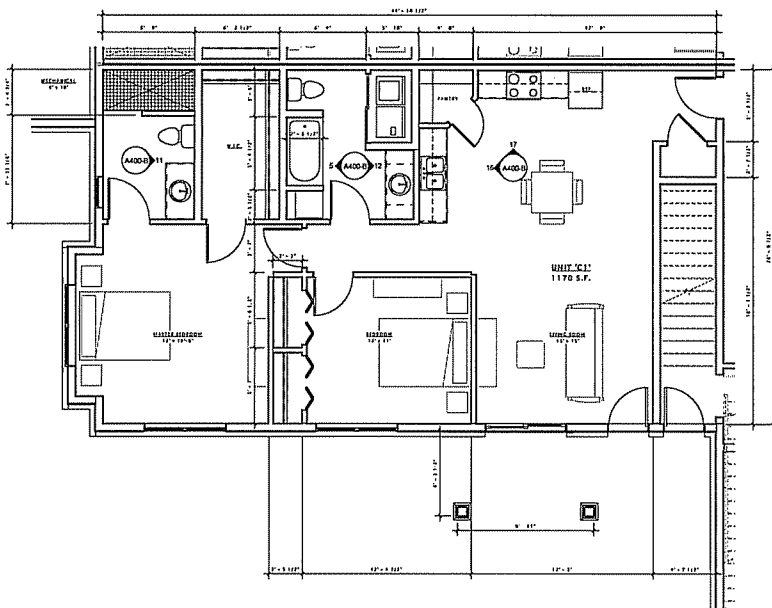
Mark	Description	Date

SHEET TITLE

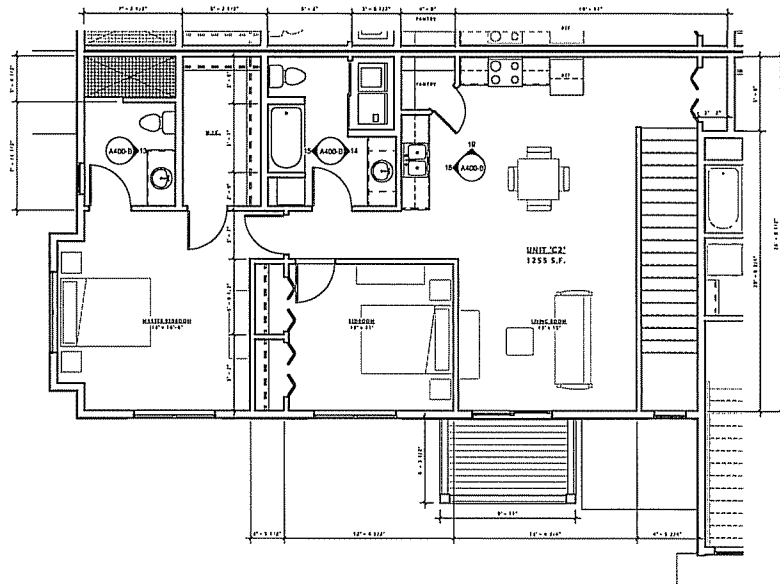
PLANS & INTERIOR
 ELEVATIONS -
 BUILDING TYPE 'B'

SHEET NUMBER

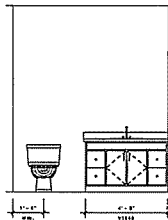
A400-B



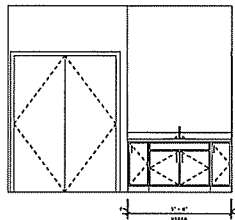
① UNIT 'B1' - FLOOR PLAN
 1/4" = 1'-0"



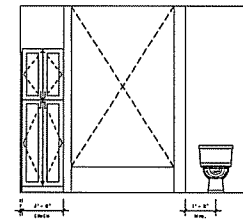
② UNIT 'B2' - FLOOR PLAN
 1/4" = 1'-0"



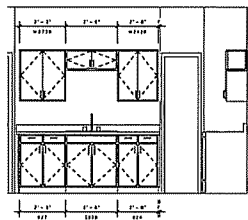
③ B1 - BATH 1
 3/8" = 1'-0"



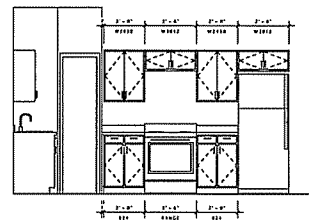
④ B1 - BATH 2
 3/8" = 1'-0"



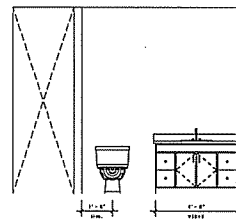
⑤ B1 - BATH 3
 3/8" = 1'-0"



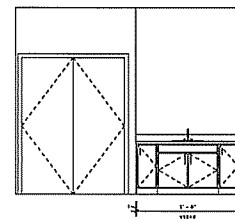
⑥ B1 - KITCHEN 1
 3/8" = 1'-0"



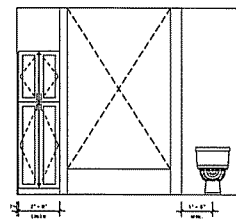
⑦ B1 - KITCHEN 2
 3/8" = 1'-0"



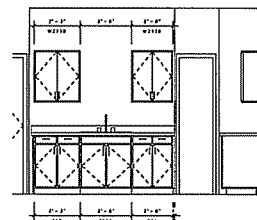
⑧ B2 - BATH 1
 3/8" = 1'-0"



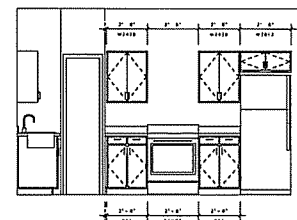
⑨ B2 - BATH 2
 3/8" = 1'-0"



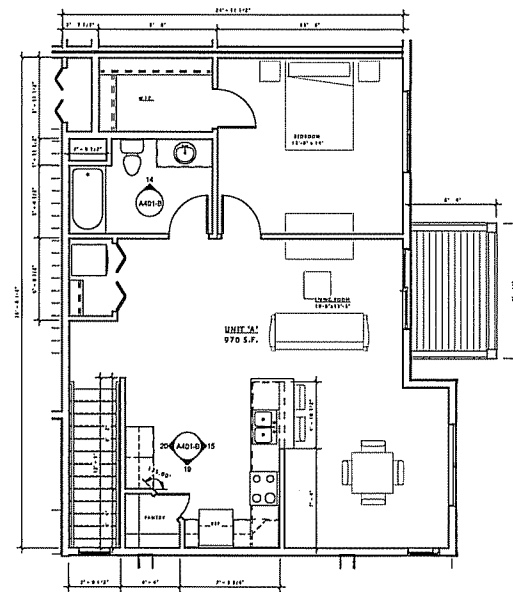
⑩ B2 - BATH 3
 3/8" = 1'-0"



