



**CITY OF MADISON  
ZONING BOARD OF APPEALS  
VARIANCE APPLICATION**

**\$300 Filing Fee**

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 1221 Spaight St.

Name of Owner: \_\_\_\_\_

Address of Owner (if different than above): \_\_\_\_\_

Daytime Phone: \_\_\_\_\_ Evening Phone: \_\_\_\_\_

Email Address: \_\_\_\_\_

Name of Applicant (Owner's Representative): Mark Alexander

Address of Applicant: 2115 Parkview Rd  
Middleton, WI 53562

Daytime Phone: 608 203 9225 Evening Phone: 608 228 7116

Email Address: mark@actuatellc.com

Description of Requested Variance: Requesting a sideyard setback  
variance to build a dormer on the 2<sup>nd</sup> Floor  
in the SE corner of 1221 Spaight Street to  
accomadate and create a functional bathroom.

*(See reverse side for more instructions)*

FOR OFFICE USE ONLY	
Amount Paid: <u>\$300.00</u>	Hearing Date: <u>3-17-22</u>
Receipt: <u>116836-0002</u>	Published Date: <u>3-10-22</u>
Filing Date: <u>2-17-22</u>	Appeal Number: <u>LNDVAR-2022-00003</u>
Received By: <u>NJK</u>	GQ: _____
Parcel Number: <u>071007305090</u>	Code Section(s): _____
Zoning District: <u>HIS-TL, TR-CY</u>	_____
Alder District: <u>6-BENFORD</u>	_____

## Application Requirements

**Please provide the following information: Incomplete applications could result in referral or denial by the Zoning Board of Appeals.** (Maximum size for all drawings is 11" x 17".)

<input type="checkbox"/>	<b>Pre-application meeting with staff:</b> Prior to submittal of this application, the applicant has met to discuss the proposed project and submittal material with the Zoning Administrator.
<input checked="" type="checkbox"/>	<b>Site plan</b> , drawn to scale. A registered survey is recommended, but not required. Show the following: <ul style="list-style-type: none"> <li><input type="checkbox"/> Lot lines</li> <li><input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines</li> <li><input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance</li> <li><input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features</li> <li><input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred)</li> <li><input type="checkbox"/> North arrow</li> </ul>
<input checked="" type="checkbox"/>	<b>Elevations</b> from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s).
<input checked="" type="checkbox"/>	<b>Interior floor plan of existing and proposed structure</b> , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans).
N/A <input type="checkbox"/>	<b>Front yard variance requests only.</b> Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
N/A <input type="checkbox"/>	<b>Lakefront setback variance requests only.</b> Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
N/A <input type="checkbox"/>	<b>Variance requests specifically involving slope, grade, or trees.</b> Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	<b>Digital</b> copies of all plans and drawings should be emailed to: zoning@cityofmadison.com
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I understand that in order to process my variance application, City Staff will need access to my property so that they can take photographs and conduct a pre-hearing inspection of the property. I therefore give City Staff my permission to enter my property for the purpose of conducting a pre-hearing inspection and taking photographs.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

**Owner's Signature:** Johanna Cherry Alexand **Date:** May 4, 2022  
Johanna Cherry (MGR, 2022) (258 CST)

-----**(For Office Use Only)**-----

<b><u>DECISION</u></b>		
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ <b>(is) (is not)</b> in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.		
The Zoning Board of Appeals: <input type="checkbox"/> <b>Approved</b> <input type="checkbox"/> <b>Denied</b> <input type="checkbox"/> <b>Conditionally Approved</b>		
Zoning Board of Appeals Chair:		Date:

## Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

The current setback ordinance of 10% lot width makes the existing structure nonconforming

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

The Landmark Commission has granted approval of the dormer, confirming it is acceptable by historic district guidelines

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

Compliance with ordinance would create unnecessary hardship as it would produce a small, less functional bathroom space which would not meet the physical needs of the homeowner

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

The homeowner has purchased this property as an existing, nonconforming structure

5. The proposed variance shall not create substantial detriment to adjacent property.

The dormer walls would project no further than the existing exterior walls. The dormer overhangs project less than the existing roofline towards the east setback

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

The design and style of the dormer meet historic district guidelines and the dormer is within the existing structures footprint

## Application Requirements

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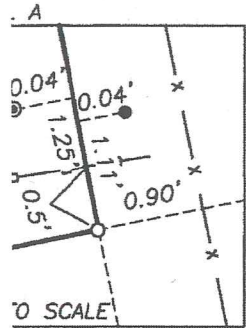
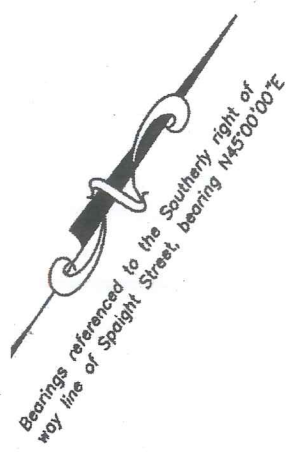
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<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

**Owner's Signature:** Johanna Cherry Alexand **Date:** Mar 2, 2022

----- (For Office Use Only) -----

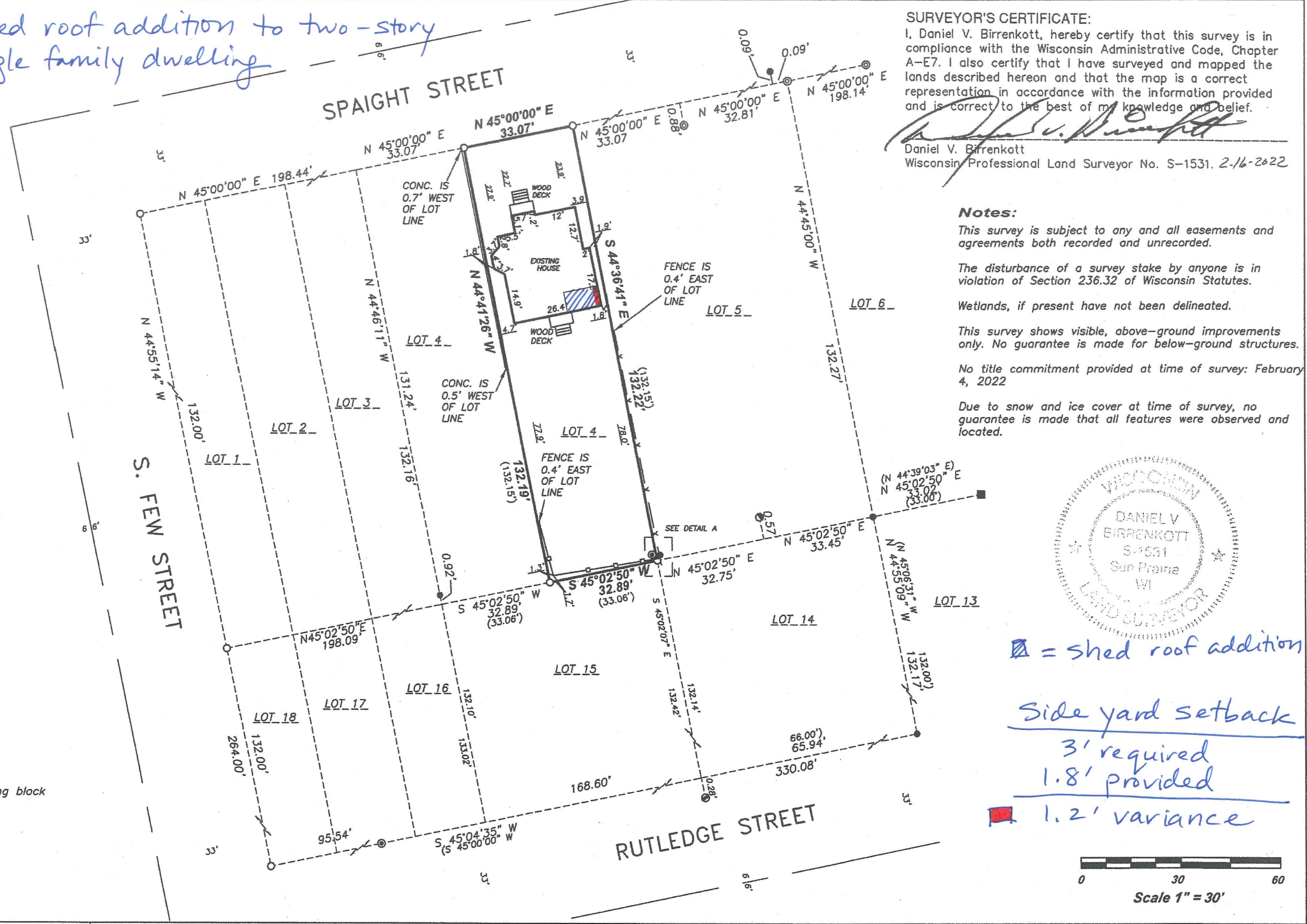
<b><u>DECISION</u></b>	
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ (is) (is not) in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.	
The Zoning Board of Appeals: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Conditionally Approved	
Zoning Board of Appeals Chair:	Date:

Shed roof addition to two-story single family dwelling



**ption:**  
 ST 1/2 OF LOT 4, BLOCK 204,  
 S REPLAT, CITY OF MADISON,  
 JNTY, WISCONSIN

- nd:**
- = Found 1/2" Iron Bar
  - = Found 1/2" Iron Pipe
  - = Found 3/4" Iron Bar
  - = Found 3/4" Iron Pipe
  - = Found 1" Iron Pipe
  - = Found Pinch Top in landscaping block
  - = 3/4"x24" Iron Bar set wt.=1.50#/in.ft.
  - Chain Link Fence
  - Old Wire Fence



**SURVEYOR'S CERTIFICATE:**  
 I, Daniel V. Birrenkott, hereby certify that this survey is in compliance with the Wisconsin Administrative Code, Chapter A-E7. I also certify that I have surveyed and mapped the lands described hereon and that the map is a correct representation in accordance with the information provided and is correct to the best of my knowledge and belief.

*[Signature]*  
 Daniel V. Birrenkott  
 Wisconsin Professional Land Surveyor No. S-1531, 2-16-2022

**Notes:**  
 This survey is subject to any and all easements and agreements both recorded and unrecorded.  
 The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.  
 Wetlands, if present have not been delineated.  
 This survey shows visible, above-ground improvements only. No guarantee is made for below-ground structures.  
 No title commitment provided at time of survey: February 4, 2022  
 Due to snow and ice cover at time of survey, no guarantee is made that all features were observed and located.



■ = Shed roof addition  
 Side yard setback  
 3' required  
 1.8' provided  
 ■ 1.2' variance

**BIRRENKOTT SURVEYING**  
 LAND SURVEYING & PERC TESTING  
 BIRRENKOTTSURVEYING.COM  
 (608) 837-7463  
 ST. SUN PRAIRIE, WIS. 53590 FAX (608) 837-1081

**PLAT OF SURVEY**

February 15, 2022

SURVEYED BY T.A.S.  
 DRAWN BY B.T.S.  
 CHECKED BY C.K.C.  
 APPR'VD BY D.V.B.

