



# City of Madison

## Proposed Rezoning

Location  
1936 Tennyson Lane

Applicant  
Keller Development, LLC/  
Gene A. Wells – Engberg Anderson, Inc.

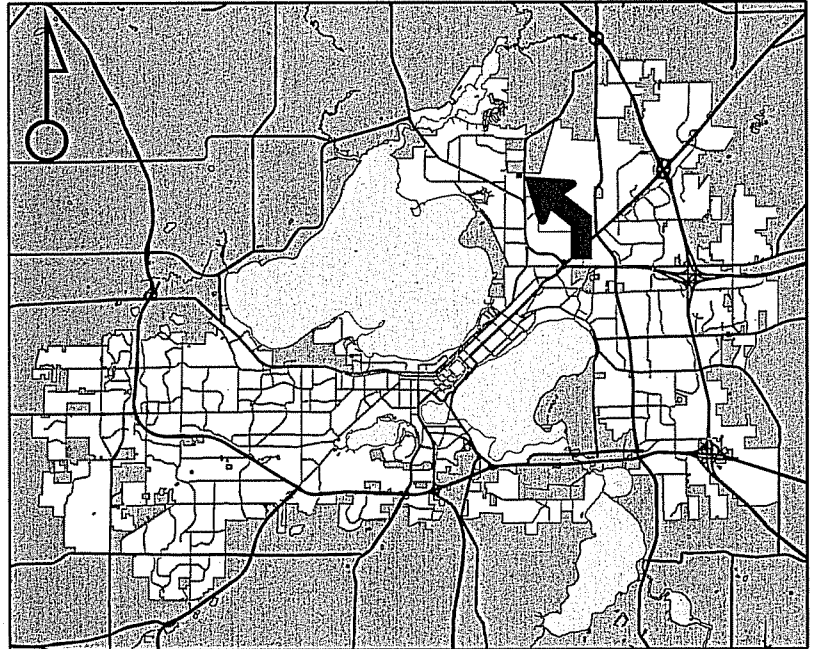
From: PD-GDP                      To: Amended  
PD-GDP-SIP

Existing Use  
Vacant Land

Proposed Use  
Construct multi-family dwelling with 70  
independent units and 60 assisted living units

Public Hearing Date  
Plan Commission  
11 August 2014

Common Council  
02 September 2014

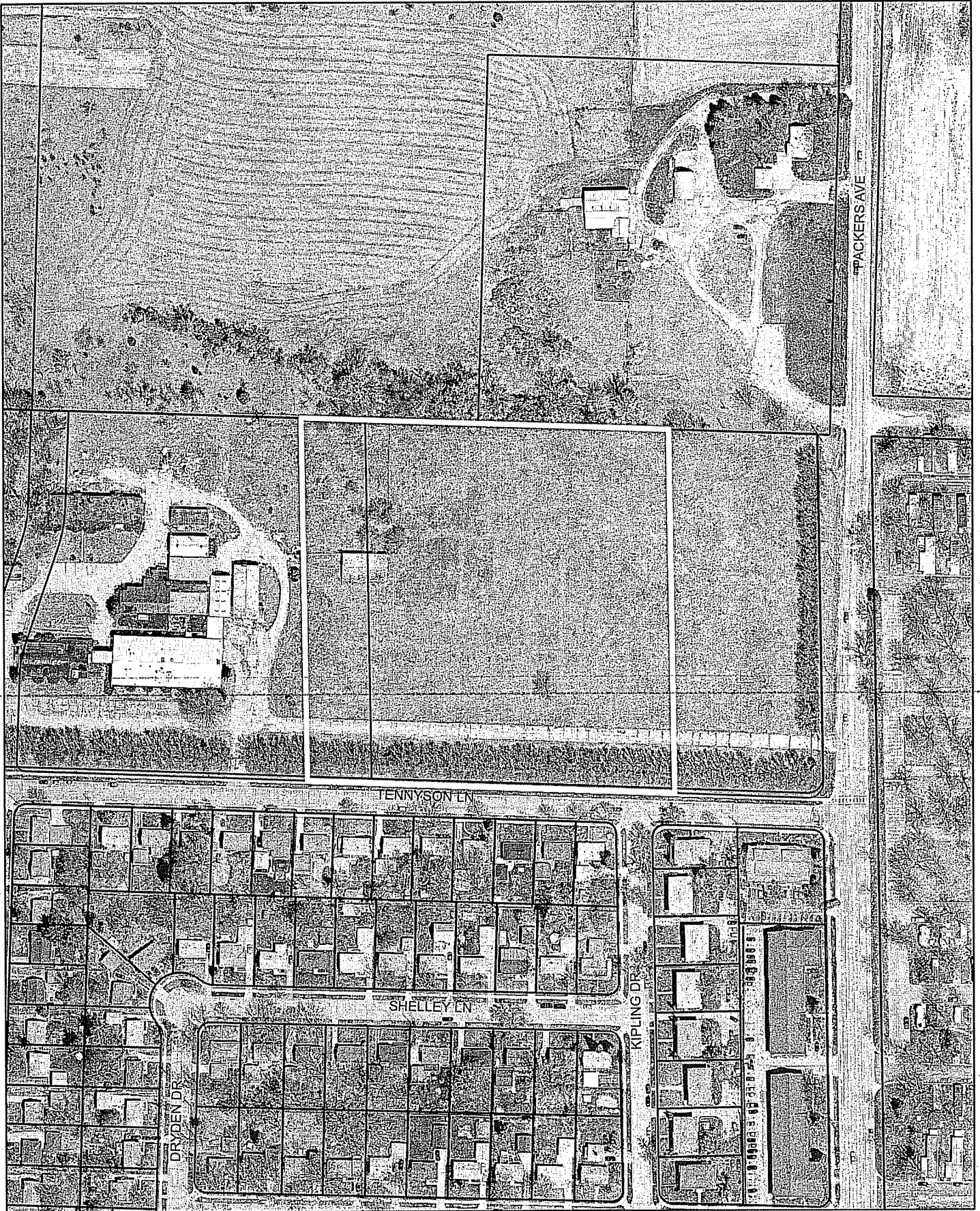


For Questions Contact: Kevin Firchow at: 267-1150 or [kfirchow@cityofmadison.com](mailto:kfirchow@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 01 August 2014





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt Paid <u>\$ 3100</u>	Receipt No. <u>153857</u>
Date Received <u>5/7/14</u>	
Received By <u>JL</u>	
Parcel No. <u>0810-302-0101-6</u>	
Aldermanic District <u>12 - Larry Palm</u>	
Zoning District <u>PD / SR-V2</u>	
Special Requirements <u>zone Q PD</u>	
Review Required By:	
<input checked="" type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input checked="" type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 1902 Tennyson Lane, Madison, WI 53704  
Project Title (if any): Tennyson Senior Living Community

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from SR-C1 to PD-SIP
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

3. Applicant, Agent & Property Owner Information:

Applicant Name: Rita Giovannoni Company: ILI Senior Housing-Tennyson Lane, LLC  
 Street Address: 2970 Chapel Valley Road, Suite 203 City/State: Madison, WI Zip: 53711  
 Telephone: (608) 274-7900 Fax: (608) 274-9181 Email: rgiovannoni@independentlivinginc.org

Project Contact Person: Gene A. Wells Company: Engberg Anderson, Inc  
 Street Address: 1 N. Pinckney Street City/State: Madison, WI Zip: 53703  
 Telephone: (608) 250-7506 Fax: (608) 250-0200 Email: genew@engberganderson.com

Property Owner (if not applicant): Thomas Keller/Tennyson Terrace, LLC by Keller Development, LLC  
 Street Address: 448 W. Washington Avenue City/State: Madison, WI Zip: 53703

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Senior housing campus which includes: independent living apartments, assisted living residences and connected shared services space.

Development Schedule: Commencement Spring 2014 Completion Spring 2015

5

## 5. Required Submittal Information

All Land Use applications are required to include the following:

**Project Plans including:\***

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| ◦ Project Team                                | ◦ Building Square Footage                       | ◦ Value of Land  |
| ◦ Existing Conditions                         | ◦ Number of Dwelling Units                      | ◦ Estimated Project Cost                                     |
| ◦ Project Schedule                            | ◦ Auto and Bike Parking Stalls                  | ◦ Number of Construction & Full-Time Equivalent Jobs Created |
| ◦ Proposed Uses (and ft <sup>2</sup> of each) | ◦ Lot Coverage & Usable Open Space Calculations | ◦ Public Subsidy Requested                                   |
| ◦ Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com).

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Larry Palm and Neighborhood Associations- 10/23/12, 05/06/13, 09/14/13, 03/20/14

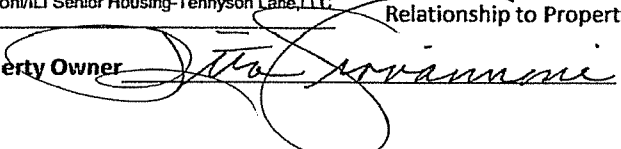
→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: K. Firchow Date: 12/12/2013 Zoning Staff: M. Tucker Date: 12/12/2013

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Rita Giovannoni/ILI Senior Housing-Tennyson Lane, LLC Relationship to Property: Intent to purchase

Authorizing Signature of Property Owner  Date 05/07/2014



July 16, 2014

**Alan Martin, Secretary UDC**  
City of Madison  
Department of Planning and Development  
215 Martin Luther King, Jr. Blvd  
Madison, WI 53701

**Re Letter of Intent- Final Presentation**  
**Tennyson Senior Living Community**  
**1902 Tennyson Lane**  
**Madison, WI 53704**  
**PD-SIP- Phase 1, Planned Development District**

Dear Mr. Martin,

Please accept this updated letter of intent, application and attachments as our formal request for a Planned Development District-SIP-Phase 1 review and approval by the Urban Design commission and the City of Madison for the Tennyson Senior Living Community detailed below. This project received approval for a PD-GDP under a different name, the Northside Prairie Senior Living Community. Additionally, note that at the end of December 2013 Independent Living, Inc incorporated a new company, ILI Senior Housing - Tennyson Lane, LLC. This company will be the legal owner for the senior living community on Tennyson Lane.

**Project Name:** Tennyson Senior Living Community  
1902 Tennyson Lane  
Madison, WI 53704

**Owner:** ILI Senior Housing - Tennyson Lane, LLC.,  
Rita Giovannoni, President  
2970 Chapel Valley Road, Suite 203  
Madison, WI 53711  
Phone: (608) 274-7900  
Fax: (608) 274-9181  
Email: [rgiovannoni@independentlivinginc.org](mailto:rgiovannoni@independentlivinginc.org)

**Architect:** Engberg Anderson  
Daniel Kabara, Senior Associate  
305 W. Washington Ave.  
Madison, WI 53703  
Phone: (608) 250-0100  
Email: [danielk@engberganderson.com](mailto:danielk@engberganderson.com)

**Construction Manager:** CG Schmidt  
Eric Schmidt  
406 Science Drive, Suite 408

MADISON MILWAUKEE TUCSON  
Engberg Anderson, Inc.  
1 North Pinckney Street  
Madison, Wisconsin 53703  
Ph 608 250 0100 Fx 608 250 0200  
[www.engberganderson.com](http://www.engberganderson.com)

July 16, 2014

Madison, Wisconsin 53711  
Phone: (608) 255-1177  
Email: [eschmidt@cgschmidt.com](mailto:eschmidt@cgschmidt.com)

**Civil Engineer:** JSD Professional Services  
Bill Dunlop, PE  
161 Horizon Drive, Suite 101  
Verona, WI 53593  
Phone: (608) 848-5060  
Email: [bill.dunlop@jsdinc.com](mailto:bill.dunlop@jsdinc.com)

**Landscape Architect:** Ken Saiki Design Inc.  
Pat Saiki  
303 S. Patterson, Suite One  
Madison, WI 53703  
Phone: (608) 251-3600  
Email: [psaiki@ksd-la.com](mailto:psaiki@ksd-la.com)

#### **Tennyson Senior Living Community Overview**

The project is to be located in the City of Madison on the north side at 1902 Tennyson Lane on 8 acres. This will be a multi-phase project. We anticipate over the next 5-7 years that the campus will be fully developed to provide housing and services in 270-300 units of senior apartments and assisted living. This application is for the SIP for Phase 1. Phase I will consist of 75 senior apartments, 60 units of assisted living and common space to support the resident population.

**Ownership:** ILI Senior Housing - Tennyson Lane, LLC

**Age Restriction:** Tennyson Senior Living Community intends to provide and operate housing and services for seniors over the age of 55.

**Potential Number of School Age Children Generated by Project:**  
It is not expected that the project will generate any school age children.

**Construction Schedule:** The proposed schedule starts construction in the fall of 2014 and completes construction in the fall of 2015.

#### **Neighborhood Input**

There have been many opportunities for neighborhood input since 2009 through neighborhood focus groups and neighborhood presentations organized by the alderperson(s) and Independent Living, Inc. Over this time period, Independent Living (ILI) has actively attempted to site this project, initially on a parcel of land on Wheeler Road to the north and since 2012 ILI has been focused on the Tennyson Lane site. ILI has enjoyed Alderperson (Schumacher, Conway-Rhodes and currently Palm) support for the

project. Neighborhood residents have been extremely supportive of the Tennyson Lane site and site plans. A list of neighborhood meetings (2012 - 2014) is as follows:

- October 23, 2012- Neighborhood Meeting with Alder Conway-Rhodes.
- February 22, 2013 - Meeting with teachers Susie Hobart and Kim Besmer at Lakeview School
- May 6, 2013 - Meeting with Berkley Oaks Neighborhood Association and Alder. Palm.
- August 14, 2013 - Neighborhood Meeting called by Alder. Palm and Independent Living, Inc.
- November 8 2013 - Northside Planning Council 20<sup>th</sup> Anniversary Celebration - we had an informational booth on the project.
- January 16, 2014 - We attended the neighborhood meeting for the project being planned adjacent to our project to answer questions about our project as related to their project.
- January 16, 2014 - Presentation to Northside Business Association Meeting.
- January 21, 2014 - met with NESCO (North/East Senior Coalition on Aging) Board of Directors.
- March 20, 2014 - Neighborhood meeting called by Alderman Palm and Independent Living, Inc.

In 2011, 5 focus groups were conducted with older adults from the North Side who have expressed interest in the project. A subset of focus group participants were subsequently invited to participate in a real time Avatar type design session in which feedback on common space and exterior design features were developed.

In February 2014, Independent Living hosted an invitational series of Advisory Programming Groups. The four advisory programming areas of focus are as follows: Health and Wellness; Food and Nutrition; Memory Care and Sustainability. Participants included professional experts from the State of Wisconsin Department of Health Services, UW Extension, Alzheimer's & Dementia Alliance, Alzheimer's Association of South Central Wisconsin and individuals and organizations with ties to the north side neighborhoods. Organizational participants from the north side of Madison included River Food Pantry, FEED Kitchens, Northside Planning Council, and the North/East side Senior Coalition. The purpose of these meetings was to seek advisement and recommendations for the programming plans being developed in each of these areas for the project. On May 22, 2014, a focus group will be conducted to discuss project programs.

### **Site Planning and Building Architecture**

#### **Massing and Materials**

In Phase 1, the building massing reflects the desire to create a contemporary architecture that unifies the two different residence types on this campus. The independent living apartments, on the west side of the site, are 5 stories high, and use balconies and an articulated facade to break down the massing and establish a modern housing aesthetic. A continuous masonry base, cement board siding, wood and trellis structures (at the drop-off) are carefully proportioned to create a human scale at the entries and diminish the overall mass of the building. After the March 12, 2014 submittal, the senior apartment count was raised from 70 to 75 by reconfiguring the floor plan and adding a one-bedroom unit to each floor; the building footprint was not changed. This change enables unit counts to be maximized over the underground parking level.

