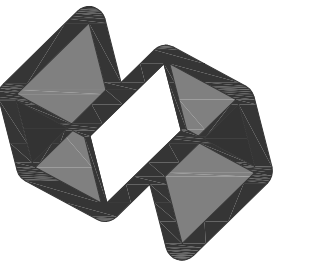




PACO'S TACOS

1331 GREENWAY CROSS
MADISON, WISCONSIN

Project No.: 2019007.02



STRANG

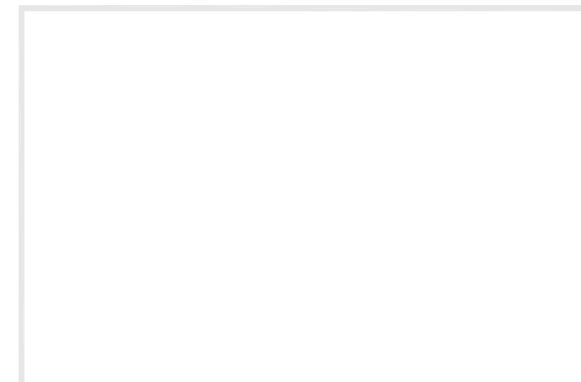
Location Map



PROJECT LOCATION

Stamps

Architectural



Sheet Index

GENERAL

T001 TITLE SHEET AND LIFE SAFETY / SITE PLAN

ARCHITECTURAL

A101 DEMOLITION PLAN
A201 FLOOR PLAN

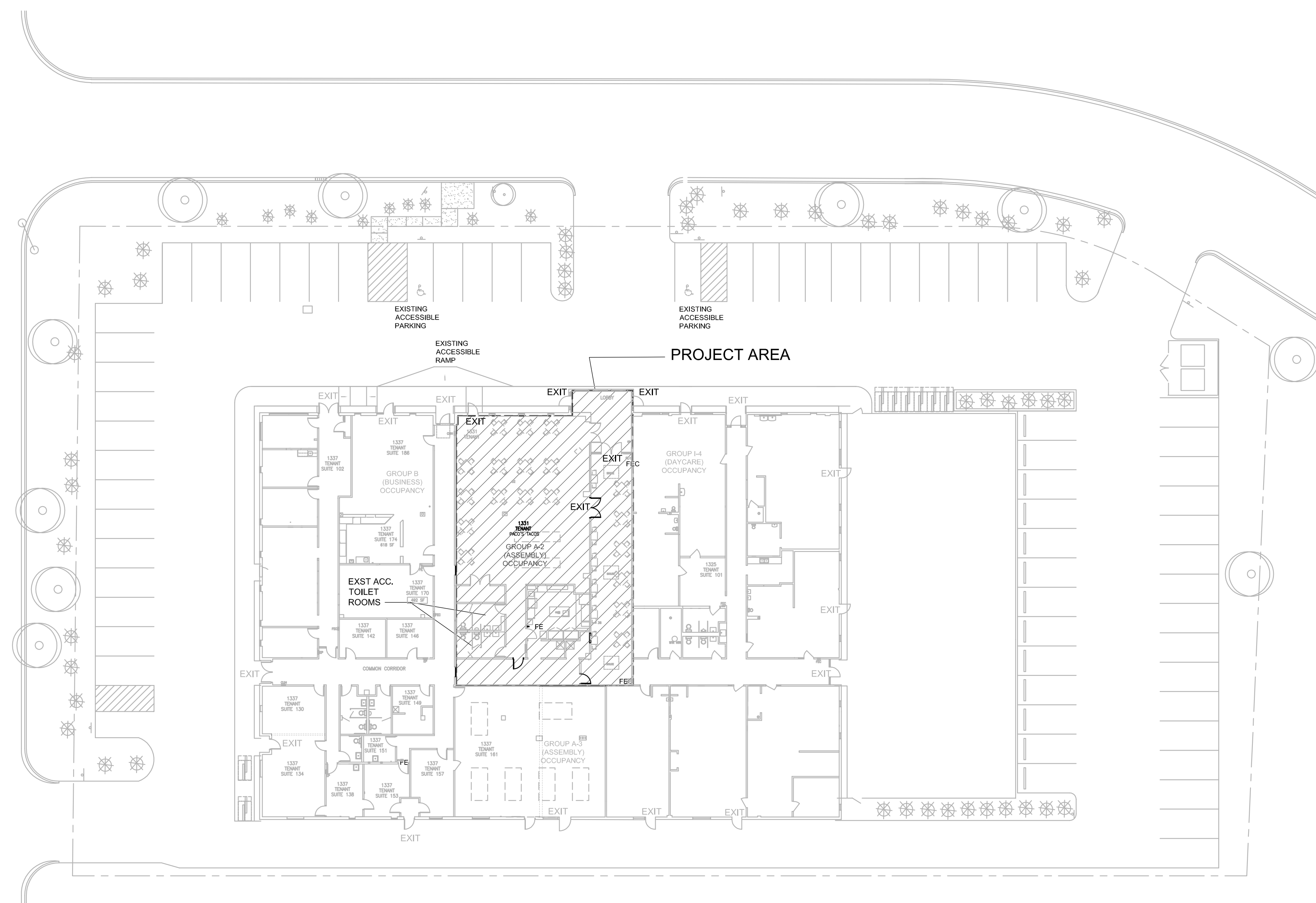
Design Team

Architectural Design
STRANG, INC.

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN

STRANG INC.
8411 MINERAL POINT ROAD
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Life Safety / Site Layout



Code Summary

BUILDING SPECIFIC INFORMATION
ONE STORY BUILDING
FULLY SPRINKLERED
FIRE ALARM PROVIDED
BUILDING CONSTRUCTION TYPE: VB
GROSS BUILDING AREA: 21,466 SF
ALLOWABLE GROSS BUILDING AREA:
GROUP B: 36,000 SF
GROUP I-4: 36,000 SF
GROUP A-2: 24,000 SF
NON-SEPARATED USE

PROJECT SPECIFIC INFORMATION
PACO'S TACOS TENANT SUITE: 4635 SF

ALTERATION LEVEL 2
PROJECT AREA OCCUPANCY TYPE: A-2
PROJECT OCCUPANCY CALCULATION:
