



City of Madison

Proposed Rezoning

Location
6350 Town Center Drive

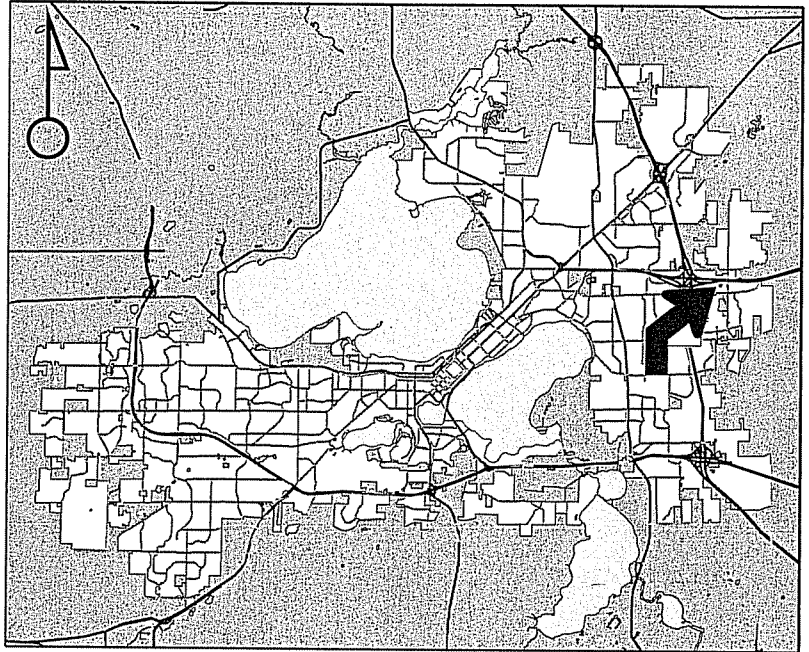
Applicant
Jim Whitney - City of Madison

From: PUD-GDP To: PUD(PD)-SIP

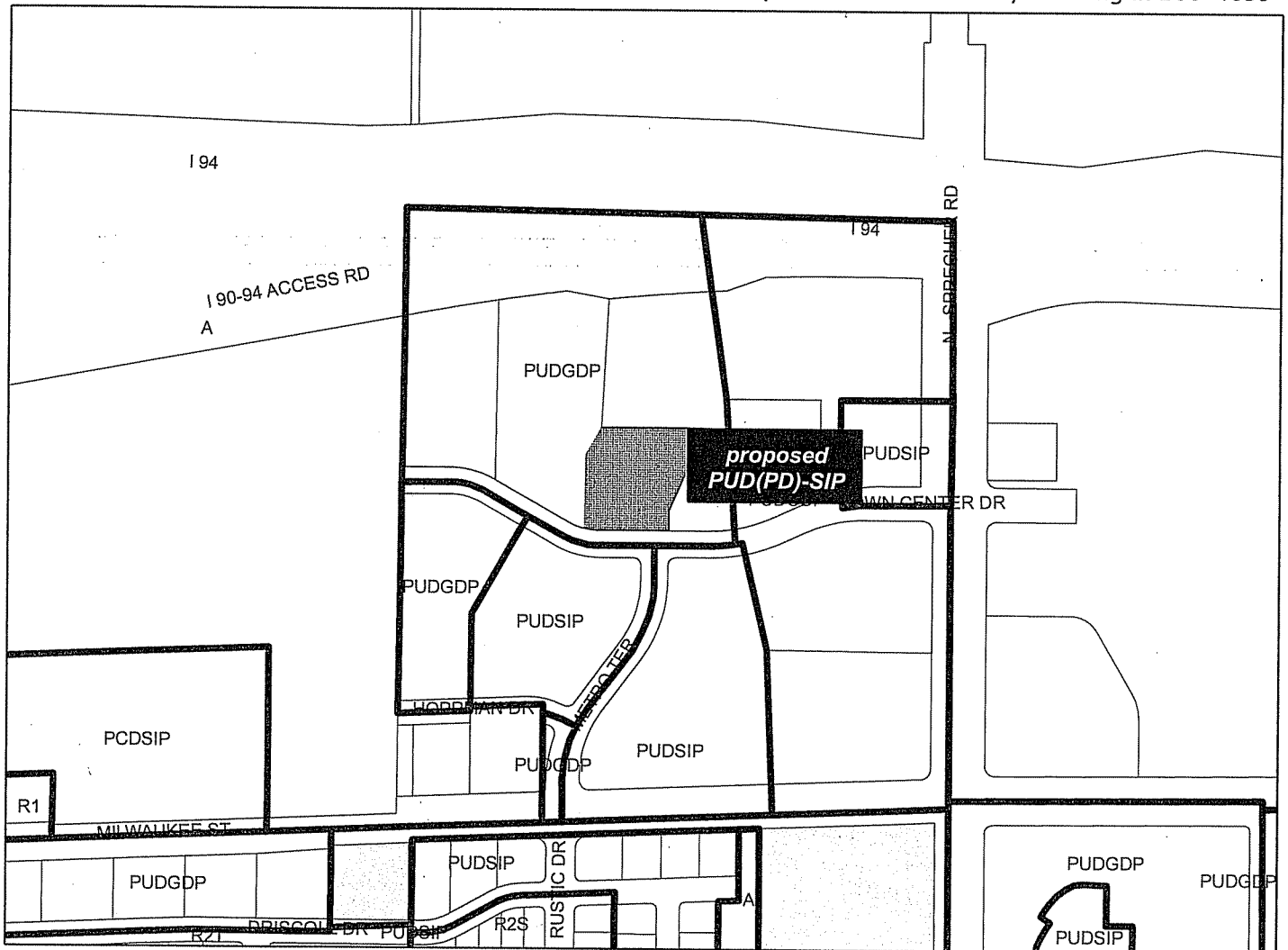
Existing Use
Vacant Land

Proposed Use
Construct Fire Station 13

Public Hearing Date
Plan Commission
05 November 2012
Common Council
27 November 2012

