



City of Madison

Conditional Use

Location
4018 Mineral Point Road

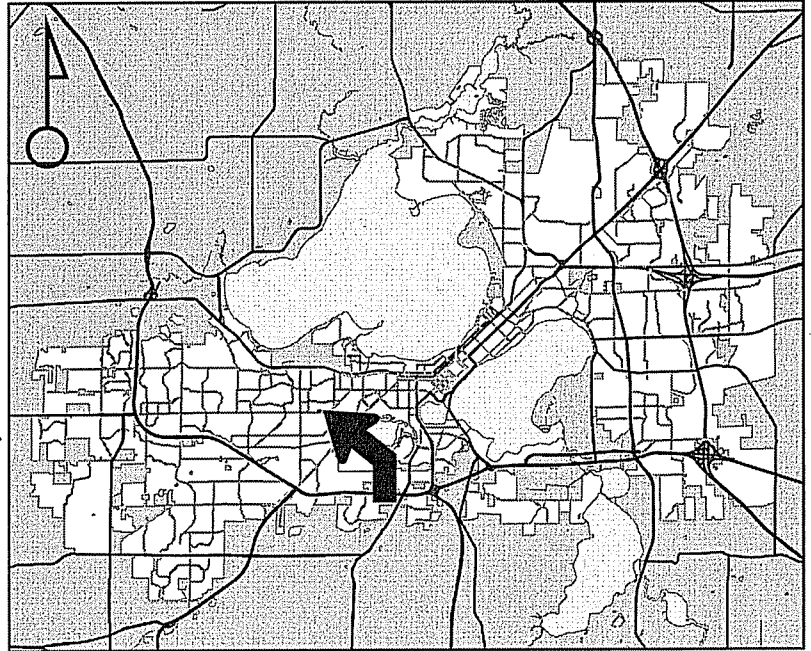
Project Name
Midtown District Police Station

Applicant
Captain Jay Lengfeld-City of Madison/
Jim Brown-Engberg Anderson Inc.

Existing Use
Former church and parsonage

Proposed Use
Construct police station in excess of
10,000 sq. ft. of floor area in TR-C1
zoning

Public Hearing Date
Plan Commission
08 August 2016

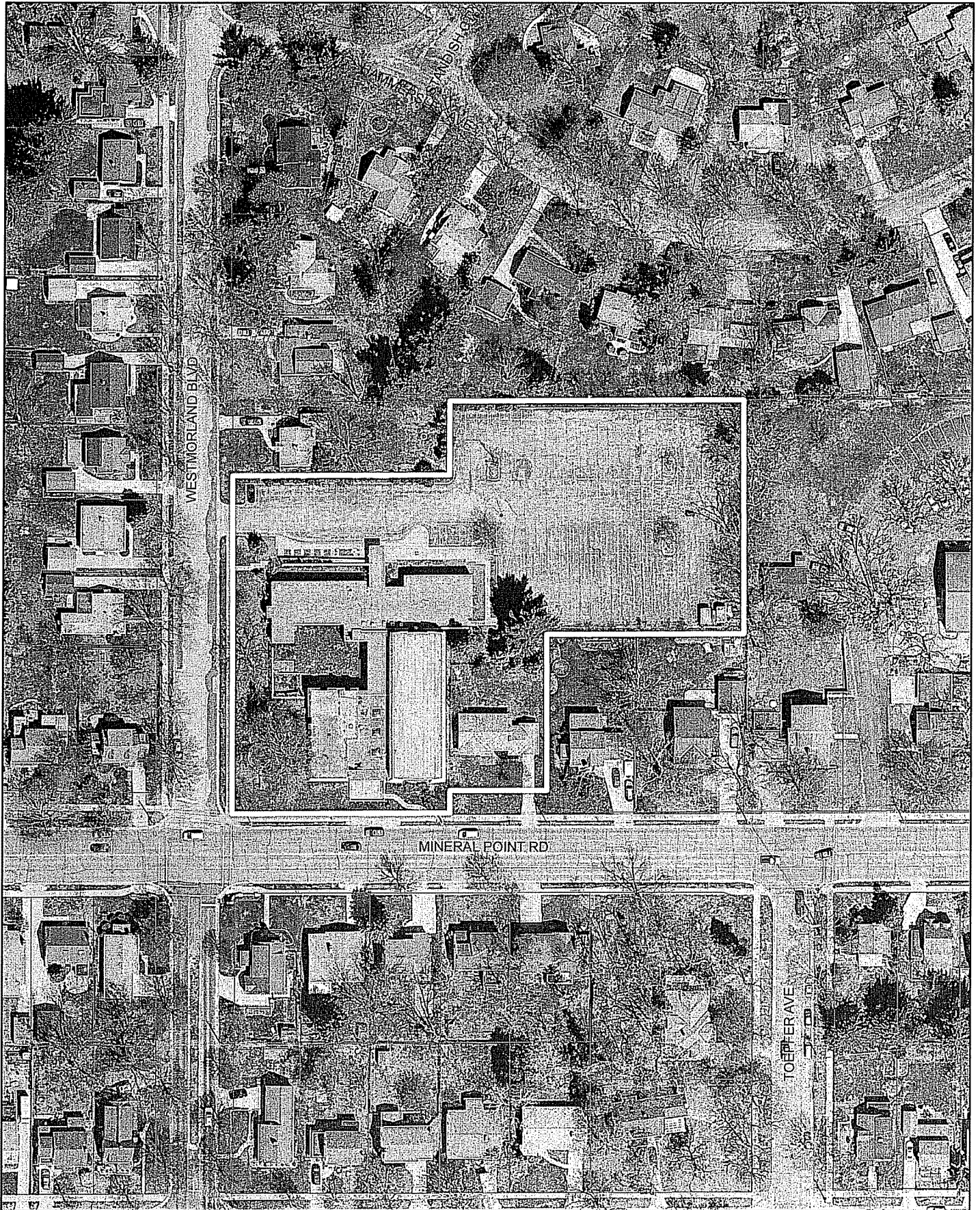


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 29 July 2016





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____
Date Received 6/15/14
Received By JLK
Parcel No. 0709-213-1717-3
Aldermanic District 11-Tim Crevier
Zoning District TR-C1
Special Requirements existing use
Review Required By:
☐ Urban Design Commission ☐ Plan Commission
☐ Common Council ☐ Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 4018 Mineral Point Rd.

Project Title (if any): Midtown District Police Station

2. **This is an application for (Check all that apply to your Land Use Application):**

- ☐ Zoning Map Amendment from _____ to _____
- ☐ Major Amendment to Approved PD-GDP Zoning ☐ Major Amendment to Approved PD-SIP Zoning
- ☐ Review of Alteration to Planned Development (By Plan Commission)
- ☒ Conditional Use, or Major Alteration to an Approved Conditional Use
- ☐ Demolition Permit
- ☐ Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Jim Brown **Company:** Engberg Anderson Inc.
Street Address: 305 W. Washington Ave. **City/State:** Madison, WI **Zip:** 53703
Telephone: (608) 250-0100 **Fax:** () **Email:** jimb@engberganderson.com

Project Contact Person: Capt. Jay Lengfeld **Company:** City of Madison
Street Address: 211 Carroll St **City/State:** Madison, WI **Zip:** 53703
Telephone: (608) 245-3652 **Fax:** () **Email:** jlengfeld@cityofmadison.com

Property Owner (if not applicant): City of Madison, Capt. Jay Lengfeld
Street Address: 211 Carroll St. **City/State:** Madison, WI **Zip:** 53703

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: The Midtown District Police Station will consist of a two-story building of approximately 33,000 square feet. Site development consists of surface parking, stormwater management, and landscape design.

Development Schedule: Commencement First quarter of 2017 Completion Early 2018

5. Required Submittal Information

All Land Use applications are required to include the following:

☒ **Project Plans** including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

☐ **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

☐ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

☒ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Refer to waiver from alder Tim Gruber via attached e-mail dated June 11, 2016.

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

☐ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: DAT Date: 3/10/2016 Zoning Staff: Tim Parks Date: 6/9/16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Jim Brown Relationship to Property: Architect / Consultant

Authorizing Signature of Property Owner  Date 6/14/16



June 15, 2016

Tim Parks
City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Blvd
Madison, WI 53701

RE: **Letter of Intent**
Midtown District Police Station
4018 Mineral Point Rd.
Madison, WI 53705
Conditional Use

Dear Mr. Parks,

Please accept this Letter of Intent, application and attachments as our formal request for a Conditional Use review and approval by the City of Madison for the Midtown District Police Station at 4018 Mineral Point Road project detailed below.

Project Name: Midtown District Police Station
4018 Mineral Point Rd.
Madison, WI 53705

PROJECT OVERVIEW

The project will be located in the City of Madison on the near west side at 4018 Mineral Point Road. The Midtown District Police Station will consist of a two-story building (first floor and partially exposed lower level) of approximately 33,000 square feet. The station will function as a full service police department including patrol and investigative services, community policing teams, and command staff. A community room will be provided for use by the community for meetings and activities.

PROJECT TEAM:

Owner:

City of Madison
211 Carroll St
Madison, WI 53703

Contact: Capt. Jay Lengfeld
Phone: (608) 245-3652
Email: jlengfeld@cityofmadison.com

Architect:

Engberg Anderson
305 W Washington Ave.
Madison, WI 53703
Contact: James F. Brown, Jr.
Phone: (608) 250-7514
Fax: (608) 250-0200
Email: jimb@engberganderson.com

Civil Engineer:

Ayres Associates
101 E. Badger Road
Madison, WI 53713
Contact: Jacob Blue
Phone: (608) 441-3564
Email: bluej@ayresassociates.com

Landscape Architect:

Ayres Associates
101 E. Badger Road
Madison, WI 53713
Contact: Jacob Blue
Phone: (608) 441-3564
Email: bluej@ayresassociates.com

EXISTING CONDITIONS:

The site is the former Mount Olive Lutheran Church and adjacent parsonage located at 4018 and 4016 Mineral Point Road, respectively. The two-story church resides within Lot 1, which consists of 95,265 square feet and includes a large, paved, surface parking lot. The parsonage is contained within Lot 2, which consists of 7,849 square feet and includes a two-story, single family home, garage and driveway.

According to the City of Madison zoning districts, the project site is located within the Traditional Residential - Consent District 1 and the use, height and number of stories are allowed through the conditional use approval process.

A demolition permit for the church and parsonage has been previously secured by the Madison Police Department.

PROJECT SCHEDULE:

The project is currently scheduled to begin construction in the first quarter of 2017 with completion and occupancy in early 2018.

PROPOSED USES:

In addition to the patrol and investigative services, community policing teams, and command staff offices, the project will include support spaces for these services such as an armory, locker rooms, workout area, evidence room, briefing room, interview rooms, and administrative offices.

The building will include underground parking for 21 marked patrol cars and surface parking for 88 other vehicles including spaces for the public.

Areas:

Public use spaces -	1,500 square feet
Secured intake areas -	2,800 square feet
Enclosed / underground parking -	8,000 square feet
Police program spaces -	20,700 square feet

HOURS OF OPERATION:

Midtown District office hours:

Monday – Friday; 8am – 4:00 pm.

The Community room is open beyond the listed office hours and can be reserved on an as-needed basis.

Midtown District policing function is a 24 hours a day, 7 days a week function but is not occupied as such.

BUILDING SQUARE FOOTAGE:

Approximately 33,000 square feet not including approximately 8,000 square feet of underground parking in the lower level.

NUMBER OF DWELLING UNITS:

N/A

AUTO AND BIKE PARKING STALLS:

Auto Parking:

The lower level will contain enclosed parking for 21 marked squad cars while there are 88 surface parking spaces. The surface parking includes secured parking for 49 vehicles and 39 “public” parking stalls outside the security gates.

Bike Parking:

Public bike parking includes 8 stalls adjacent to the main public entry.

Secured bike parking includes 12 stalls adjacent to the staff entry.

LOT COVERAGE AND OPEN SPACE:

The Mineral Point Road facade will be set-back from the property line 20-feet. Mineral Point Road is planned for a future widening. The setback line on the north side of Mineral Point Road is a line 50-feet north of Mineral Point measured at right angles to the existing center line. It is assumed that the new setback will become the property line and therefore the required zoning front yard setback will be measured from there.

The Westmorland Blvd. facade will be set-back from the property line 15-feet in accordance with the reversed corner side yard setback requirements.

The total lot area is 103,216.45 square feet with an open space requirement of 35% or 36,125.76 square feet. The proposed open space of 39,623.36 square feet exceeds the requirement by more than 9%.

NEIGHBORHOOD INPUT:

There have been many opportunities for neighborhood input over the past several months. These opportunities include neighborhood meetings organized by the alderperson and attended by the design team on August 5, 2015, April 14, 2016, and June 8, 2016. The DAT meeting was held on March 10, 2016.

VALUE OF LAND:

Approximately \$950,000.00

ESTIMATED PROJECT COST:

Approximately \$7,000,000.00

NUMBER OF CONSTRUCTION & FULL-TIME EQUIVALENT JOBS CREATED:

Construction jobs:

According to the Skill Integrity Responsibility Council, every \$1 million spent directly on this type of construction project generates about 17 jobs throughout the economy. So a \$7 million investment translates into just over 119 jobs, including 63 jobs in the Construction sector and an additional 56 jobs elsewhere in the economy.

Full -time equivalent jobs:

The Midtown district Police Station will provide employment for 60 – 70 people on a full-time basis of which 50 – 60 will be relocated from other district stations leaving 10 newly created positions.