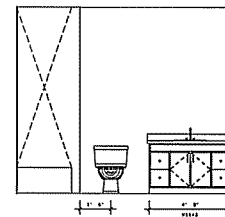
⑪ B2 - KITCHEN 1
 3/8" = 1'-0"



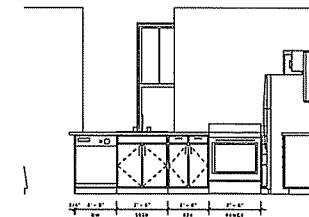
⑫ B2 - KITCHEN 2
 3/8" = 1'-0"



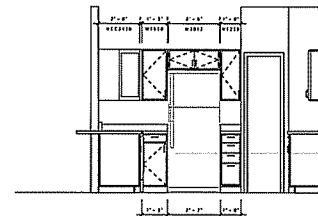
② SECOND FLOOR PLAN - BUILDING 'B'
1/4" = 1'-0"



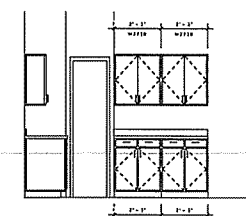
⑬ B3 - BATH
3/8" = 1'-0"



⑭ B3 - KITCHEN 1
3/8" = 1'-0"



⑮ B3 - KITCHEN 2
3/8" = 1'-0"



⑯ B3 - KITCHEN 3
3/8" = 1'-0"

JLA
ARCHITECTS

JOSEPH LEE ASSOCIATES
ARCHITECTS
1000 W. WISCONSIN AVENUE, SUITE 200
MILWAUKEE, WISCONSIN 53219
TEL: 414.224.1500
FAX: 414.224.1500

JLA PROJECT NUMBER: 14-1193

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and notes and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

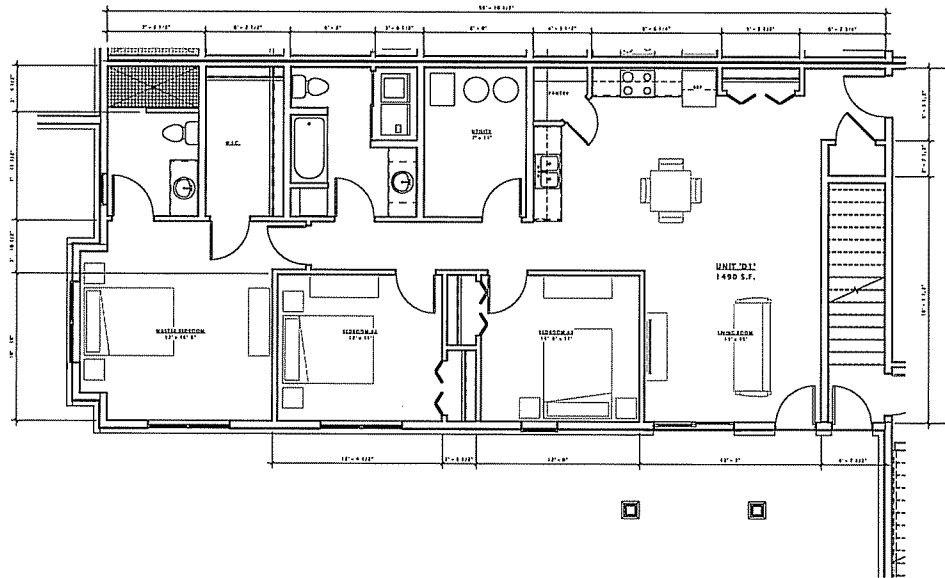
Revision Schedule	
Rev.	Description

SHEET TITLE

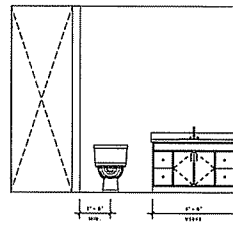
PLANS & INTERIOR
ELEVATIONS -
BUILDING TYPE 'B'

SHEET NUMBER

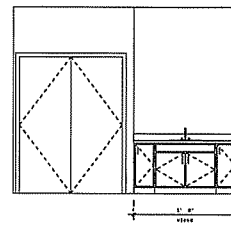
A401-B



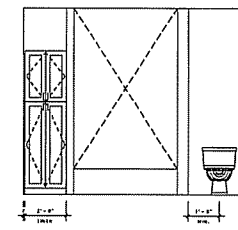
8 FIRST FLOOR PLAN - BUILDING 'C'
1/4" = 1'-0"



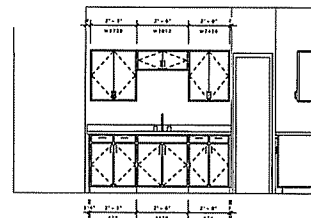
13 C1 - BATH 1
3/8" = 1'-0"



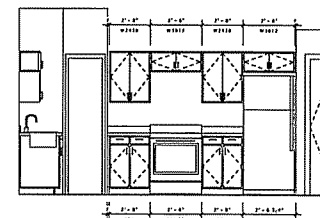
14 C1 - BATH 2
3/8" = 1'-0"



15 C1 - BATH 3
3/8" = 1'-0"



16 C1 - KITCHEN 1
3/8" = 1'-0"



17 C1 - KITCHEN 2
3/8" = 1'-0"

JLA
JOSEPH LEICHT ASSOCIATES

JOSEPH LEICHT ASSOCIATES
1400 CHERRYWOOD DRIVE • SUITE 200
MILWAUKEE, WISCONSIN 53212
PHONE: 414.761.1000
FAX: 414.761.1001
JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Mat'd	Date

SHEET TITLE
**PLANS & INTERIOR
ELEVATIONS -
BUILDING TYPE 'C'**

SHEET NUMBER
A400-C

JLA

JOSEPH LEE & ASSOCIATES
 2418 CATALINA CROSSING DRIVE, SUITE 2100
 MADISON, WISCONSIN 53713
 TEL: 608.261.2500
 FAX: 608.261.2500