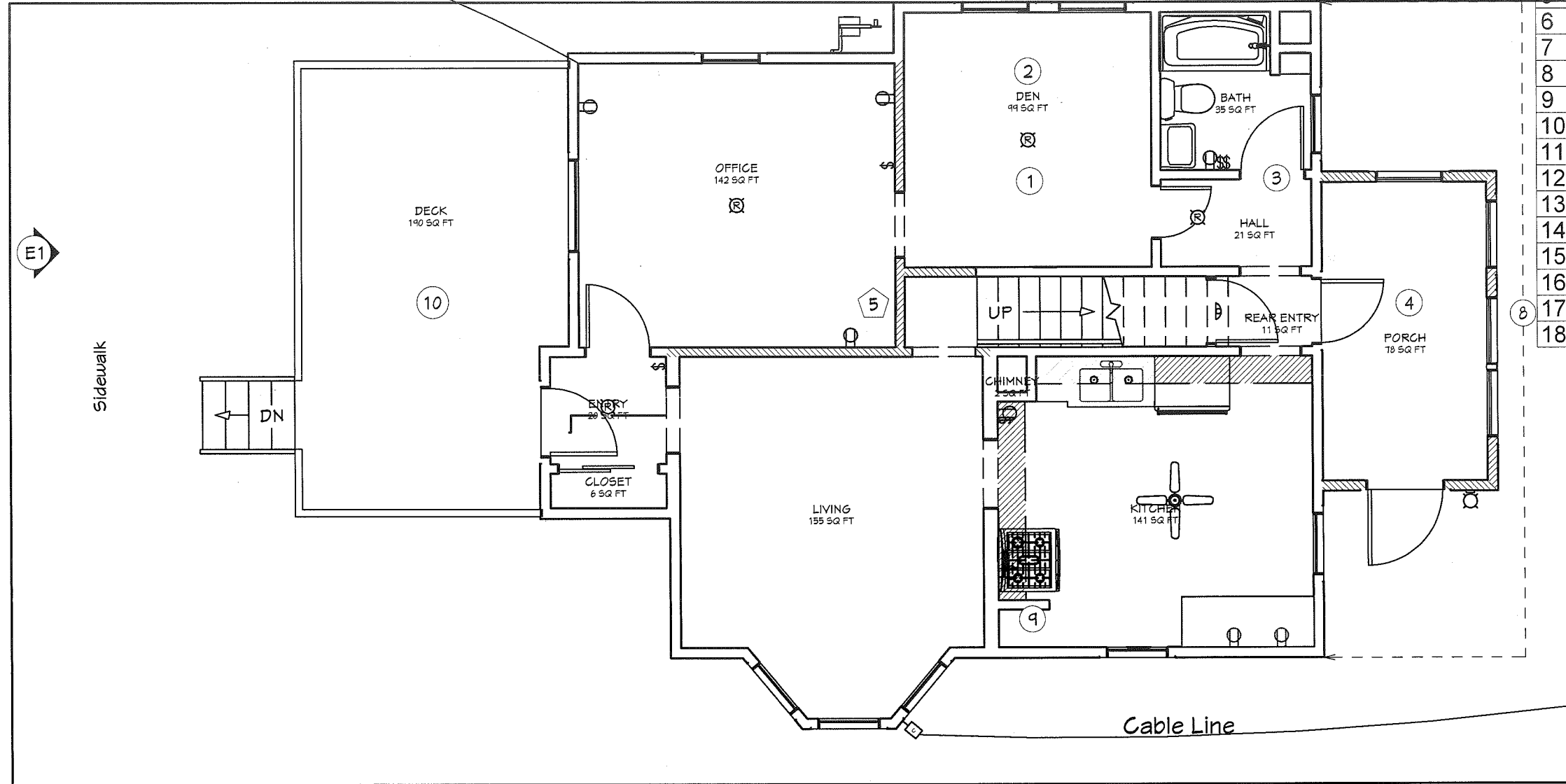
PREPARED FOR:  
**ACTUATE IMPROVEMENT**  
 2115 PARKVIEW ROAD  
 MIDDLETON, WI 53562  
 608-571-3431

JOB NO.  
**220085**  
 SHEET 1 OF 1  
 FB 385/1-2

**Johanna Cherry**  
 1221 Spaight St | Madison  
 DATE: Monday, March 7, 2022  
 DRAWN BY: Ryan Luedtke  
  
**Site Survey**  
  
 Actuate Improvement  
 2115 Parkview Rd | Middleton, WI  
 608-571-3431

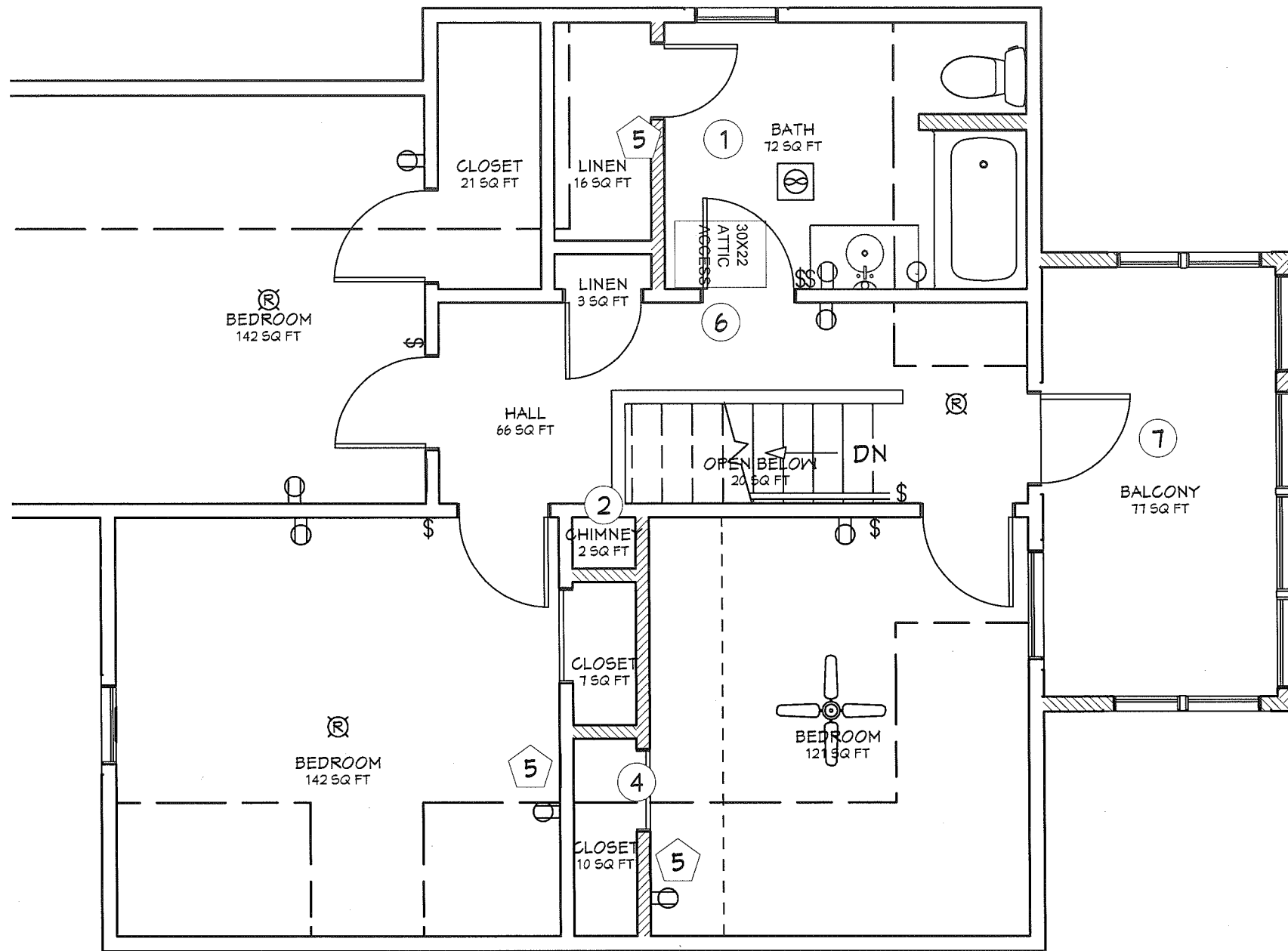
1221 Spaight St

AS BUILT | 1st Floor  
Floor Plan View Shell | 3/16 in = 1 ft



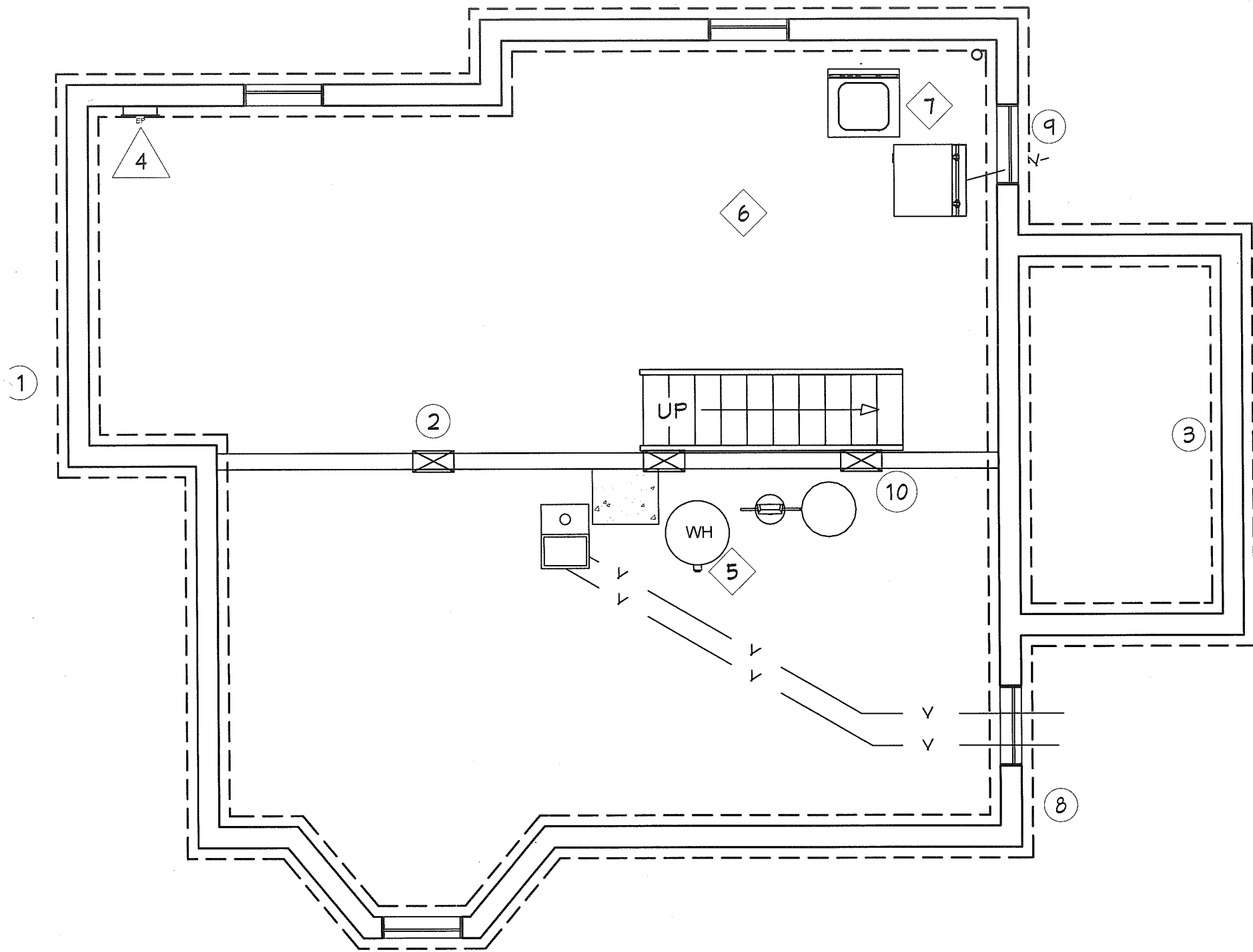
LAYOUT PAGE TABLE	
NUMBER	TITLE
1	DEMO   1ST FLOOR
2	DMEO   2ND FLOOR
3	DEMO   FOUNDATION
4	AS BUILT ELEVATIONS
5	SITE SURVEY
6	REMODEL   1ST FLOOR
7	REMODEL   2ND FLOOR
8	REMODEL   FOUNDATION
9	FRAMING   1ST FLOOR
10	FRAMING   2ND FLOOR
11	NKBA   1ST FLOOR BATH
12	NKBA   2ND FLOOR BATH
13	ELECTRICAL PLAN
14	ELECTRICAL PLAN - DIMENSIONS
15	ELEVATIONS 1 & 2
16	ELEVATION 4
17	ELEVATION 3
18	SCHEDULES