The assisted living wings, on the east side of the site, are four stories high and have a similar character to the independent living building. Also finished in brick and cement board siding, these are more inwardly focused with large windows facing the memory garden on the inside of the "V". After the May 7, 2014 submittal, these wings were raised one story to allow the wellness center and building mechanical spaces to be placed in the lower level.

The commons area connects the two buildings and includes the main entry element, a raised clerestory visible from the entry drive. The commons area is a one story building with a lower level that is partially exposed to the east. Future additions will surround and connect to the commons, so it has an intentionally low profile. After the May 7, 2014 submittal, the kitchen wing at the north side of the commons area has been relocated to the lower level of the commons area.

**Building Use and Square Footage Documentation**

Independent Living Apartments	87,310	GSF
Assisted Living Residences	52,540	GSF
Common and Service Areas	19,681	GSF
Wellness Center	5,544	GSF
<u>Underground Parking</u>	<u>22,908</u>	<u>GSF</u>

Total Building 187,983 GSF

**Parking**

The parking space count was revised after the May 7, 2014 submittal. There are 65 apartment parking spaces underground in Phase 1 (reduced from 86). This reduction allows the parking to occur under the apartment building only, eliminating the additional single-story underground parking level wing, which can be constructed as part of a future phase.

The surface parking at the main entrance remains at 14 spaces and there are another 34 spaces (increased from 32) off of the drive around the site for visitors, ambulance access and staff.

The overall parking count was revised to reflect the anticipated demand for the first phase and allows for the underground parking to be expanded during future phases when demand increases.

There is a 6-bike rack at the main entrance and a 6-bike rack by the loading dock for employees.

**Sustainability and Energy Efficiency**

Independent Living intends to incorporate sustainable features in the design of this campus, specific strategies are pending.

**Landscape/Site Design**

The site falls off from the northwest corner to the southeast corner. The independent living apartments are located on the high side of the site to maximize the views to the north and west. The site has two entry drives with a central court framed by an apartment building and an assisted living building. The



building massing is deliberately condensed in the middle of the site to maximize green space at the perimeter.

The perimeter drive, while not continuous in Phase 1, is intended to provide adequate fire truck access. Both the loading dock drive on the east side of the site and the western drive are approximately 200 feet from a center exterior point on the first floor.

The grading presents opportunities for creative use of retaining walls, dry drainage swales and plantings. The landscape design will support active outdoor access in a park-like setting. In phase 1, the site will have a grilling area and an outdoor dining area on the Terrace. Benches will be distributed strategically around the walking paths. The Memory Care residents will have a dedicated, secure and accessible outdoor garden designed to safely support them.

Another notable feature is the development of an orchard entry area along the streetscape of Tennyson Lane. We believe this will be an area of gracious transition from the road and single family home neighborhood across the street. We envision this as a gathering place for events and special activities. The orchard and paved walkways are intended to tie the building entry to the street and welcome the neighborhood. Landscaping will be used to create buffer zones between the future developments to the east and west.

**Lot Coverage and Usable Open Space:** See Sheet C101

**Additional Information**

**Value of Land:** \$732,000 for the 8 acre parcel. The land will be appraised at a later date.

**Estimated Project Cost:** The budget for this project is approximately \$25 million.

**Number of construction fulltime equivalent jobs created:** To be determined

**Number of Employees:** This number is yet to be determined. We estimate at this time 20-30 for Phase I of the project.

**Hours of Operation:** 24 hours per day, 7 days per week

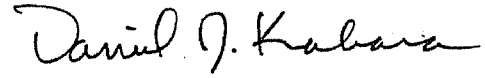
**Trash removal and storage, snow removal and maintenance:** The project will provide for its own trash compactor, storage and removal as well as snow removal.

**Economic/Socioeconomic Impact:** The project is expected to serve a significant unmet need in the north side community for senior apartments and assisted living. In Phase I it will produce 20-30 full time employment positions for the area.

Alan Martin  
Page 6

July 16, 2014

Sincerely,



Daniel Kabara  
Senior Associate

DK/dk

Copied: Rita Giovanonni, Jim Shaver, Bill Robison

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- b. At no time shall the maximum height of any building and/or construction activity exceed the height limit established by the Dane County Regional Airport; note the current maximum elevation is 1009.

**5. Accessory Off-Street Parking and Loading**

- a. Accessory off-street parking will be provided as shown on the approved GDP/SIP plans.
- b. Resident and staff parking will be underground.

**6. Lighting**

- a. Site lighting to meet the requirements of the City of Madison's Outdoor Lighting Standards.

**7. Signage**

- a. Signage will meet the requirements of Chapter 31 of the Madison general ordinances and be approved as requested within the GDP/SIP to follow at a later date.

**8. Definitions**

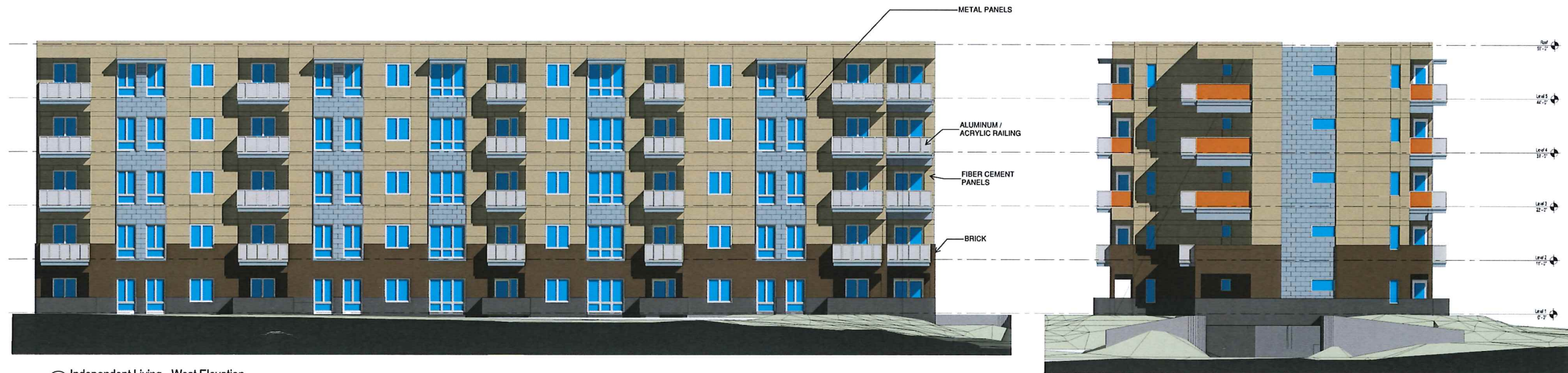
- a. Independent Living Apartments are defined as meeting the requirements of Chapter DHS 89, Residential Care Apartment Complexes (RCAC) of the Wisconsin State Code.
- b. Assisted Living residences are defined as meeting the requirements of Chapter DHS 83, Community – Based Residential Facilities (CBRF) of the Wisconsin State Code.
- c. Frail care is a subset of assisted living.
- d. Memory care is a subset of assisted living.

**9. Alterations and Revisions**

- a. No alteration or revision of this Planned Development shall be permitted unless approved by the Madison City Plan Commission; however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

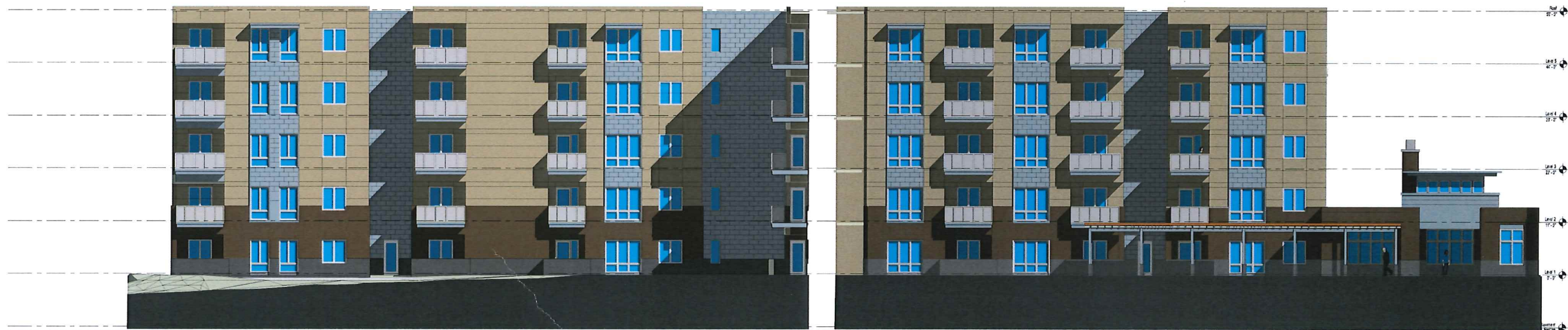
**Attachments**

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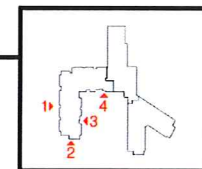
1 Independent Living - West Elevation  
SCALE: 1/8" = 1'-0"

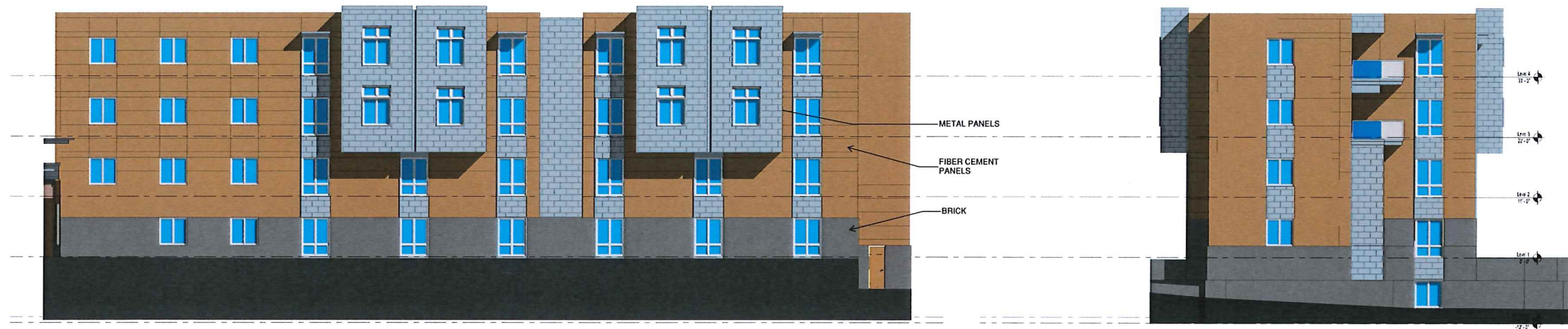
2 Independent Living - South Elevation  
SCALE: 1/8" = 1'-0"



3 Independent Living - East Elevation  
SCALE: 1/8" = 1'-0"

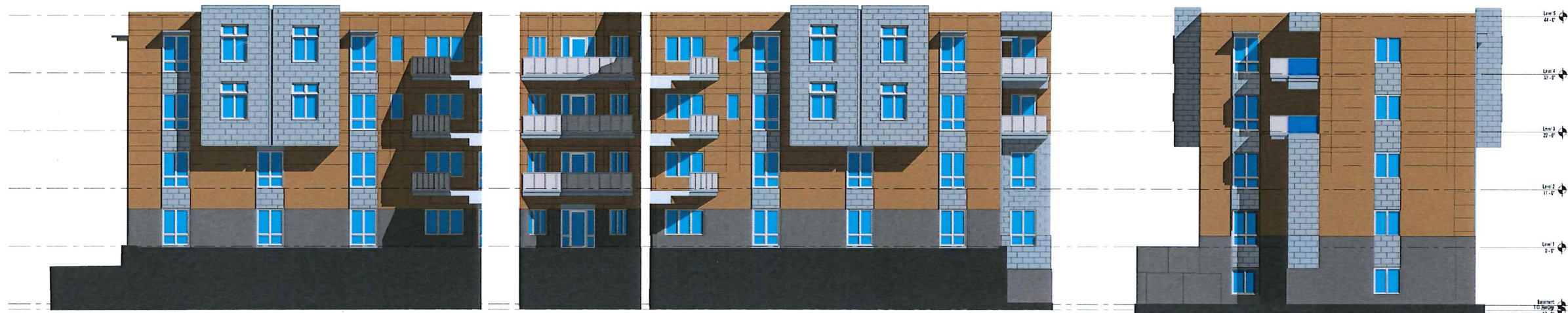
4 Independent Living & Center - South Elevation  
SCALE: 1/8" = 1'-0"





1 Assisted Living - West Elevation  
SCALE: 1/8" = 1'-0"

2 Assisted Living - South Elevation  
SCALE: 1/8" = 1'-0"



3 Assisted Living Courtyard - East Elevation  
SCALE: 1/8" = 1'-0"

4 Assisted Living Courtyard - South Elevation  
SCALE: 1/8" = 1'-0"

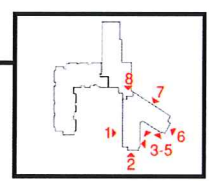
5 Assisted Living Courtyard - Southwest Elevation  
SCALE: 1/8" = 1'-0"

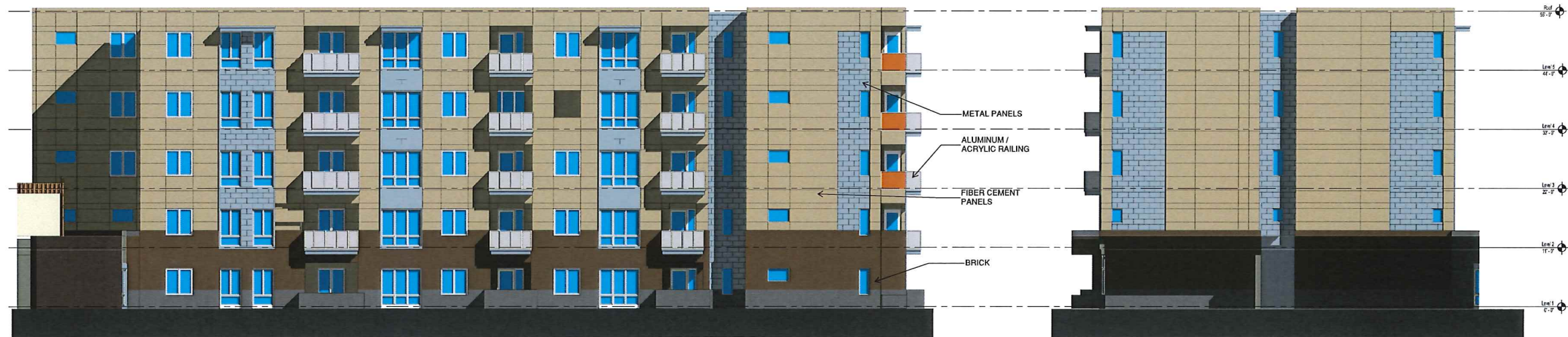
6 Assisted Living - Southeast Elevation  
SCALE: 1/8" = 1'-0"



7 Assisted Living - Northeast Elevation  
SCALE: 1/8" = 1'-0"

8 Assisted Living - North Elevation  
SCALE: 1/8" = 1'-0"





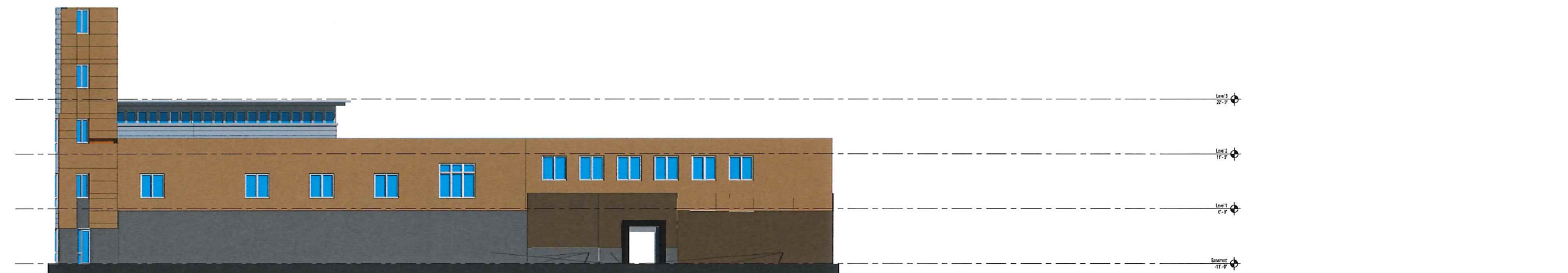
1 Independent Living East Wing - North Elevation  
SCALE: 1/8" = 1'-0"