JLA PROJECT NUMBER: 14-4101

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule

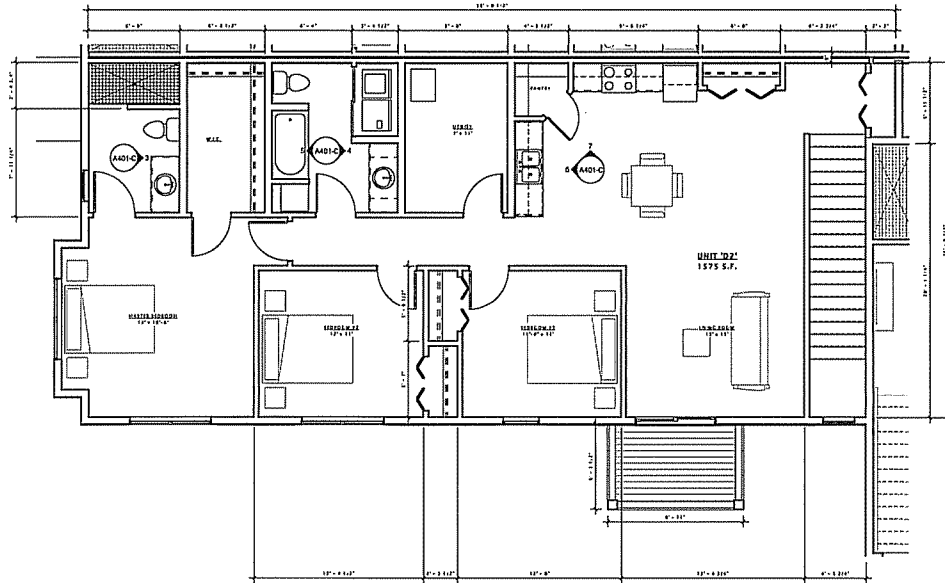
Rev.	Description	Date

SHEET TITLE

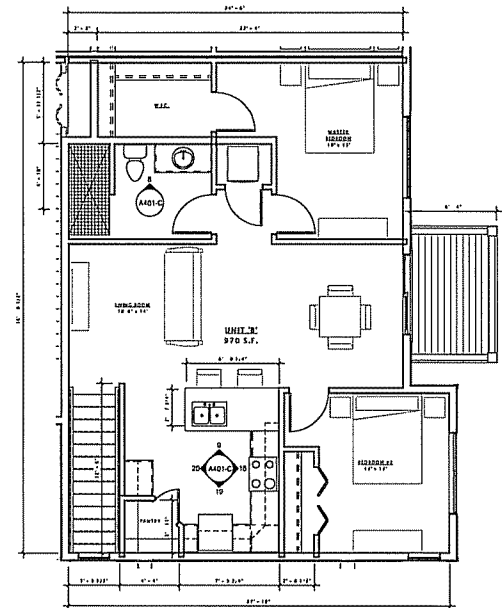
PLANS & INTERIOR
 ELEVATIONS -
 BUILDING TYPE 'C'

SHEET NUMBER

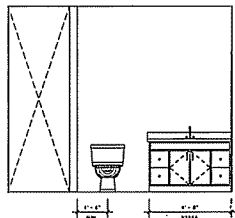
A401-C



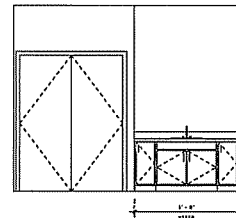
1 SECOND FLOOR PLAN - BUILDING 'C'
 1/4" = 1'-0"



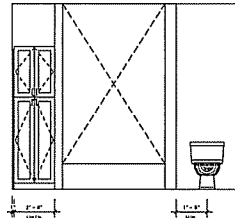
2 SECOND FLOOR PLAN - BUILDING 'C'
 1/4" = 1'-0"



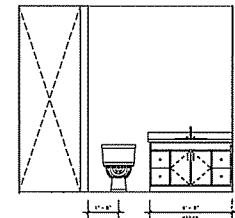
3 C2 - BATH 1
 3/8" = 1'-0"



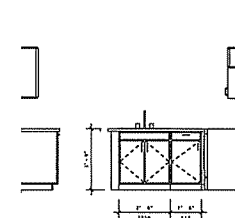
4 C2 - BATH 2
 3/8" = 1'-0"



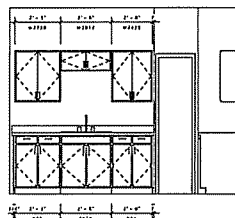
5 C2 - BATH 3
 3/8" = 1'-0"



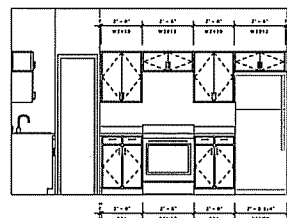
6 C3 - BATH
 3/8" = 1'-0"



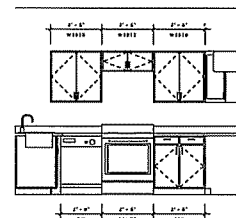
7 C3 - KITCHEN 1
 3/8" = 1'-0"



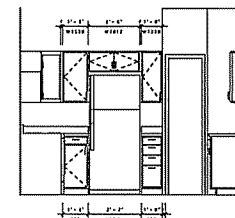
8 C2 - KITCHEN 1
 3/8" = 1'-0"



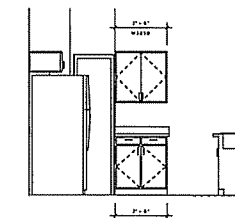
9 C2 - KITCHEN 2
 3/8" = 1'-0"