PUBLIC SUBSIDY REQUESTED:

None.

Sincerely,

James F. Brown, Jr, AIA
Principal

Copied J Whitney | City of Madison

J Lengfeld | Madison Police Department

EA File Name: P:\Madison\2015 2398\152413 Midtown Police Station\1-Project Administration\6-Codes & Zoning\Letter Of Intent.Docx



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 4018 Mineral Point Road
Name of Project Madison Police Station
Owner (Contact) Jacob Blue, PLA, Ayres Associates Inc.
Contact Phone 608-441-3564 Contact Email BlueJ@AyresAssociates.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 46,192.47 sf

Total landscape points required 770

- ~~(b)~~ For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

- ~~(c)~~ For the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			17	595
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			24	840
Ornamental tree	1 1/2 inch caliper	15			10	150
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			136	408
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2				
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.			939	375
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						2368

Total Number of Points Provided 2368

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

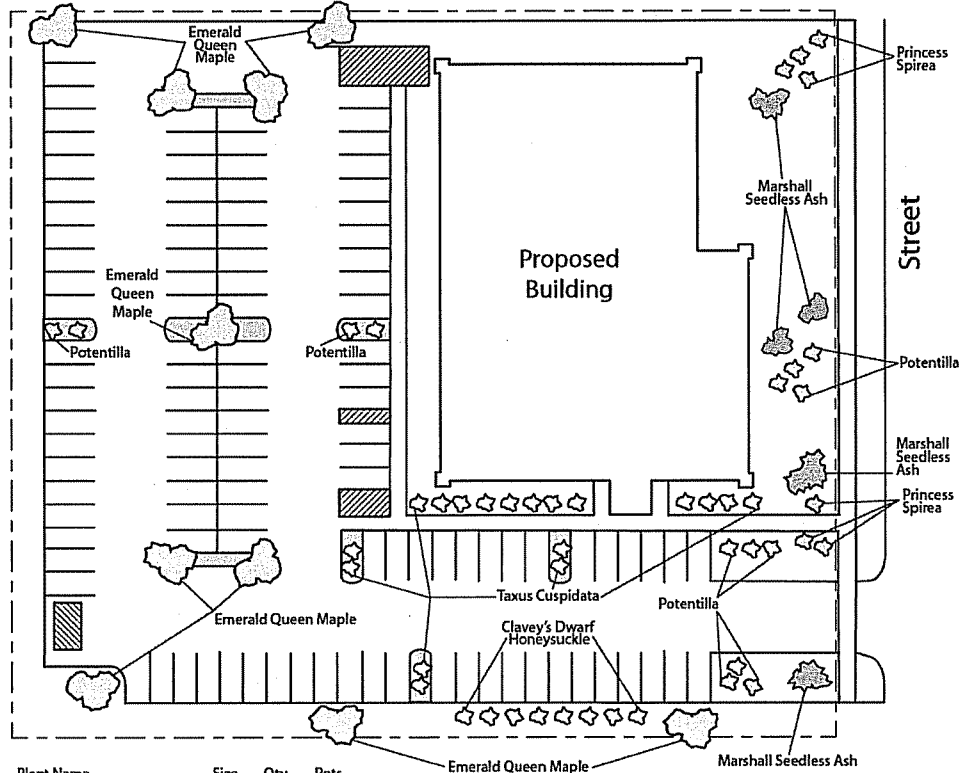
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honeysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
			TOTAL 585

Call City Zoning, 266-4551, with your questions about this type of plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 - 3. Storage areas including trash and loading.
 - 4. Lighting (landscape, pedestrian or parking area).
 - 5. Irrigation.
 - 6. Hard surface materials.
 - 7. Labeling of mulching, edging and curbing.
 - 8. Areas of seeding or sodding.
 - 9. Areas to remain undisturbed and limits of land disturbance.
 - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 - 11. Existing trees eight (8) inches or more in diameter.
 - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) **Refuse Disposal Areas.** All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) **Outdoor Storage Areas.** Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) **Loading Areas.** Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) **Mechanical Equipment.** All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 4018 Mineral Point Road

Contact Name & Phone #: Jacob Blue, PLA, Ayres Associates Inc, 608-441-3564

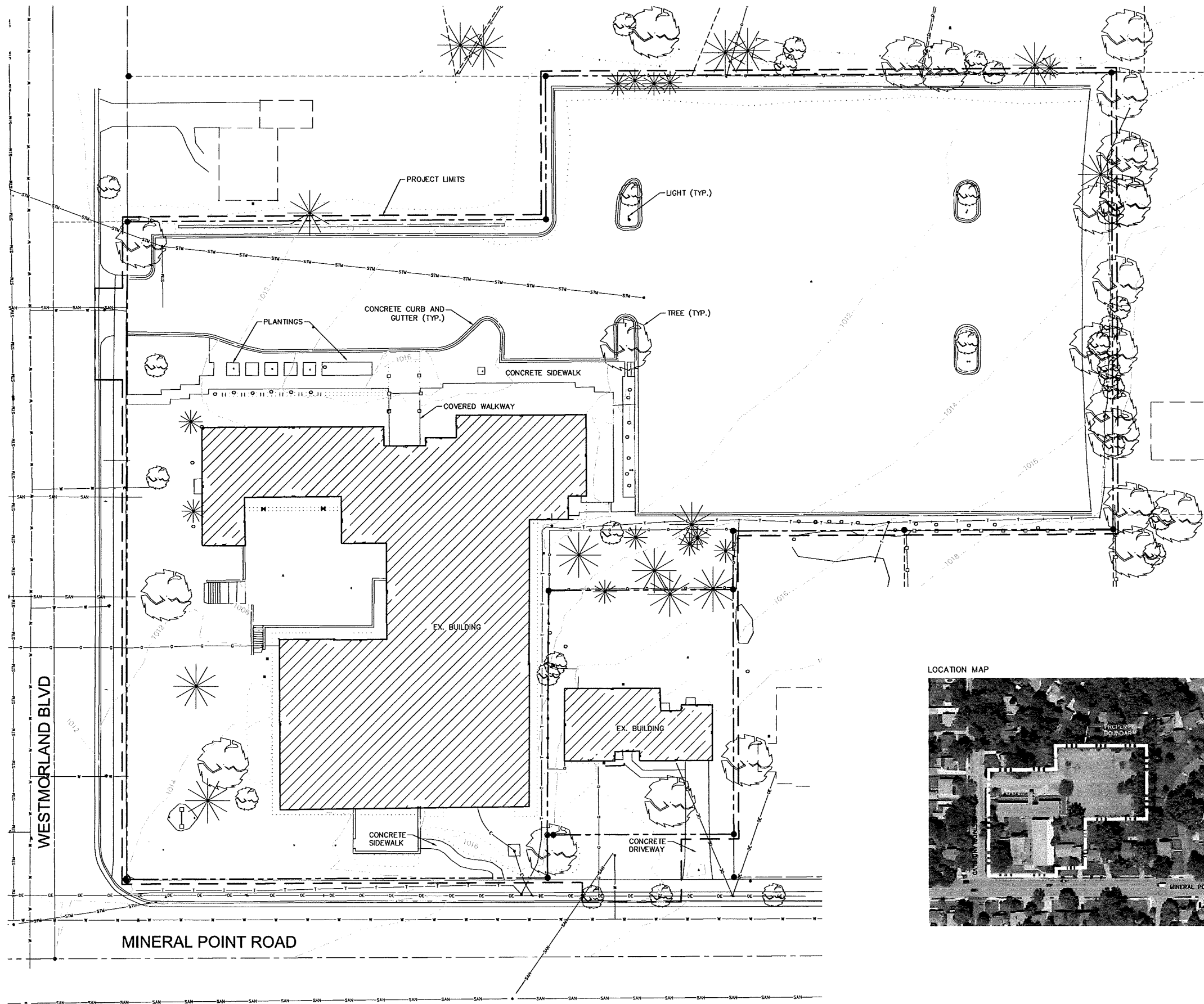
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2012 Edition Chapter 5 and Appendix D; please see the codes for further information.



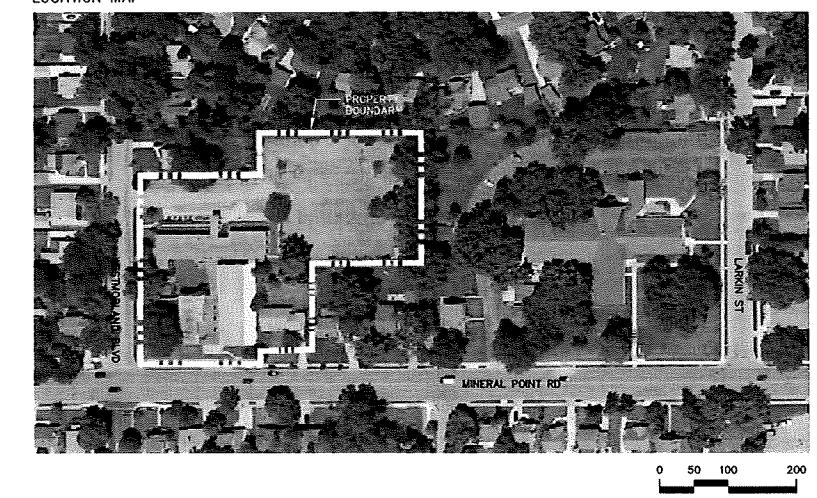
LEGEND

	PROPERTY LINE
	PROJECT LIMIT LINE
	CONTOUR
	BUILDING
	GAS SERVICE
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRIC LINE
	WOOD FENCE
	CHAIN LINK FENCE
	BUSHLINE
	TREE (DECIDUOUS)
	TREE (EVERGREEN)

SURVEY PREPARED BY: CEDAR CORPORATION
ON: DEC 2015

- NOTES:**
1. SHEETS ARE INTENDED AS 30"x42" FULL SIZE.
 2. PROJECT LIMIT LINE OFFSET FOR GRAPHIC CLARITY

LOCATION MAP



Midtown Police Station

C-000 EXISTING CONDITIONS

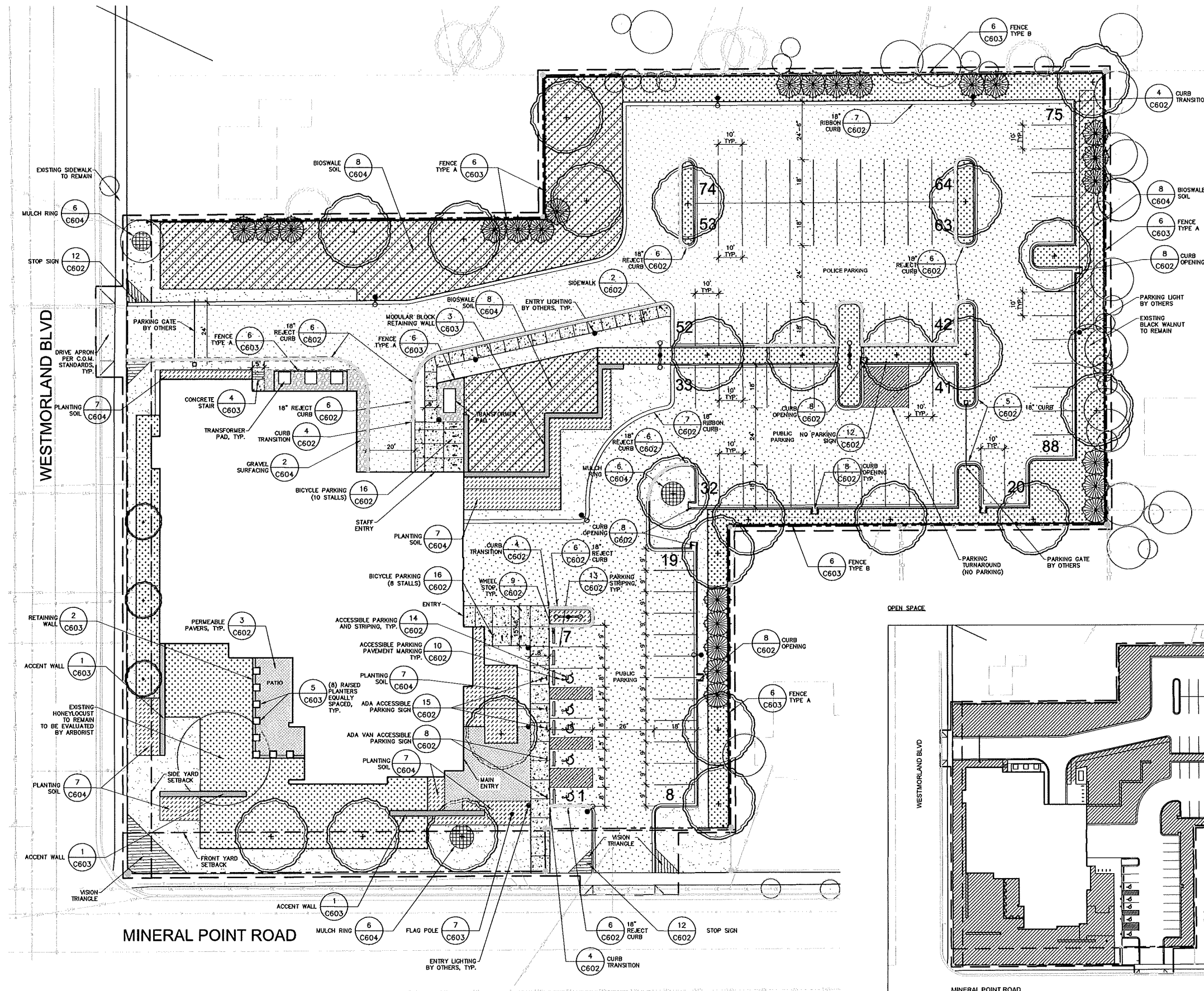
June 15, 2016
Engberg Anderson Project No. 152413.01