2 Independent Living East Wing - East Elevation  
SCALE: 1/8" = 1'-0"

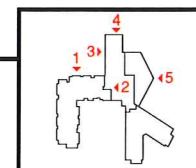


4 Community Center - North Elevation  
SCALE: 1/8" = 1'-0"

3 Community Center - West Elevation  
SCALE: 1/8" = 1'-0"



5 Community Center - East Elevation  
SCALE: 1/8" = 1'-0"



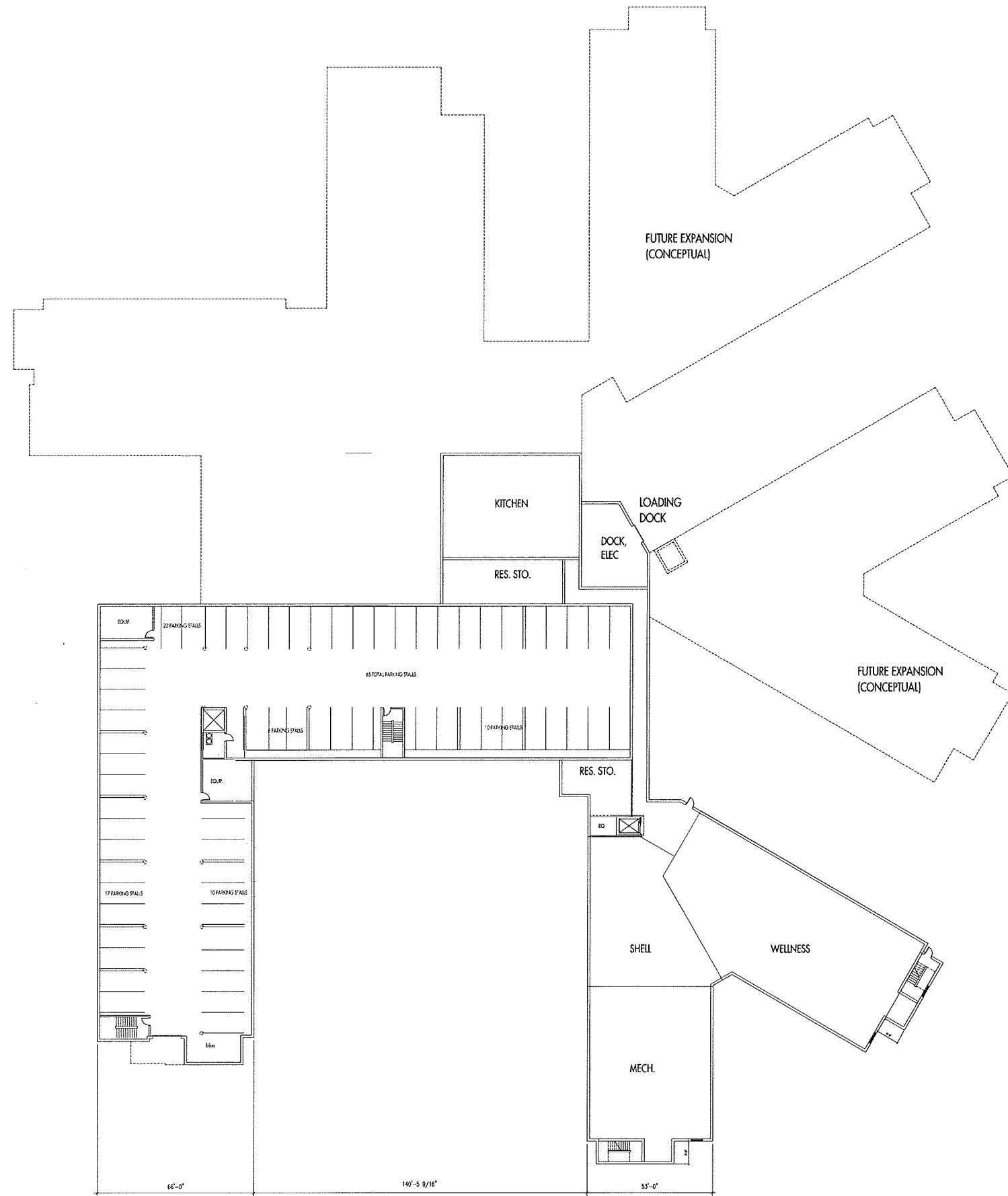


VIEW FROM SOUTHEAST



VIEW FROM SOUTHWEST







## Tennyson Senior Living Community

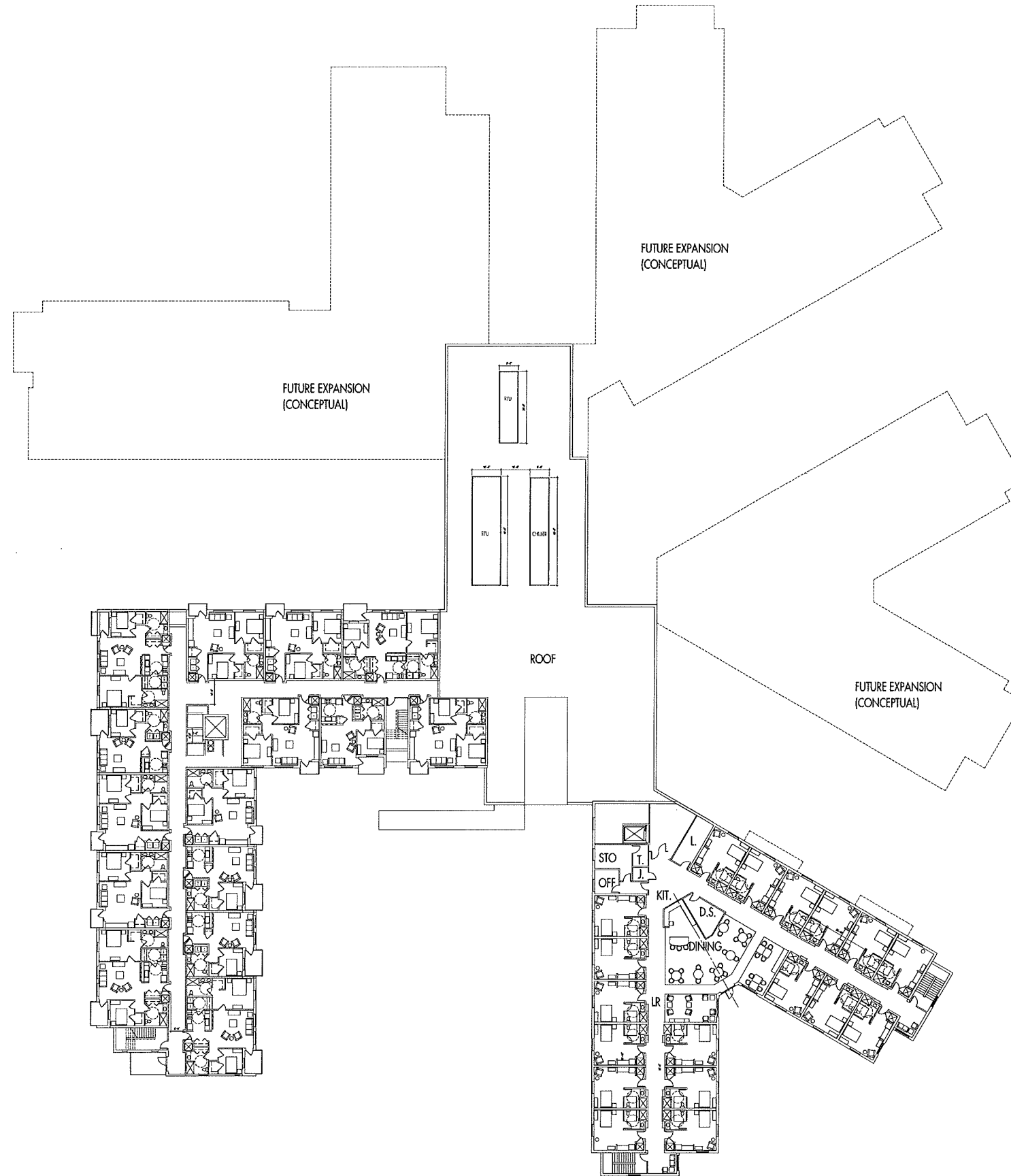
FIRST FLOOR PLAN

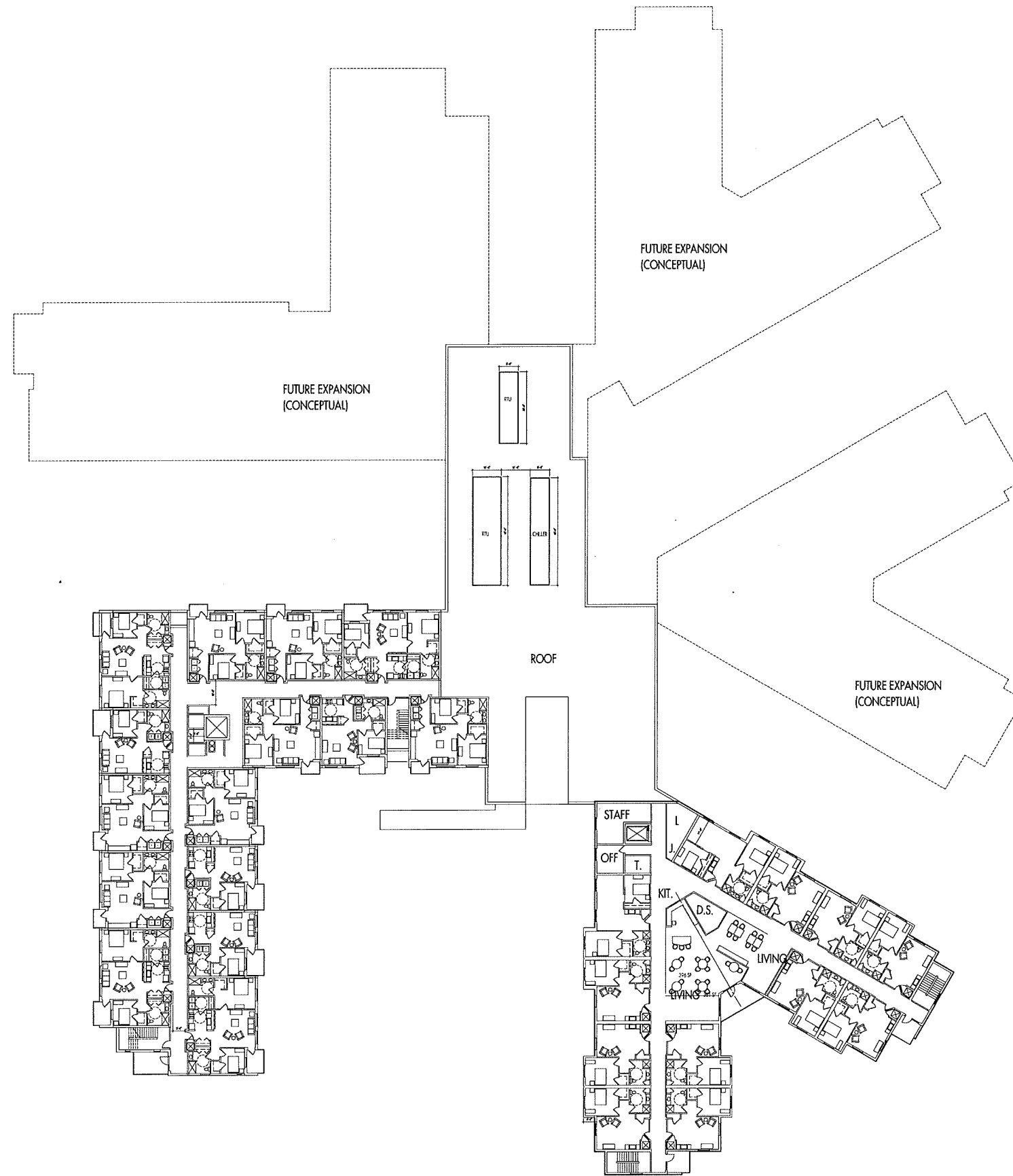
1" = 20'-0"