FUNCTION OF SPACE: RESTAURANT

EXITS:
(2) EXITS PROVIDED
DIAGONAL DISTANCE SERVED: 84'-0"
EXIT SPACING WITH SPRINKLER SYSTEM: 42'-0" APART

TOTAL EXIT TRAVEL DISTANCE (A): 250 FEET WITH SPRINKLER SYSTEM
MAXIMUM COMMON PATH: 75 FEET WITH SPRINKLER SYSTEM
CORRIDOR RATINGS: 0 HOUR WITH SPRINKLER SYSTEM
MAXIMUM DEAD END CORRIDOR LENGTH: 50 FEET WITH SPRINKLER SYSTEM

TOILET FIXTURES:
OCCUPANT CALCULATION
A-2 (FIXED SEATING) 88 PERSONS
A-2 (COMMERCIAL KITCHEN) 2 PERSONS
TOTAL: 90 PERSONS

WATER CLOSETS	LAVATORIES	DF	SS
A-2	1/75	1/200	1/500
45	M: 0.6	M: 0.225	0.09
45	F: 0.6	F: 0.225	0.09
			1

FIXTURES PROVIDED:
2 TOILETS AND 2 LAV PER SEX PLUS 2 SERVICE SINK. DF NOT REQ'D AS WATER IS SERVED.

PERMIT DOCUMENTS

4-08-2019

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FILE NAME 2019007_02-T001.DWG

REVISIONS

DRAWN JC

CHECKED LLB

DATE 04-08-2019

PROJECT NO. 2019007.02

PROJECT TITLE

PACO'S TACOS

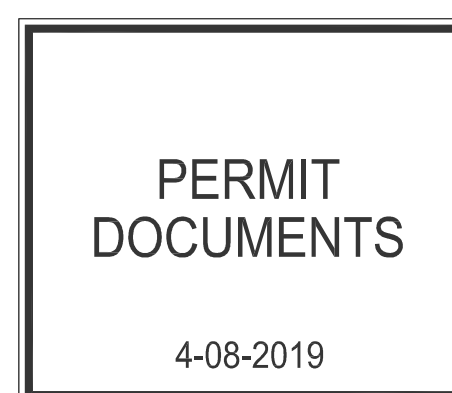
1331 GREENWAY CROSS
MADISON, WI

SHEET TITLE

TITLE SHEET AND
LIFE SAFETY / SITE
PLAN

SHEET NO.