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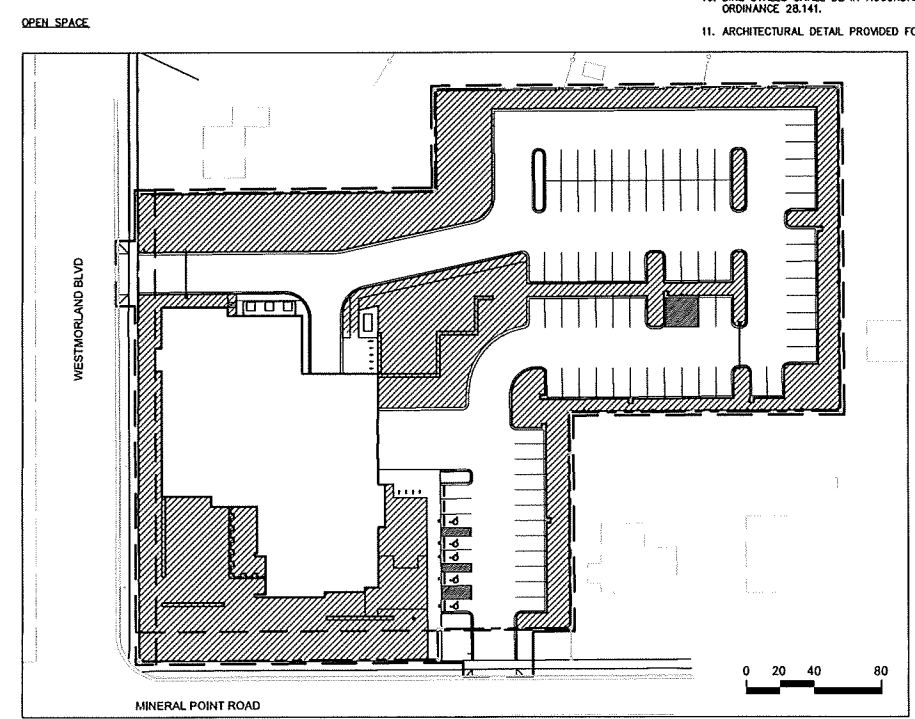


- LEGEND:**
- CONCRETE
 - ASPHALT
 - GRAVEL
 - PAVERS
 - PLANTING AREA
 - TURF
 - PLANTING SOIL
 - LIGHT
 - FENCE
 - NATIVE PERENNIAL PLANTING
 - EVERGREEN TREE
 - SHADE TREE
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO REMOVE
 - MULCH RING
 - BIOSWALE SOIL
 - PROPERTY LINE
 - PROJECT LIMIT LINE
 - BUILDING SETBACK

SITE STATISTICS

SITE AREA: 103,216.45 sf (2.37 ac)	BUILDING AREA: 18,544 sf
REQD. OPEN SPACE (35%): 36,125.76 sf	TOTAL PARKING: 88 Surface 21 Below Ground 109 Spaces (Total)
PROPOSED OPEN SPACE: 39,334.3 sf (38.11%)	

- NOTES:**
- SHEETS ARE INTENDED AS 30"x42" FULL SIZE.
 - PROJECT LIMIT LINE OFFSET FOR GRAPHIC CLARITY.
 - ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
 - CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES.
 - THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
 - ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN EPOXY.
 - PARKING STALL WIDTH 10'-0" UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS SHALL BE 1:20; CROSS SLOPES SHALL BE 2% OR LESS.
 - ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
 - BIKE STALLS SHALL BE IN ACCORDANCE WITH CITY OF MADISON GENERAL ORDINANCE 28.141.
 - ARCHITECTURAL DETAIL PROVIDED FOR INFORMATION PURPOSES ONLY.



- LEGEND:**
- OPEN SPACE



Midtown Police Station

C-200 SITE PLAN

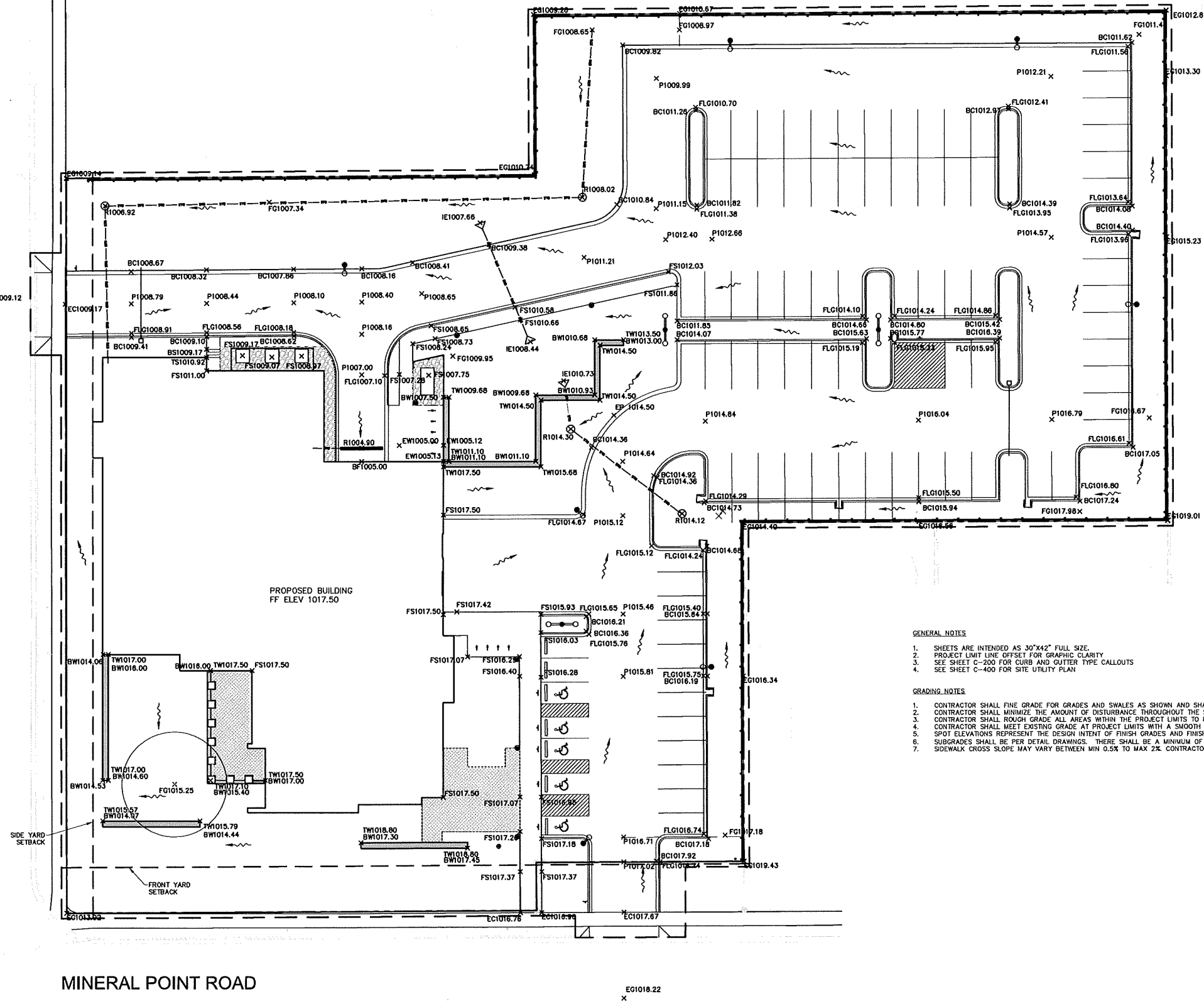
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WESTMORLAND BLVD



LEGEND

- PROPERTY LINE
- PROJECT LIMIT LINE
- BUILDING SETBACK
- PROPOSED STORM SEWER
- PROPOSED FLOW DIRECTION
- PROPOSED STORM INLET
- PROPOSED ENDWALL
- LIGHT
- FENCE
- EXISTING TREE TO REMAIN

SPOT ELEVATION ABBREVIATIONS:

- P = PROPOSED ASPHALT
- EC = EXISTING GRADE
- EC = EXISTING CONCRETE
- FS = FINISHED SURFACE
- FG = FINISHED GRADE
- TW = TOP OF WALL
- BW = BOTTOM OF WALL
- BC = BACK OF CURB
- FLG = FLANGE OF CURB
- TR = TOP OF ROCK
- TS = TOP OF STAIRS
- BS = BOTTOM OF STAIRS
- IE = INVERT ELEVATION
- R = RIM



GENERAL NOTES

1. SHEETS ARE INTENDED AS 30"x42" FULL SIZE.
2. PROJECT LIMIT LINE OFFSET FOR GRAPHIC CLARITY.
3. SEE SHEET C-200 FOR CURB AND GUTTER TYPE CALLOUTS.
4. SEE SHEET C-400 FOR SITE UTILITY PLAN.

GRADING NOTES

1. CONTRACTOR SHALL FINE GRADE FOR GRADES AND SWALES AS SHOWN AND SHALL OBTAIN 1% MINIMUM DRAINAGE, UNLESS OTHERWISE DIRECTED.
2. CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBANCE THROUGHOUT THE SITE.
3. CONTRACTOR SHALL ROUGH GRADE ALL AREAS WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
4. CONTRACTOR SHALL MEET EXISTING GRADE AT PROJECT LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
5. SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES.
6. SUBGRADES SHALL BE PER DETAIL DRAWINGS. THERE SHALL BE A MINIMUM OF 4" OF TOPSOIL IN ALL LAWN AND LANDSCAPE AREAS.
7. SIDEWALK CROSS SLOPE MAY VARY BETWEEN MIN 0.5% TO MAX 2%. CONTRACTOR SHALL CONSTRUCT A 1.5% CROSS SLOPE WHEREVER POSSIBLE.

MINERAL POINT ROAD

Midtown Police Station

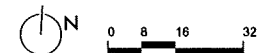
C-300 SITE GRADING

June 15, 2016

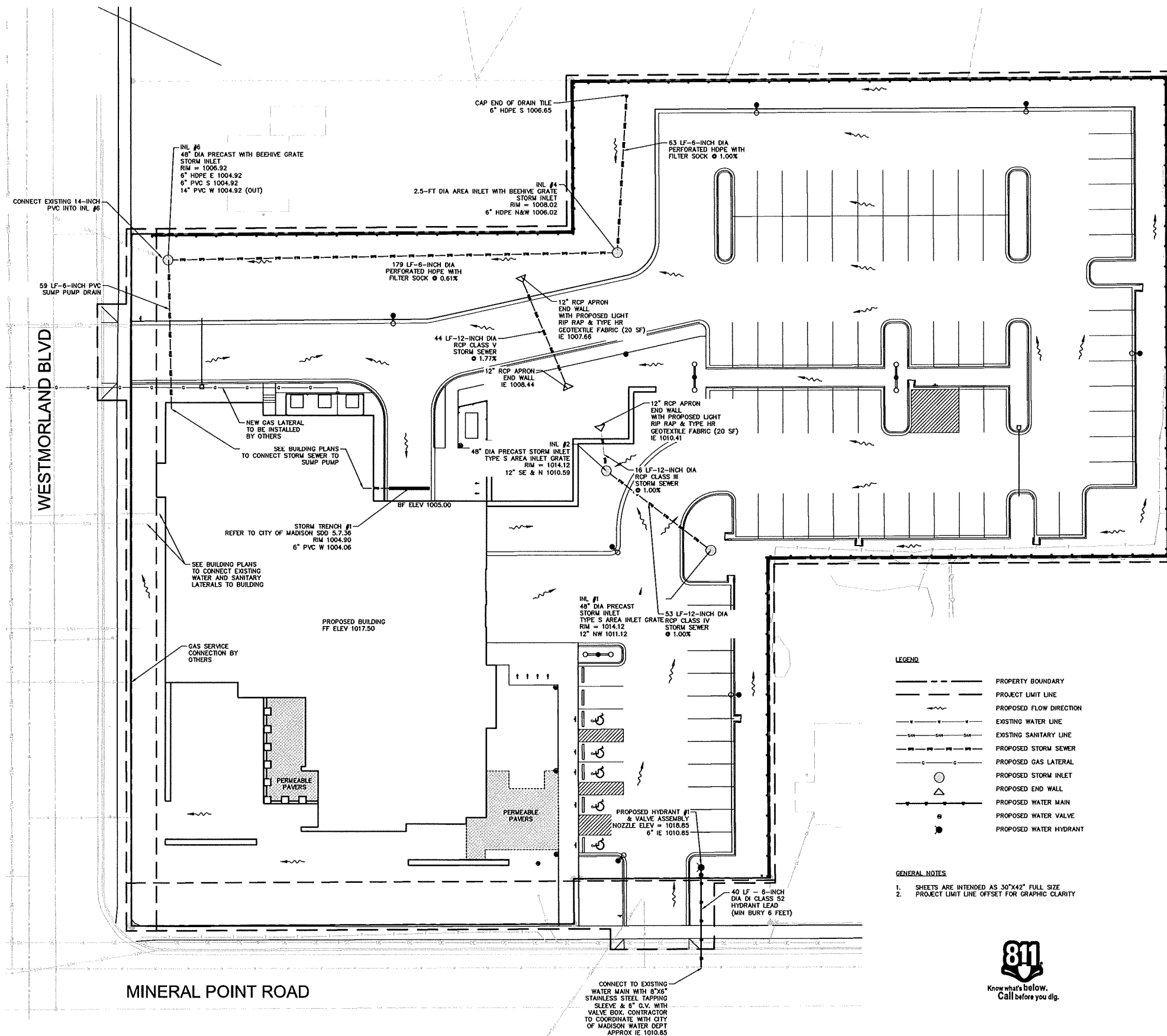
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UTILITY NOTES:

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

REFER TO CITY OF MADISON SDD 5.4.4 FOR RIPRAP PLACEMENT DETAIL.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:

- CITY OF MADISON SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, LATEST EDITION
- "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (SSSWC) LATEST EDITION
- STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (WSDOT) LATEST EDITION
- CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
- INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.
- WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.
- A MEANS TO LOCATE BURIED UNDERGROUND EXISTING NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.