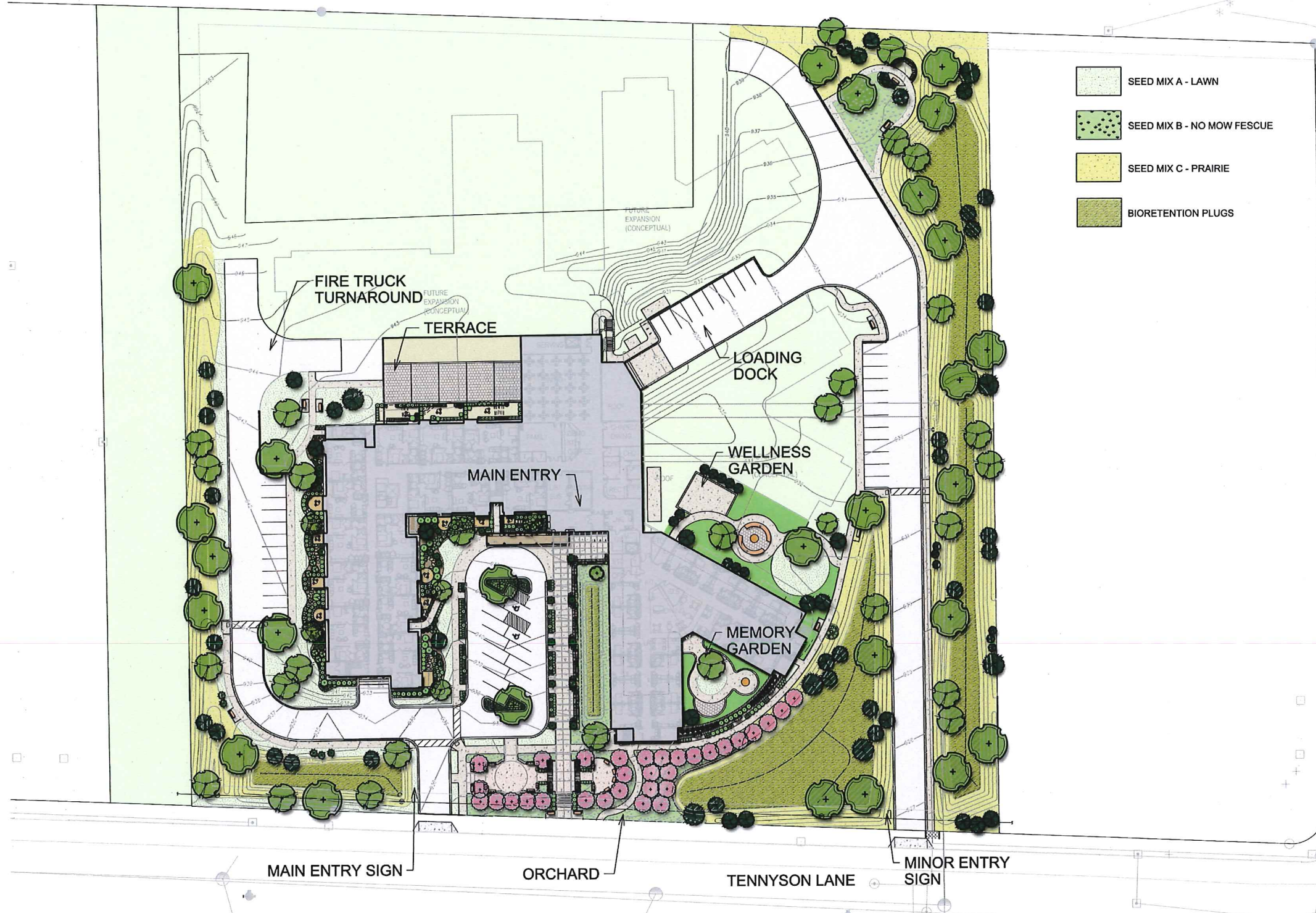
July 16, 2014

Enbera Anderson Project No. 132290









Key	Botanical Name	Common Name	Site	Root Cond.	Comments
<b>Large Shade Trees</b>					
AR	<i>Acer glabrum</i> 'Winter King'	Armstrong Freeman Maple	5	2 1/2' Cal	B&B
AS	<i>Acer glabrum</i> 'Savino PP 11322'	Sierra Glen Maple	5	2 1/2' Cal	B&B
AP	<i>Acer saccharum</i> 'Appalo'	Appalo Sugar Maple	1	2 1/2' Cal	B&B
GB	<i>Gleditsia triacanthos</i> 'Suzi-Lisa'	Garden Globe Elm	6	2 1/2' Cal	B&B
GD	<i>Ginkgo biloba</i> 'Ezra's'	Espresso Kentucky Coffee Tree	6	1 1/2' Cal	B&B
GS	<i>Quercus shumardii</i>	Shumard Oak	11	2 1/2' Cal	B&B
<b>Evergreen Trees</b>					
AC	<i>Abies concolor</i>	White Fir	3	8'H	B&B
JV	<i>Juniperus virginiana</i> 'Conical'	Conical Juniper	15	8'H	B&B
JJ	<i>Juniperus x 'JUN Select Blue'</i>	Star Power Juniper	8	8'H	B&B
LL	<i>Larix laricina</i>	American Larch	9	8'H	B&B
PG	<i>Podocarpus neriifolia</i>	Black Hills Spruce	4	8'H	B&B
PS	<i>Picea canadensis</i> 'Sester Dwarf'	Sester Blue Dwarf Colorado Spruce	4	8'H	B&B
PE	<i>Pinus strobus</i> 'Emerald Arrow'	Emerald Arrow Boston Pine	18	8'H	B&B
PI	<i>Pinus strobus</i> 'Mill Tailor'	Mill Tailor Boston Pine	5	8'H	B&B
PT	<i>Pinus mugo</i> 'Tussockum'	Tussock Mugo Pine	9	8'H	B&B
TD	<i>Taxodium distichum</i> var. <i>distichum</i>	Bald Cypress	2	8'H	B&B
<b>Ornamental Trees</b>					
AB	<i>Abies balsamica</i> 'Broadleaf'	Broadleaf Japanese Maple	3	1 1/2' Cal	B&B
AA	<i>Amelanchier alnifolia</i> 'Chokoi'	Starlight Autumn Serviceberry	14	1 1/2' Cal	B&B
AD	<i>Amelanchier grandiflora</i> 'Princess Diana'	Princess Diana Serviceberry	7	1 1/2' Cal	B&B
AL	<i>Amelanchier alnifolia</i> 'Coralis'	Coralis Amelanchier	2	1 1/2' Cal	B&B
CJ	<i>Corylus americana</i> 'JUN Select'	JUN Strain Hicorywood	3	1 1/2' Cal	B&B
CC	<i>Cornus canadensis</i> 'Columbus Strain'	Columbus Strain Eastern Redbud	5	1 1/2' Cal	B&B
CV	<i>Chionodoxa virginiana</i>	Fringe Tree	5	1 1/2' Cal	B&B
HI	<i>Hydrangea macrophylla</i>	Swansea Flower	2	1 1/2' Cal	B&B
MA	<i>Malus coronaria</i>	Anna Hedberg	3	1 1/2' Cal	B&B
MR	<i>Malus 'Royal Red'</i>	Royal Red Crabapple	3	1 1/2' Cal	B&B
PC	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Select Pear	4	1 1/2' Cal	B&B
SS	<i>Saxifraga</i>	Scarlet Ostrich Willow	4	1 1/2' Cal	B&B
<b>Edible Orchard Plants</b>					
MC	<i>Malus domestica</i> 'Cortland'	Cortland Semi-dwarf Apple	4	1 1/2' Cal	B&B
MS	<i>Malus domestica</i> 'Golden Delicious'	Golden Delicious Apple	4	1 1/2' Cal	B&B
PD	<i>Prunus domestica</i>	Peach	3	1 1/2' Cal	B&B
PP	<i>Prunus pennsylvanica</i>	Luscious Pear	4	1 1/2' Cal	B&B
PL	<i>Prunus laurocerasus</i>	Summer Pear	4	1 1/2' Cal	B&B
PY	<i>Prunus pennsylvanica</i>	Summer Pear	4	1 1/2' Cal	B&B
<b>Deciduous Shrubs</b>					
Am	<i>Amelanchier canadensis</i> 'Princess Diana'	Princess Diana Black Chokeberry	25	24" H	Cont.
Ch	<i>Chamaenerion</i>	Hesse Columbine	13	18" H	Cont.
Hs	<i>Hydrangea macrophylla</i> 'Annabelle'	Annabelle Hydrangea	14	24" H	Cont.
Sb	<i>Spiraea helioides</i> 'Ice'	Ice Broomrape Spiraea	2	12" H	Cont.
Vd	<i>Viburnum dentatum</i> 'Crested'	Blue Chip Viburnum	2	30" H	Cont.
<b>Evergreen Shrubs</b>					
Bg	<i>Buxus glomerata</i>	Green Mound Boxwood	26		Cont.
Ja	<i>Juniperus horizontalis</i> 'Blue Star'	Blue Star Juniper	9	18-24" Spr.	Cont.
ML	<i>Myrica carolinensis</i>	Silver Cypress	14	24-30" Spr.	Cont.
Pm	<i>Pinus mugo</i> 'Sawmound'	Sawmound Mugo Pine	34	12" H	Cont.
Tm	<i>Taxus media</i> 'Everlow'	Everlow Yew	8	24-30" Spr.	Cont.
To	<i>Thuja occidentalis</i> 'The Green Spire'	DeGroff's Spire Arborvitae	26	6" H	Cont.
<b>Perennials &amp; Groundcovers</b>					
ar	<i>Artemisia vulgaris</i> (Cultivar)	Fairy Candles	14	45"	Cont.
af	<i>Agastache x Blue Fortune</i>	Blue Fortune Anise Hyssop	47	45"	Cont.
at	<i>Alchemilla vulgaris</i> 'Summer Beauty'	Summer Beauty Alum	198	1 1/2'	Cont.
ad	<i>Artemisia dracunculoides</i>	Goat's Beard	5	45"	Cont.
on	<i>Onoclea sensibilis</i> 'Mist Blue White'	Lesser Celandine	80	45"	Cont.
ec	<i>Echinacea purpurea</i> 'Meadowlark'	Purple Meadowlark	7	45"	Cont.
ep	<i>Echinacea purpurea</i> 'Mystic'	Purple Coneflower	49	45"	Cont.
eu	<i>Eupatorium pharosifolium</i>	Phantom Joe Pye Weed	6	45"	Cont.
gb	<i>Geranium x cantabrigiae</i> 'Bicolor'	Bicolor Geranium	62	45"	Cont.
gd	<i>Geranium 'Elys'</i>	Daly's Hardy Geranium	45	45"	Cont.
ht	<i>Hemerocallis 'Pinky Ribbon'</i>	Hemlock Ruby Daylily	42	45"	Cont.
hr	<i>Hieracium 'Raspberry Ice'</i>	Raspberry Ice Hieracium	29	1 1/2'	Cont.
h	<i>Hedera x Korean</i> 'Pony'	Korean Royal Hysteria	15	1 1/2'	Cont.
h	<i>Hedera x Korean</i>	Sage Bastard	14	45"	Cont.
nd	<i>Nepeta x faassenii</i>	Blue Salvia	12	45"	Cont.
nl	<i>Nepeta x faassenii</i> 'Walker's Low'	Walker's Low Catmint	11	45"	Cont.
pd	<i>Phlox paniculata</i>	Phlox Beardtongue	12	45"	Cont.
pb	<i>Phlox paniculata</i>	Solomon's Seal	17	45"	Cont.
sn	<i>Sedum spectabile</i> 'Carrollia'	Carrollia Sedum	37	45"	Cont.
<b>Grasses &amp; Sedges</b>					
gr	<i>Galium aparine</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	36	45"	Cont.
gs	<i>Deschampsia cespitosa</i>	Blue Hair Grass	60	45"	Cont.
pr	<i>Panicum virgatum</i> 'Pony Ribbon'	Pony Ribbon Switch Grass	44	45"	Cont.
ps	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	83	45"	Cont.
ph	<i>Phlox paniculata</i> 'Hemlock Ruby'	Hemlock Ruby Fourteen Grass	41	45"	Cont.
ga	<i>Glycerhiza glabra</i>	Prairie Dropseed	12	45"	Cont.
gh	<i>Sporobolus heterophyllus</i>	Prairie Dropseed	19	45"	Cont.
<b>Ferns</b>					
fc	<i>Chamaenerion</i>	Cinnamon Fern	17	45"	Cont.
<b>Vines</b>					
wf	<i>Wisteria floribunda</i> 'Amethyst Falls'	Amethyst Falls American Wisteria	31	5 gal.	Cont.
<b>Seed Mix A - Lawn (Boulevard Blend by Earth Carpet)</b>					
	<i>Festuca arvensis</i>	Turf-type Tall Fescue			30%
	<i>Festuca rubra</i> L. var. <i>rubra</i>	Creeping Red Fescue			25%
	<i>Poa annua</i>	Annual Grass			25%
	<i>Lolium hybridum</i> 'Huskii'	Intermediate Ryegrass			20%
<b>Seed Mix B - No Mow Fescue Mix (Care Free Blend by Earth Carpet)</b>					
	<i>Festuca arvensis</i>	Blue Fescue			10%
	<i>Festuca rubra</i> L. var. <i>rubra</i>	Creeping Red Fescue			30%
	<i>Festuca rubra</i> L. var. <i>commutata</i>	Creeping Fescue			35%
	<i>Festuca ovina</i>	Hard Fescue			25%
<b>Seed Mix C - Prairie Mix (Butterfly Prairie Seed Mix by Prairie Nursery)</b>					
	<i>Aster laevis</i>	Smooth Aster			
	<i>Aquilegia canadensis</i>	Lavender Hecop			
	<i>Asclepias tuberosa</i>	Lead Plant			
	<i>Blechnum spicant</i>	Black Spleenwort			
	<i>Deloselinum</i>	Purple Prairie Clover			
	<i>Echinacea purpurea</i>	Purple Coneflower			
	<i>Eryngium yuccifolium</i>	Canada Wild Rye			
	<i>Hieracium</i>	Downy Sunflower			
	<i>Liatris scariosa</i>	Anger's			
	<i>Lupinus perennis</i>	Rough Broomrape			
	<i>Lythrum</i>	Lupine			
	<i>Marrubium vulgare</i>	Bergamot			
	<i>Mentha purpurea</i>	Dark Mint			
	<i>Penstemon digitalis</i>	Beardtongue			
	<i>Rudbeckia hirta</i>	Black-eyed Susan			
	<i>Rudbeckia hirta</i>	Black-eyed Susan			
	<i>Rudbeckia hirta</i>	Black-eyed Susan			
	<i>Solidago canadensis</i>	Canada Goldenrod			
	<i>Solidago canadensis</i>	Canada Goldenrod			
	<i>Verbena stricta</i>	Hoary Verbena			
<b>Bioretention &amp; Rain Garden Plant Mix</b>					
	<i>Aster laevis</i>	Smooth Aster	515	2 1/2'	pot.
	<i>Asplenium platyneuron</i>	Swamp Moss	515	2 1/2'	pot.
	<i>Carex flacca</i>	Blue Sedge	1800	2 1/2'	pot.
	<i>Carex vulpinoidea</i>	Fox Sedge	1800	2 1/2'	pot.
	<i>Echinacea purpurea</i>	Purple Coneflower	515	2 1/2'	pot.
	<i>Glycerhiza glabra</i>	Prairie Dropseed	1800	2 1/2'	pot.
	<i>Liatris spicata</i>	Marsh Blazing Star	515	2 1/2'	pot.
	<i>Rudbeckia hirta</i>	Black-eyed Susan	515	2 1/2'	pot.
	<i>Solidago canadensis</i>	Self Goldenrod	515	2 1/2'	pot.
	<i>Sporobolus heterophyllus</i>	Prairie Dropseed	1800	2 1/2'	pot.