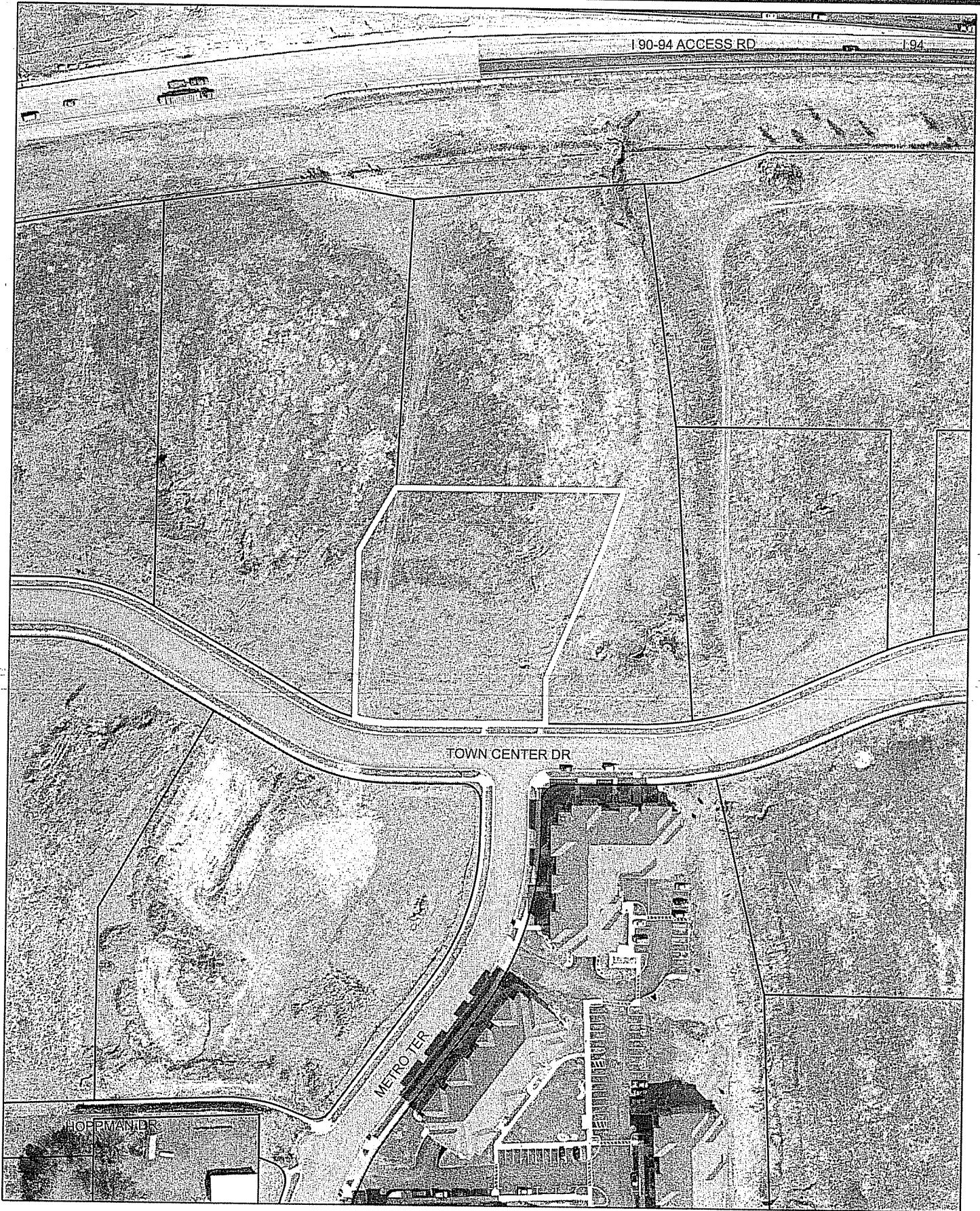


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 23 October 2012





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received <u>9/5/12</u>	
Received By <u>JLK</u>	
Parcel No. <u>0710-021-0306-9</u>	
Aldermanic District <u>3 Lauren Chase</u>	
GR <u>zoned PUDcDP / Eng hold</u>	
Zoning District <u>PUDcDP</u>	
For Complete Submittal	
Application _____	Letter of Intent _____
IDUP <u>NA</u>	Legal Descript. _____
Plan Sets <u>✓</u>	Zoning Text _____
Alder Notification _____	Waiver _____
Ngbrhd. Assn Not. _____	Waiver _____
Date Sign Issued <u>9/5/12</u>	

1. Project Address: 6350 TOWN CENTER DRIVE Project Area in Acres: 60,028
Project Title (if any): MADISON FIRE STATION #13

2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____		<input type="checkbox"/> Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input checked="" type="checkbox"/> Amended Spec. Imp. Plan
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: JACK BLUME Company: ZIMMERMAN ARCH. STUDIOS
Street Address: 2122 W. MOUNT VERNON AVE City/State: MILWAUKEE WI Zip: 53233
Telephone: (414) 225-0857 Fax: () Email: jack.blume@zastudios.com
Project Contact Person: JIM WHITNEY Company: CITY OF MADISON
Street Address: 210 MARTIN LUTHER KING DR #115 City/State: MADISON, WI Zip: 53703
Telephone: (608) 266-4563 Fax: () Email: jwhitney@cityofmadison.com
Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: CONSTRUCTION OF A NEW
14,600 SF FIRE STATION WITH 3 BAYS AND LIVING SPACE.
Development Schedule: Commencement 3/15/13 Completion 2/1/14

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 0 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - The site is located within the limits of METROTECH GENERAL DEVELOPMENT Plan, which recommends: PROFESSIONAL OFFICE & MUNICIPAL FIRE STATION for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
LAUREN CUNRE, DISTRICT 3, WAS NOTIFIED ON 6/29/12 WITH A NEIGHBORHOOD MTG HELD ON 8/30/12.
 - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 - Planning Staff: KEVIN FIRCHOW Date: 6/28/12 Zoning Staff: N/A Date: _____
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name JACK BLUME Date 9/4/12

Signature [Signature] Relation to Property Owner ARCHITECT

Authorizing Signature of Property Owner [Signature] Date 8-23-12 12

September 5, 2012

City of Madison
Plan Commission
215 Martin Luther King Jr. Blvd.
Madison, WI 53701-2985