WATER DISTRIBUTION SYSTEM:

MAIN:

- WATER MAIN SHALL HAVE A MINIMUM BURY DEPTH OF 6 FEET TO THE TOP OF PIPE. IF 6 FEET OF BURY CANNOT BE OBTAINED, CONTRACTOR SHALL PLACE A MINIMUM OF 4 INCHES OF STYROFOAM INSULATION ON TOP AND ON THE SIDES OF THE WATER MAIN TO THE 6 FOOT BURY LINE PER THE SSSWC.
- DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSWS) OR
- POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSWS)
- ALL WATER MAIN JOINTS SHALL BE RESTRAINED.

LATERALS:

- 6" - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52
- 2" & SMALLER - TYPE K COPPER
- WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

STORM SEWER:

-STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS UNLESS OTHERWISE NOTED:

- 12" DIA - CLASS IV RCP
- 12" DIA - CLASS V RCP

-STORM SEWER SPECIFIED AS HOPE SHALL BE CORRUGATED HOPE, SMOOTH INTERIOR ASTM F2306.

-STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76. POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HOPE SHALL CONFORM TO ASTM F-477.

REFER TO SHEET C603 FOR MANHOLE INLET DETAILS.

-ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITHOUT A FILTER SOCK.

LEGEND:

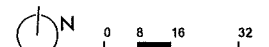
	PROPERTY BOUNDARY
	PROJECT LIMIT LINE
	PROPOSED FLOW DIRECTION
	EXISTING WATER LINE
	EXISTING SANITARY LINE
	PROPOSED STORM SEWER
	PROPOSED GAS LATERAL
	PROPOSED STORM INLET
	PROPOSED END WALL
	PROPOSED WATER MAIN
	PROPOSED WATER VALVE
	PROPOSED WATER HYDRANT

GENERAL NOTES:

1. SHEETS ARE INTENDED AS 30"x42" FULL SIZE
2. PROJECT LIMIT LINE OFFSET FOR GRAPHIC CLARITY



Know what's below.
Call before you dig.



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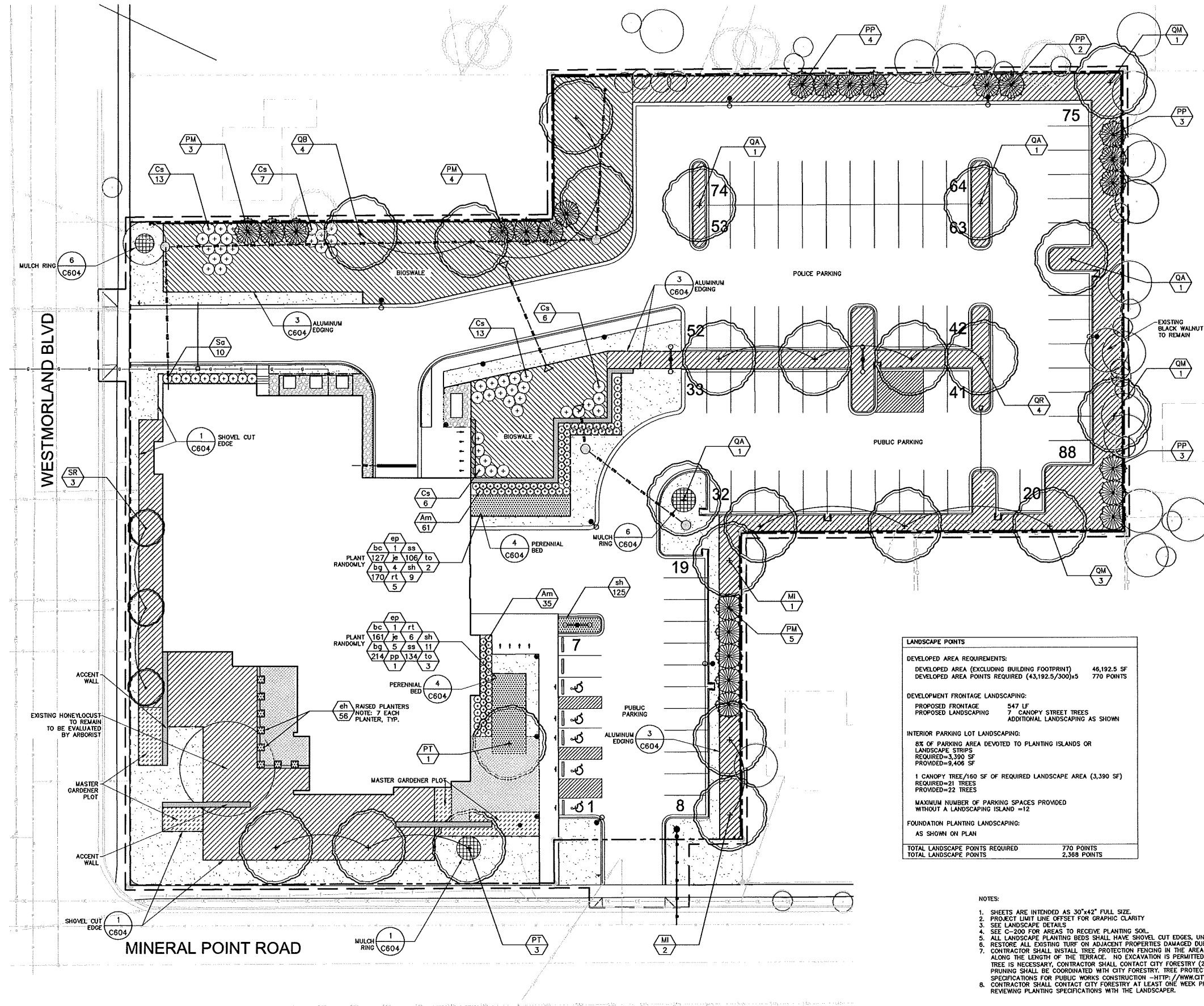
Midtown Police Station

C-400 SITE UTILITIES

June 15, 2016

Engberg Anderson Project No. 152413.01

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LEGEND:

[Symbol]	CONCRETE	[Symbol]	LIGHT
[Symbol]	GRAVEL	[Symbol]	FENCE
[Symbol]	PAVERS	[Symbol]	NATIVE PERENNIAL PLANTING
[Symbol]	BIOSWALE	[Symbol]	EVERGREEN TREE
[Symbol]	ORNAMENTAL PRAIRIE	[Symbol]	SHADE TREE
[Symbol]	PERENNIAL PLANTING	[Symbol]	EXISTING TREE TO REMAIN
[Symbol]	MASTER GARDENER PLOT	[Symbol]	MULCH RING
[Symbol]	TURF	[Symbol]	SHOVEL CUT EDGE
[Symbol]	PROPERTY LINE	[Symbol]	ALUMINUM EDGING
[Symbol]	PROJECT LIMIT LINE		

ORNAMENTAL PRAIRIE MIX

Symbol	Botanical Name	Common Name	% of Mix	Seeds/ft ²	Lbs/ac	Qty	Size
GRAMINOIDS							
bc	Bouteloua curtipendula	Sideoats Grama Grass	30.00%	90	24.63	288	Qrt
bg	Bouteloua gracilis	Blue Grama Grass	40.00%	120	7.22	384	Qrt
je	Juncus effusus	Common Rush	1.00%	3	0.01	9	Qrt
ss	Schizachyrium scoparium	Little Bluestem	25.00%	75	22.69	240	Qrt
sh	Sporobolus heterostachys	Prairie Dropseed	2.00%	6	1.17	145	Qrt
FORBS							
ep	Echinacea pallida	Pale Purple Coneflower	0.20%	0.6	0.36	2	Qrt
pp	Phlox pilosa	Prairie Phlox	0.10%	0.3	0.03	1	Qrt
rt	Rudbeckia hirta	Brown-eyed Susan	1.20%	3.6	0.29	11	Qrt
to	Tradescantia ohiensis	Ohio spiderwort	0.50%	1.5	0.52	5	Qrt
TOTAL			100.00%	300	56.90	1065	

BIOSWALE MIX

Symbol	Botanical Name	Common Name	% of Mix	Seeds/ft ²	Lbs/ac	Qty	Size
GRAMINOIDS							
	Juncus effusus	Common Rush	50.00%	150	0.41		
	Panicum virgatum	Switchgrass	24.00%	72	21.78		
	Schizachyrium scoparium	Little Bluestem	23.00%	69	20.87		
	Spartina pectinata	Red River Prairie Cordgrass	1.00%	3	0.91		
FORBS							
	Bidens cernua	Nodding Bur-marigold	1.00%	3	0.58	50	Qrt
	Iris virginica shrevei	Blue Flag Iris				100	Qrt
	Phlox glaberrima interior	Marsh Phlox				100	Qrt
	Rudbeckia subtomentosa	Sweet Black-eyed Susan	1.00%	3	1.03	50	Qrt
TOTAL			100.00%	300	45.58	300	

LANDSCAPE POINTS

DEVELOPED AREA REQUIREMENTS:
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT) 46,192.5 SF
DEVELOPED AREA POINTS REQUIRED (43,192.5/300)*5 770 POINTS

DEVELOPMENT FRONTAGE LANDSCAPING:
PROPOSED FRONTAGE 547 LF
PROPOSED LANDSCAPING 7 CANOPY STREET TREES
ADDITIONAL LANDSCAPING AS SHOWN

INTERIOR PARKING LOT LANDSCAPING:
8X OF PARKING AREA DEVOTED TO PLANTING ISLANDS OR LANDSCAPE STRIPS
REQUIRED=3,390 SF
PROVIDED=9,406 SF

1 CANOPY TREE/160 SF OF REQUIRED LANDSCAPE AREA (3,390 SF)
REQUIRED=21 TREES
PROVIDED=22 TREES

MAXIMUM NUMBER OF PARKING SPACES PROVIDED WITHOUT A LANDSCAPING ISLAND =12

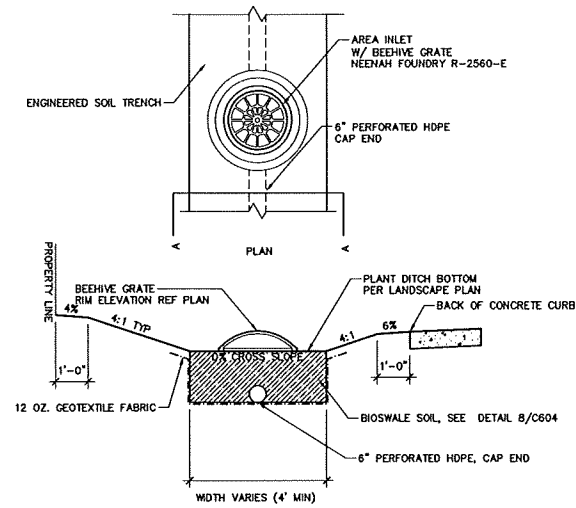
FOUNDATION PLANTING LANDSCAPING:
AS SHOWN ON PLAN

TOTAL LANDSCAPE POINTS REQUIRED 770 POINTS
TOTAL LANDSCAPE POINTS 2,369 POINTS

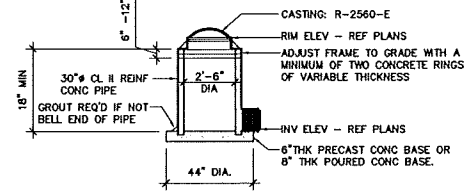
SPECIES LIST

Symbol	Botanical Name	Common Name	Size	Root	Quantity	Spacing	% of Total Proposed Tree Planting
TREES							
MI	Malus ioensis	Prairie Crabapple	1.5"	B&B	3	na	5.88%
PM	Picea mariana	Black Spruce	8' ht.	B&B	12	na	23.53%
PP	Picea pungens	Blue Spruce	8' ht.	B&B	12	na	23.53%
PT	Populus tremuloides	Quaking Aspen	1.5"	B&B	4	na	7.84%
QA	Quercus alba	White Oak	2.5"	B&B	4	na	7.84%
QB	Quercus bicolor	Swamp White Oak	2.5"	B&B	4	na	7.84%
QM	Quercus macrocarpa	Burr Oak	2.5"	B&B	5	na	9.80%
QR	Quercus rubra	Northern Red Oak	2.5"	B&B	4	na	7.84%
SR	Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	1.5"	B&B	3	na	5.88%
SHRUBS							
Am	Aronia melanocarpa	Black Chokeberry	#3	Cont.	96	3'	
Cs	Cornus sericea	Red Twig Dogwood	#3	Cont.	45	5'	
Sa	Symphoricarpos albus	Snowberry	#3	Cont.	10	4'	
PERENNIALS							
eh	Equisetum hyemale	Scouring Rush	Quart	Cont.	56	12" o.c.	