# Tennyson Senior Living Community

LANDSCAPE PLAN  
1" = 40'-0"  
July 16, 2014

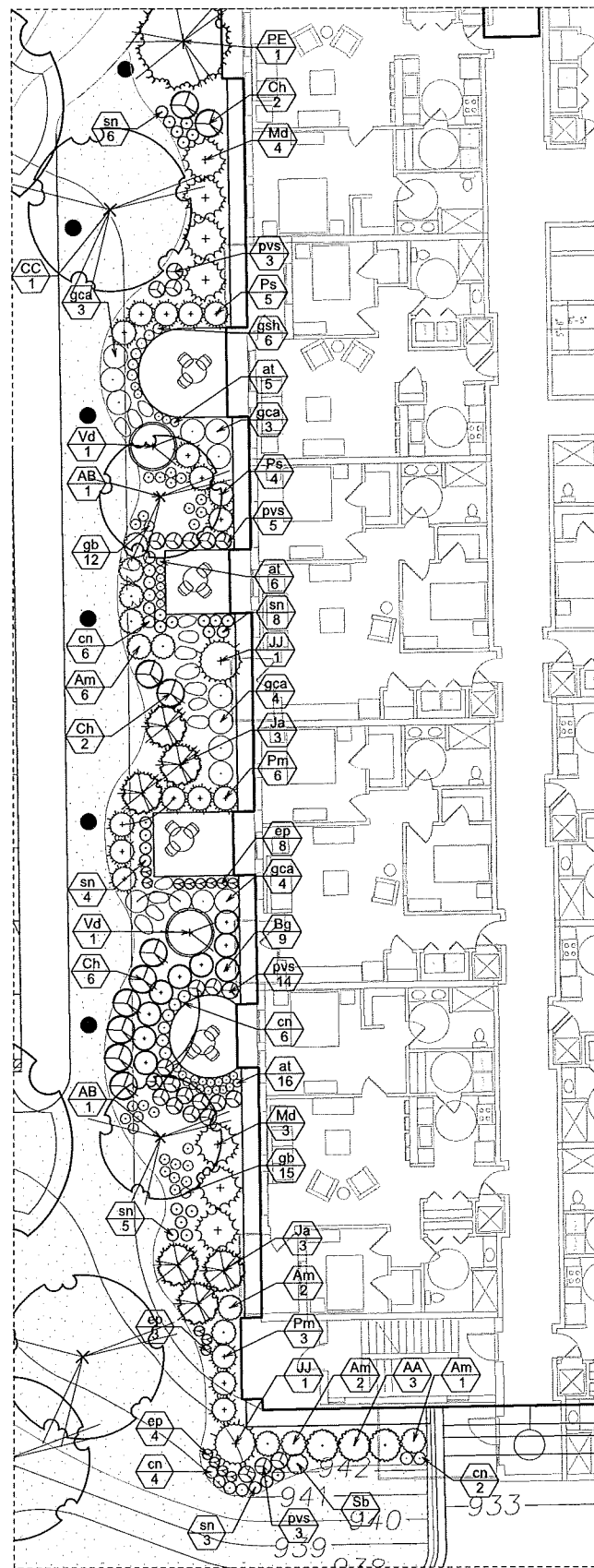
Engberg Anderson Project No. 132290



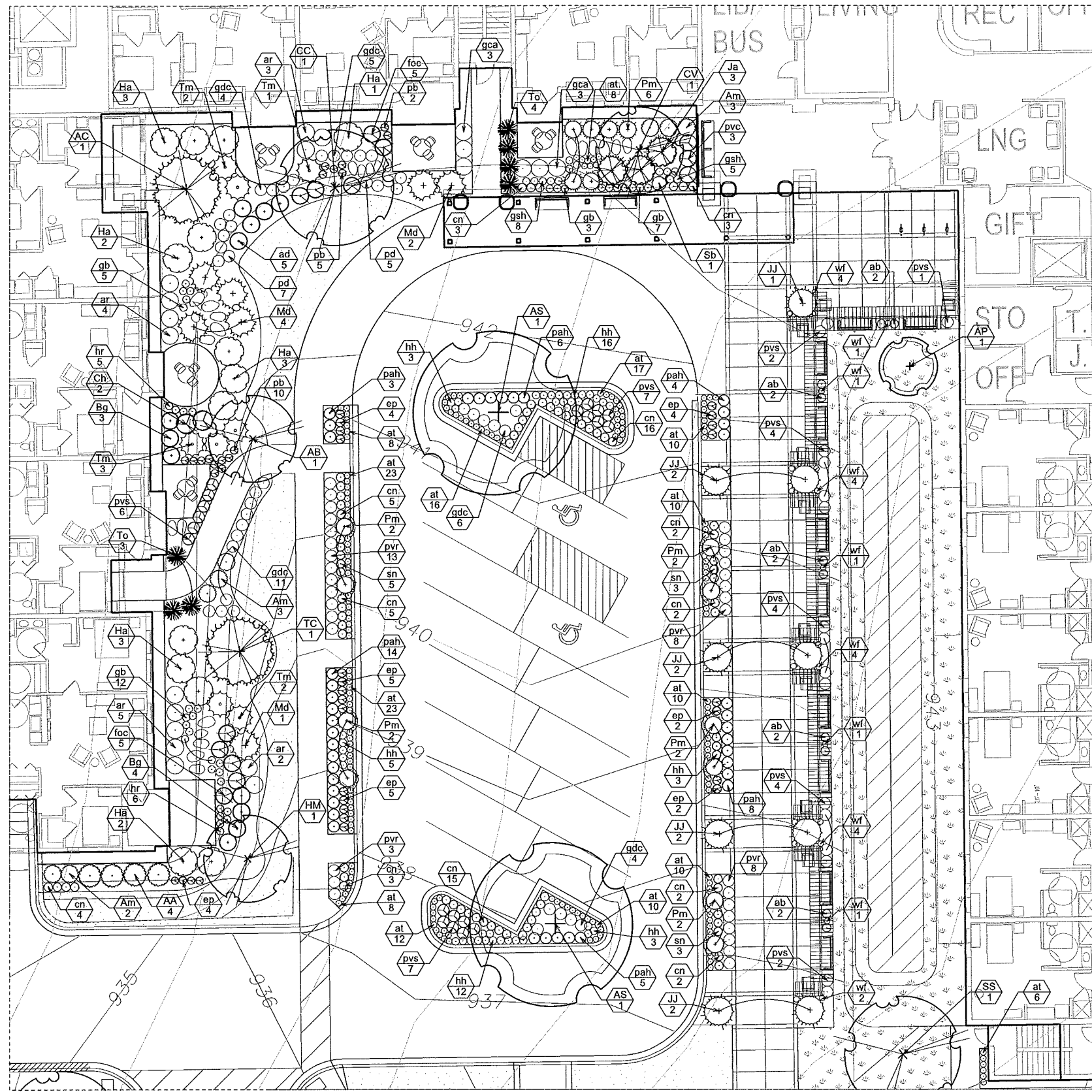
14' by 1000' of (Total Area 48,177 sq ft = 12 b Seeding)

mix species randomly in planting, space 18" on center, ratio of grasses to flowers is 70/30 in planting areas (Total Area 10,268 sq ft)


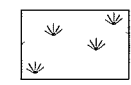
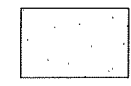





1 FRONT YARD PLANTINGS  
1"=10'-0" @ FULL SIZE SHEET (24X36)



2 FRONT YARD AND ENTRY PLANTING  
1"=10'-0" @ FULL SIZE SHEET (24X36)

-  SEED MIX A - LAWN
-  SEED MIX B - NO MOW FESCUE
-  SEED MIX C - PRAIRIE
-  BIORETENTION PLUGS



# Tennyson Senior Living Community

LANDSCAPE PLAN ENLARGEMENT

1" = 10'-0"

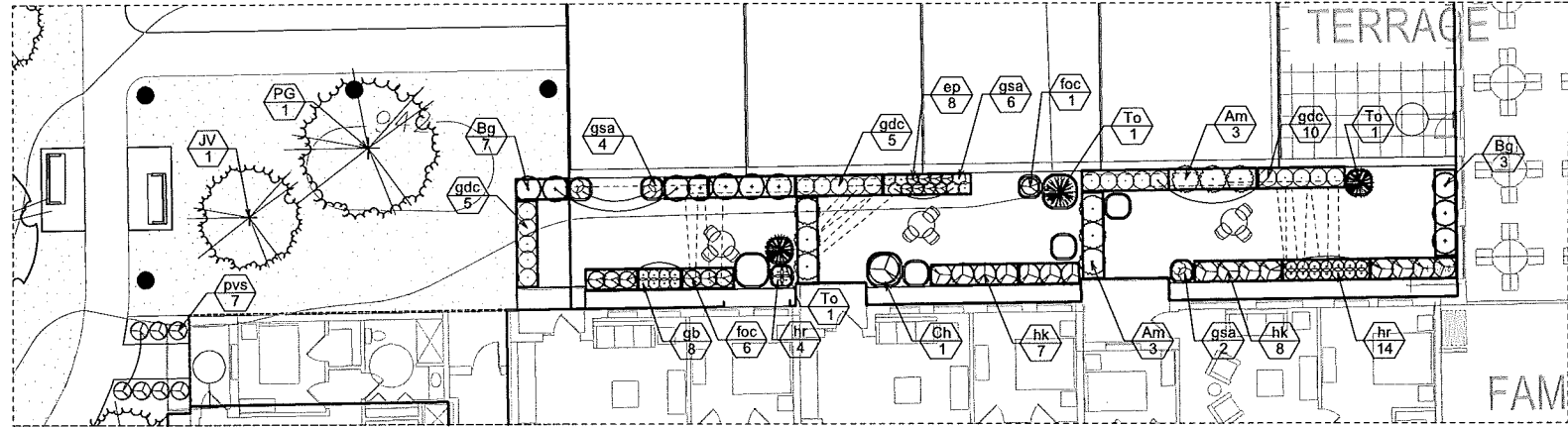
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Engberg Anderson Project No. 132290

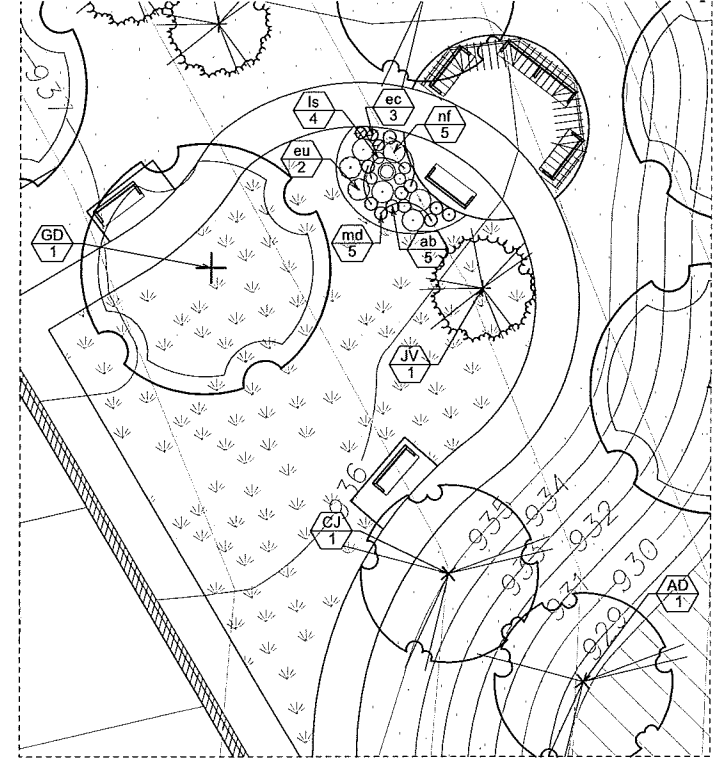




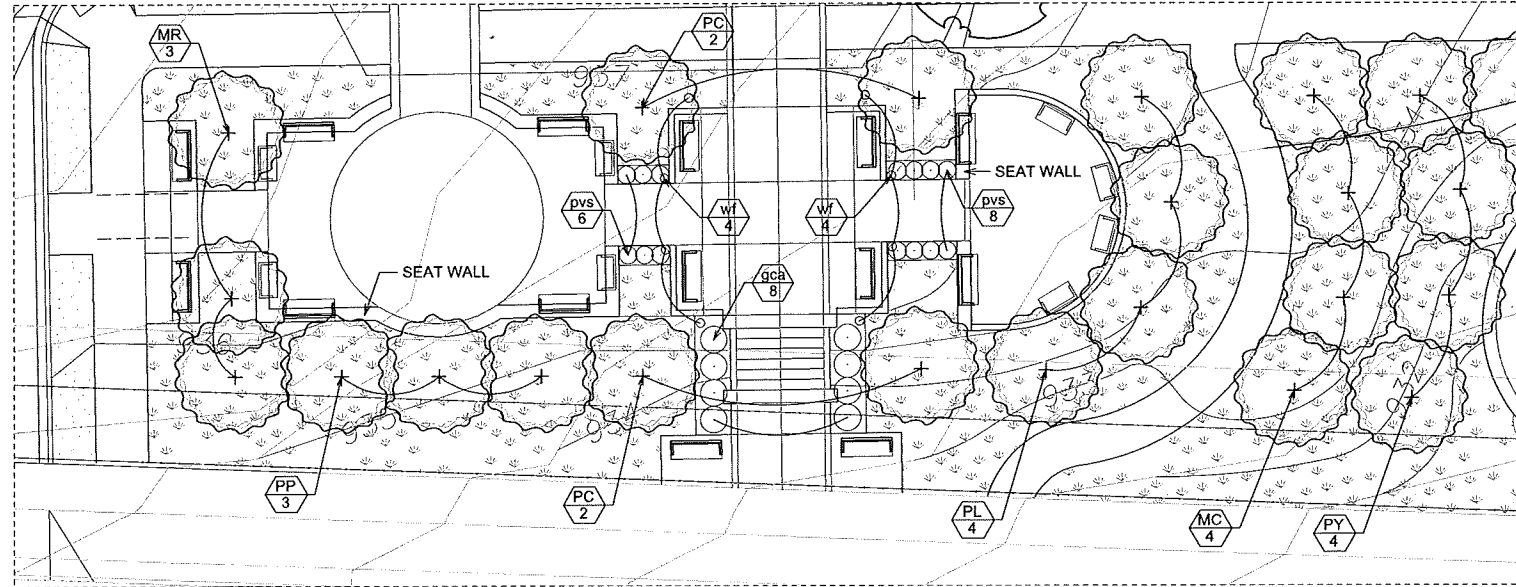








5 TERRACE  
1"=10'-0" @ FULL SIZE SHEET (24X36)



7 NORTHEAST PATHWAY  
1"=10'-0" @ FULL SIZE SHEET (24X36)



6 ORCHARD  
1"=10'-0" @ FULL SIZE SHEET (24X36)

-  SEED MIX A - LAWN
-  SEED MIX B - NO MOW FESCUE
-  SEED MIX C - PRAIRIE
-  BIORETENTION PLUGS



**LEGEND (PROPOSED)**

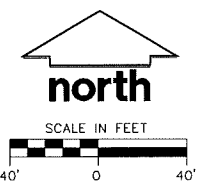
- PROPERTY LINE
- - - - - LIMITS OF DISTURBANCE
- ..... SAWCUT
- ..... ASPHALT/BASE REMOVAL
- ..... CONCRETE/BASE REMOVAL
- ..... CONCRETE/BASE REMOVAL
- ..... CONCRETE/BASE REMOVAL
- ✕ REMOVE / RELOCATE TREE

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY, PROVIDED BY OTHERS, FOR EXISTING CONDITIONS NOTES AND LEGEND. JSD DOES NOT TAKE RESPONSIBILITY FOR ANY BENCHMARKS LOCATED ON THE SURVEY PROVIDED BY OTHERS.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR WRAPP PERMIT APPLICATION STANDARDS.

**DEMOLITION NOTES**

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOULINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR, CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS. THE OWNER WILL PROVIDE ENVIRONMENTAL DOCUMENTATION AVAILABLE. THIS CONTRACTOR SHALL SUBMIT THE RECYCLING PLAN PER CITY OF MADISON REQUIREMENTS.
4. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
6. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
7. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
8. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS, ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
9. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
10. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
11. THIS SITE IS PART OF A PARCEL THAT WAS IDENTIFIED IN THE BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) 03-13-55397S. SEE ENVIRONMENTAL DOCUMENTS PROVIDED BY THE OWNER FOR SPECIFIC REQUIREMENTS.