RE: Letter for Intent – Madison Fire Station #13

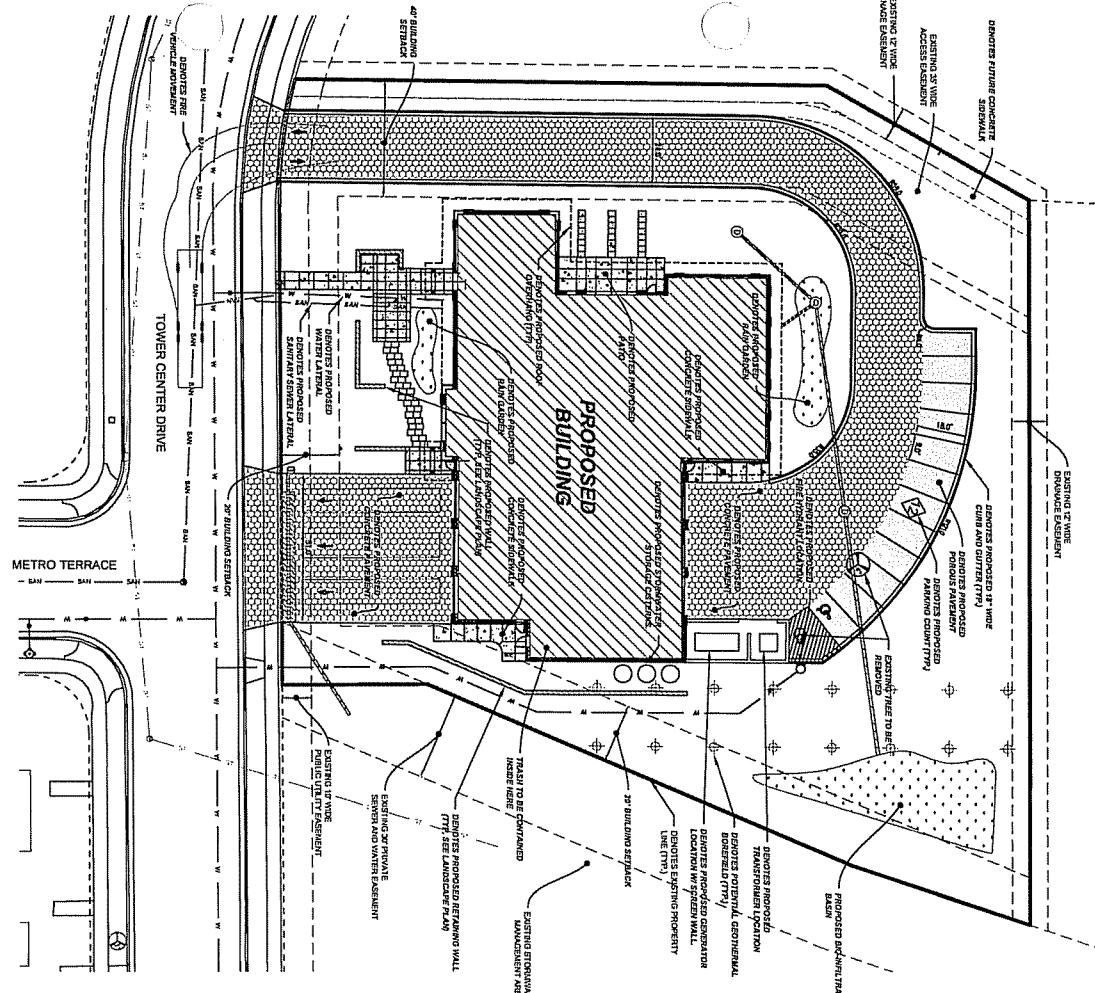
To Whom It May Concern:

As a requirement of Plan Commission approval, the following is the Letter of the Intent for the aforementioned project.

The City of Madison intends to construct a new Fire Station (titled Number 13) on a 1.4 acre site on Madison's east side in Aldermanic District 3. The building is part of the Metrotech General Development Plan and the site lies in a Commercial Office/Municipal Fire Station zone. The current design for the station has a 12,655 gsf footprint with a 2,037 gsf penthouse. The sustainable goal for the building is to achieve LEED silver accreditation. Zimmerman Architectural Studios, Harwood Engineering Consultants and Sustainable Engineering Group have been hired to design and commission the building.

The function of the building is to provide fire services to the east side of Madison. The building on the site is aligned to allow for apparatus to enter on the west side of Town Center Drive, wrap around and enter the north end of the apparatus bay, and exit at the south end of the apparatus bay back onto Town Center Drive. There are eleven parking stalls provided for staff and an additional accessible stall on the site. Public will be directed to park on Town Center Drive. The "front" of the building is considered to be the south side, which faces the growing neighborhood in which it resides.

The building separates the apparatus bay on the east side from the living space and community room on the west side. The living area has 8 sleep spaces for fire department staff and EMT personnel. The community room will be sized to accommodate 38 occupants. The building materials are generally masonry in nature with cut stone base and concrete brick field. Doors and windows are to be anodized storefront aluminum with tinted glass; translucent glass is planned for above the south apparatus bay doors. Building trim materials are to predominantly be composite aluminum. Apparatus bay roof to be white TPO membrane and living space roof to be vegetative trays on membrane with standing seam aluminum mansard on three sides.



SITE ZONING AND LOCATION TABLE

LEGAL DESCRIPTION:
ALL OF LOT 1, CERTIFIED SURVEY MAP NUMBER 4333131, DANE COUNTY SURVEY MAPS, ON PAGES 304-307, AS CERTIFIED DOCUMENT NUMBER 4333131, DANE COUNTY OF THE NORTHEAST QUARTER OF SECTION 02, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROPERTY LOCATION: GASD TOWN CENTER DRIVE MADISON WISCONSIN

EXISTING ZONING: PUD - (02P)

PROPOSED ZONING: PUD - (02P)

ZONING SETBACKS: 30 FEET (FRONT & EAST SIDE)

BUILDING SETBACK: 30 FEET (WEST SIDE)