T001



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PROJECT TITLE	

PACO'S TACOS

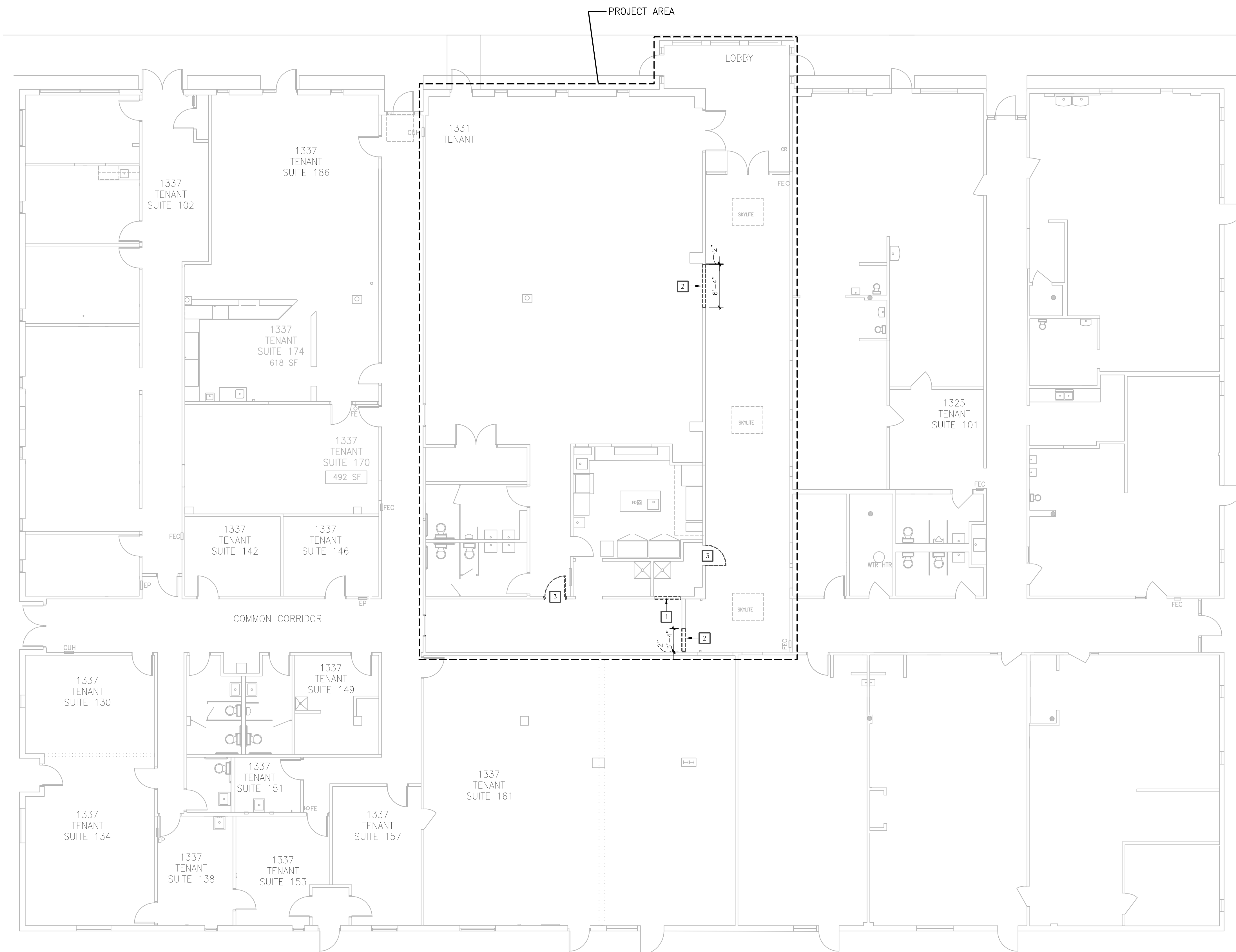
1331 GREENWAY CROSS
MADISON, WI

SHEET TITLE

DEMOLITION PLAN

SHEET NO.