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"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

MADISON REGIONAL OFFICE  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 608.848.5060 PHONE | 608.848.2255 FAX

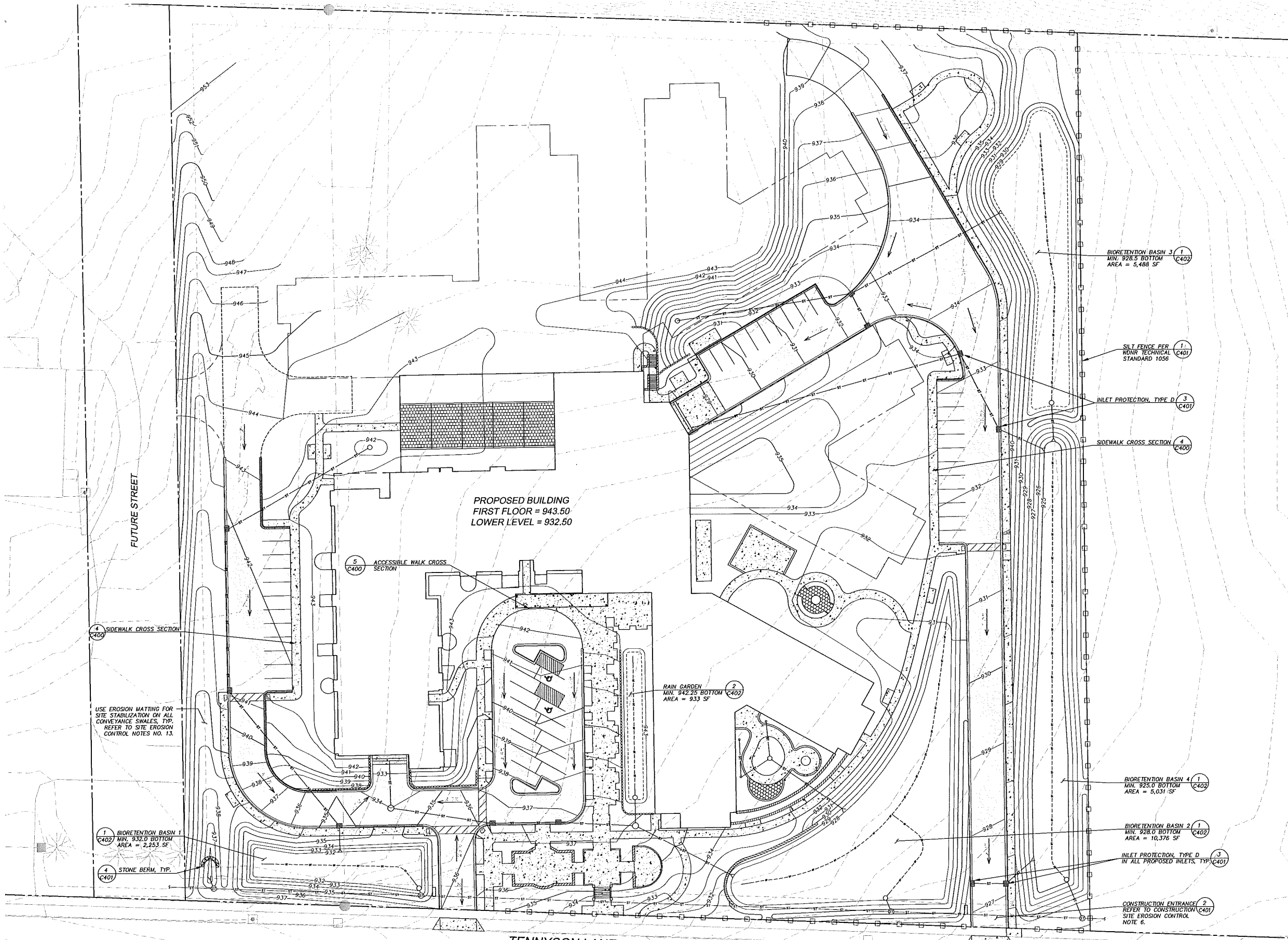


Tennyson Senior Living Community

DEMOLITION PLAN  
 1" = 40'-0"  
 JULY 9, 2014  
 Engberg Anderson Project No. 132290

C100





**LEGEND (PROPOSED)**

---	PROPERTY LINE
---	BUILDING FIRST FLOOR
---	BUILDING LOWER LEVEL
---	FUTURE BUILDING ADDITION
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	EDGE OF PAVEMENT
---	TEMPORARY PAVEMENT EDGE
---	SILT FENCE
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	18" RELECT CURB & GUTTER

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY, PROVIDED BY OTHERS, FOR EXISTING CONDITIONS NOTES AND LEGEND. JSD DOES NOT TAKE RESPONSIBILITY FOR ANY BENCHMARKS LOCATED ON THE SURVEY PROVIDED BY OTHERS.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR MRAPP PERMIT APPLICATION STANDARDS.

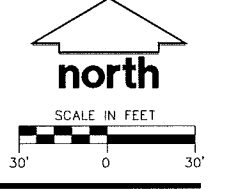
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE MUNICIPALITY.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
  - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
  - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
    - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
    - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
  - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
  - ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL. SLOPES 3:1 (33%) SHALL BE STABILIZED AS SOON AS PRACTICABLE FOLLOWING GRADING ACTIVITIES ARE COMPLETE.
  - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WISCONSIN SAFETY AND PROFESSIONAL SERVICES REQUIREMENTS.
  - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
  - CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
  - ALL APRON ENDWALLS SHALL BE PROVIDED WITH RIP RAP PER DETAILS.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
  - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
  - CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
  - CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
  - CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
  - IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
  - ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. ALL SLOPES 33% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM AS SOON AS PRACTICABLE.

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"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

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 VERONA, WISCONSIN 53593  
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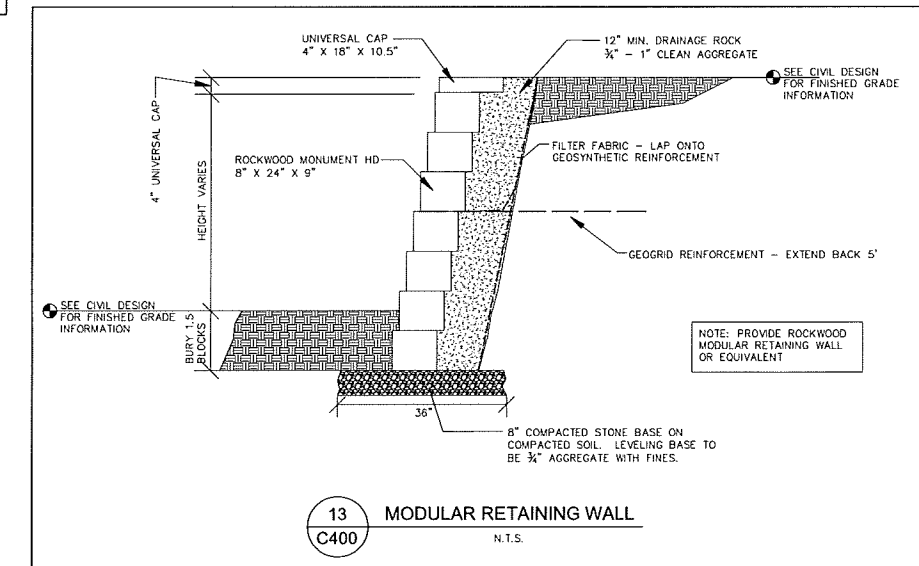
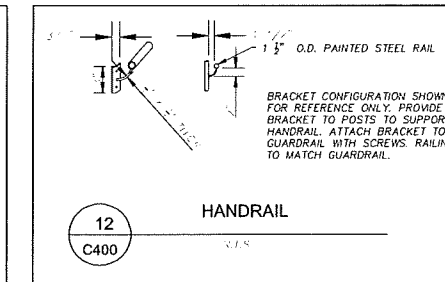
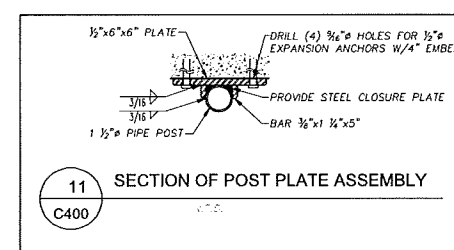
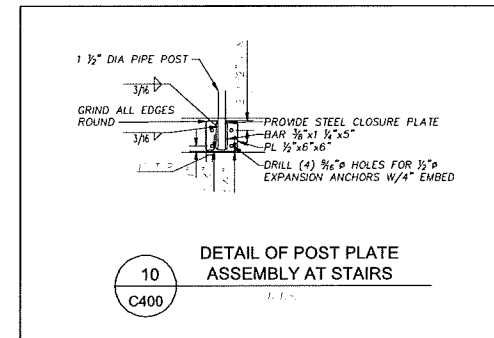
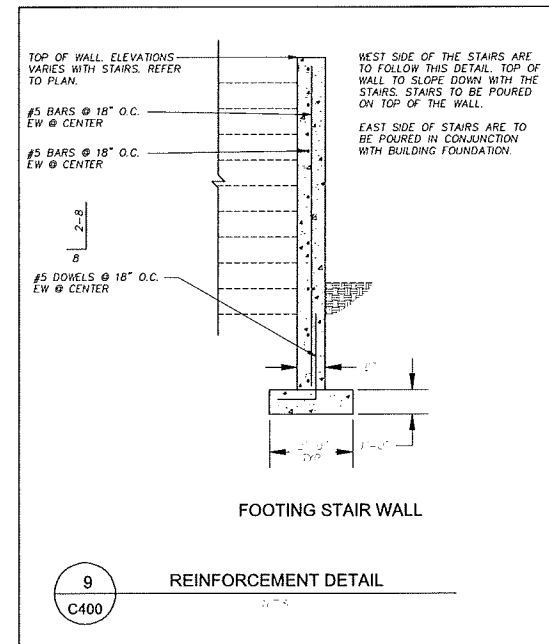
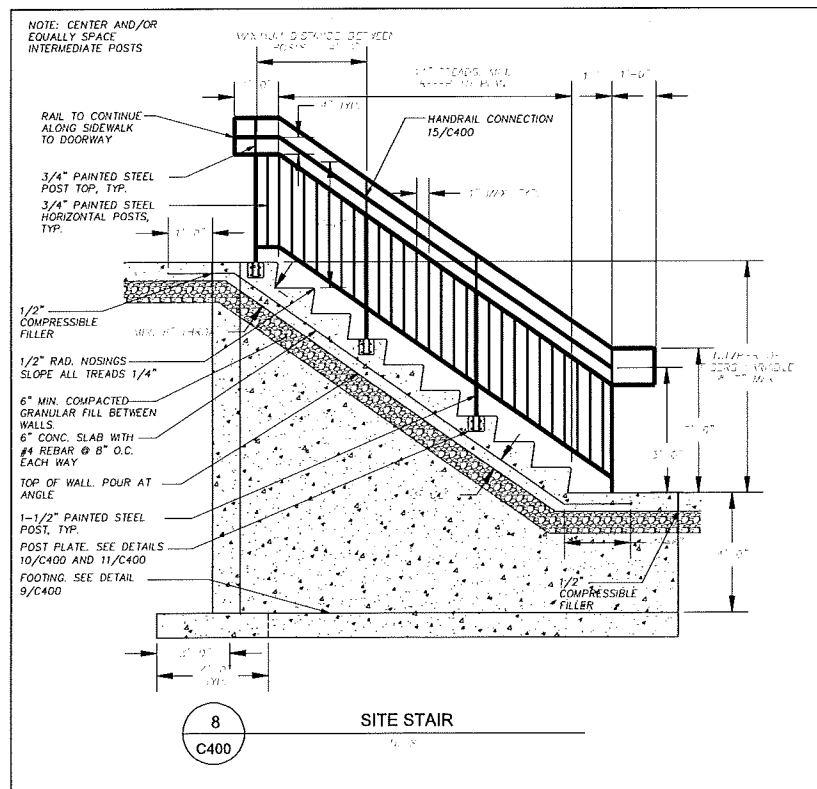
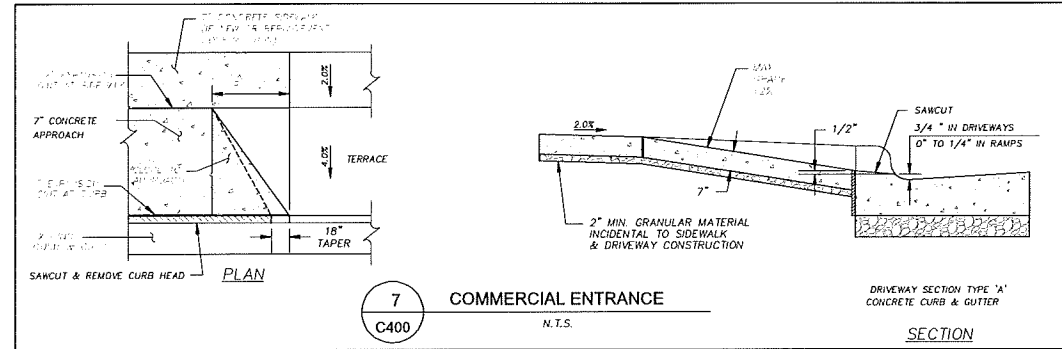
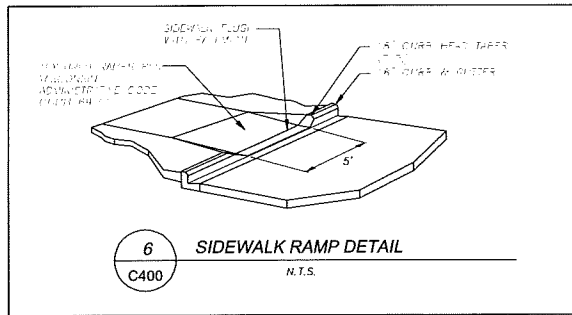
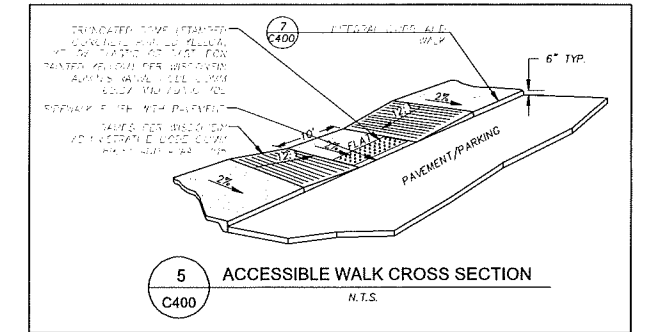
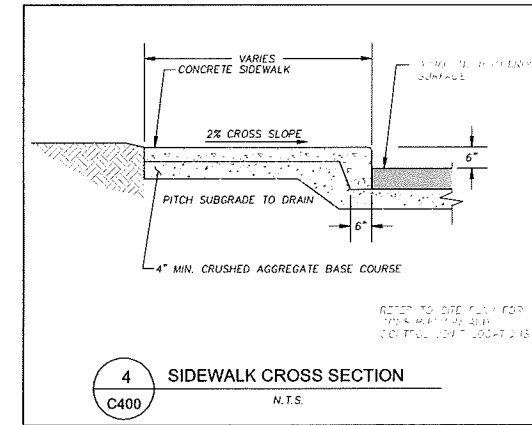
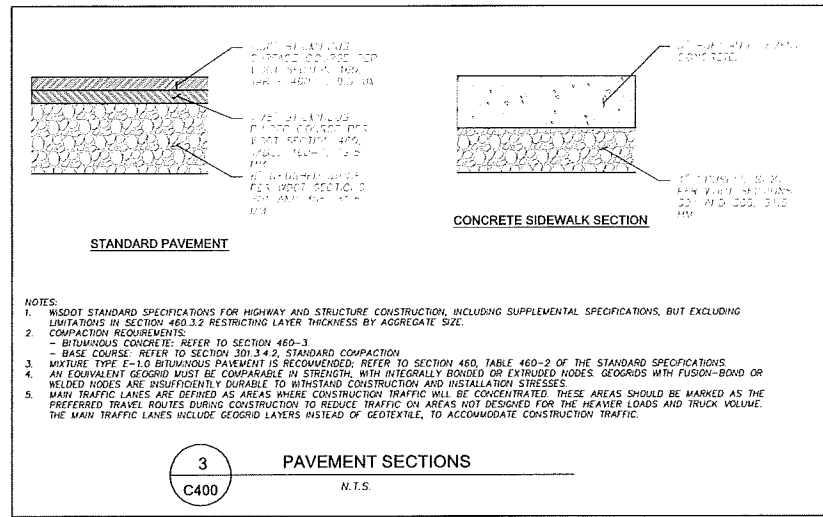
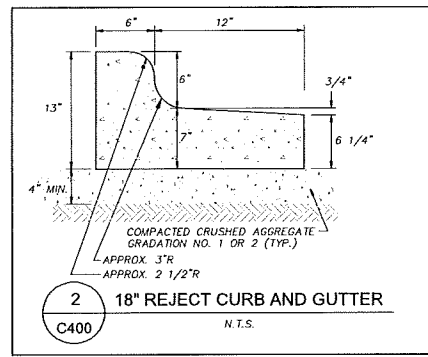
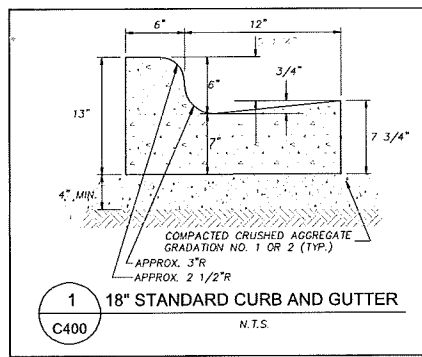
# Tennyson Senior Living Community

GRADING & EROSION CONTROL PLAN  
 1" = 30'-0"  
 JULY 9, 2014  
 Engberg Anderson Project No. 132290