PROPERTY OWNER: CITY OF MADISON

PROPOSED USAGE: FIRE STATION

SITE CALCULATION TABLE

TOTAL SITE AREA	1.39 AC
TOTAL DISTURBED AREA	1.32 AC
PROPOSED WERIDONS AREA	0.89 AC
PROPOSED GREENSPACE	0.09 AC
PROPOSED REGULAR PARKING SPACES	11
PROPOSED HANDICAP PARKING	12
PROPOSED TOTAL PARKING	23

(5% OF SITE)

UTILITY LEGEND

SYMBOL	DESCRIPTION
[Symbol]	EXISTING WATER MAIN
[Symbol]	PROPOSED WATER SERVICE
[Symbol]	EXISTING ELECTRICAL LINE
[Symbol]	PROPOSED ELECTRICAL LINE
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	EXISTING STORM SEWER
[Symbol]	PROPOSED STORM SEWER
[Symbol]	EXISTING LIGHT POLES
[Symbol]	EXISTING LIGHT POLES
[Symbol]	EXISTING WATER VALVE
[Symbol]	PROPOSED WATER VALVE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	EXISTING STORM STRUCTURE
[Symbol]	PROPOSED STORM STRUCTURE
[Symbol]	EXISTING EROSION CONTROL
[Symbol]	PROPOSED EROSION CONTROL

GENERAL NOTES AND SPECIFICATIONS

- The existing site regulations on the PLANS have been reviewed and shall be followed unless otherwise indicated. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- ALL EXISTING UTILITIES SHALL BE PROTECTED AND DEEPER THAN THE PROPOSED FOUNDATION. ALL UTILITIES SHALL BE MARKED AND DEPTHS SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
- ALL UTILITIES SHALL BE REPAIRED OR REPLACED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
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HATCH LEGEND

[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED POROUS ASPHALT PAVEMENT
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	PROPOSED DEPRESSED CURB
[Symbol]	PROPOSED PAVED CURB
[Symbol]	PROPOSED REVERSE CURB