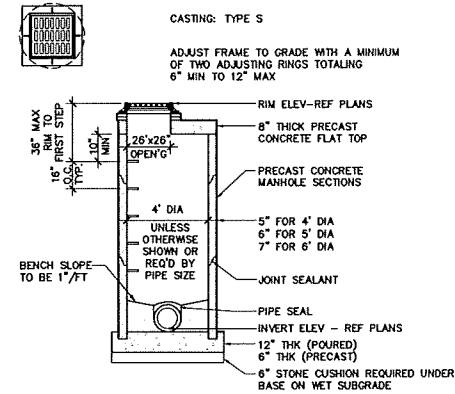
- NOTES:
1. SHEETS ARE INTENDED AS 30"x42" FULL SIZE.
 2. PROJECT LIMIT LINE OFFSET FOR GRAPHIC CLARITY.
 3. SEE LANDSCAPE DETAILS.
 4. SEE C-200 FOR AREAS TO RECEIVE PLANTING SOIL.
 5. ALL LANDSCAPE PLANTING BEDS SHALL HAVE SHOVEL CUT EDGES, UNLESS OTHERWISE NOTED.
 6. RESTORE ALL EXISTING TURF ON ADJACENT PROPERTIES DAMAGED DURING CONSTRUCTION.
 7. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (268-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - [HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STOSPECS/2013/PART1.PDF](http://www.cityofmadison.com/business/pw/documents/stospecs/2013/PART1.pdf)
 8. CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE MARKING THE PLANTING SITES, INSPECTING THE NURSERY STOCK, AND REVIEWING PLANTING SPECIFICATIONS WITH THE LANDSCAPER.



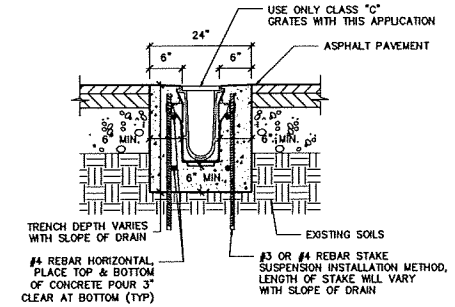
1 BIOFILTRATION TRENCH
C601 NTS



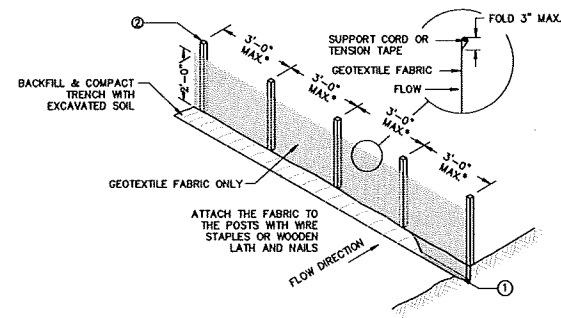
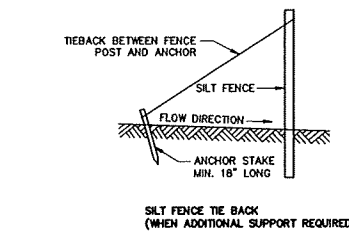
2 2.5-FT AREA INLET WITH BEEHIVE GRATE
C601 NTS



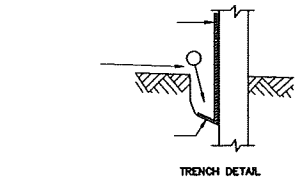
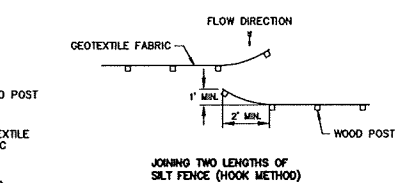
3 4-FT AREA INLET
C601 NTS



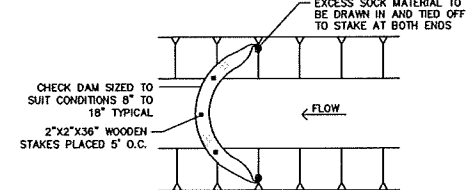
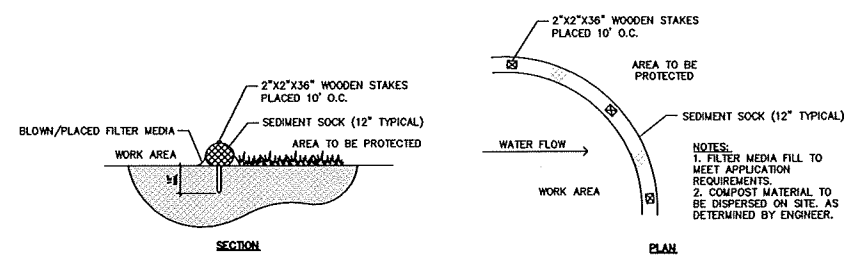
4 PRE-SLOPED CHANNEL TRENCH DRAIN
C601 NTS



5 SILT FENCE
C601 NOT TO SCALE

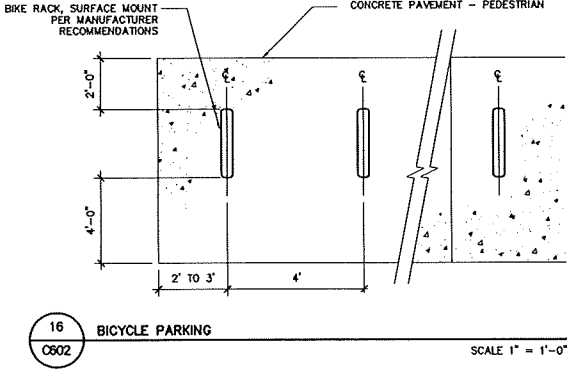
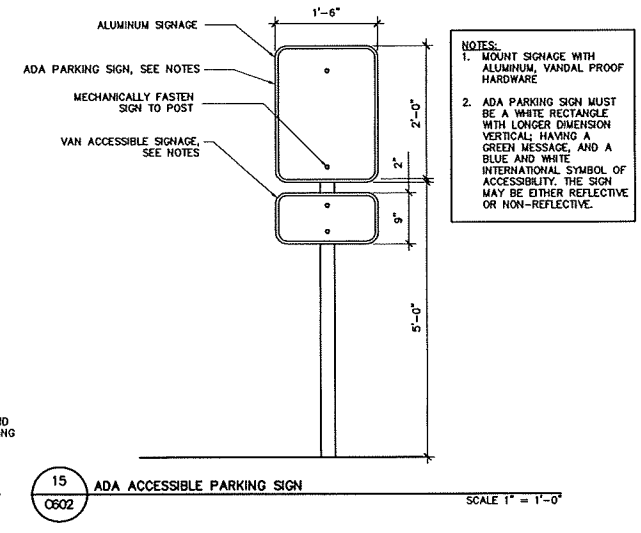
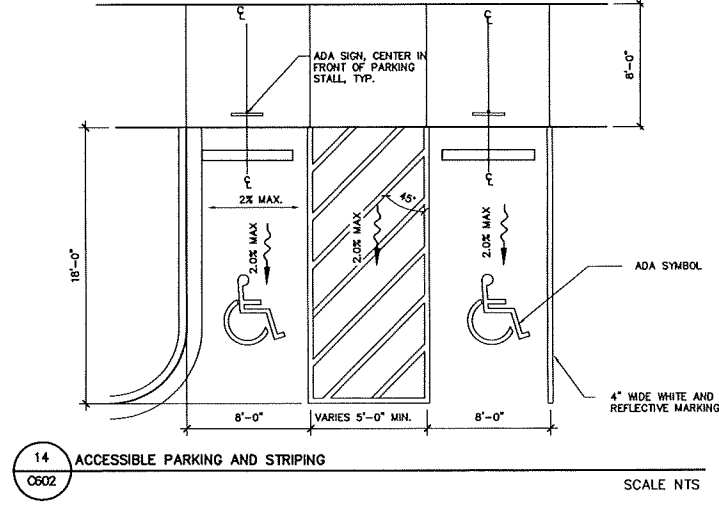
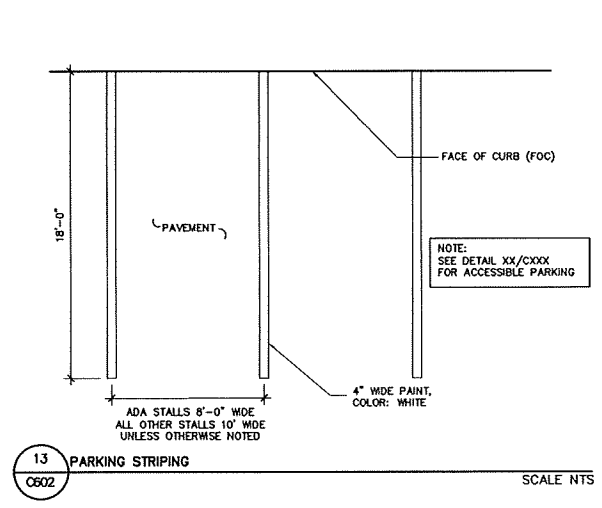
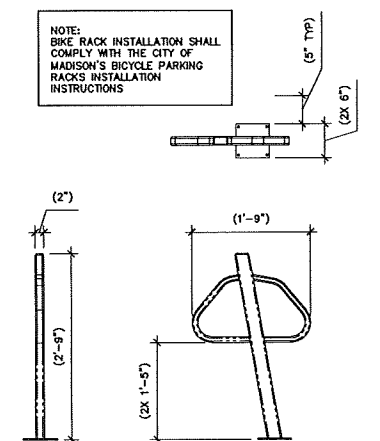
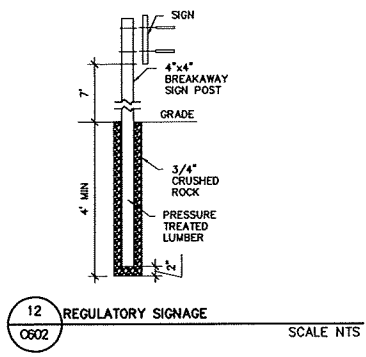
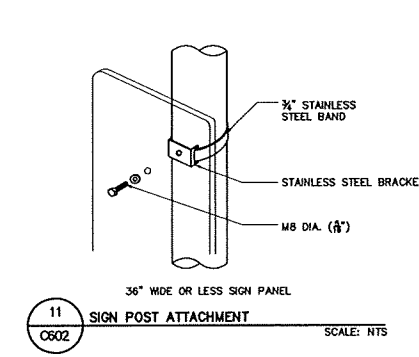
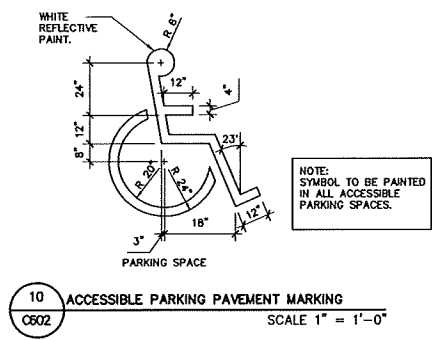
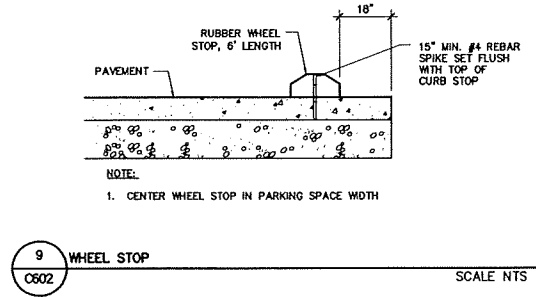
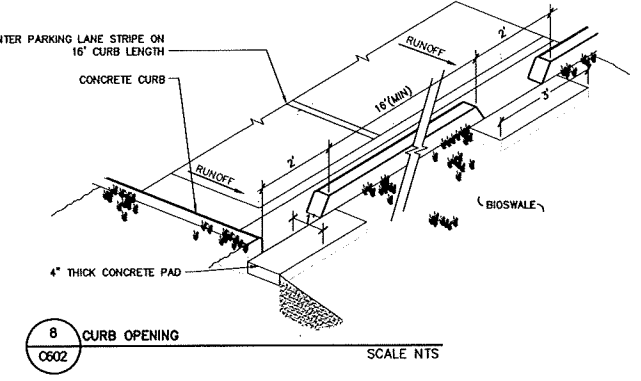
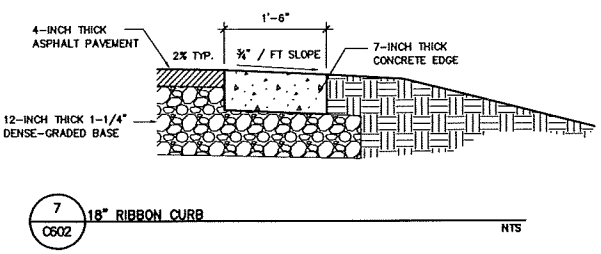
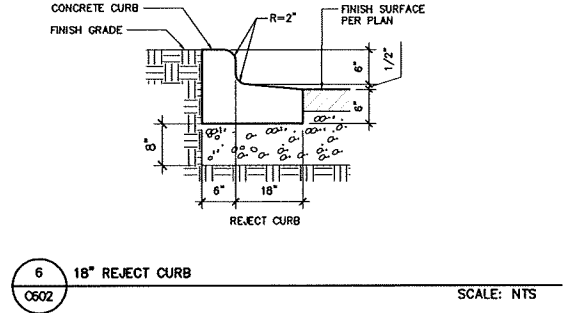
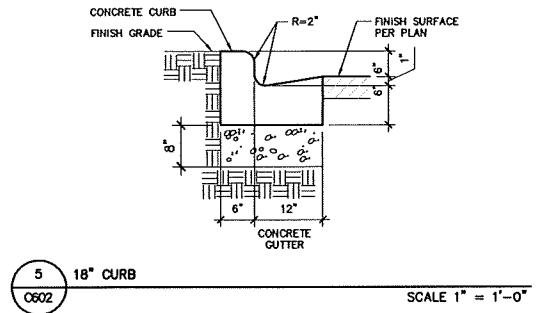
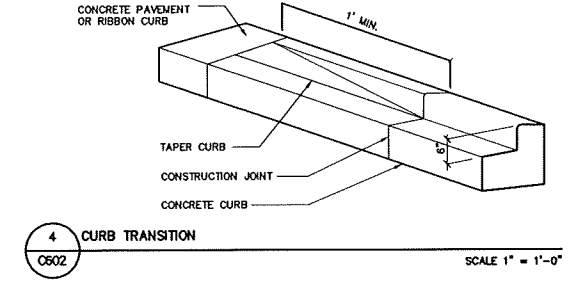
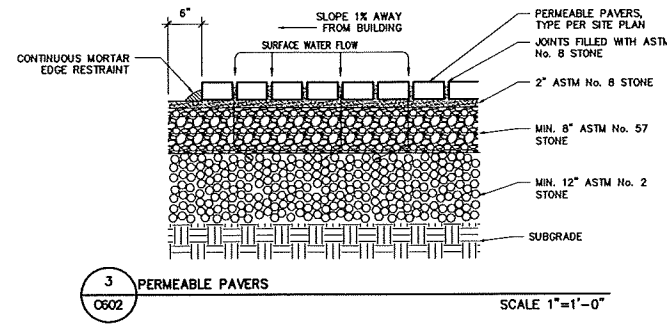
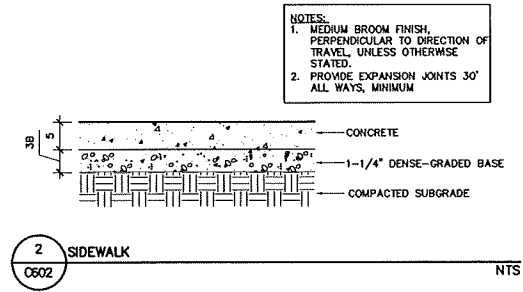
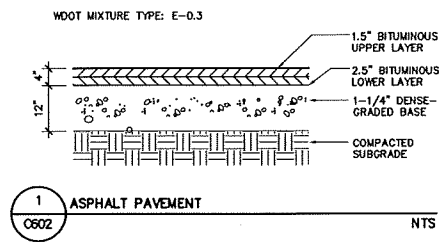