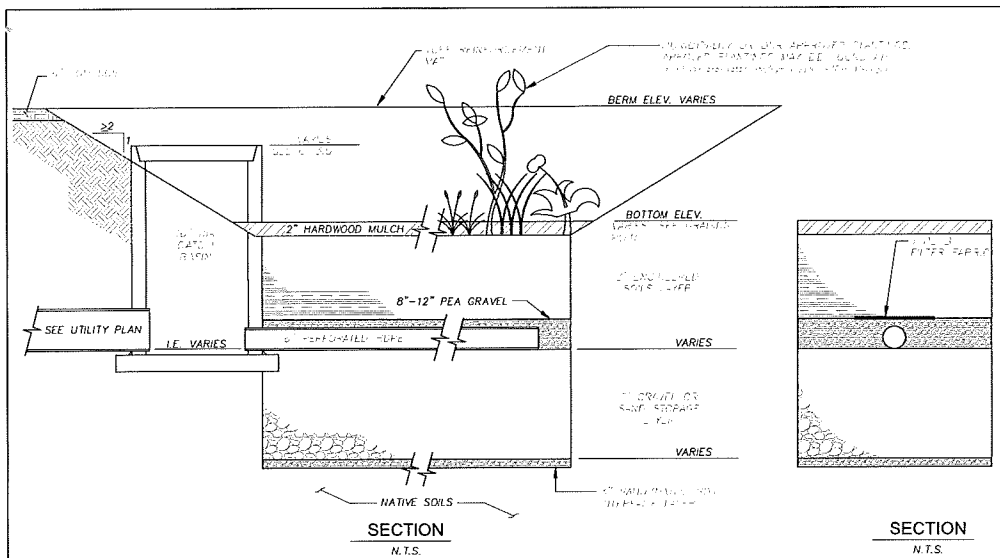
**Engberg Anderson**  
 MILWAUKEE MADISON

**C200**







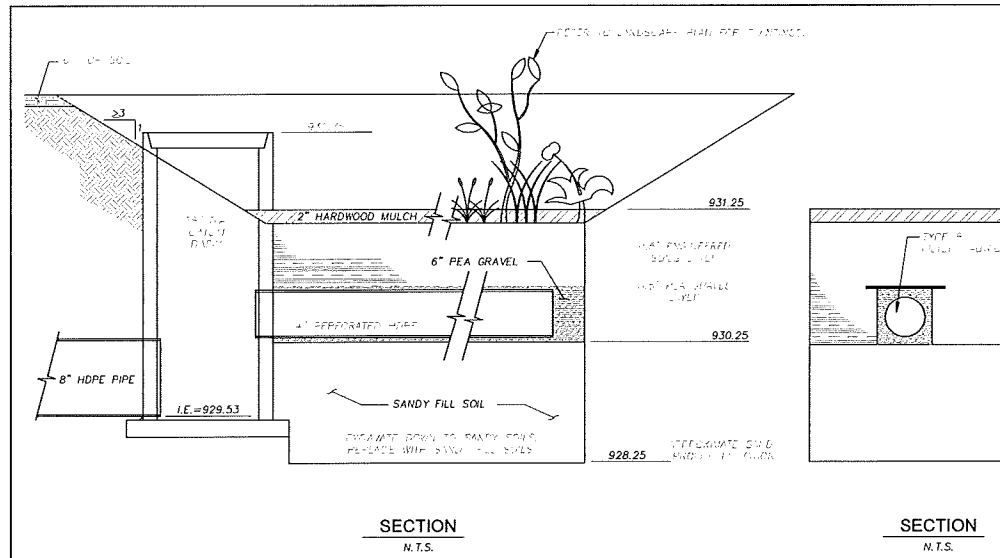


**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE LATEST EDITIONS OF THE SPECIFICATIONS AND TO APPLY THEM TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE SPECIFICATIONS.
2. THE BIORETENTION DEVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
3. APPROVED SOILS SHALL BE USED FOR THE BIORETENTION DEVICE. THE SOILS SHALL BE TESTED AND APPROVED BY THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
4. THE BIORETENTION DEVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
5. THE BIORETENTION DEVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
6. THE BIORETENTION DEVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
7. THE BIORETENTION DEVICE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
8. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION SPECIFICATIONS FOR THE PROJECT AND THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION SPECIFICATIONS.
9. THE CONTRACTOR SHALL CONSULT THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION FOR ANY QUESTIONS REGARDING THE SPECIFICATIONS.

IF ANY SOILS ARE FOUND TO BE DEFICIENT IN ANY OF THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION, THE CONTRACTOR SHALL NOTIFY THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE CONSTRUCTION OF THE BIORETENTION DEVICE UNTIL THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION HAS APPROVED THE SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE SPECIFICATIONS AND TO APPLY THEM TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE SPECIFICATIONS.

**1 BIORETENTION DEVICE**  
C402 N.T.S.

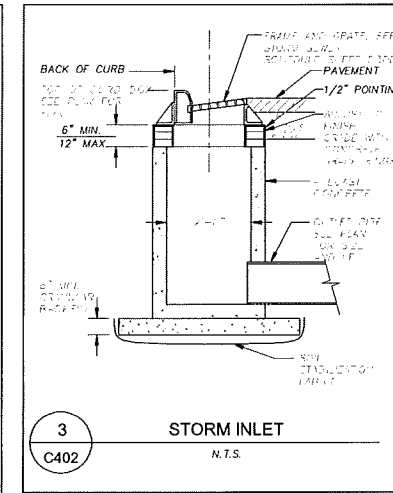


**GENERAL NOTES:**

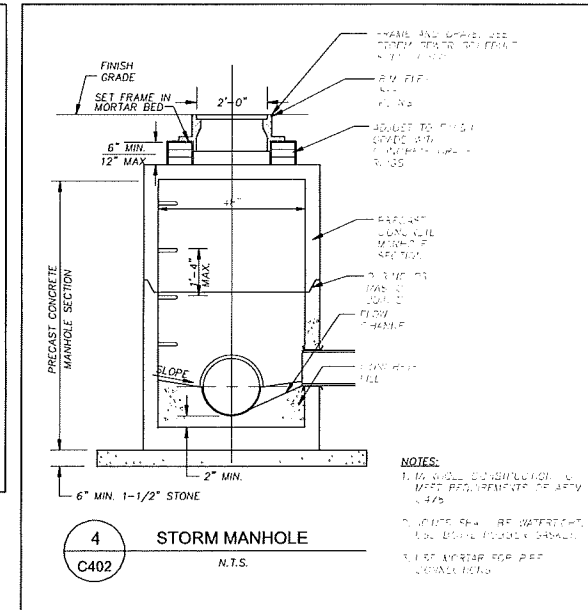
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2. THE RAIN GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
3. APPROVED SOILS SHALL BE USED FOR THE RAIN GARDEN. THE SOILS SHALL BE TESTED AND APPROVED BY THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
4. THE RAIN GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
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**2 RAIN GARDEN**  
C402 N.T.S.

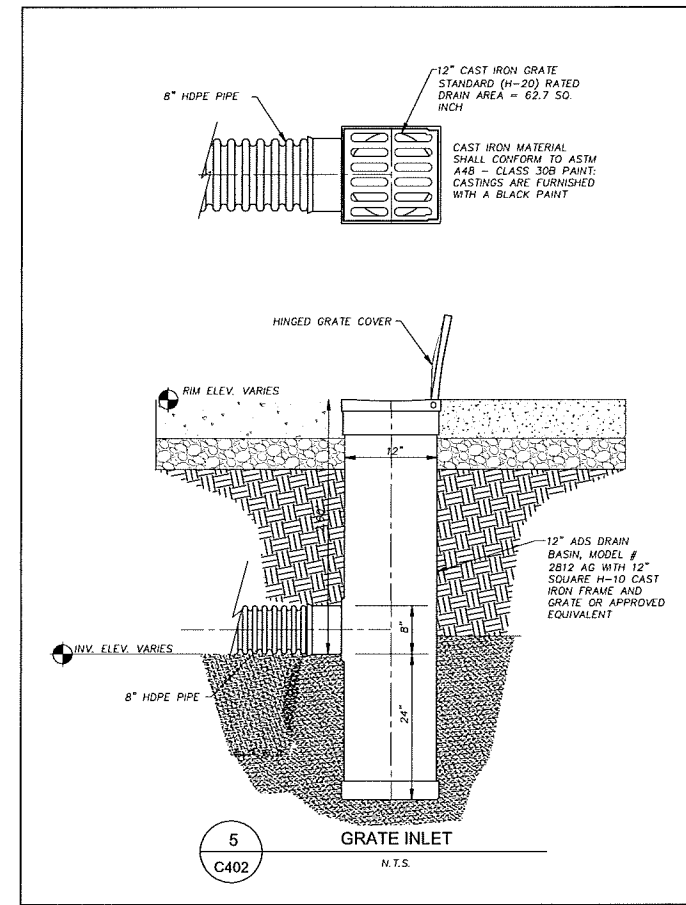


**3 STORM INLET**  
C402 N.T.S.

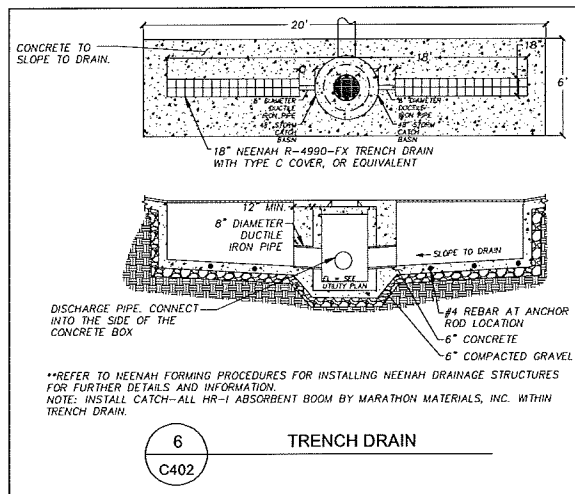


**4 STORM MANHOLE**  
C402 N.T.S.

- NOTES:**
1. THE STORM MANHOLE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
  2. THE STORM MANHOLE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.
  3. THE STORM MANHOLE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MISSOURI DEPARTMENT OF HIGHWAY TRANSPORTATION.



**5 GRATE INLET**  
C402 N.T.S.



**6 TRENCH DRAIN**  
C402 N.T.S.

\*\*REFER TO NEENAH FORMING PROCEDURES FOR INSTALLING NEENAH DRAINAGE STRUCTURES FOR FURTHER DETAILS AND INFORMATION.  
NOTE: INSTALL CATCH-ALL HR-1 ABSORBENT BOOM BY MARATHON MATERIALS, INC. WITHIN TRENCH DRAIN.



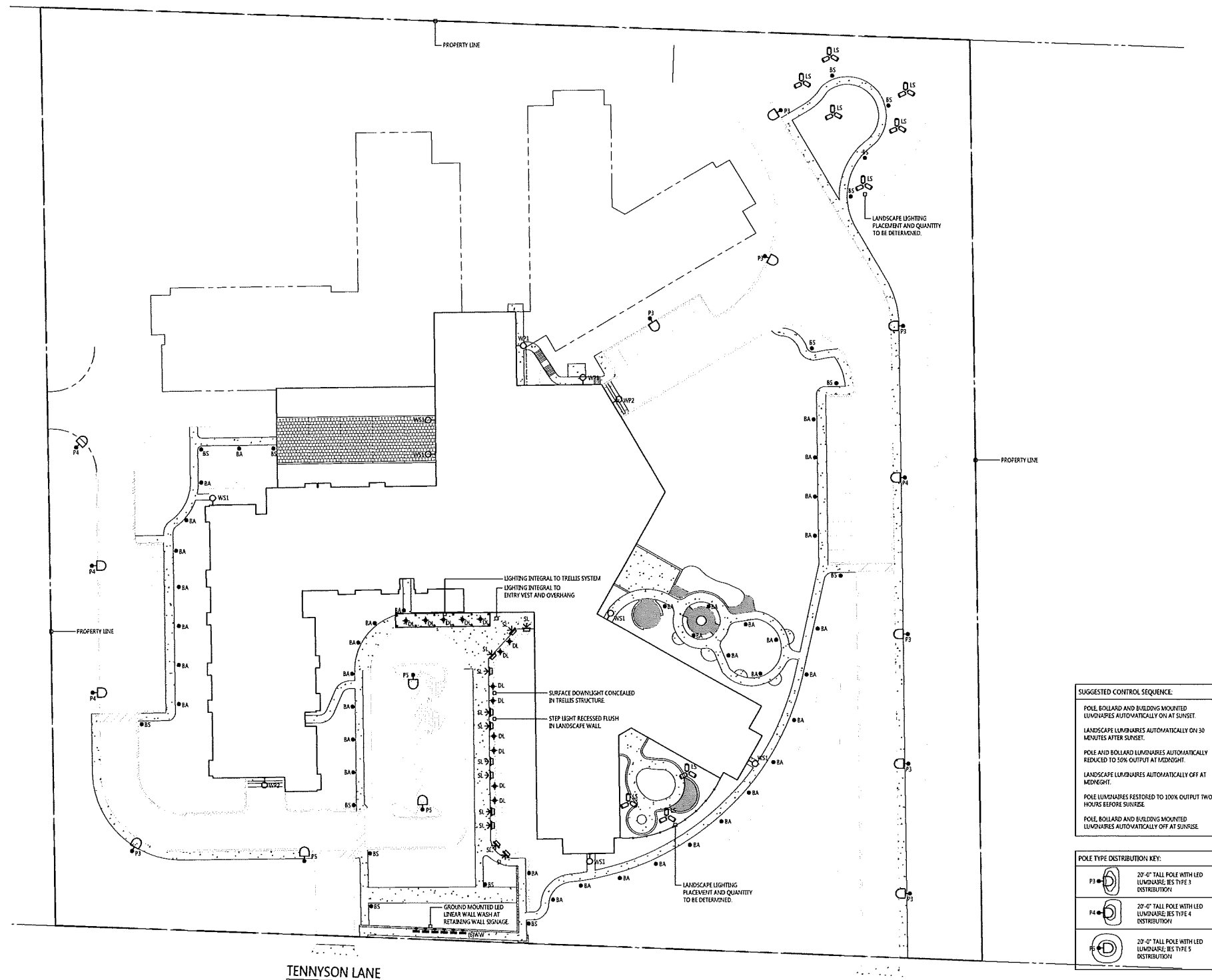
# Tennyson Senior Living Community

## STORMWATER DETAILS

JULY 9, 2014  
Engberg Anderson Project No. 132290

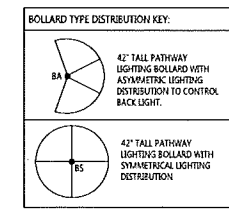
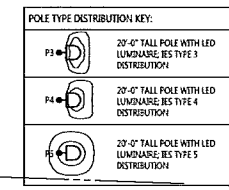
C402





**SUGGESTED CONTROL SEQUENCE:**

- POLE, BOLLARD AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY ON AT SUNSET.
- LANDSCAPE LUMINAIRES AUTOMATICALLY ON 30 MINUTES AFTER SUNSET.
- POLE AND BOLLARD LUMINAIRES AUTOMATICALLY REDUCED TO 50% OUTPUT AT MIDNIGHT.
- LANDSCAPE LUMINAIRES AUTOMATICALLY OFF AT MIDNIGHT.
- POLE LUMINAIRES RESTORED TO 100% OUTPUT TWO HOURS BEFORE SUNRISE.
- POLE, BOLLARD AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY OFF AT SUNRISE.