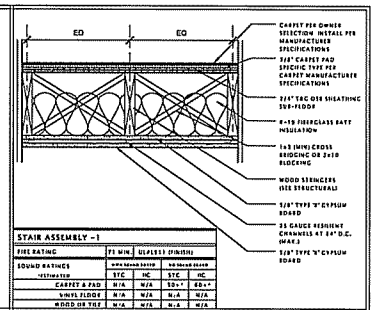
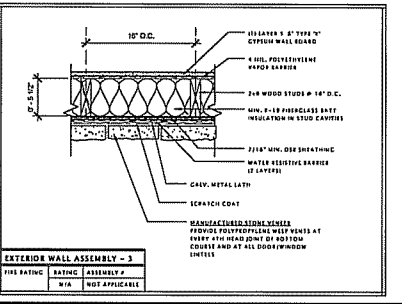
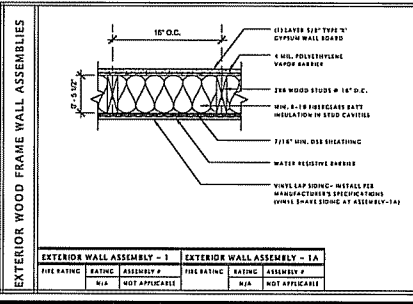
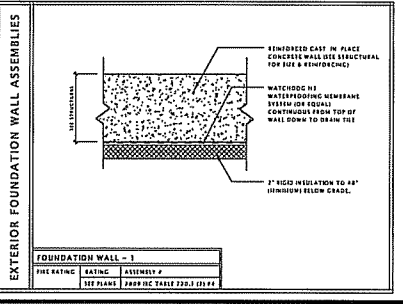
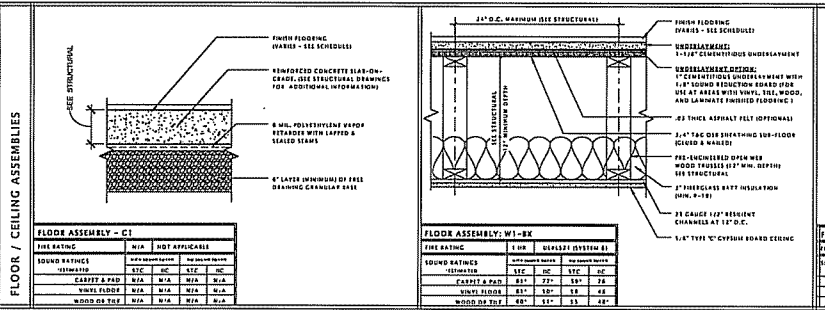
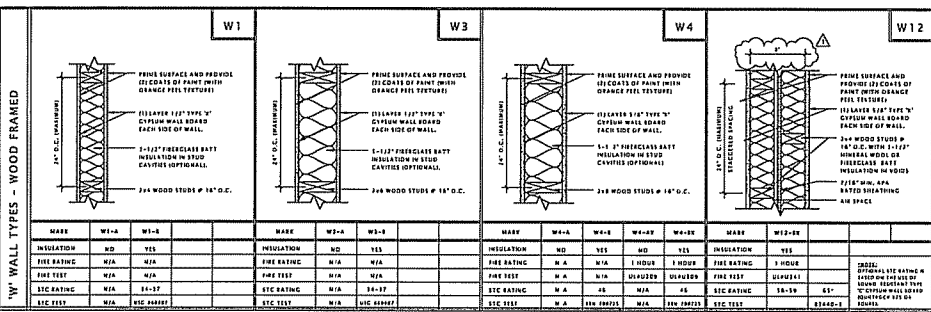
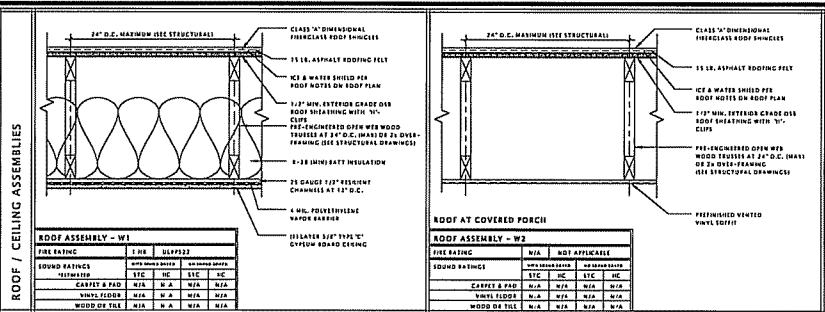
10 C3 - KITCHEN 2
 3/8" = 1'-0"

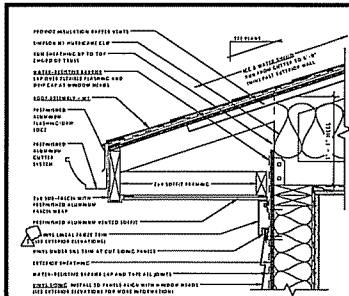


11 C3 - KITCHEN 3
 3/8" = 1'-0"

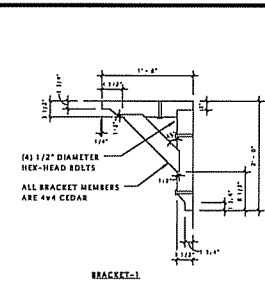


12 C3 - KITCHEN 4
 3/8" = 1'-0"

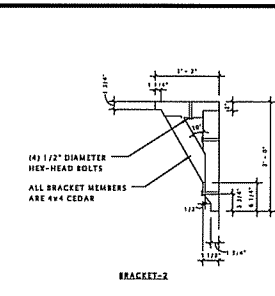




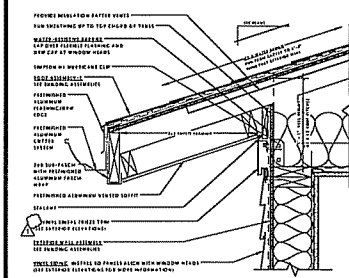
1 TYPICAL EAVE DETAIL AT SIDING
1 1/2" x 1'-0"



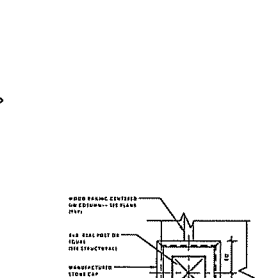
2 EXTERIOR BRACKETS
1'-0" x 1'-0"



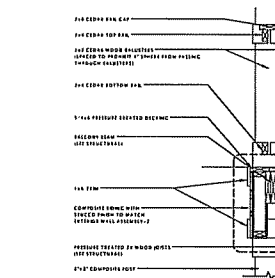
3 EXTERIOR BRACKETS
1'-0" x 1'-0"



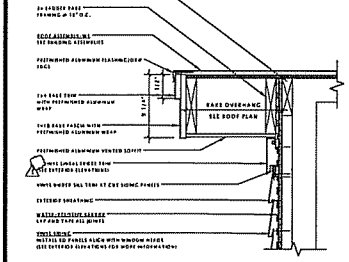
5 TYPICAL CABLE END EAVE AT SIDING
1 1/2" x 1'-0"