DEMO NOTES	
①	DMEO FLOORING DOWN TO SUBFLOOR -OFFICE, DEN, BATH, HALL, DINING, REAR ENTRY & KITCHEN
②	DEMO DROP CEILING IN DEN & PLASTER CEILING (ACCESS FOR NEW PLUMBING)
③	DEMO COMPLETE OF BATH AND HALL DOWN TO WALL FRAMING   REMOVE SUBFLOOR FOR FLOOR JOIST REPAIRS
④	DEMO COMPLETE REMOVAL OF TWO-STORY PORCH INCLUDING FOUNDATION
⑤	HVAC RELOCATE SUPPLY
⑧	DEMO ALL VINYL SIDING ON SOUTH EXPOSURE   INSTALL NEW VINYL SIDING (TO MATCH AS CLOSELY AS POSSIBLE) ON SOUTH EXPOSURE
⑨	REMOVE WING WALL
⑩	REMOVE DECK



AS BUILT | 2nd Floor  
 Floor Plan View Shell | 1/4 in = 1 ft

NOTE SCHEDULE	
①	DEMO BATH & LINEN DOWN TO FRAMING AND SUBFLOOR   REMOVE ENTRY DOOR & JAMB
②	DEMO CHIMNEY BELOW SUBFLOOR   FRAME IN OPENING & SUBFLOOR
④	DEMO INTERIOR OF BOTH CLOSETS DOWN TO FRAMING   REMOVE HATCHD WALLS   REMOVE FLOORING TO FLOORING TO NEW WALL LOCATION
⑤	HVAC RELOCATE SUPPLY
⑥	RELOCATE SCUTTLE HOLE
⑦	DEMO BALCONY & ROOF   FRAME FOR NEW WINDOW RO IN DOOR



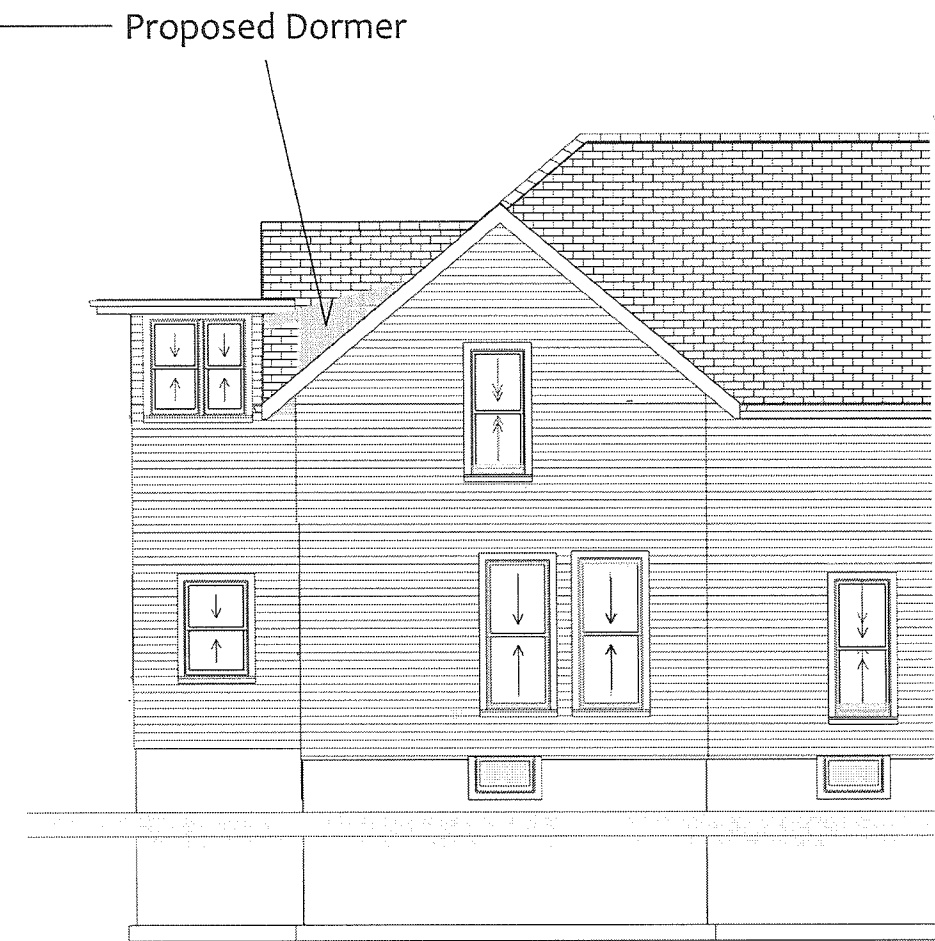
NOTE SCHEDULE	
①	***FOUNDATION BELOW EXISTING DECK NOT VISIBLE   FURTHER ASSESSMENT NEEDED   ADDITIONAL WORK IN THIS AREA WILL BE ADDITIONAL TO SCOPE OF WORK/CONTRACT AND BE CHARGED AS A CHANGE ORDER
②	DEMO EXISTING POST   SET TEMP SUPPORT FOR NEW POST/FOOTING IN SIMILAR LOCATION
③	DEMO FOUNDATION SUPPORT FOR 2 STORY PORCH
④	ELECTRICAL REMOVE EXISTING PANELS   UPGRADE SERVICE AND PANEL (30CRKT)
⑤	PLUMBING REMOVE OLD HOT WATER HEATER AND INSTALL A HIGH EFFICIENCY DIRECT VENT WATER HEATER BRADFORD WHITE
⑥	PLUMBING CUT OUT ALL EXISTING GALAVANIZED WATER LINES UNDER 1ST FLOOR   INSTALL NEW PEX WATER LINES
⑦	PLUMBING REMOVE EXISTING WATER/DRAIN LOCATION FOR WASHER/DRYER
⑧	TUCK POINT MASONRY   REMOVE LOOSE FOUNDATION DEBRIS ON EXTERIOR OF FOUNDATION ONLY
⑨	DEMO REMOVE WOOD PANEL AND LAUNDRY DUCTING - INSTALL VINYL SLIDER
⑩	DEMO CMU & BRICK POST - INSTALL NEW STEEL POST & 2'X2' FOOTING