**CALCULATION SUMMARY**

LEVEL	CALC TYPE	UNITS	MIN	AVG	AVG/MT
OVERALL SITE	ILLUMINANCE	FC	0.6	0.17	76.4
EAST ENTRANCE DRIVE	ILLUMINANCE	FC	0.4	0.93	2.33
EAST PARKING	ILLUMINANCE	FC	0.5	0.78	1.56
SOUTH PARKING	ILLUMINANCE	FC	0.3	1.16	4.20
STAFF PARKING	ILLUMINANCE	FC	0.5	0.86	1.90
WEST ENTRANCE DRIVE	ILLUMINANCE	FC	0.3	1.06	3.50
WEST PARKING	ILLUMINANCE	FC	0.6	0.92	1.53



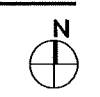
# Tennyson Senior Living Community

PRELIMINARY SITE LIGHTING PLAN

1" = 30'-0"

May 7, 2014

Engberg Anderson Project No. 122200



**SUGGESTED CONTROL SEQUENCE:**

POLE, BOLLARD AND BUILDING MOUNTED LUMENAIRES AUTOMATICALLY ON AT SUNSET.

LANDSCAPE LUMENAIRES AUTOMATICALLY ON 30 MINUTES AFTER SUNSET.

POLE AND BOLLARD LUMENAIRES AUTOMATICALLY REDUCED TO 50% OUTPUT AT MIDNIGHT.

LANDSCAPE LUMENAIRES AUTOMATICALLY OFF AT MIDNIGHT.

POLE LUMENAIRES RESTORED TO 100% OUTPUT TWO HOURS BEFORE SUNRISE.

POLE, BOLLARD AND BUILDING MOUNTED LUMENAIRES AUTOMATICALLY OFF AT SUNRISE.

**POLE TYPE DISTRIBUTION KEY:**

P1 20'-0" TALL POLE WITH LED LUMENAIRES TYPE 3 DISTRIBUTION

P4 20'-0" TALL POLE WITH LED LUMENAIRES ISL TYPE DISTRIBUTION

P5 20'-0" TALL POLE WITH LED LUMENAIRES TYPE 5 DISTRIBUTION

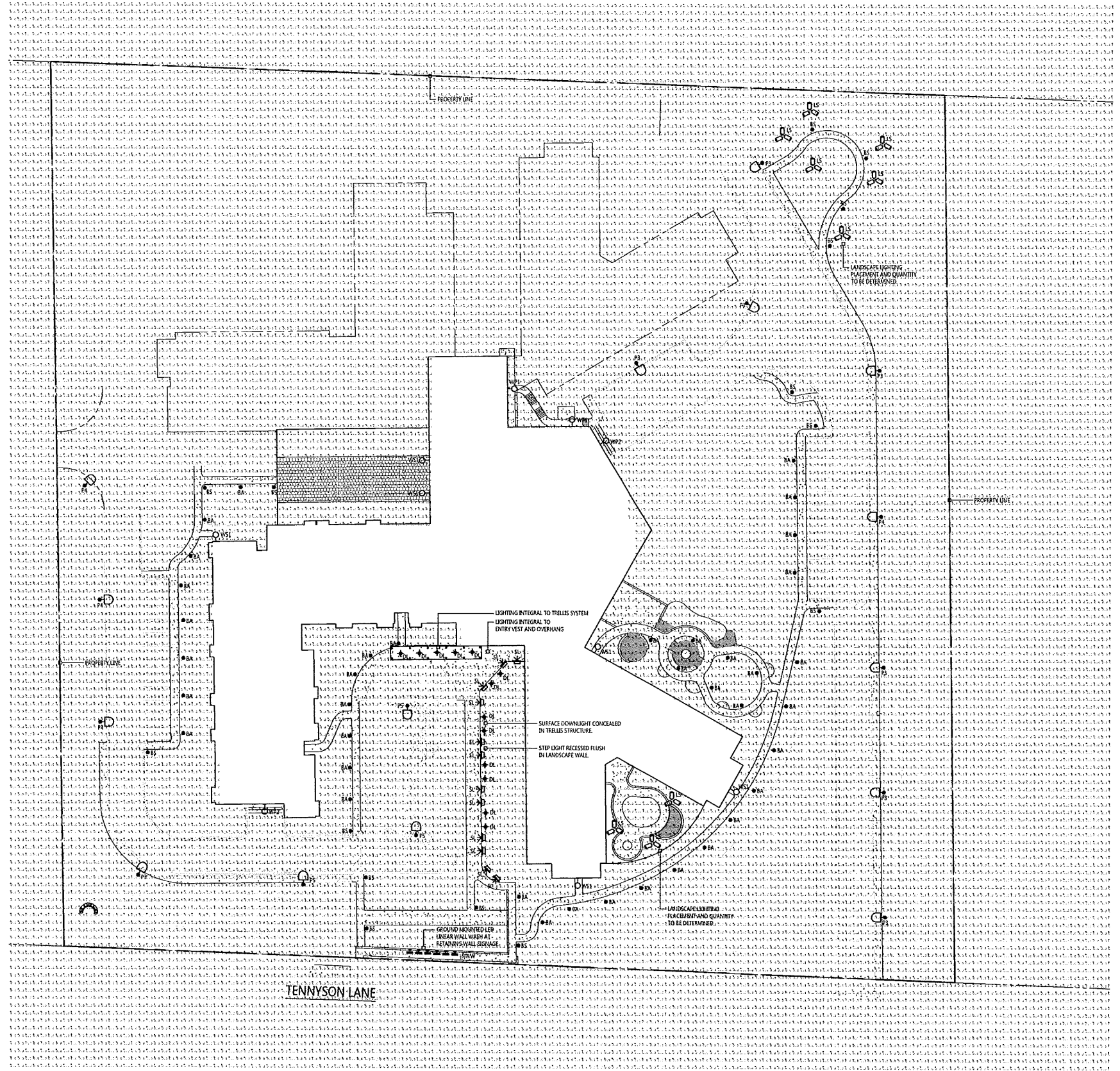
**BOLLARD TYPE DISTRIBUTION KEY:**

BA 42" TALL PATHWAY LIGHTING BOLLARD WITH ASYMMETRIC LIGHTING DISTRIBUTION TO CONTROL BACKLIGHT.

BS 42" TALL PATHWAY LIGHTING BOLLARD WITH SYMMETRIC LIGHTING DISTRIBUTION.

**CALCULATION SUMMARY**

LABEL	CALC TYPE	UNITS	MIN	AVG	AUGUST
OVERALL SITE	ILLUMINANCE	FC	0.0	0.17	N/A
EAST ENTRANCE DRIVE	ILLUMINANCE	FC	0.4	0.93	233
EAST PARKING	ILLUMINANCE	FC	0.5	0.78	156
SOUTH PARKING	ILLUMINANCE	FC	0.3	1.78	420
STAFF PARKING	ILLUMINANCE	FC	0.5	0.85	190
WEST ENTRANCE DRIVE	ILLUMINANCE	FC	0.3	1.06	150
WEST PARKING	ILLUMINANCE	FC	0.6	0.97	153



# Tennyson Senior Living Community

PRELIMINARY SITE LIGHTING PLAN - ILLUMINANCE CALCULATION

1" = 30'-0"

May 7, 2014

Engberg Anderson Project No. 132200



TYPE P3, P4, P5 POLE

**FEATURES & SPECIFICATIONS**

- SSA - Square Straight Aluminum Pole
- SSA - Square Straight Aluminum Pole
- SSA - Square Straight Aluminum Pole

Model	Height (ft)	Arm Length (ft)	Weight (lbs)
SSA-1	15	10	150
SSA-2	20	15	200
SSA-3	25	20	250

**SSA Square Straight Aluminum Pole**

Model	Height (ft)	Arm Length (ft)	Weight (lbs)
SSA-1	15	10	150
SSA-2	20	15	200
SSA-3	25	20	250
SSA-4	30	25	300
SSA-5	35	30	350

LUMINAIRE TYPE P5

**FEATURES & SPECIFICATIONS**

- D-Series Size 0 LED Area Luminaire
- High performance LED technology
- Adjustable arm length

Model	Height (ft)	Arm Length (ft)	Weight (lbs)
P5-1	15	10	150
P5-2	20	15	200
P5-3	25	20	250

**Luminaire Type P5**

Model	Height (ft)	Arm Length (ft)	Weight (lbs)
P5-1	15	10	150
P5-2	20	15	200
P5-3	25	20	250
P5-4	30	25	300

LUMINAIRE TYPE P4

**FEATURES & SPECIFICATIONS**

- D-Series Size 0 LED Area Luminaire
- High performance LED technology
- Adjustable arm length

Model	Height (ft)	Arm Length (ft)	Weight (lbs)
P4-1	15	10	150
P4-2	20	15	200
P4-3	25	20	250

**Luminaire Type P4**

Model	Height (ft)	Arm Length (ft)	Weight (lbs)
P4-1	15	10	150
P4-2	20	15	200
P4-3	25	20	250
P4-4	30	25	300

LUMINAIRE TYPE P3

**FEATURES & SPECIFICATIONS**

- D-Series Size 0 LED Area Luminaire
- High performance LED technology
- Adjustable arm length

Model	Height (ft)	Arm Length (ft)	Weight (lbs)
P3-1	15	10	150
P3-2	20	15	200
P3-3	25	20	250

**Luminaire Type P3**

Model	Height (ft)	Arm Length (ft)	Weight (lbs)
P3-1	15	10	150
P3-2	20	15	200
P3-3	25	20	250
P3-4	30	25	300



**Tennyson Senior Living Community**  
 BASIS OF DESIGN LUMINAIRE SELECTIONS  
 NO SCALE  
 May 7, 2014  
 Engberg Anderson Project No. 122200



**LUMINAIRE TYPE WW**

**HYDREL** IP66

**RHYTHM™ LINEAR LED FLOOD**

**DESCRIPTION:**  
The Rhythm™ Linear LED Flood is a high performance, high output LED flood light designed for use in industrial and commercial applications. It features a rugged, die-cast aluminum housing and a high quality LED light engine. The Rhythm™ Linear LED Flood is available in 100W, 150W, and 200W models.

**FEATURES & SPECIFICATIONS:**  
• High performance, high output LED light engine  
• Rugged, die-cast aluminum housing  
• High quality LED light engine  
• Available in 100W, 150W, and 200W models

**HOUSING**

Model	100W	150W	200W
Length (in)	12.5	17.5	22.5
Width (in)	3.5	3.5	3.5
Height (in)	3.5	3.5	3.5

**RHYTHM ORDERING INFORMATION**

EXAMPLE: RHYTHM 100W 12.5" 3.5" 3.5" 100W 12.5" 3.5" 3.5"

**LIGHT ENGINE SPECIFICATIONS**

Model	100W	150W	200W
Power (W)	100	150	200
Beam Angle (°)	120	120	120
Color Temperature (K)	5000	5000	5000
Life (hrs)	50,000	50,000	50,000

**LUMINAIRE TYPE LS**

**LITHONIA LIGHTING**

**FEATURES & SPECIFICATIONS:**  
• High performance, high output LED light engine  
• Rugged, die-cast aluminum housing  
• High quality LED light engine  
• Available in 100W, 150W, and 200W models

**HOUSING**

Model	100W	150W	200W
Length (in)	12.5	17.5	22.5
Width (in)	3.5	3.5	3.5
Height (in)	3.5	3.5	3.5

**LS LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: LS 100W 12.5" 3.5" 3.5" 100W 12.5" 3.5" 3.5"

**LS LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: LS 150W 17.5" 3.5" 3.5" 150W 17.5" 3.5" 3.5"

**LS LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: LS 200W 22.5" 3.5" 3.5" 200W 22.5" 3.5" 3.5"

**LUMINAIRE TYPE BS**

**D-Series LED Board**

**Introduction:**  
The D-Series LED Board is a high performance, high output LED light engine designed for use in industrial and commercial applications. It features a rugged, die-cast aluminum housing and a high quality LED light engine. The D-Series LED Board is available in 100W, 150W, and 200W models.

**HOUSING**

Model	100W	150W	200W
Length (in)	12.5	17.5	22.5
Width (in)	3.5	3.5	3.5
Height (in)	3.5	3.5	3.5

**BS LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: BS 100W 12.5" 3.5" 3.5" 100W 12.5" 3.5" 3.5"

**BS LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: BS 150W 17.5" 3.5" 3.5" 150W 17.5" 3.5" 3.5"

**BS LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: BS 200W 22.5" 3.5" 3.5" 200W 22.5" 3.5" 3.5"

**LUMINAIRE TYPE BA**

**D-Series LED Board**

**Introduction:**  
The D-Series LED Board is a high performance, high output LED light engine designed for use in industrial and commercial applications. It features a rugged, die-cast aluminum housing and a high quality LED light engine. The D-Series LED Board is available in 100W, 150W, and 200W models.

**HOUSING**

Model	100W	150W	200W
Length (in)	12.5	17.5	22.5
Width (in)	3.5	3.5	3.5
Height (in)	3.5	3.5	3.5

**BA LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: BA 100W 12.5" 3.5" 3.5" 100W 12.5" 3.5" 3.5"

**BA LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: BA 150W 17.5" 3.5" 3.5" 150W 17.5" 3.5" 3.5"

**BA LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: BA 200W 22.5" 3.5" 3.5" 200W 22.5" 3.5" 3.5"

**LUMINAIRE TYPE WP1 / WP2**

**D-Series Size 1 LED Wall Luminaire**

**Introduction:**  
The D-Series Size 1 LED Wall Luminaire is a high performance, high output LED light engine designed for use in industrial and commercial applications. It features a rugged, die-cast aluminum housing and a high quality LED light engine. The D-Series Size 1 LED Wall Luminaire is available in 100W, 150W, and 200W models.

**HOUSING**

Model	100W	150W	200W
Length (in)	12.5	17.5	22.5
Width (in)	3.5	3.5	3.5
Height (in)	3.5	3.5	3.5

**WP1 / WP2 LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: WP1 100W 12.5" 3.5" 3.5" 100W 12.5" 3.5" 3.5"

**WP1 / WP2 LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: WP1 150W 17.5" 3.5" 3.5" 150W 17.5" 3.5" 3.5"

**WP1 / WP2 LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: WP1 200W 22.5" 3.5" 3.5" 200W 22.5" 3.5" 3.5"

**LUMINAIRE TYPE SL**

**Released wall luminaire with directed light**

**Introduction:**  
The D-Series Size 1 LED Wall Luminaire is a high performance, high output LED light engine designed for use in industrial and commercial applications. It features a rugged, die-cast aluminum housing and a high quality LED light engine. The D-Series Size 1 LED Wall Luminaire is available in 100W, 150W, and 200W models.

**HOUSING**

Model	100W	150W	200W
Length (in)	12.5	17.5	22.5
Width (in)	3.5	3.5	3.5
Height (in)	3.5	3.5	3.5

**SL LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: SL 100W 12.5" 3.5" 3.5" 100W 12.5" 3.5" 3.5"

**SL LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: SL 150W 17.5" 3.5" 3.5" 150W 17.5" 3.5" 3.5"

**SL LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: SL 200W 22.5" 3.5" 3.5" 200W 22.5" 3.5" 3.5"

**LUMINAIRE TYPE DL**

**LED On high-mounted downlight - narrow beam**

**Introduction:**  
The D-Series Size 1 LED Wall Luminaire is a high performance, high output LED light engine designed for use in industrial and commercial applications. It features a rugged, die-cast aluminum housing and a high quality LED light engine. The D-Series Size 1 LED Wall Luminaire is available in 100W, 150W, and 200W models.

**HOUSING**

Model	100W	150W	200W
Length (in)	12.5	17.5	22.5
Width (in)	3.5	3.5	3.5
Height (in)	3.5	3.5	3.5

**DL LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: DL 100W 12.5" 3.5" 3.5" 100W 12.5" 3.5" 3.5"

**DL LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: DL 150W 17.5" 3.5" 3.5" 150W 17.5" 3.5" 3.5"

**DL LED Flood Light**

**LIGHTING FACTS**

EXAMPLE: DL 200W 22.5" 3.5" 3.5" 200W 22.5" 3.5" 3.5"