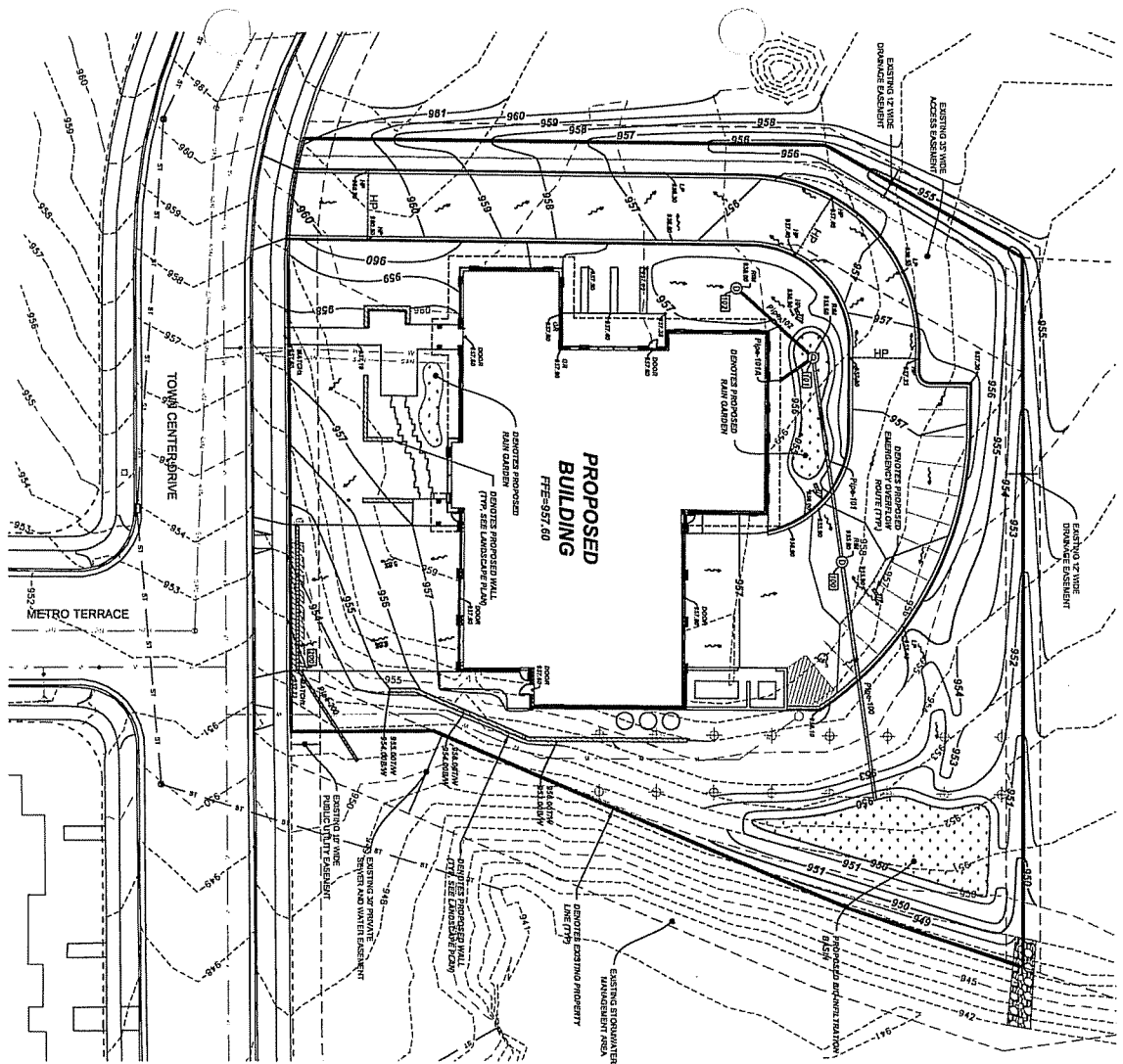


IN ACCORDANCE WITH WISCONSIN STATUTE CHAPTER TRANS. 11.02, THE ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND HAS DETERMINED THAT THEY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE RELATIVE TO THE PROJECT'S WORK.

THORNTON ENGINEERING
211 EAST WASHINGTON AVENUE, SUITE 200
MADISON, WISCONSIN 53702
TEL: 608.261.1300



C100
September 04, 2012
120023.00
S-919a



UTILITY LEGEND

SYMBOL	DESCRIPTION
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING ELECTRICAL LINE
	PROPOSED ELECTRICAL LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
	PROPOSED STRUCTURE OF OVERHEAD POWER LINE
	PROPOSED EXISTING SPOT GRADE

Symbol	Description
	Storm Structure Valve
	Storm Structure Manhole
	Storm Structure Inlet
	Storm Structure Outlet
	Storm Structure Cleanout
	Storm Structure Vent
	Storm Structure Access
	Storm Structure Cover
	Storm Structure Frame
	Storm Structure Curb
	Storm Structure Apron
	Storm Structure Base
	Storm Structure Backfill
	Storm Structure Bedding
	Storm Structure Joint
	Storm Structure Sealant
	Storm Structure Gasket
	Storm Structure Padlock
	Storm Structure Key
	Storm Structure Lock
	Storm Structure Handle
	Storm Structure Latch
	Storm Structure Hinge
	Storm Structure Bolt
	Storm Structure Nut
	Storm Structure Washer
	Storm Structure Spacer
	Storm Structure Shim
	Storm Structure Pin
	Storm Structure Rivet
	Storm Structure Screw
	Storm Structure Nail
	Storm Structure Staple