Floor Plan View Shell | 1/4 in = 1 ft



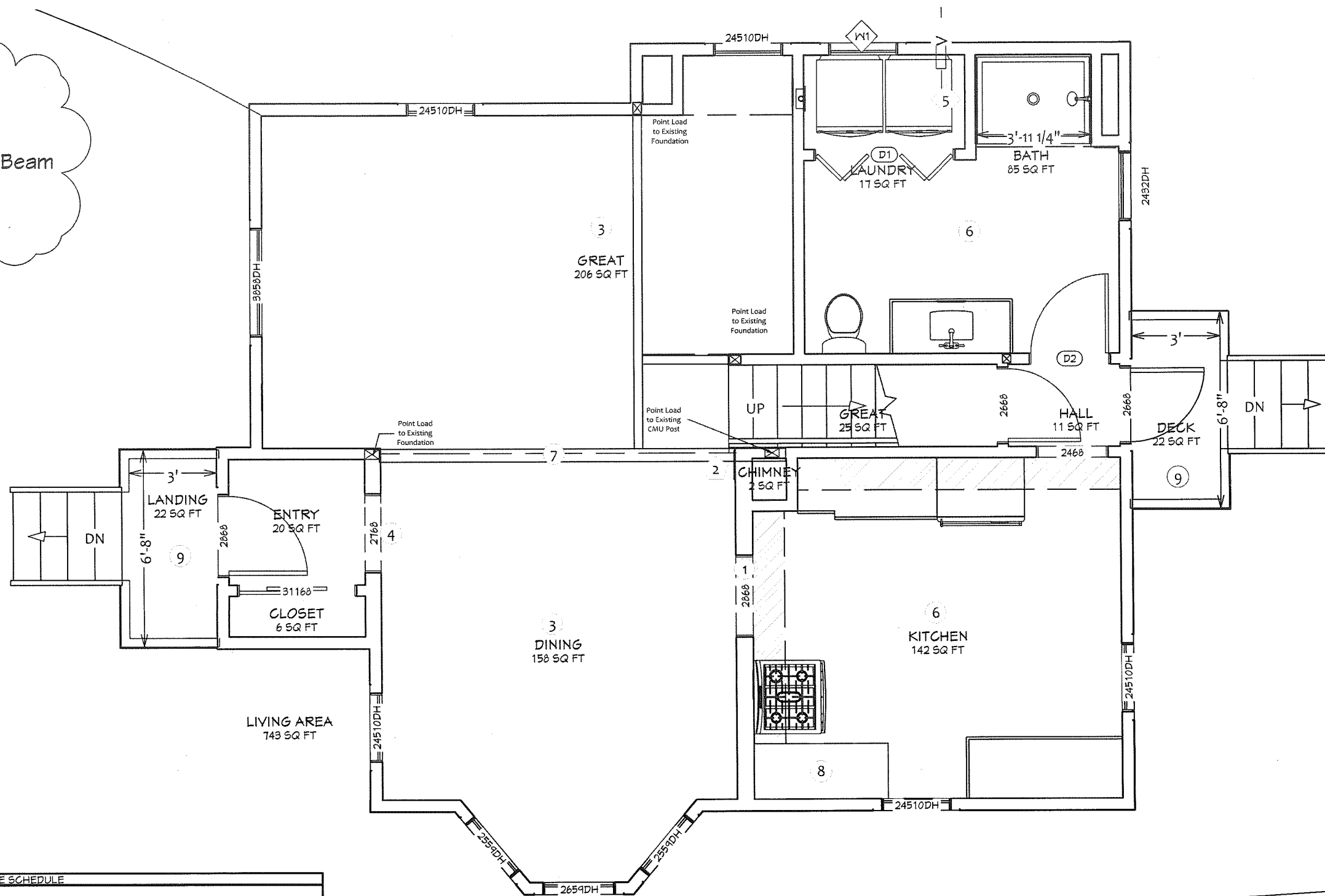


Elevation 5



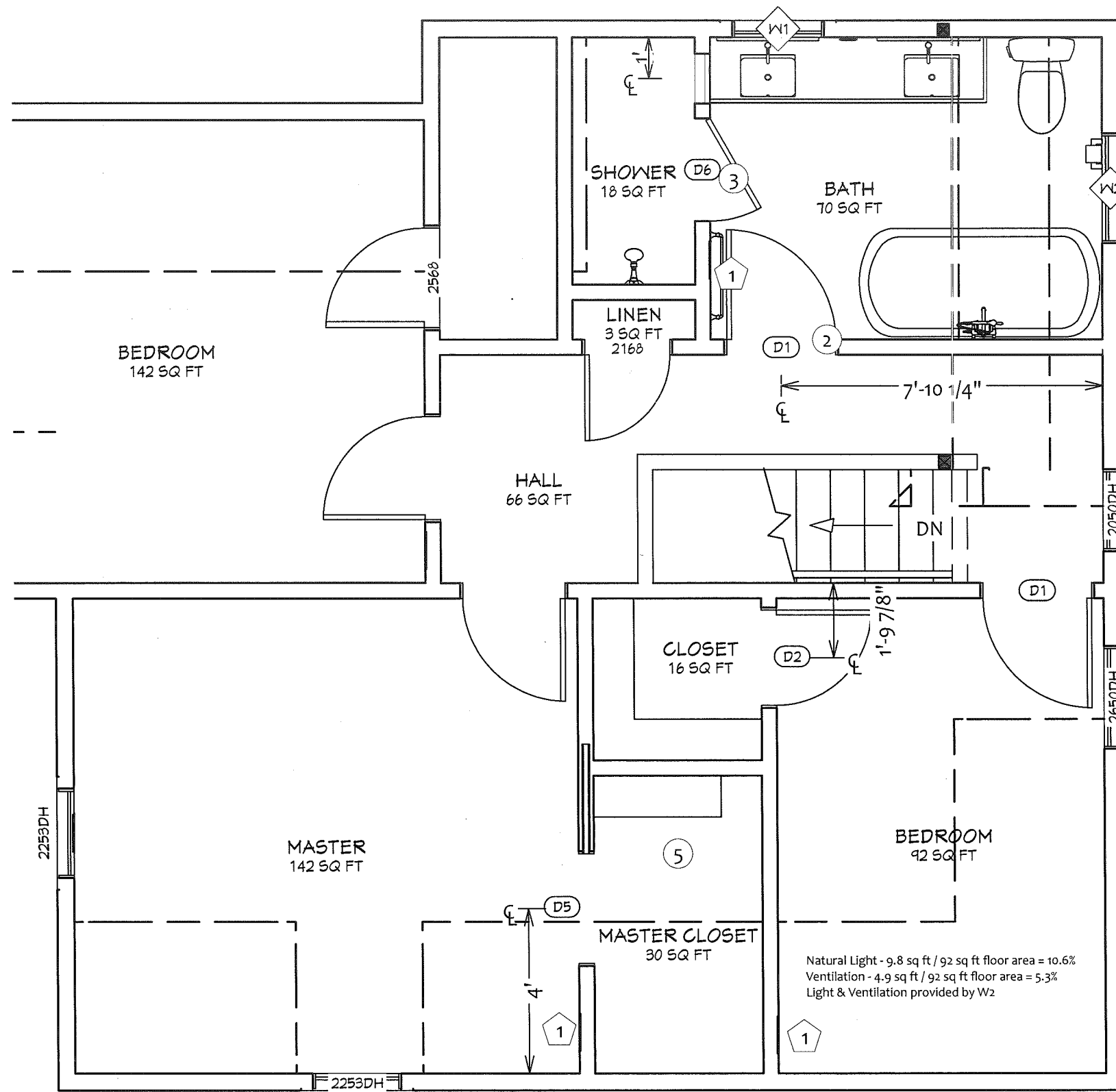
Elevation 3

11" Soffit  
Match bottom of Beam



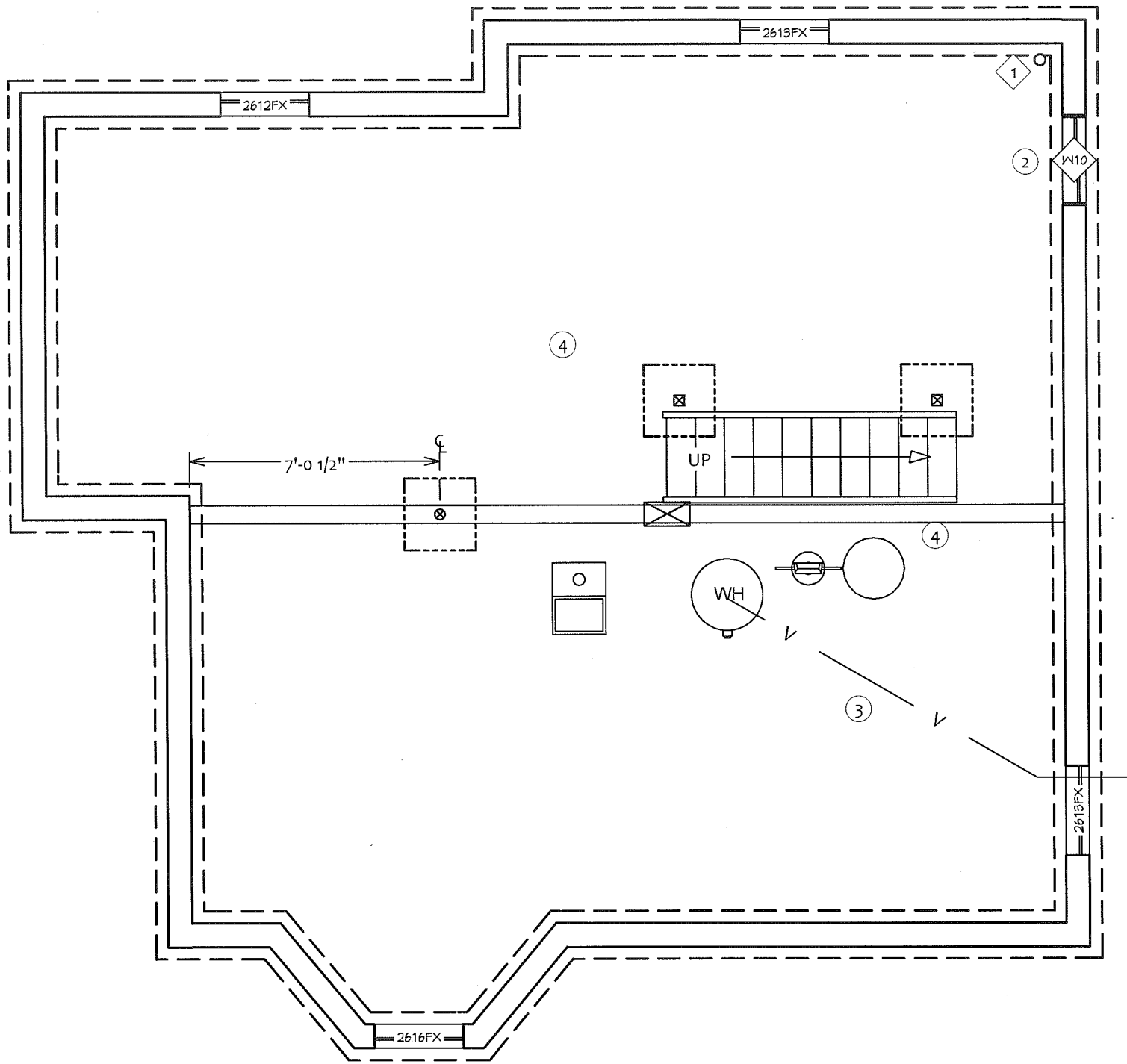
NOTE SCHEDULE	
①	FLOOR TRANSITION @ DOORWAY
②	HVAC NEW LOC.
③	INSTALL LVP THROUGHOUT GREAT ROOM & DINING ROOM
④	ELIMINATE LARGE WOOD TRANSITION
⑤	PLUMBING INSTALL LAUNDRY DRAIN AND WATER SUPPLY
⑥	INSTALL LVT IN KITCHEN & BATH/LAUNDRY
⑦	EXPAND OPENING INTO GREAT ROOM   POINT LOAD DOWN TO FLOOR BEAM   INSTALL CRUSH BLOCKING
⑧	BUILD SOFFIT FOR NEW HVAC DUCTWORK TO 2ND FLOOR LOCATION IN BEDROOM
⑨	INSTALL TREATED LUMBER LANDING, STAIRS & RAILING

Remodel | 1st Floor  
1/4 in = 1 ft



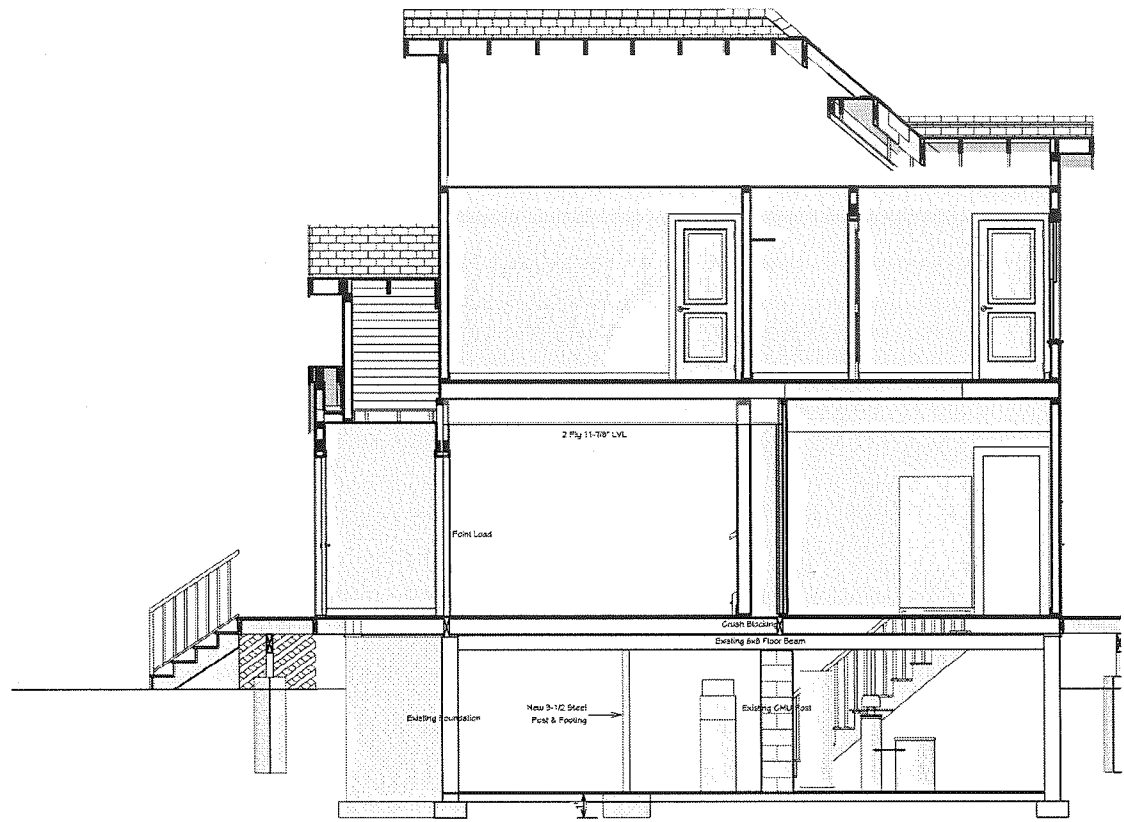
2ND FLOOR REMODEL NOTES	
①	HVAC NEW LOC
②	SMALL FLOORING PATCH - PREFINISHED FLOORING
③	FRAME NEW WALLS
⑤	FLOOR - INSTALL CARPET IN MASTER AND GUEST CLOSET

REMODEL | 2nd Floor  
5/16 in = 1 ft

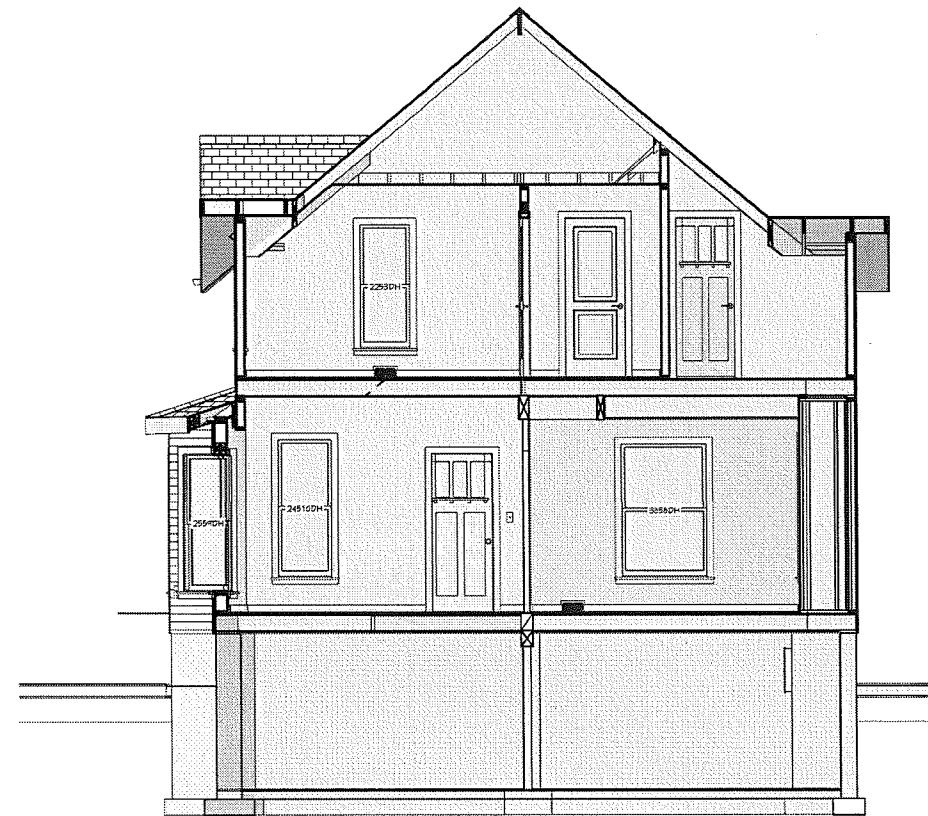


NOTE SCHEDULE	
①	PLUMBING REMOVE EXISTING CAST IRON STACK - REPLUMB STACK WITH PVC PIPING
②	INSTALL NEW SLIDING WINDOW
③	VENT WATER HEATER BY FURNACE EXHAUST (IF POSSIBLE)
④	INSTALL NEW POST AND 2'X2' FOOTING