A101

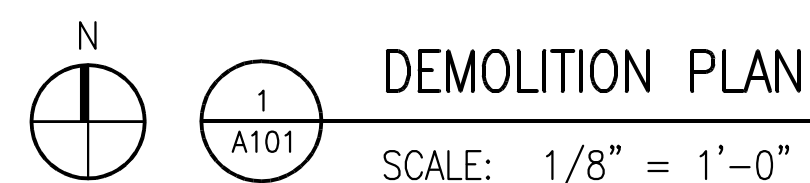


DEMO GENERAL PLAN NOTES

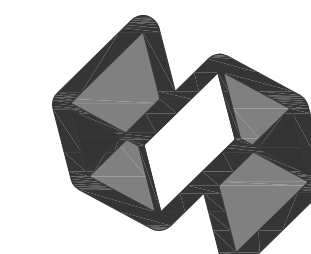
- EXISTING CONSTRUCTION TO REMAIN IS SHOWN SCREENED, CONSTRUCTION AND EQUIPMENT TO BE REMOVED IS SHOWN WITH DASHED LINES.
- PROTECT IN PLACE DURING ENTIRE CONSTRUCTION PROCESS: ALL FLOORING, SURFACES AND ITEMS TO REMAIN.
- COORDINATE WITH OWNER THE AVAILABILITY OF AREAS REQUIRING DEMOLITION. SEQUENCE WORK ACCORDINGLY AND COORDINATE W/ ALL TRADES.
- THE CONTRACTOR SHALL PATCH, PREPARE, REPAIR AND/OR RESTORE SURFACES SCHEDULED TO REMAIN INTACT THAT ARE DAMAGED AS A RESULT OF DEMOLITION WORK.
- CONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- DEMOLITION PLANS ARE NOT NECESSARILY INCLUSIVE OF ALL ITEMS NEEDING REMOVAL. COORDINATE WITH ALL OTHER DRAWINGS AND FIELD VERIFY EXISTING CONDITIONS.
- COORDINATE DEMOLITION DIMENSIONS ON THIS PLAN WITH NEW WORK PLANS AND EXISTING CONDITIONS.
- ALL REQUIRED EXITS SHALL REMAIN UNOBSTRUCTED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ITEMS NOT NOTED TO BE SALVAGED FOR RE-USE OR NOTED TO BE TURNED OVER TO BUILDING OWNER.
- GENERAL CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER THE EXTENT OF INTERIOR FINISH WORK INCLUDING CEILINGS AND DOOR HARDWARE AND KEYING. THIS PLAN SET IS ISSUED AS A GENERAL PERMIT SET.
- FINISHES TO MATCH EXISTING BUILDING STANDARDS OR AS DIRECTED BY OWNER. COORDINATE INTERIOR FINISH WORK WITH OWNER.
- MEP WORK IS DESIGN BUILD. GENERAL CONTRACTOR SHALL COORDINATE WITH MEP CONTRACTORS.
- COORDINATE TEMPORARY CEILING TILE REMOVAL WITH NEW WORK. ANY TILES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.
- COORDINATE LOCATIONS OF FLOORING REMOVAL/REPLACEMENT/PATCHING IN PROJECT AREA WITH OWNER.

DEMO PLAN SPECIFIC NOTES

- REMOVE NON-LOAD BEARING PARTITION TO THE EXTENT SHOWN AND INCLUDING ANY ATTACHED BASE, TRIM, WALLCOVERING, PANELING, ELECTRICAL WIRING, OR WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- REMOVE PORTION OF NON-LOAD BEARING PARTITION TO THE EXTENT SHOWN AND INCLUDING ANY ATTACHED BASE, TRIM, WALLCOVERING, PANELING, ELECTRICAL WIRING, OR WALL MOUNTED EQUIPMENT AND ACCESSORIES FOR NEW DOOR OPENING.
- REMOVE DOOR, FRAME, AND HARDWARE. SALVAGE FOR RE-USE IN PROJECT OR TURN OVER TO OWNER FOR FUTURE PROJECT RE-USE. CONTRACTOR TO COORDINATE WITH OWNER.



SCALE: 1/8" = 1'-0"



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CHECKED LB

DATE 04-08-2019

PROJECT NO. 2019007.02

PROJECT TITLE

PACO'S TACOS

1331 GREENWAY CROSS
MADISON, WI

SHEET TITLE

FLOOR PLAN

SHEET NO.