	Storm Structure Glue
	Storm Structure Sealant
	Storm Structure Gasket
	Storm Structure Padlock
	Storm Structure Key
	Storm Structure Lock
	Storm Structure Handle
	Storm Structure Latch
	Storm Structure Hinge
	Storm Structure Bolt
	Storm Structure Nut
	Storm Structure Washer
	Storm Structure Spacer
	Storm Structure Shim
	Storm Structure Pin
	Storm Structure Rivet
	Storm Structure Screw
	Storm Structure Nail
	Storm Structure Staple
	Storm Structure Glue

Symbol	Description
	1/2" DIA. PIPE
	3/4" DIA. PIPE
	1" DIA. PIPE
	1 1/2" DIA. PIPE
	2" DIA. PIPE
	3" DIA. PIPE
	4" DIA. PIPE
	6" DIA. PIPE
	8" DIA. PIPE
	10" DIA. PIPE
	12" DIA. PIPE
	14" DIA. PIPE
	16" DIA. PIPE
	18" DIA. PIPE
	20" DIA. PIPE
	22" DIA. PIPE
	24" DIA. PIPE
	26" DIA. PIPE
	28" DIA. PIPE
	30" DIA. PIPE
	32" DIA. PIPE
	34" DIA. PIPE
	36" DIA. PIPE
	38" DIA. PIPE
	40" DIA. PIPE
	42" DIA. PIPE
	44" DIA. PIPE
	46" DIA. PIPE
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	62" DIA. PIPE
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	68" DIA. PIPE
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	74" DIA. PIPE
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	84" DIA. PIPE
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	90" DIA. PIPE
	92" DIA. PIPE
	94" DIA. PIPE
	96" DIA. PIPE
	98" DIA. PIPE
	100" DIA. PIPE
	102" DIA. PIPE
	104" DIA. PIPE
	106" DIA. PIPE
	108" DIA. PIPE
	110" DIA. PIPE
	112" DIA. PIPE
	114" DIA. PIPE
	116" DIA. PIPE
	118" DIA. PIPE
	120" DIA. PIPE