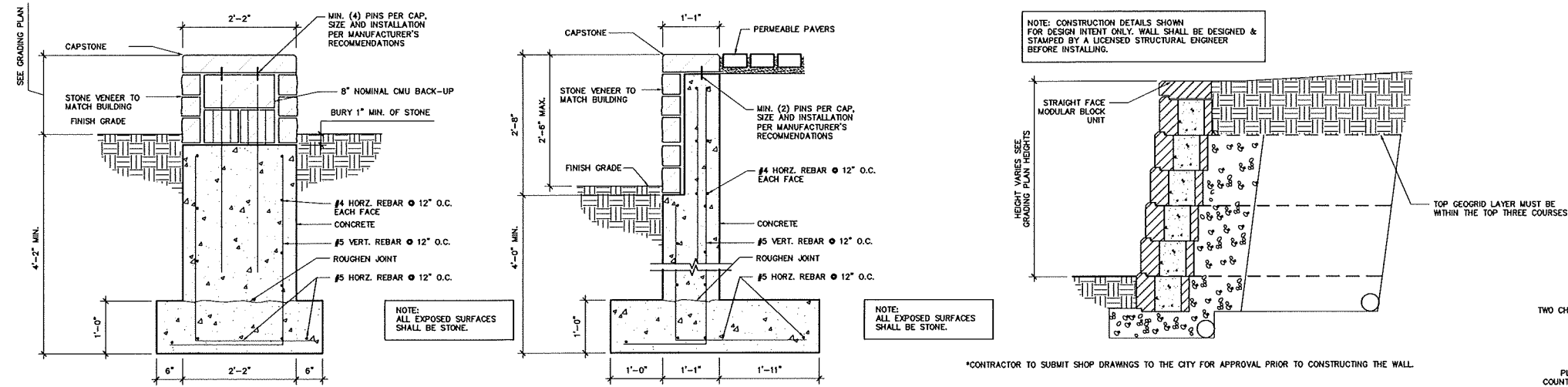
- NOTES:
- TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH, BACKFILL, AND COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1"x1" MADE OF OAK OR HICKORY. 3'-4" LENGTH WITH 20" MINIMUM BURIED.
- ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE EITHER THE TWIST METHOD OR HOOK METHOD TO JOIN SEGMENTS.
- CONSTRUCTION, OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH WQNR CONSERVATION PRACTICE STANDARD 1056.



- NOTES:
- SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
 - CHECK DAM CAN BE DIRECT SEEDING AT THE TIME OF INSTALLATION.

6 SEDIMENT SOCK
C601

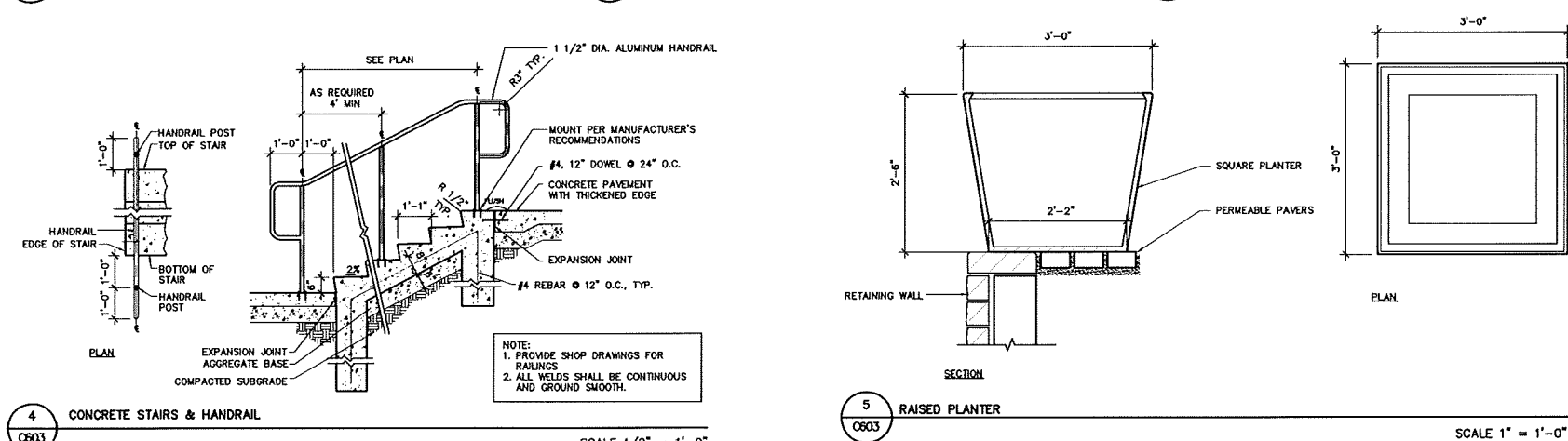




1 ACCENT WALL SCALE 1" = 1'-0"

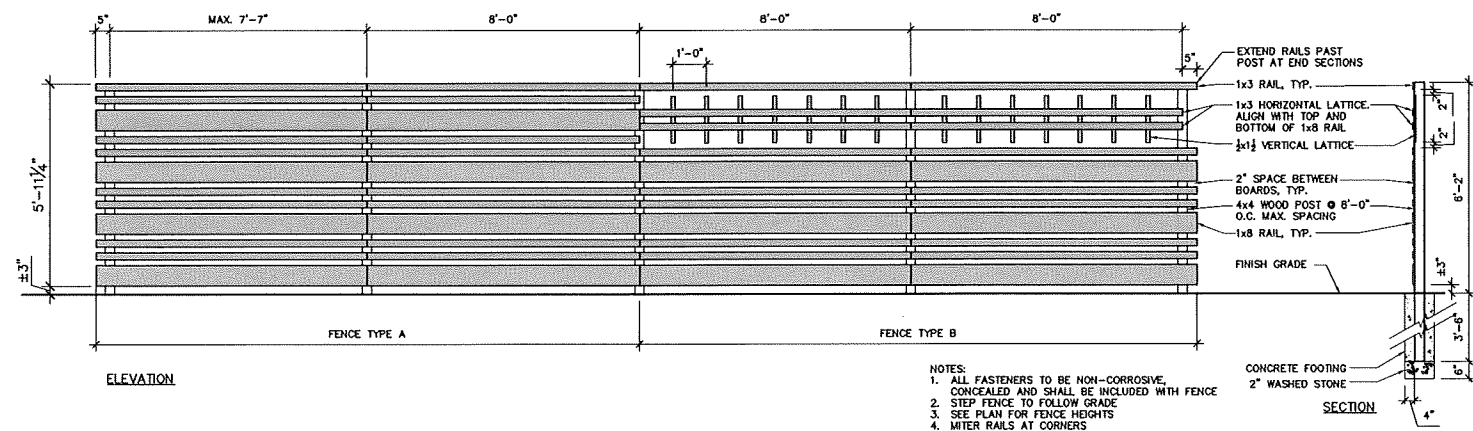
2 RETAINING WALL SCALE 1" = 1'-0"

3 MODULAR BLOCK RETAINING WALL SCALE NTS

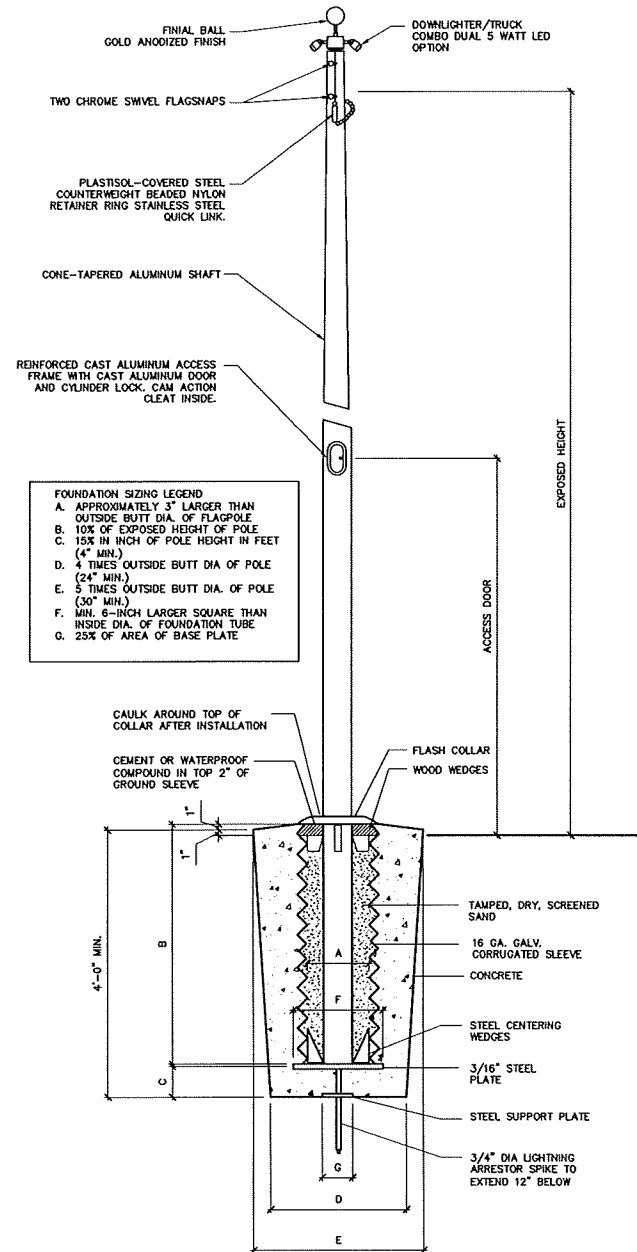


4 CONCRETE STAIRS & HANDRAIL SCALE 1/2" = 1'-0"

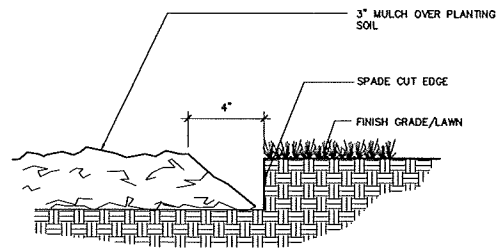
5 RAISED PLANTER SCALE 1" = 1'-0"