Remodel | Foundation  
 1/4 in = 1 ft

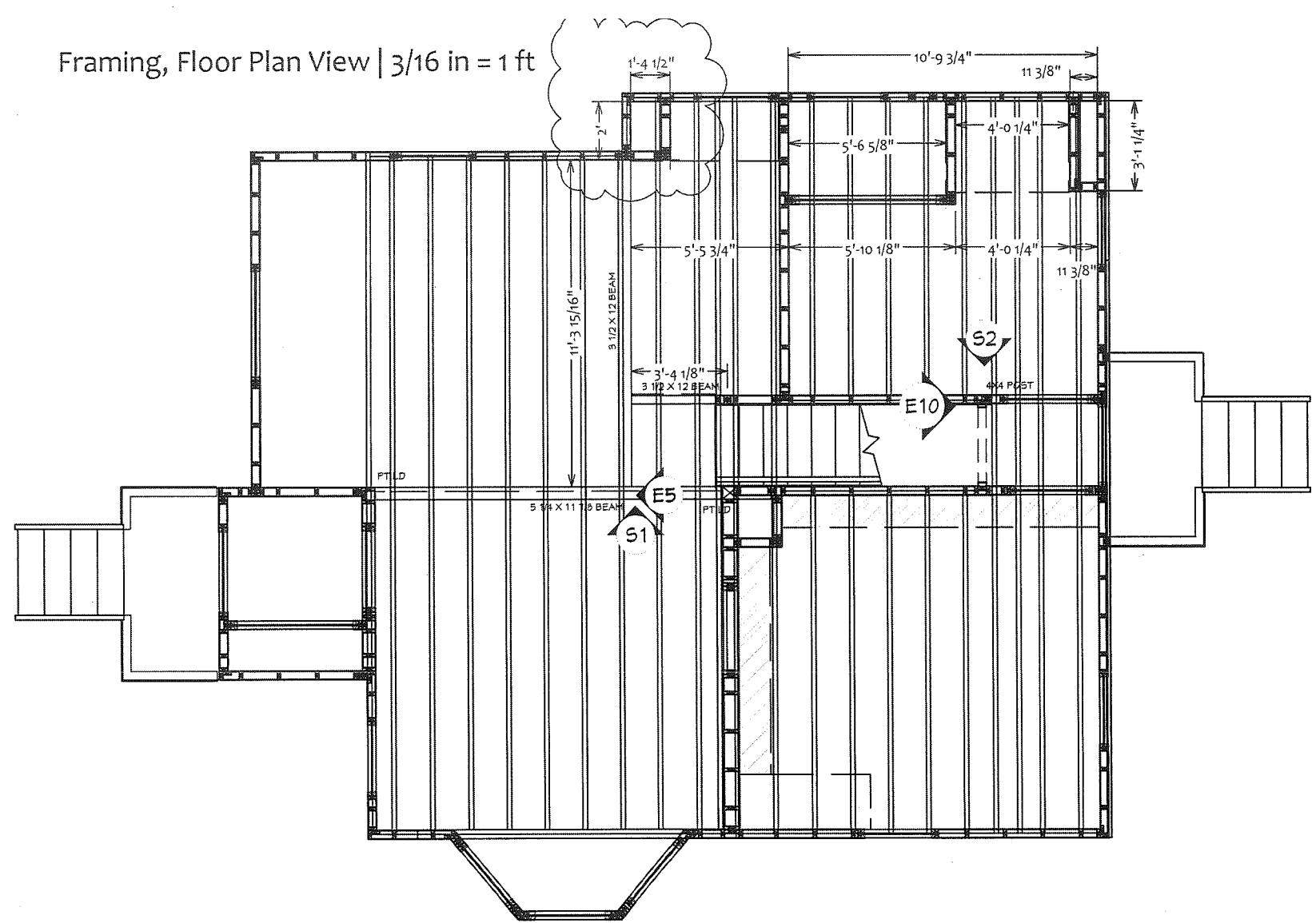


Cross Section 1

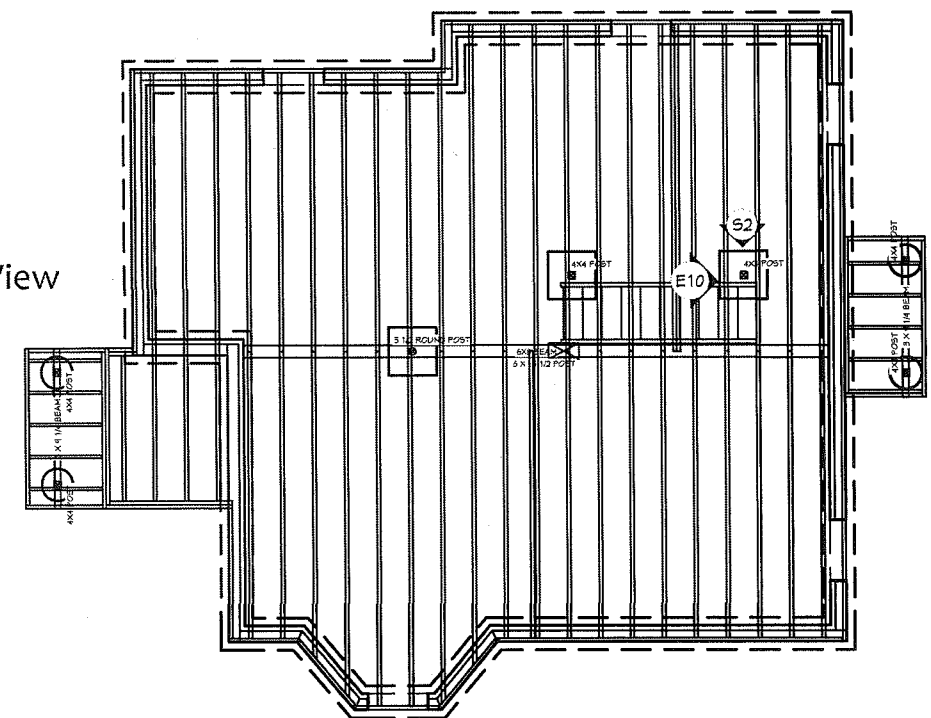


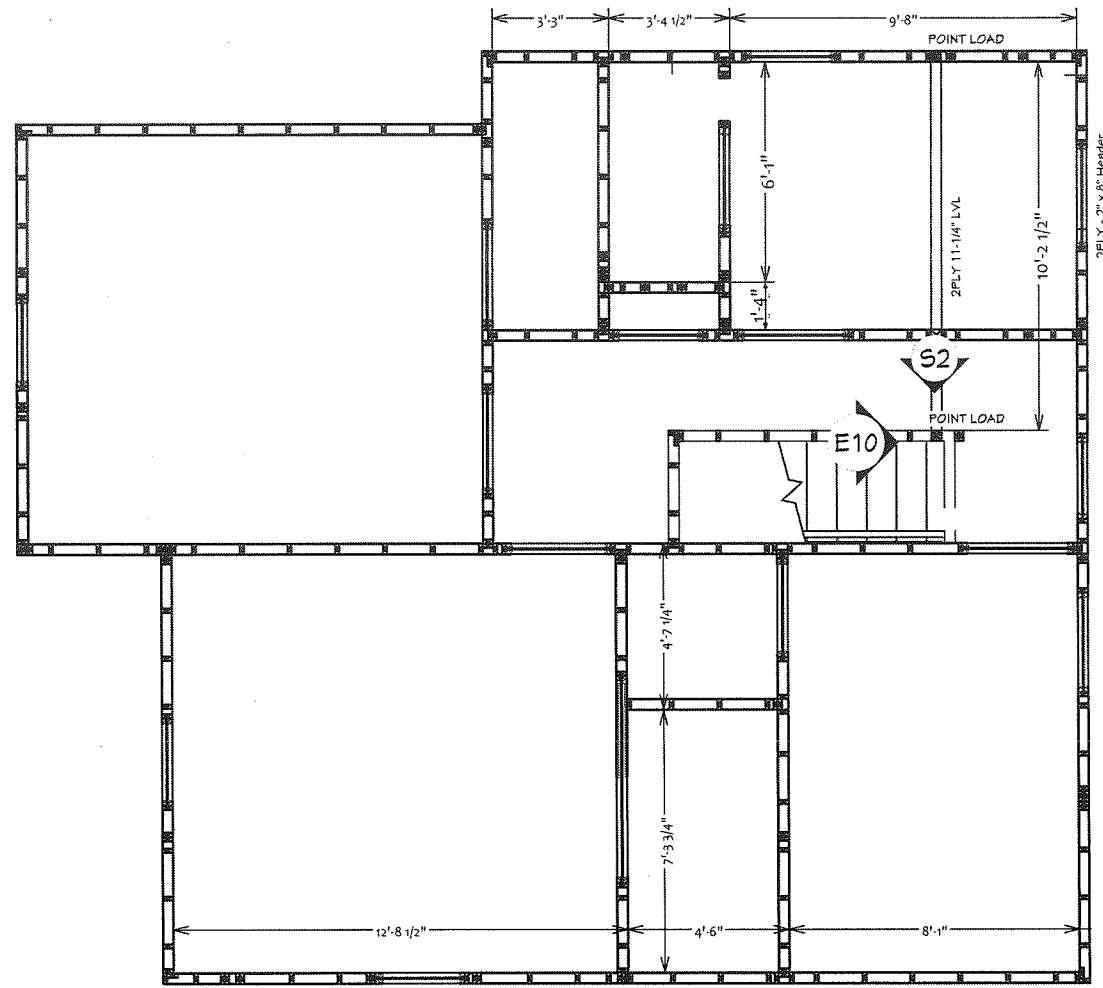
Elevation 5

Framing, Floor Plan View | 3/16 in = 1 ft



Framing, Floor Plan View

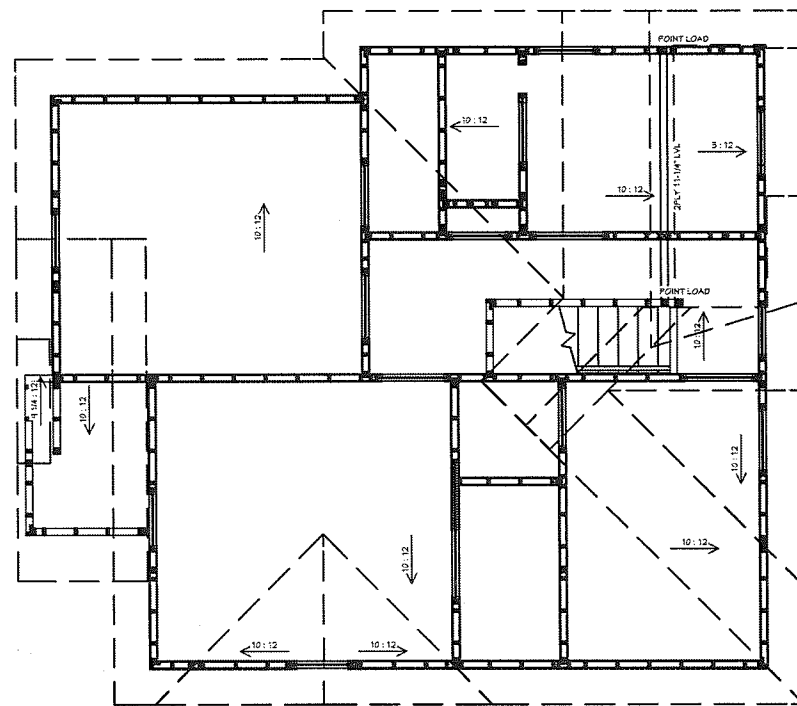




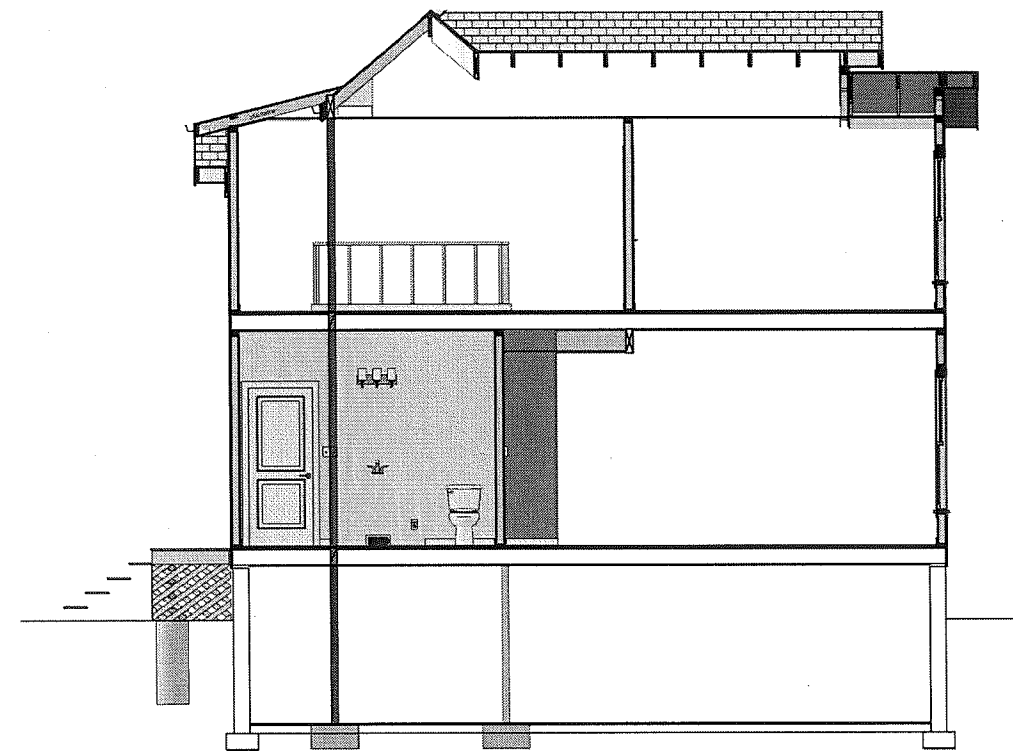
Framing, Floor Plan View



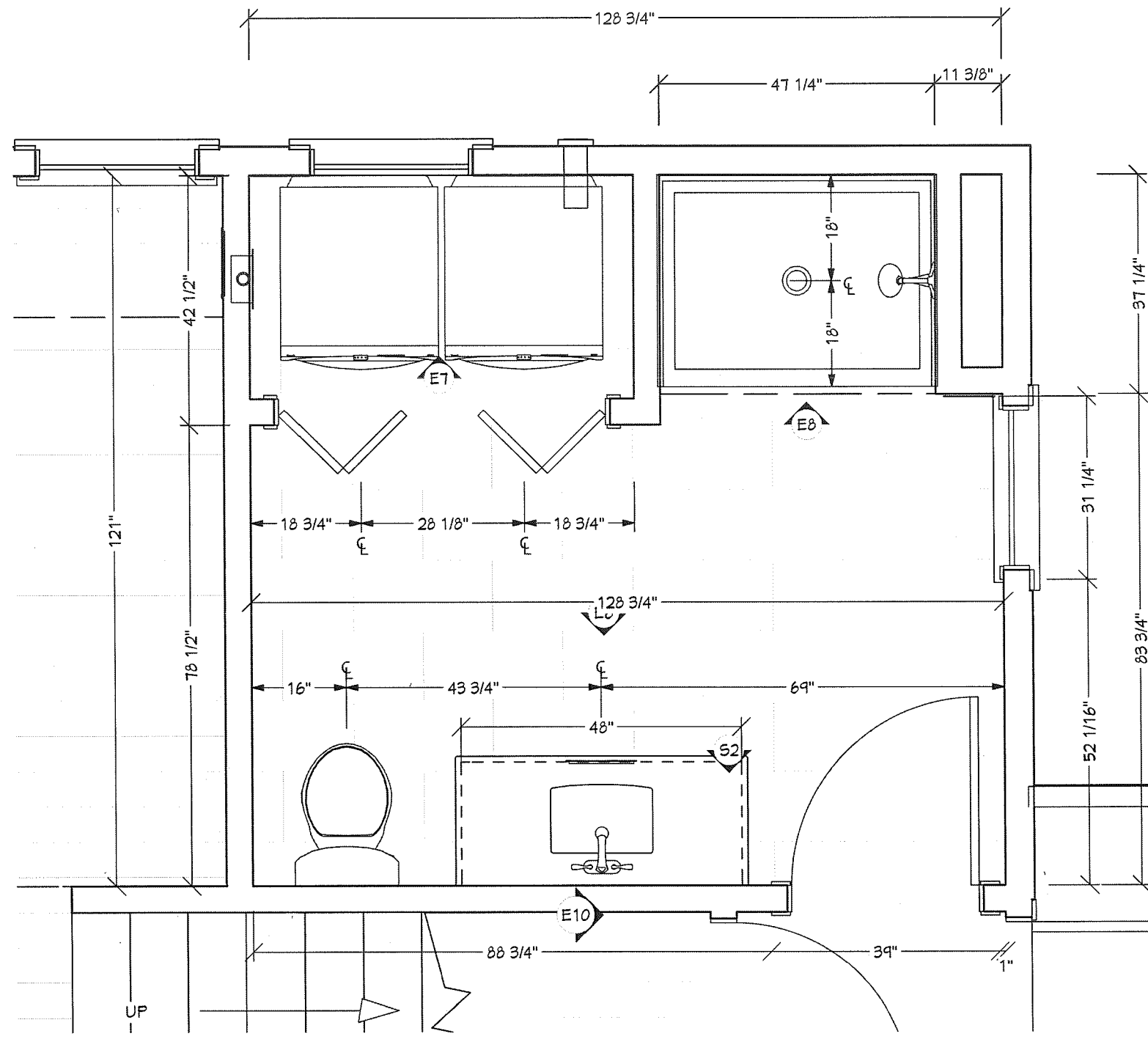
Elevation 10



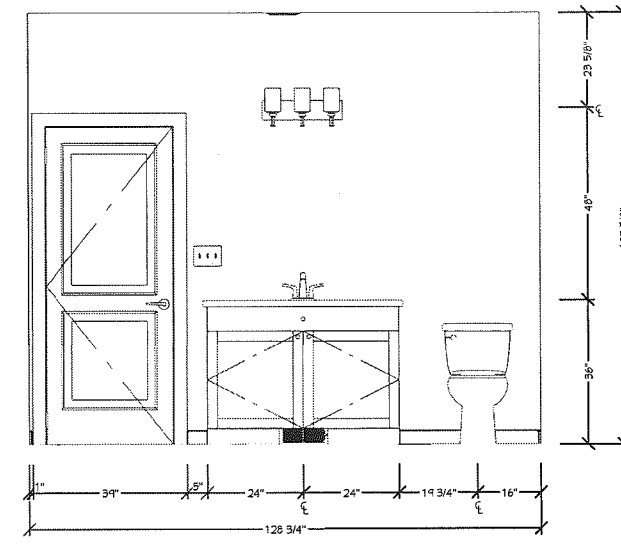
Framing Roof Plan View



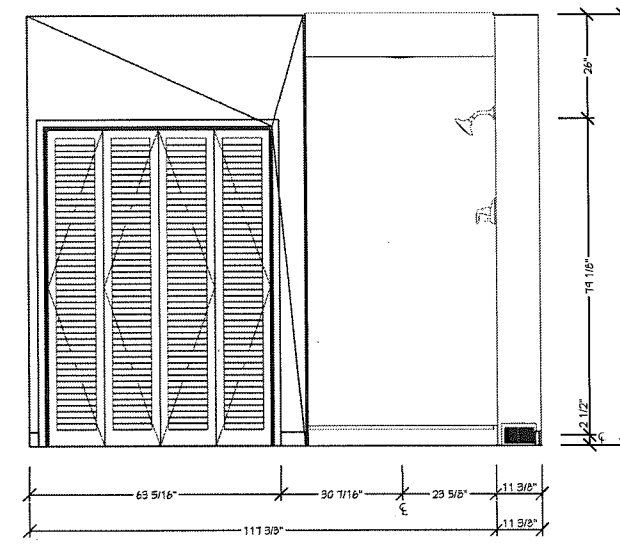
Cross Section 2



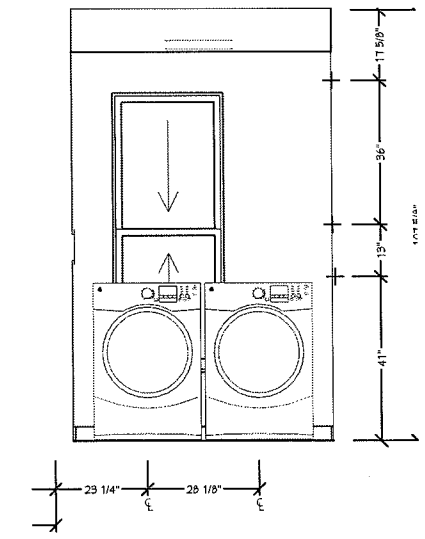
Kitchen and Bath Plan View



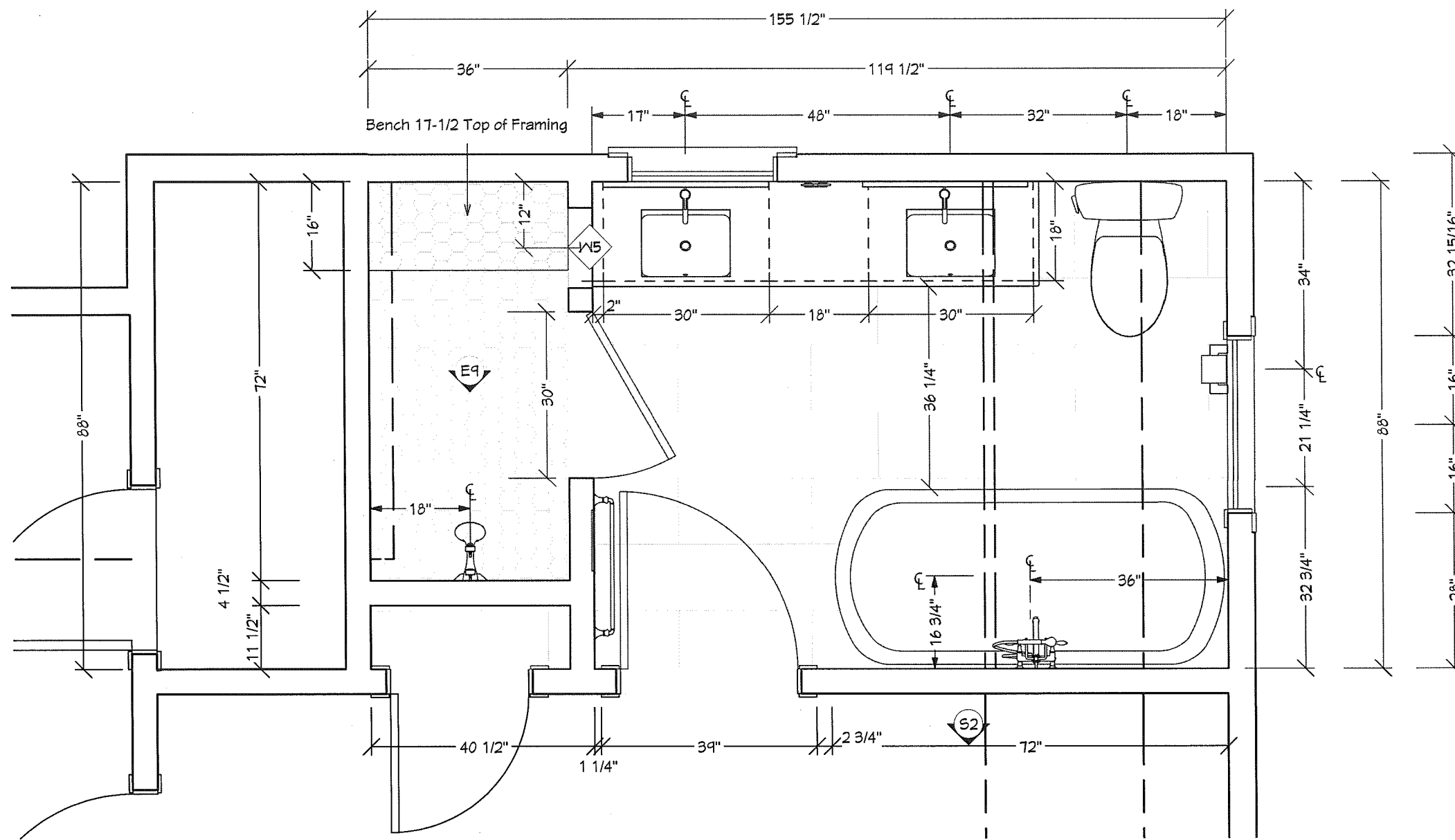
Elevation 6