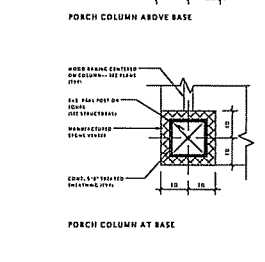
16 PORCH COLUMNS
3'-0" x 1'-0"



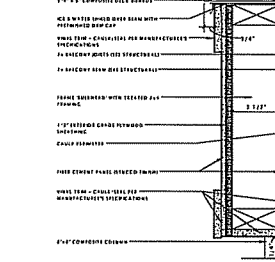
6 BALCONY/PORCH DETAIL
3'-0" x 1'-0"



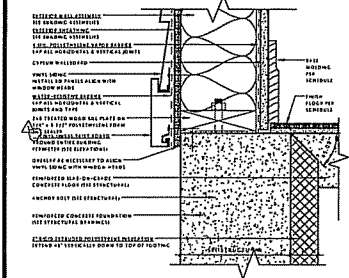
11 TYPICAL RAKE DETAIL AT SIDING
1 1/2" x 1'-0"



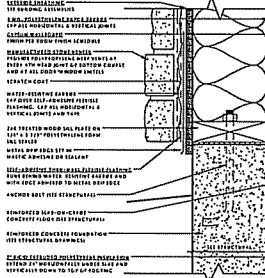
17 PORCH COLUMNS
3'-0" x 1'-0"



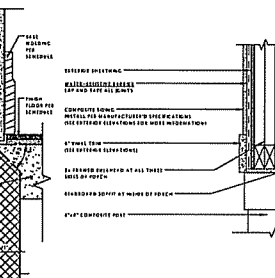
18 BALCONY BULKHEAD
3'-0" x 1'-0"



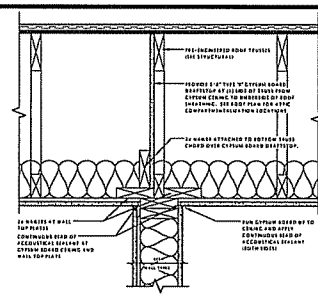
16 SLAB ON GRADE - WOOD W/ VINYL SIDING AND SKIRT BOARD
3'-0" x 1'-0"



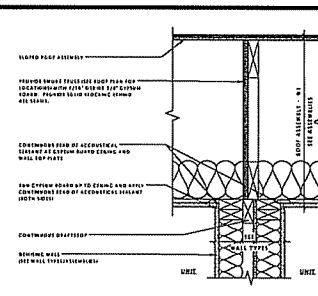
17 SLAB ON GRADE - WOOD W/ STONE VENEER
3'-0" x 1'-0"



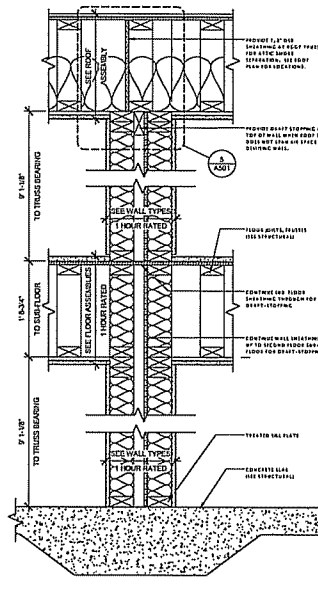
18 BULKHEAD AT PORCH
1 1/2" x 1'-0"



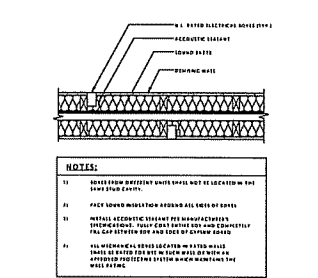
4 ATTIC COMPARTMENTALIZATION DETAIL
1 1/2" x 1'-0"



3 UNIT DEMISING WALL AT ROOF
1 1/2" x 1'-0"



15 TYPICAL DEMISING WALL
1 1/2" x 1'-0"



20 ELECTRICAL BOXES IN DEMISING WALLS
1'-0" x 1'-0"

JLA
JOSEPH LEI & ASSOCIATES
1715 CHANDLER STREET, SUITE 200
MILWAUKEE, WISCONSIN 53212
TEL: 414.224.3222
FAX: 414.224.3222
JLA PROJECT NUMBER: 14-103

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS
These documents reflect progress and issues and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	04 FEBRUARY 2015
REVISION	15146416
DATE	02/10/2015
CONSTRUCTION DIVISION	01