A201

FLOOR PLAN GENERAL NOTES

- EXISTING CONSTRUCTION TO REMAIN IS SHOWN SCREENED. NEW CONSTRUCTION WORK PROVIDED BY CONTRACTOR IS SHOWN WITH DARK HEAVY LINES.
- DIMENSIONS ARE GIVEN TO FINISHED FACE OF GYPSUM WALLBOARD AND/OR FACE OF MASONRY AND/OR FACE OF CONCRETE.
- ALL WALL AND PARTITION THICKNESS DIMENSIONS ARE NOMINAL. REFER TO PARTITION TYPES FOR DESCRIPTION OF CONSTRUCTION.
- ALL NEW STUD INFILL WORK SHALL MATCH EXISTING CONSTRUCTION. FIELD VERIFY AND COORDINATE WITH OWNER. COORDINATE WALL FINISHING/PAINTING WITH OWNER.
- PROTECT IN PLACE DURING CONSTRUCTION ALL SURFACES AND EQUIPMENT TO REMAIN.
- THE CONTRACTOR SHALL PATCH, PREPARE, REPAIR AND/OR RESTORE SURFACES SCHEDULED TO REMAIN INTACT THAT ARE DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- COORDINATE WITH ALL DRAWINGS IN SET AND FIELD VERIFY EXISTING CONDITIONS AS REQUIRED.
- ALL PENETRATIONS OF NON-RATED CONSTRUCTION SHALL BE SOUNDPROOFED BY THE TRADE MAKING THE PENETRATION.
- COORDINATE WITH OWNER INTERIOR FINISH AND PRODUCT SELECTION. FINISHES TO MATCH BUILDING STANDARD OR AS DIRECTED BY OWNER.
- KEEP EXISTING BUILDING EXITS UNOBSTRUCTED AT ALL TIMES, INCLUDING PATH OF TRAVEL THROUGH CONSTRUCTION AREAS.
- COORDINATE WITH OWNER THE PROPOSED PROJECT SCHEDULE TO MINIMIZE DISRUPTION OF ADJACENT TENANTS AND/OR OTHER BUILDING OCCUPANTS. SEQUENCE ALL WORK ACCORDINGLY AND COORDINATE WITH ALL TRADES.
- WHERE ITEMS ARE REMOVED FROM PARTITIONS AND OTHER SURFACES THAT REMAIN, FILL ALL HOLES AND PATCH ALL SURFACES TO MATCH SURROUNDING CONSTRUCTION.
- COORDINATE RE-USE OF SALVAGED MATERIALS WITH OWNER. REPAINT AND REFINISH AS DIRECTED BY OWNER.
- COORDINATE EXTENT OF DOOR HARDWARE FUNCTION AND REPLACEMENTS WITH OWNER. ALL HARDWARE SHALL BE ADA LEVER HARDWARE.
- COORDINATE EXTENT OF FLOORING AND CEILING WORK WITHIN PROJECT AREA WITH OWNER.
- REFER TO LIFESAFETY PLAN FOR LOCATIONS OF REQUIRED EGRESS EXIT DOORS.
- EGRESS PATHS SHOWN BETWEEN OWNER PROVIDED FURNITURE AND TABLES SHALL BE PROVIDED AND MAINTAINED.
- THIS DRAWING SET IS ISSUED FOR GENERAL PERMITTING. OWNER SHALL COORDINATE NECESSARY PERMITTING REQUIREMENTS WITH DEPT OF HEALTH.

FLOOR PLAN SPECIFIC NOTES

- PROVIDE DOOR, FRAME, AND LEVER HARDWARE. CONTRACTOR TO COORDINATE WITH OWNER ATTIC STOCK AND SALVAGED DOORS PRIOR TO ORDERING NEW. COORDINATE WITH OWNER. MATCH BUILDING STANDARD.
- INFILL EXISTING OPENING WITH METAL STUDS AND GWB TO MATCH EXISTING ADJACENT FINISHES. COORDINATE EXTENT OF PAINTING WITH OWNER.
- PROVIDE WALL HUNG FIRE EXTINGUISHER AND WALL BRACKET IN KITCHEN. COORDINATE WITH OWNER.
- DOOR TO BE LOCKED AND LABELED "NOT AN EXIT" ON BOTH SIDES.
- INFILL EXISTING OPENING WITH METAL STUDS AND DRYWALL TO MATCH EXISTING ADJACENT WALL. FINISHES TO MATCH BUILDING STANDARD.
- EXISTING COMMERCIAL KITCHEN HOOD WITH FIRE SUPPRESSION SYSTEM.



N
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A201
FLOOR PLAN
SCALE: 1/8" = 1'-0"

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