GENERAL NOTES AND SPECIFICATIONS

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS OBTAINED FROM A SURVEY OF THE PROPERTY AND NEIGHBORING PROPERTIES. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY THE SURVEYOR AND ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.
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ILLINOIS ENGINEERING CONSULTANTS, LTD.
 211 WEST MOUNTAIN VIEW AVENUE
 SUITE 200
 MADISON, WISCONSIN 53705
 TEL: (608) 261-1111
 FAX: (608) 261-1112

zimmerman
 ARCHITECTURAL STUDIOS, INC.
 222 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zstudios.com
 TEL: (414) 224-6500
 FAX: (414) 224-6501

PROJECT INFORMATION
 Madison Fire Station 13

ISSUANCE AND REVISIONS
 Madison
 Plan Commission

KEY PLAN
 SCALE: 1"=20'

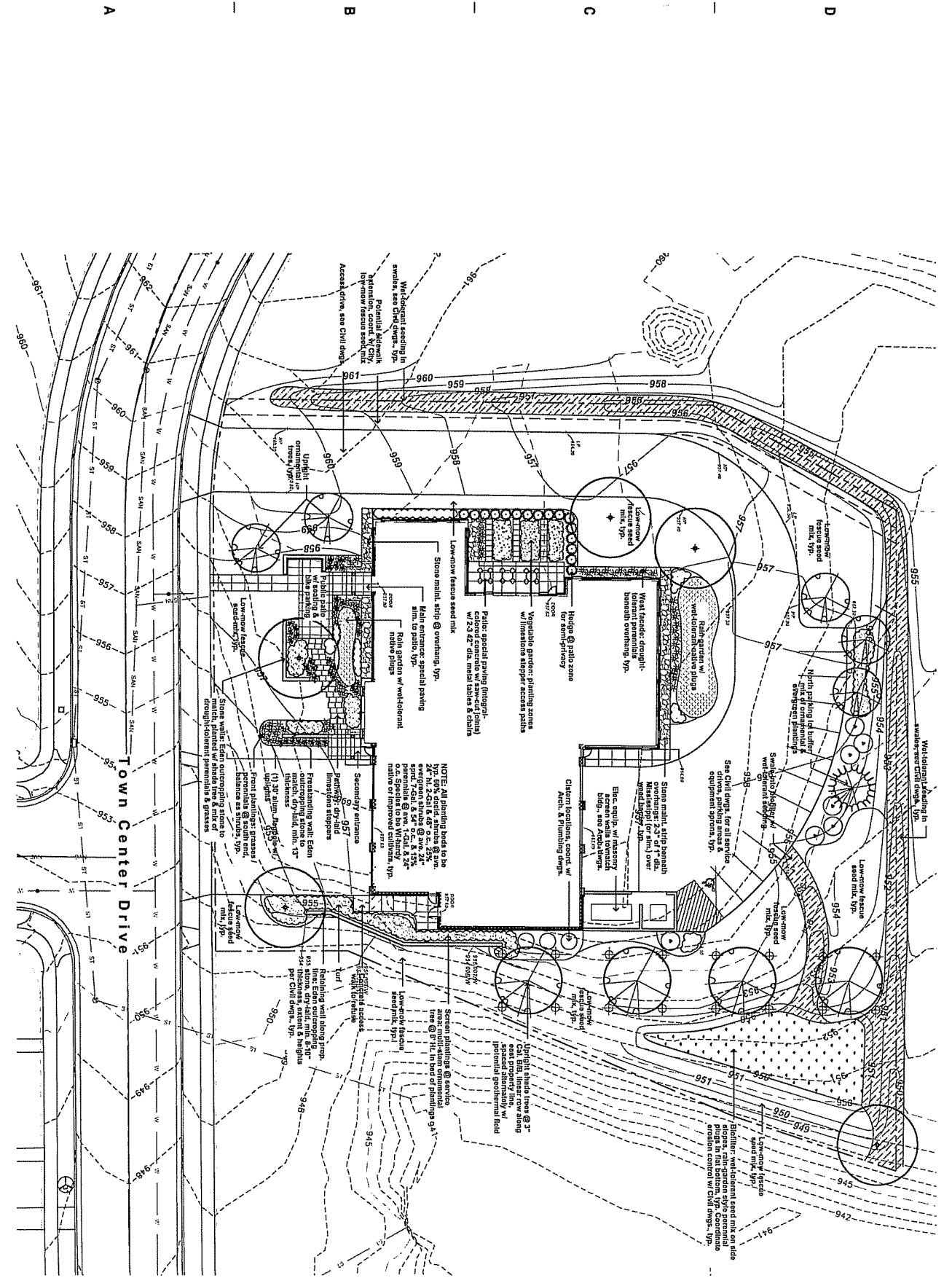
PROGRESS DOCUMENT
 SHEET INFORMATION:
 SHEET NO. 075237.1
 DATE: 07/12/12