SHEET TITLE
BUILDING DETAILS

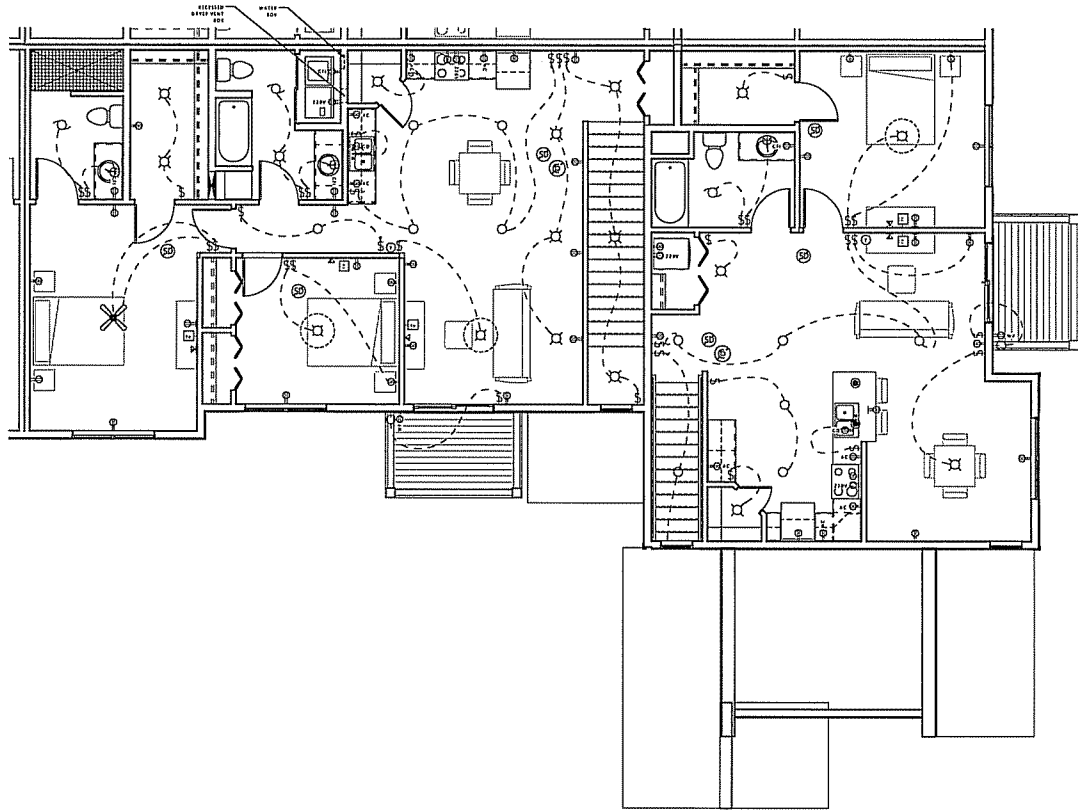
SHEET NUMBER
A 501

DEVICE PLACEMENT FEATURE SYMBOLS			
☒	CEILING LIGHT (SURFACE MOUNTED)	☒	ACCENT CEILING LIGHT (SURFACE MOUNTED)
○	CEILING LIGHT (RECESSED HIDDEN)	●	ACCENT CEILING LIGHT (RECESSED HIDDEN)
○	RECESSED CAN CEILING LIGHT	●	PENDANT LIGHT
○	WALL LIGHT (SURFACE MOUNTED)	○	ACCENT WALL LIGHT (SURFACE MOUNTED)
○	EXIT LIGHT (CEILING MOUNTED)	○	EXIT LIGHT (WALL MOUNTED)
✕	CEILING FAN & LIGHT (SWITCH SEPARATE)	⊠	2x4 FLOURESCENT LIGHT FIXTURE (SURFACE MOUNTED)
✕	CEILING FAN (NO LIGHT)	⊠	2x4 FLOURESCENT LIGHT FIXTURE (RECESSED HIDDEN)
○	FUTURE CEILING FAN (RECESSED HIDDEN)	⊠	2x4 FLOURESCENT RECESSED HIDDEN LIGHT FIXTURE
⊠	UNDER-CABINET LIGHTING	⊠	4" FLOURESCENT TRIM (SURFACE MOUNTED)
⊠	EXHAUST FAN & LIGHT	⊠	CHANCE DOOR (SWITCH WITH LIGHT)
⊠	SMOKE DETECTOR	⊠	CARBON MONOXIDE DETECTOR
⊠	BATTERY OPERATED EMERGENCY LIGHTING	+	WIRE RUN

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL LEADER	RECEIZABLES	SYMBOLS	DESCRIPTION
⊠	SWITCH	⊠	1/2" SINGLE POLE
⊠	SWITCH	⊠	1/2" DOUBLE
⊠	SWITCH	⊠	1/2" DOUBLE POLE
⊠	QUADRUPLER	⊠	1/2" THREE WAY
⊠	REC'D. POINTING	⊠	1/2" REC'D. POINTING
⊠	RANDED TRIP	⊠	1/2" TRIP DISCONNECT
⊠	PLANE	⊠	1/2" LOW-VOLTAGE WASTE
⊠	BOX	⊠	HIDDEN DETECTOR
⊠	JUNCTION BOX	⊠	ELECTRICAL PANEL
COMMUNICATIONS - DIVISION 27			
WALL LEADER	RECEIZABLES	WALL	UNRECEIZABLES
⊠	DATA	⊠	WIRELESS CALL
⊠	VOICE	⊠	TELEPHONE
⊠	VOICE & DATA	⊠	SECURITY CAMERA
⊠	VOICE, DATA, & POWER	⊠	WIRELESS ROUTER (PROVIDE POWER & DATA)
⊠	TELEVISION	⊠	
SUBEQUIP LEGEND			
⊠	APPLY COUNTER	⊠	RANGE
⊠	DEDICATED	⊠	SWITCHED
⊠	MOUNTING HEIGHT (INCHES AFF)	⊠	
220V	220 VOLT	⊠	WEATHER PADD
ED	GROUND FAULT INTERRUPTER	⊠	CANAL DISPOSAL

DEVICE PLACEMENT PLAN GENERAL NOTES

- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/BUILD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
- ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.L. APPROVED SYSTEM WITH AN HOURLY RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
- PROVIDE 110V OUTLETS 12" FROM CEILING AT REPEATER LOCATIONS. (LOCATIONS TO BE DETERMINED.)
- FIXTURES SHALL BE RECESSED AT ANY ACT CEILINGS AND SURFACE MOUNTED AT ANY CWB CEILINGS UNLESS NOTED OTHERWISE.
- LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
- WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
- DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
- COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
- ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
- UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
- AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RG6 & (1) CAT5 WIRES CONNECTED TO D-MARK TELECOM PANEL IN BASEMENT.
- COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
- FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.