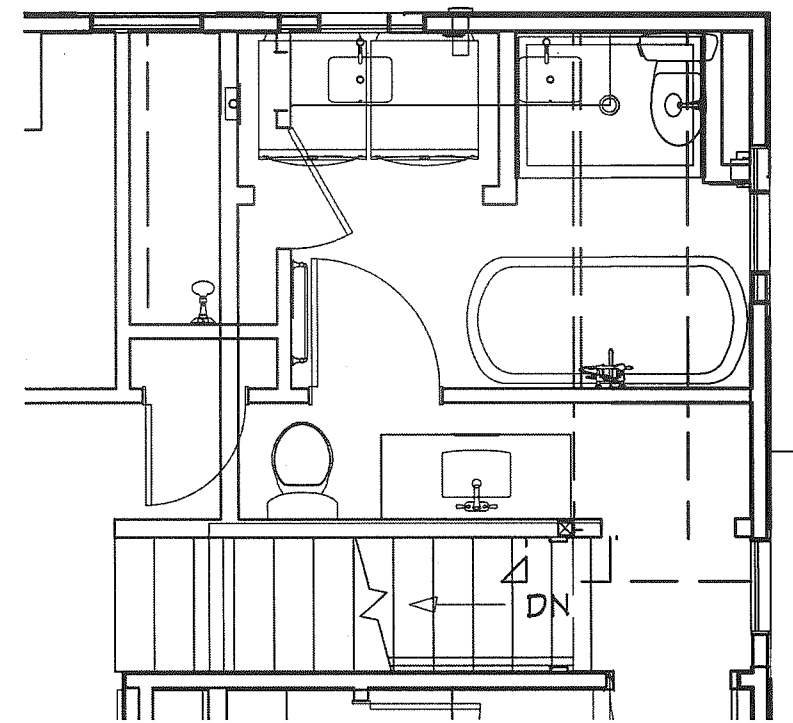
Elevation 8



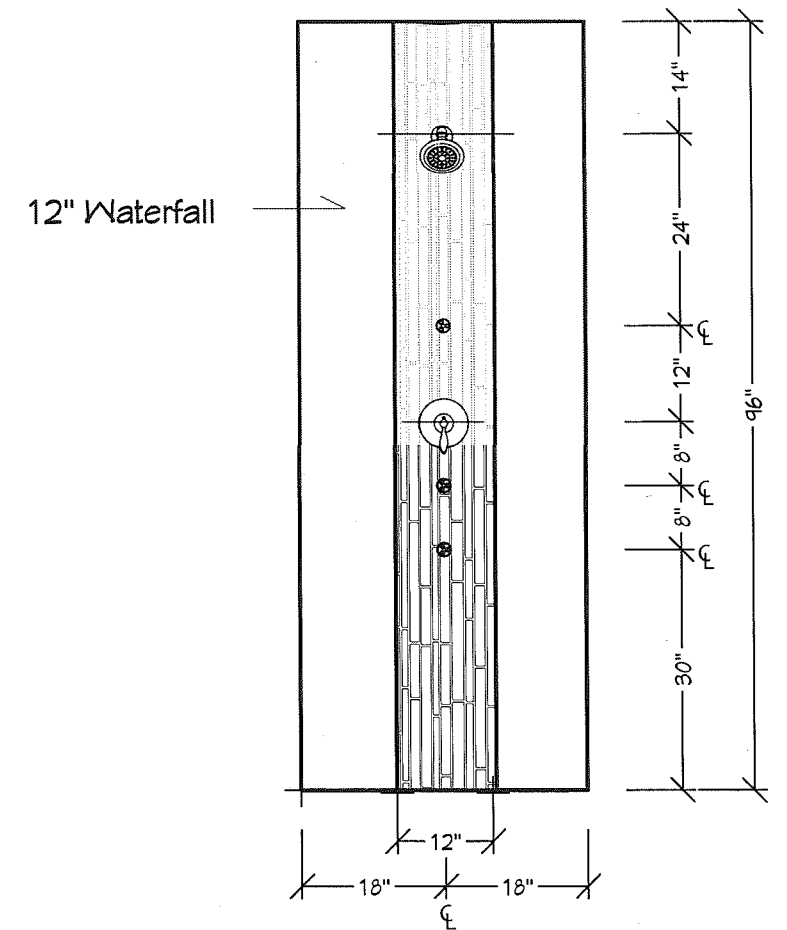
Elevation 7



Kitchen and Bath Plan View | 1/2 in = 1 ft

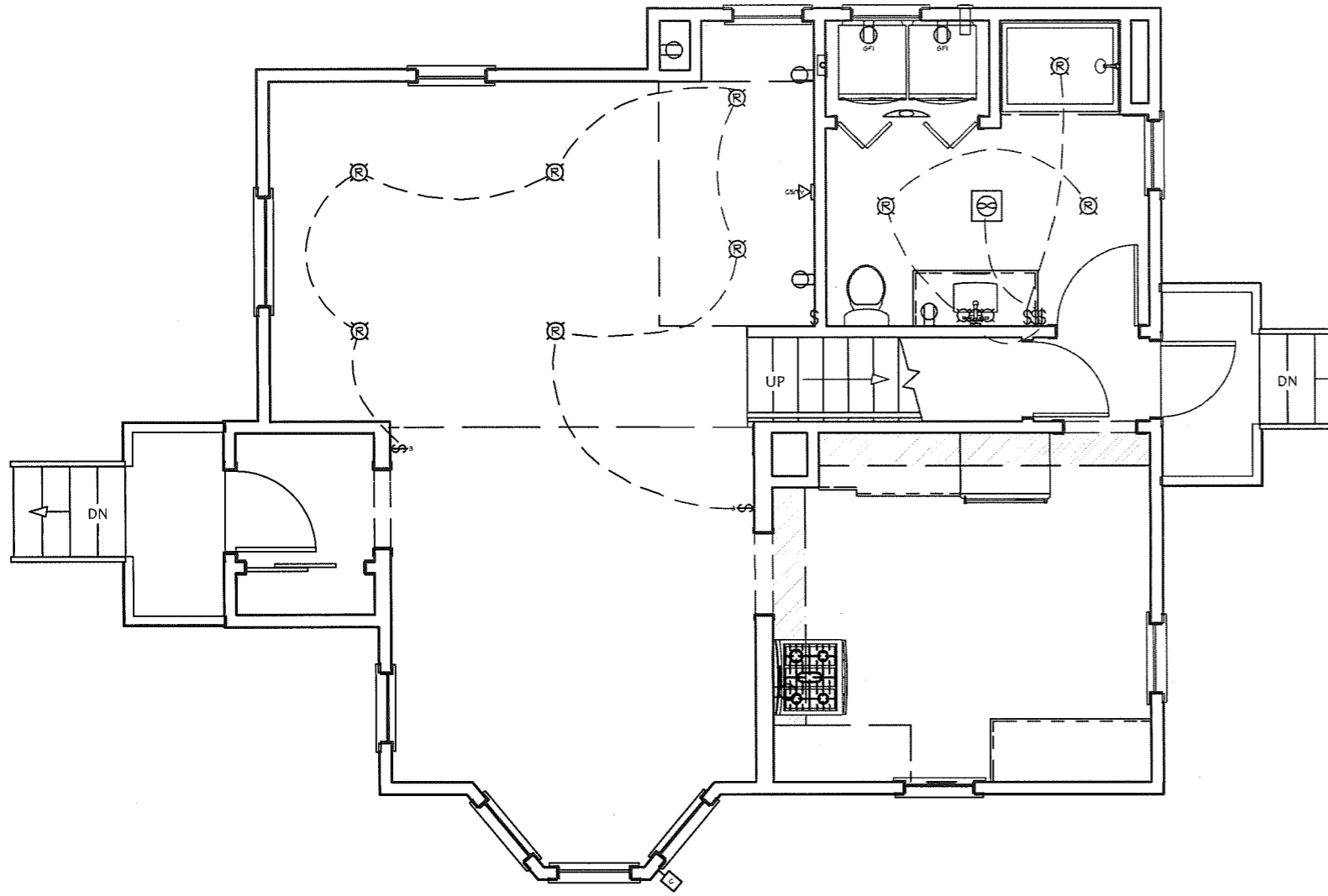


Overlay | 2nd Floor Black | 1st Floor Red

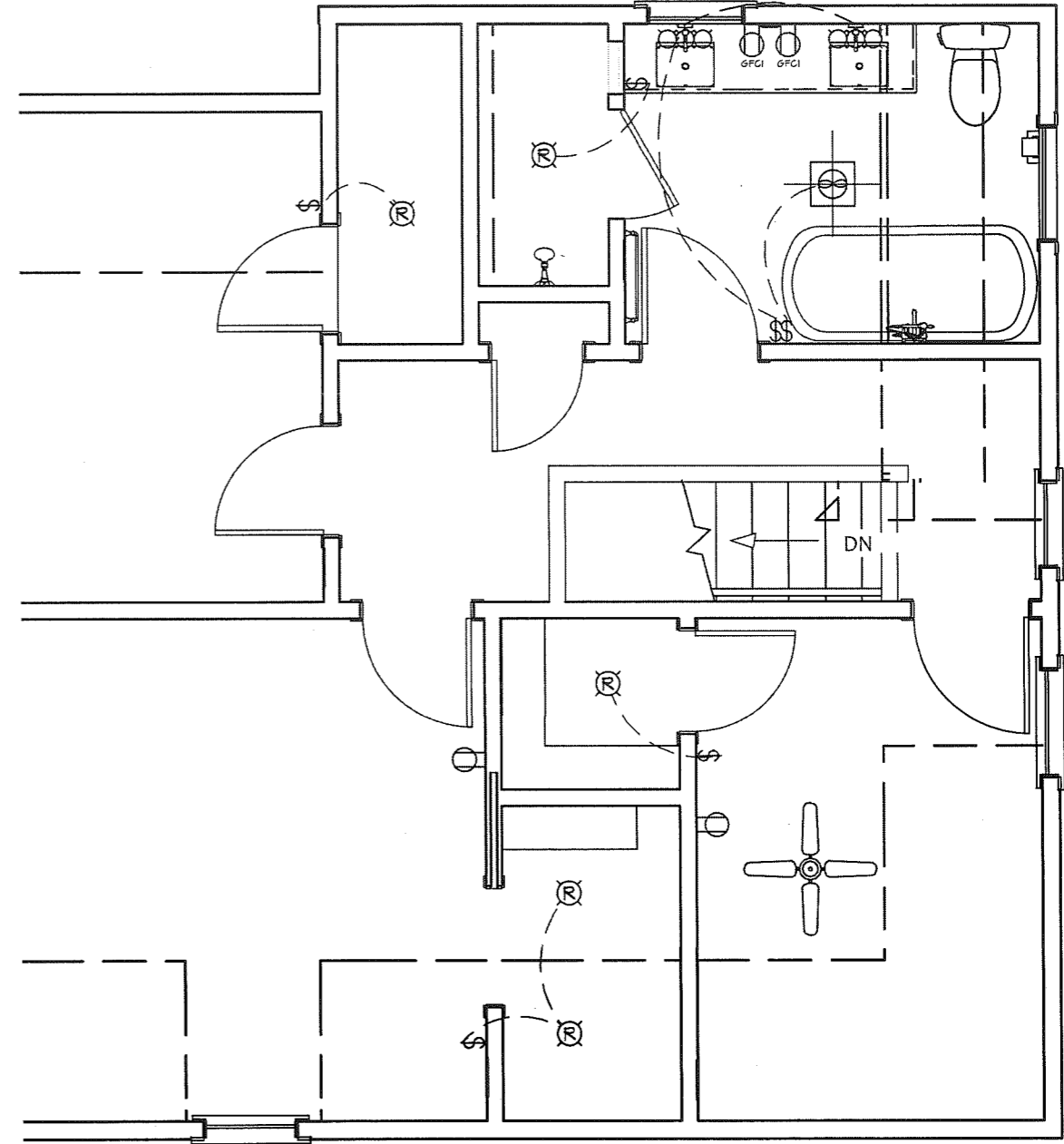


Elevation 9

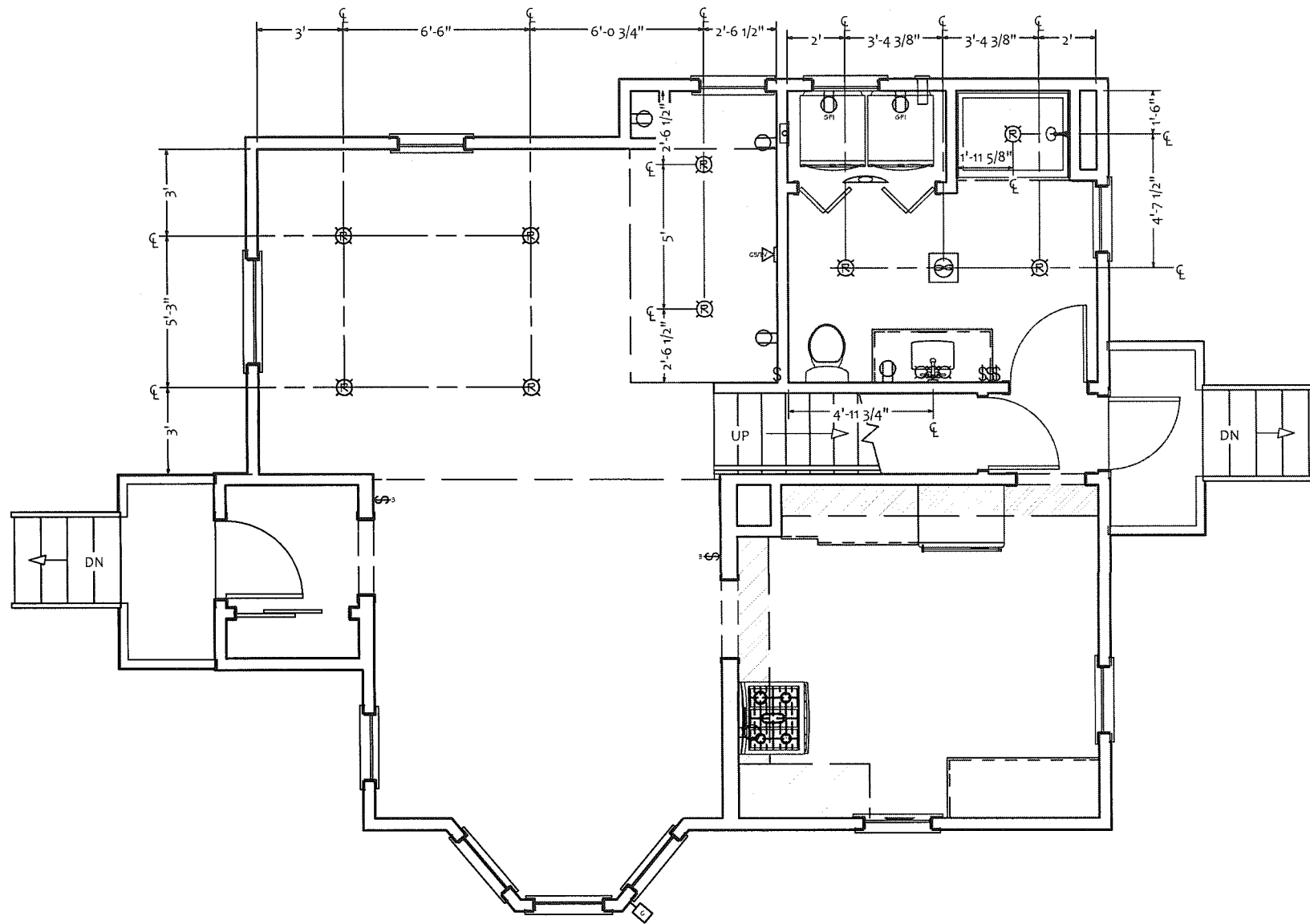




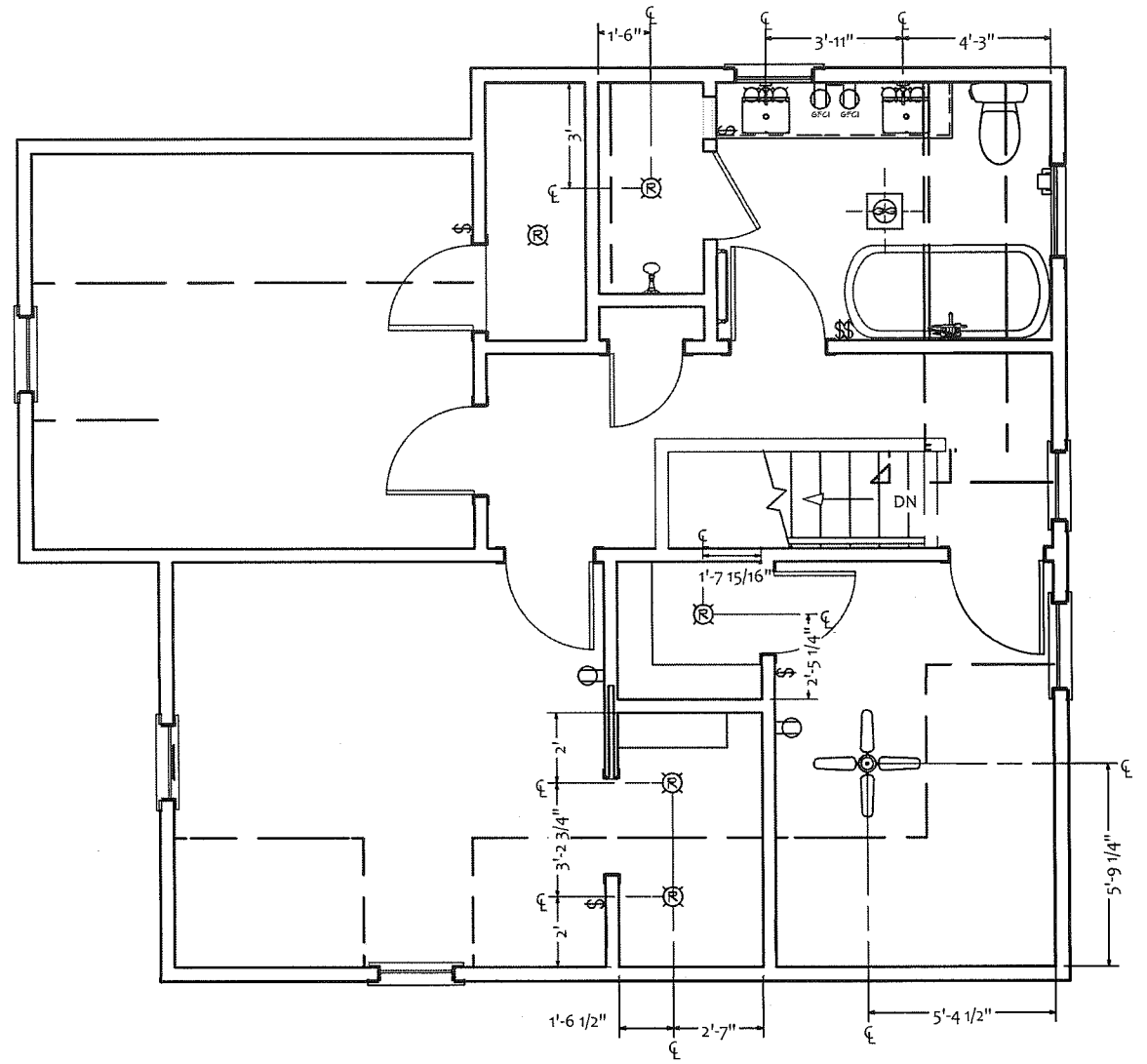
Electrical Plan View | 1st Floor



Electrical Plan View | 2nd Floor



Electrical Plan Dimensions



Electrical Plan Dimensions

Finish Dimensions



Elevation 1 - Front Elevation - 1/8 in = 1 ft



Elevation 2 - Side Elavation - 1/8 in = 1 ft



Proposed Dormer

Elevation 4

Elevation 4