REVISIONS

NO.	DATE	DESCRIPTION
1	07/12/12	ISSUED FOR PERMIT

C101
 DATE: September 04, 2012
 TIME: 10:00 AM
 LOCATION: Madison
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

1 2 3 4 5 6



REVISIONS

#	DATE	DESCRIPTION

PROGRESS DOCUMENT

DATE: September 5, 2012
 PROJECT: Madison Fire Station 13
 12062 00
 Revised landscape plan

KEY PLAN

0 6' 12'

SCALE: 1/8" = 1'-0" @ 11"

PROJECT INFORMATION

Madison
 ISSAHLIC AND REISCHS
 Plan Commission Submittal

PROJECT INFORMATION

Madison Fire Station 13
 1100 West Mt. Vernon Avenue | Madison, WI 53702
 608.261.6000 | www.zimmermanarchitectural.com

General Notes

- 1.01 All landscape installation & maintenance to conform with applicable local codes & ordinances.
1.02 Site plan & civil plans, for work limits, scope of construction, dimensions, elevations, etc.
1.03 Contractor shall provide shop drawings and material submittals of all landscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction.

Landscape Notes

- 2.01 Rough grading, utility installation & trench placement shall be completed by others.
2.02 Contaminated soil shall be removed from the project immediately after site is discovered.
2.03 All areas disturbed by grading or site construction shall be fine graded and restored with vegetation.
2.04 The LA shall inspect plant materials prior to installation.
2.05 Contractor shall verify plant quantities shown on plan, prior to construction, specify to the LA.

Seeding Notes & Mixes

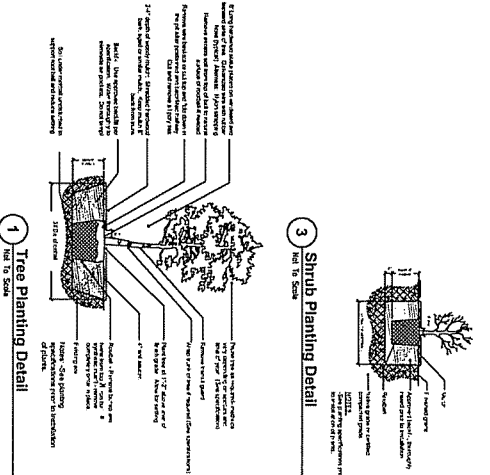
- 3.01 The work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications.
3.02 Rough grading, drainage work, grading and fine grading shall be completed before sowing the seed.
3.03 Confirm that untagged project schedule details fall within the respective seed supplier's approved performance at the site responsibility and expense of the contractor.

Wet Tolerant Plug Notes

- 4.01 This work shall consist of preparing the plug areas and tamping, leveling and mulching the plug areas.
4.02 Rough grading, drainage work, grading and fine grading shall be completed by others before plug areas are prepared.
4.03 Label all plugs with the appropriate supplier's prepared labels.
4.04 Site Civil plans, for erosion control, plugs are to be installed into the engineered soil via site cut through the wall.
4.05 Plug dimensions shall be considered only approved 10 days before the date of bidding.

Plant Schedule

Table with columns: Species, Qty, Rooted Name, Common Name, Height, Root, Spacing, Notes. Lists various tree and shrub species like Star Magnolia, American Holly, etc.



Zimmerman ARCHITECTURAL STUDIOS, INC. 202 West Mt. Vernon Avenue | Milwaukee, WI 53233 | 414.224.9000

PROJECT INFORMATION Madison Fire Station 13 Madison MISSISSAUGA AND REVISIONS Plan Commission Submittal

SHEET INFORMATION: PROGRESS DOCUMENT #1, REVISIONS table, DATE: September 2, 2012, L200

PROJECT INFORMATION
 Madison Fire Station 13

Madison
 ISSUANCE AND REVISIONS:
 Plan Commission

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENT

This document is a progress document and is not for construction. It is subject to change without notice. It is not to be used for construction purposes. It is not to be used for legal purposes. It is not to be used for insurance purposes. It is not to be used for any other purpose.

REVISIONS

DATE DESCRIPTION

DATE
 September 5, 2012
 TRCS/STW/KSR
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