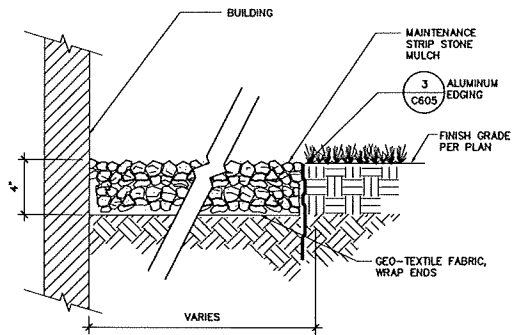
7 FENCE TYPE A & B SCALE 1/2" = 1'-0"



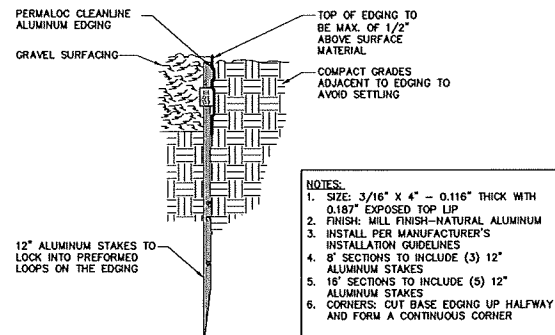
7 FLAG POLE SCALE NTS



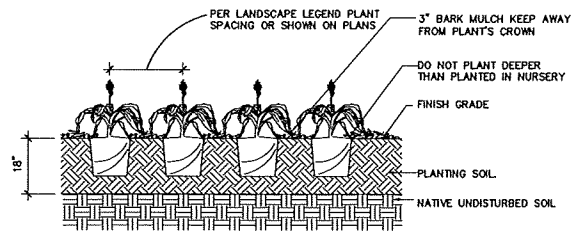
1 SHOVEL CUT EDGE
C604 NTS



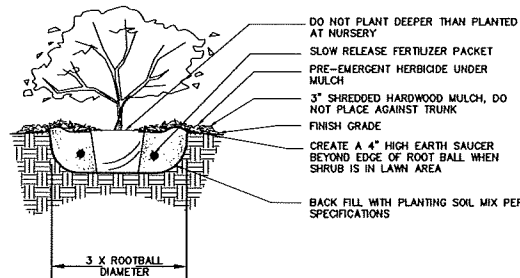
2 GRAVEL SURFACING
C604 NTS



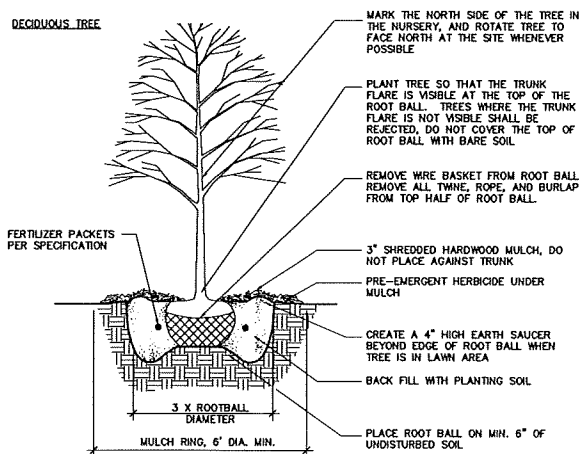
3 ALUMINUM EDGING
C604 NTS



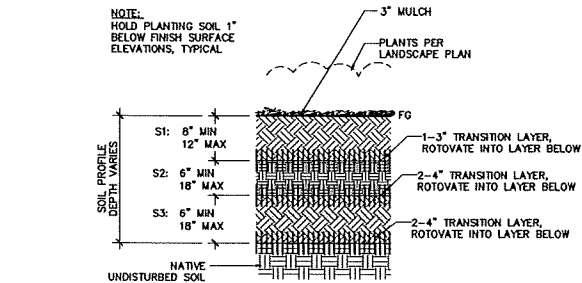
4 PERENNIAL BED
C604 NTS



5 CONTAINER SHRUB PLANTING
C604 NTS



6 B&B TREE PLANTING/MULCH RING
C604 NTS



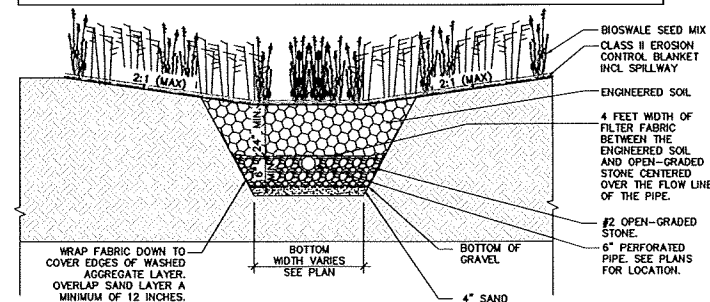
7 PLANTING SOIL
C604 NTS

BIO-SWALE GENERAL NOTES:

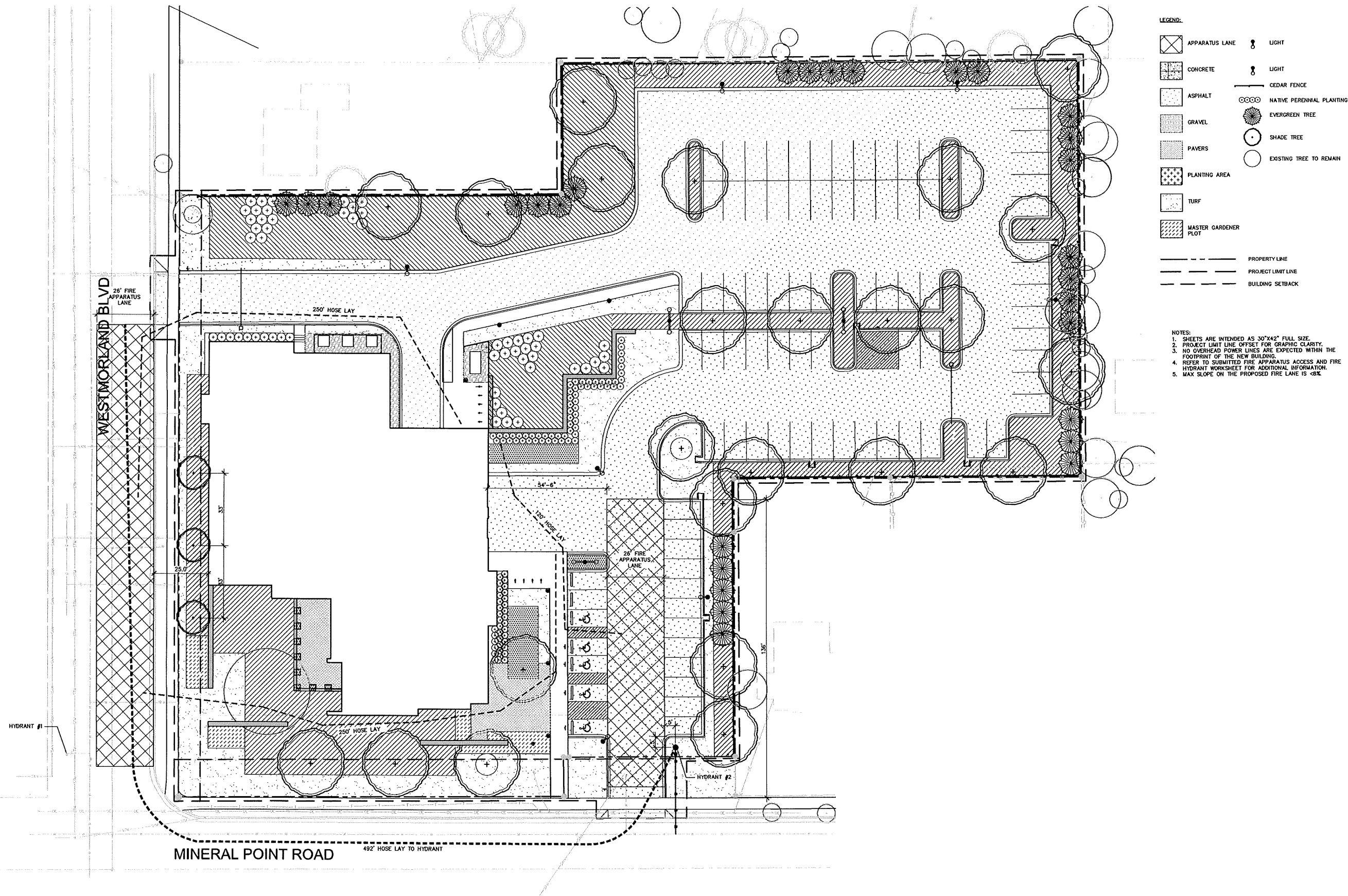
- CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 75% ASTM C33 SAND AND 25% CERTIFIED COMPOST (S-100). FILL BIO-SWALE AREA 2-3" ABOVE SURROUNDING FINISH GRADE TO ACCOMMODATE SETTLING OF BIO-SWALE MATERIAL.
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
- ANNUAL RYE GRASS SHALL BE SEEDED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
- RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- BIO-SWALE AREAS SHALL BE HAND OR BACK HOE LAID. EQUIPMENT SHALL NOT BE DRIVEN ON SOIL MIX DURING OR AFTER INSTALLATION.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE DNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