Proposed Dormer



Elevation 3

1ST FLOOR DOOR SCHEDULE

NUMBER	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	COMMENTS
D1	1	1	4868 L/R	58"X82 1/2"	4 DR. BIFOLD-LOUVERED	2X6X61" (2)	
D2	1	1	2868 R IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)	

2ND FLOOR DOOR SCHEDULE

NUMBER	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	COMMENTS
D1	2	2	2868 L IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)	
D2	1	2	2468 L IN	29 3/4"X82 1/2"	HINGED-DOOR P04	2X6X32 3/4" (2)	
D5	1	2	2868 R	66"X82 1/2"	POCKET-DOOR P04	2X6X69" (2)	
D6	1	2	2668 L IN	32"X82 1/2"	HINGED-GLASS SLAB	2X6X35" (2)	CUSTOM GLASS SHOWER DOOR

1ST FLOOR WINDOW SCHEDULE

NUMBER	QTY	FLOOR	SIZE	R/O	DESCRIPTION	TEMPERED	COMMENTS
W1	1	1	24510DH	28"X70"	DOUBLE HUNG		FAUX OPENING, INSTALL WHITE PANEL, FRAME AND INSULATE OPENING, WINDOW SASHES, FRAME AND EXTERIOR APPEARANCE TO REMAIN THE SAME

2ND FLOOR WINDOW SCHEDULE

NUMBER	QTY	FLOOR	SIZE	R/O	DESCRIPTION	TEMPERED	COMMENTS
W1	1	2	2350DH	27"X60"	DOUBLE HUNG		FAUX OPENING, INSTALL WHITE PANEL, FRAME AND INSULATE OPENING, WINDOW SASHES, FRAME AND EXTERIOR APPEARANCE TO REMAIN THE SAME
W2	1	2	2846DH	33"X55"	DOUBLE HUNG		2ND FLOOR MASTER BATH
W5	1	2	1316	15 1/2"X19"	WALL NICHE		39-1/2" BOTTOM OF FRAMING

BASEMENT WINDOW SCHEDULE

NUMBER	QTY	FLOOR	SIZE	R/O	DESCRIPTION	COMMENTS
--------	-----	-------	------	-----	-------------	----------