1 SECOND FLOOR PLAN - BUILDING 'A'
1/4" = 1'-0"

JLA

JOSEPH, LEE & ASSOCIATES
1414 FARMERS ROAD, SUITE 200
MADISON, WISCONSIN 53718
TEL: 608.241.1000
FAX: 608.241.1000

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule

Rev.	Description	Date
------	-------------	------

SHEET TITLE

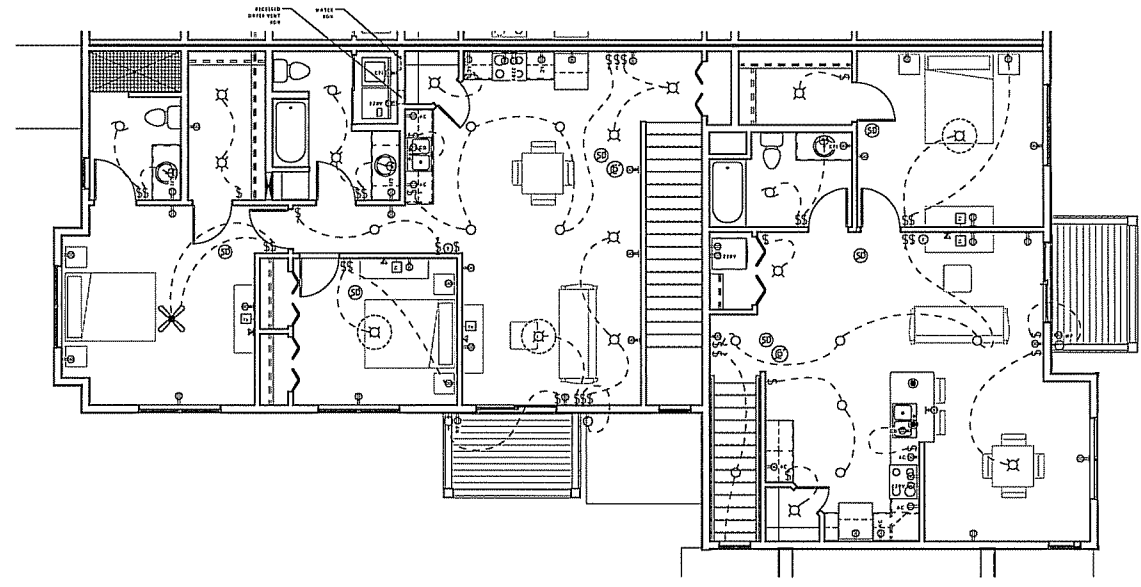
DEVICE PLACEMENT
PLAN - SECOND
FLOOR BUILDING 'A'

SHEET NUMBER

A901-A

DEVICE PLACEMENT FIXTURE SYMBOLS			
	CEILING LIGHT (SURFACE MOUNTED)		ACCENT CEILING LIGHT (SURFACE MOUNTED)
	CEILING LIGHT (RECESSED MOUNTED)		ACCENT CEILING LIGHT (RECESSED MOUNTED)
	RECESSED CAN CEILING LIGHT		PENDANT LIGHT
	WALL MOUNT (SURFACE MOUNTED)		ACCENT WALL LIGHT (SURFACE MOUNTED)
	FURR LIGHT (CEILING MOUNTED)		EXIT LIGHT (WALL MOUNTED)
	CEILING FAN & LIGHT (SWITCH SEPARATELY)		1x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	CEILING FAN (NO LIGHT)		2x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	FUTURE CEILING FAN (DOUGH-IN ONLY)		2x4 FLUORESCENT RECESSED TROFFER LIGHT FIXTURE
	UNDER-CABINET LIGHTING		4' FLUORESCENT STRIP LIGHT FIXTURE (SURFACE MOUNTED)
	EXHAUST FAN & LIGHT		CAFÉ DOOR OPENER WITH LIGHT
	SMOKE DETECTOR		CARBON MONOXIDE DETECTOR
	BATTERY OPERATED EMERGENCY LIGHTING		DOOR BELL

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL	RECEPTACLES	SWITCHES	
EW	WALL	SW	SINGLE POLE
EW	DUPLEX	DW	2-WIRE
EW	TAPPLER	TDW	DOUBLE POLE
EW	DISCONNECT	TDW	THREE WAY
EW	SPECIAL PURPOSE	SW	4-15 AMPERES
EW	RANGE OR STOVE	SW	THREE OPERATED
EW	SW	SW	LOW-VOLTAGE MASTER
EW	SW	SW	WIRING DEVICE
EW	SW	SW	ELECTRICAL PANEL
COMMUNICATIONS - DIVISION 27			
WALL	RECEPTACLES	WALL	INSTALLATIONS
W	DATA	W	WIRE CALL
W	VOICE	W	THERMOSTAT
W	VOICE & DATA	W	SECURITY CAMERA
W	VOICE, DATA, & POWER	W	WIRELESS POWER
W	TELEPHONE	W	PROVIDE POWER & DATA
SUBSCRIPT LEGEND			
AC	APPLY COUNTER	R	RANGE
D	DISCONNECT	S	SWITCHED
MT	MOUNTING HEIGHT (INCHES/APFT)	I	INTERIOR
TR	TRAY RISE	WF	WATERPROOF
ED	CEILING FAMILY INTERFERENCE	CD	CARBON DIOXIDE



7 SECOND FLOOR PLAN - BUILDING 'B'
1/4" = 1'-0"

DEVICE PLACEMENT PLAN GENERAL NOTES	
1) ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/BUILD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.	7) DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
2) ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.L. APPROVED SYSTEM WITH AN HOURLY RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.	8) COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
3) PROVIDE 110V OUTLETS 12" FROM CEILING AT REPEATER LOCATIONS. (LOCATIONS TO BE DETERMINED.)	9) ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
4) FIXTURES SHALL BE RECESSED AT ANY ACCT CEILING AND SURFACE MOUNTED AT ANY GWS CEILING UNLESS NOTED OTHERWISE.	10) UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
5) LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.	11) AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RGG & (1) CAT5e WIRES CONNECTED TO D-MARK TELECOM PANEL IN BASEMENT
6) WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.	12) COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
	13) FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.

JLA

JOSEPH LEON ASSOCIATES
1400 CALIFORNIA DRIVE, SUITE 2000
MADISON, WISCONSIN 53718
TEL: 608.261.1200
FAX: 608.261.1200
JLA PROJECT NUMBER: 14-1183

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. They are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE		04 FEBRUARY 2015	
Revision Schedule			
Rev.	Description	Date	

SHEET TITLE
DEVICE PLACEMENT
PLAN - SECOND
FLOOR BUILDING 'B'

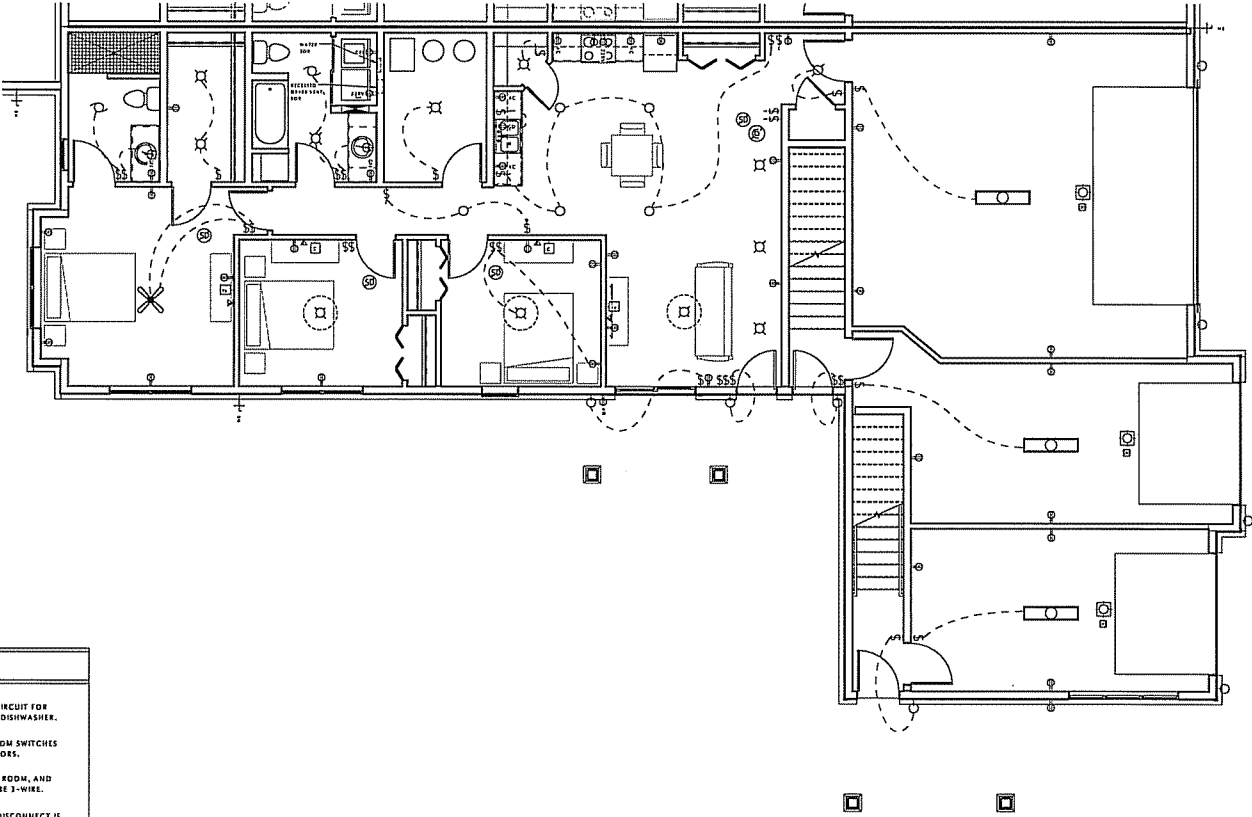
SHEET NUMBER
A901-B

DEVICE PLACEMENT FUTURE SYMBOLS			
	CEILING LIGHT (SURFACE MOUNTED)		ACCENT CEILING LIGHT (SURFACE MOUNTED)
	CEILING LIGHT (RECESSED MOUNTED)		ACCENT CEILING LIGHT (RECESSED MOUNTED)
	RECESSED CAN CEILING LIGHT		PENDANT LIGHT
	WALL LIGHT (SURFACE MOUNTED)		ACCENT WALL LIGHT (SURFACE MOUNTED)
	EXIT SIGN (CEILING MOUNTED)		EXIT SIGN (WALL MOUNTED)
	CEILING FAN & LIGHT (SWITCH SEPARATELY)		3W FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	CEILING FAN (NO LIGHT)		3W FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	FUTURE CEILING FAN (BUDGET ONLY)		3W FLUORESCENT RECESSED INDIRECT LIGHT FIXTURE
	UNDER-CABINET LIGHTING		4' FLUORESCENT STRIP LIGHT FIXTURE
	EXHAUST FAN & LIGHT		GARAGE DOOR OPERATOR WITH LIGHT
	SMOKE DETECTOR		CARBON MONOXIDE DETECTOR
	BATTERY OPERATED EMERGENCY LIGHTING		HOT LINE

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL FLOOR RECEPTACLES		SWITCHES	
	15A DUPLEX		15W SINGLE POLE
	20A DUPLEX		20W DIMMER
	DUPLEX		DUPLEX POLE
	QUADPLEX		3-WIRE THREE WAY
	SPECIAL PURPOSE		3-WIRE RECEPTACLE
	RANGE OR STOVE		4-WIRE THREE OPERATED
	SLAVE		5-WIRE LOW-VOLTAGE MASTER
	D-CODE		MOTION DETECTOR
	JUNCTION BOX		ELECTRICAL PANEL
COMMUNICATIONS - DIVISION 27			
WALL FLOOR RECEPTACLES		WALL MISCELLANEOUS	
	DATA		HVAC CALL
	VOICE		THERMOSTAT
	VOICE & DATA		SECURITY CAMERA
	VOICE, DATA, & POWER		WIRELESS ROUTER
	TELEVISION		PROVIDE POWER & DATA
ROOFS/CEILING			
	AC ACOUSTIC CEILING		PANEL
	D DEGRATED		SWITCHED
	120V DOWNWARD MOUNT ONE-WIRE APPL.		L
	220V ZERO VOLT		WEATHER PROOF
	EMI GROUND FAULT INTERRUPTER		GARAGE DISPOSAL

DEVICE PLACEMENT PLAN GENERAL NOTES

- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/FIELD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
- ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.L. APPROVED SYSTEM WITH AN EQUAL RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
- PROVIDE 120V OUTLETS 12" FROM CEILING AT RECEPTACLE LOCATIONS. (LOCATIONS TO BE DETERMINED.)
- FIXTURES SHALL BE RECESSED AT ANY ACY CEILING AND SURFACE MOUNTED AT ANY GWR CEILING UNLESS NOTED OTHERWISE.
- LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
- WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
- DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
- COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
- ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
- UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
- AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RGC & (1) CAT5 WIRES CONNECTED TO D-MARK TELECOM PANEL IN BASEMENT.
- COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
- FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.



1/4" = 1'-0"
FIRST FLOOR PLAN - BUILDING 'C'

JLA
JOSEPH LEE & ASSOCIATES

3750 CATALINA CROSSING DRIVE, SUITE 1200
MADISON, WISCONSIN 53718
TEL: 608.261.1500 FAX: 608.261.1502
JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for field building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Mark	Description	Date

SHEET TITLE

DEVICE PLACEMENT PLAN - FIRST FLOOR BUILDING 'C'

SHEET NUMBER

A900-C