8 BIOSWALE SOIL
C604 SCALE NTS



Midtown Police Station



C-700 FIRE ACCESS PLAN

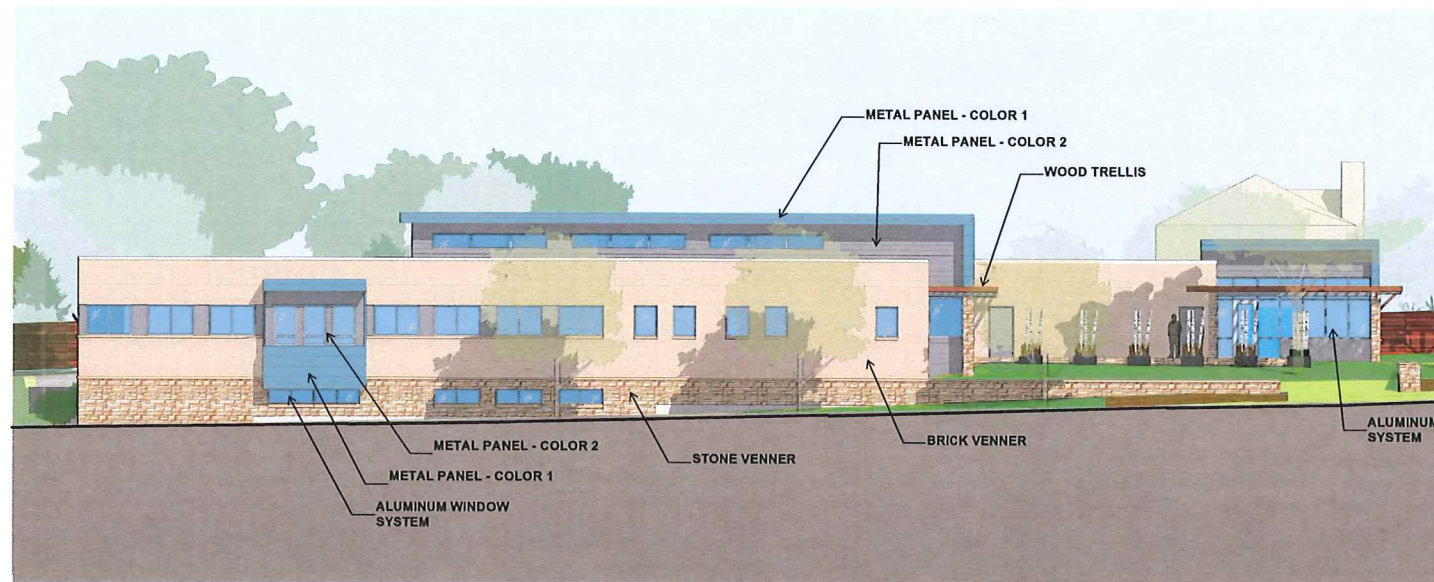
June 15, 2016

Engberg Anderson Project No. 152413.01

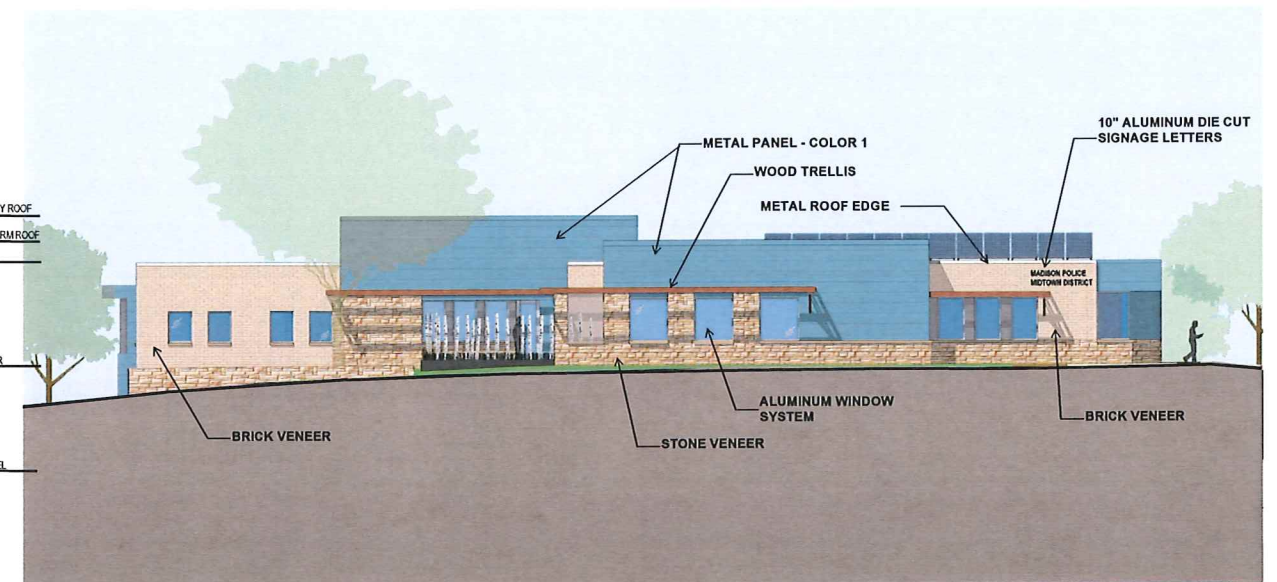
MILWAUKEE | MADISON | TUCSON | CHICAGO



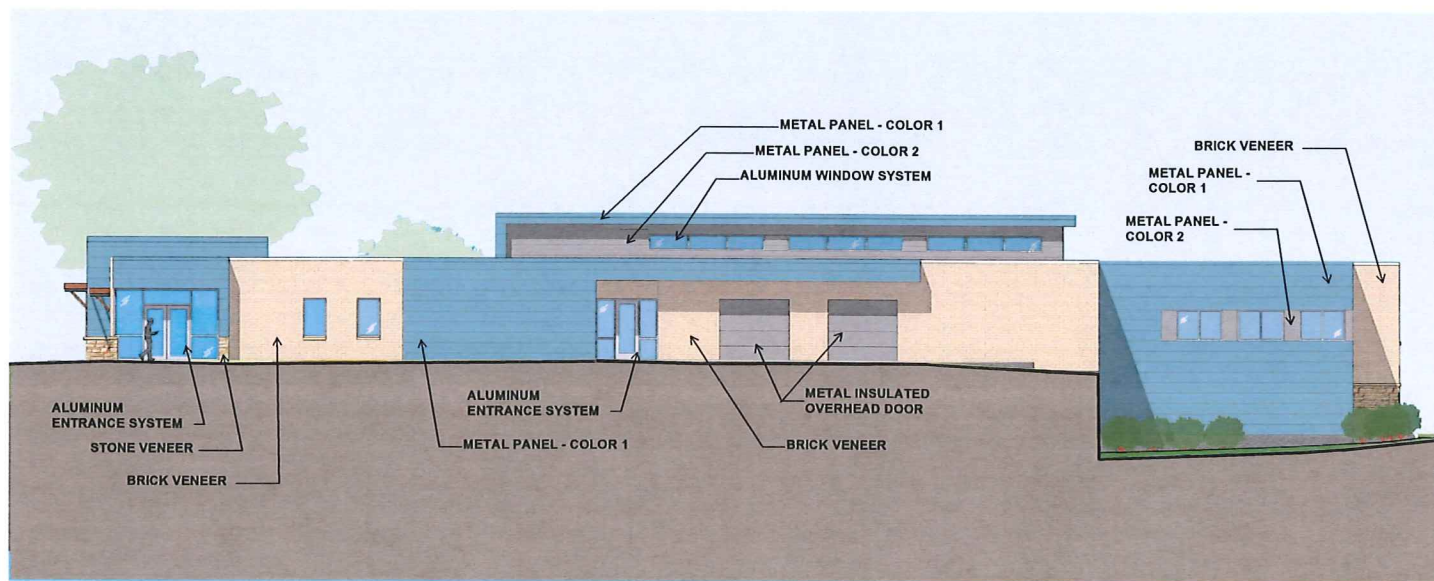
AYRES ASSOCIATES
101 East Badger Road
Madison, WI 53713
608.255.0800
www.AyresAssociates.com
Ayres Project No. 27-1034.00



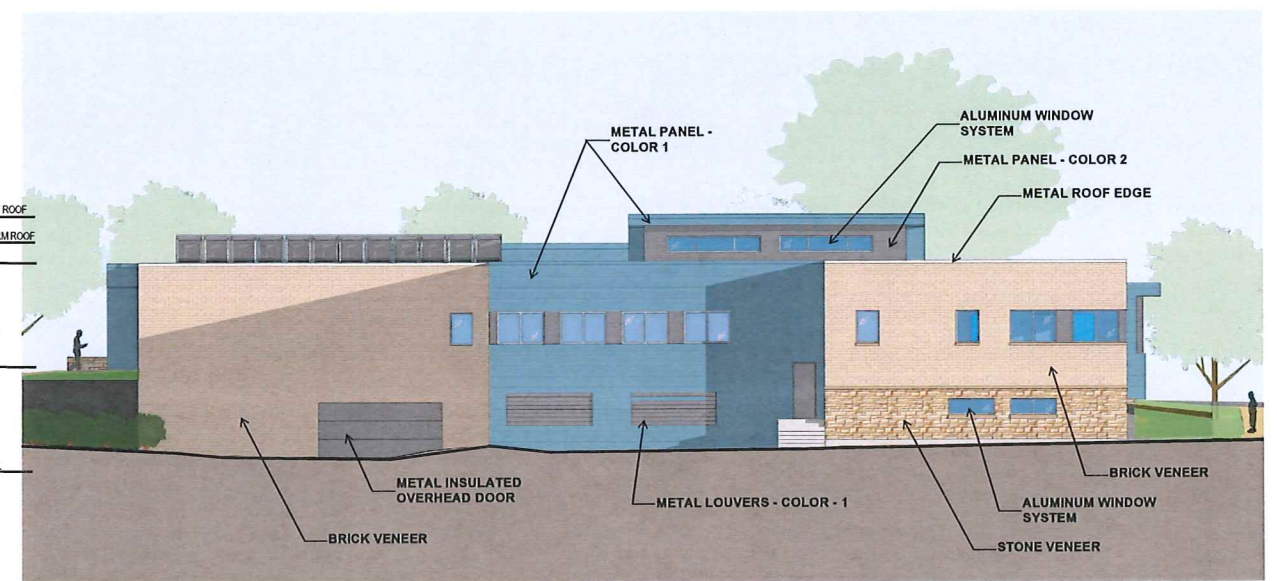
West Elevation



South Elevation



East Elevation



North Elevation



Midtown Police Station

Building Elevations

SCALE: N.T.S.

June 15, 2016

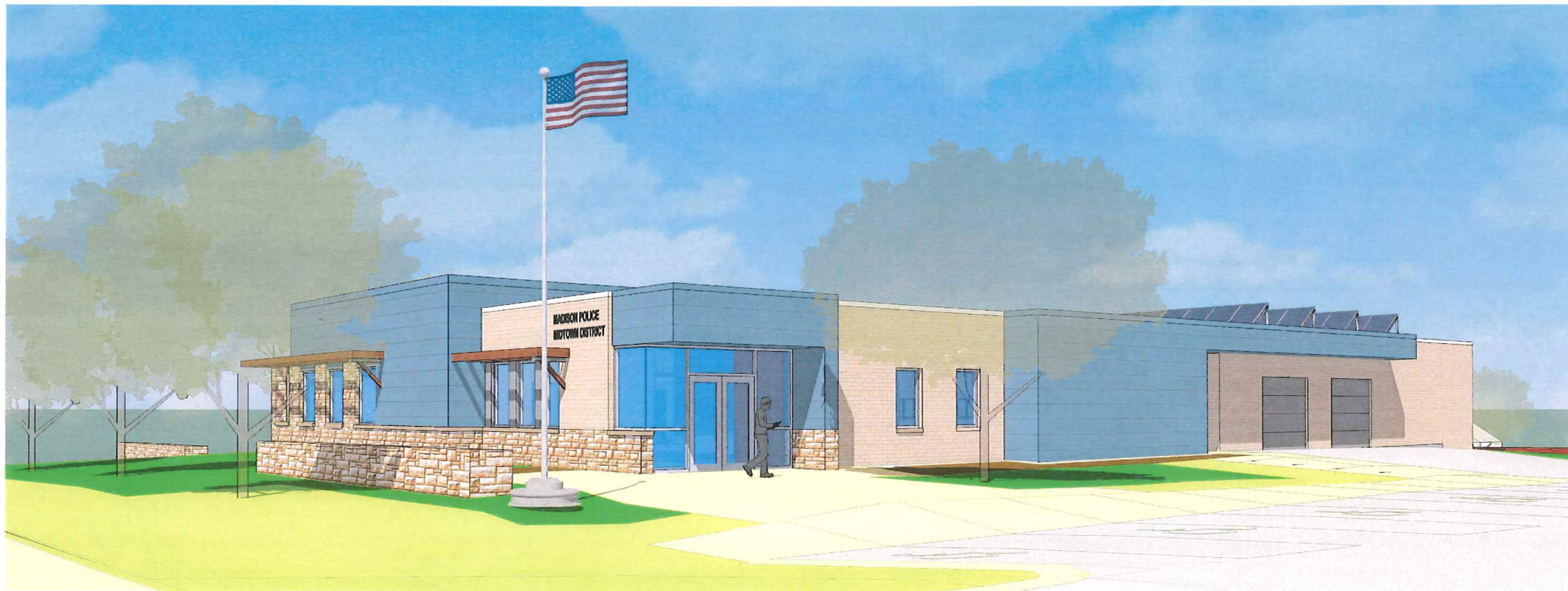
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View at Corner of Mineral Point & Westmorland Blvd



View at Entry

Midtown Police Station



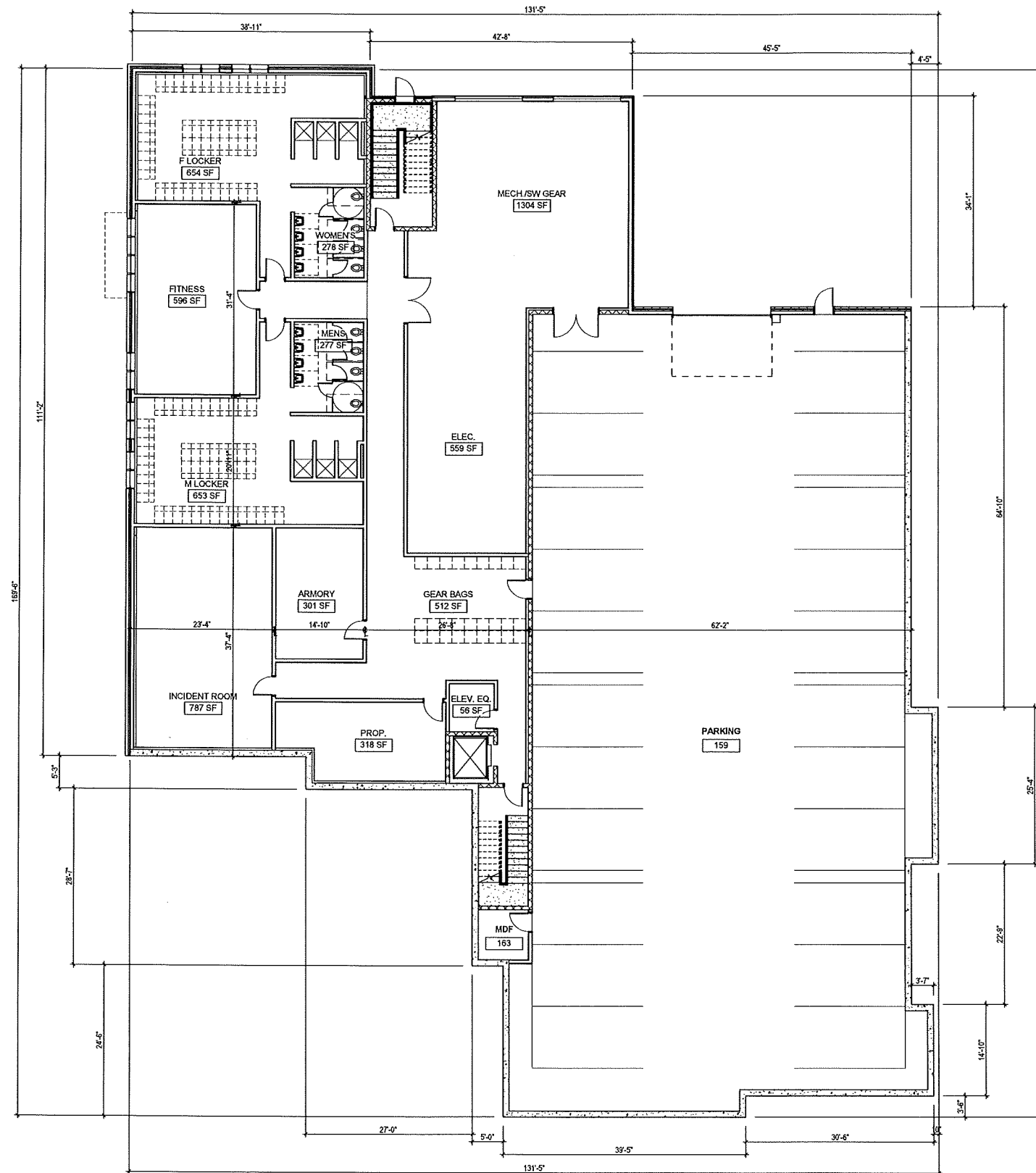
Building Perspectives

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June 15, 2016

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Midtown Police Station

Lower Level

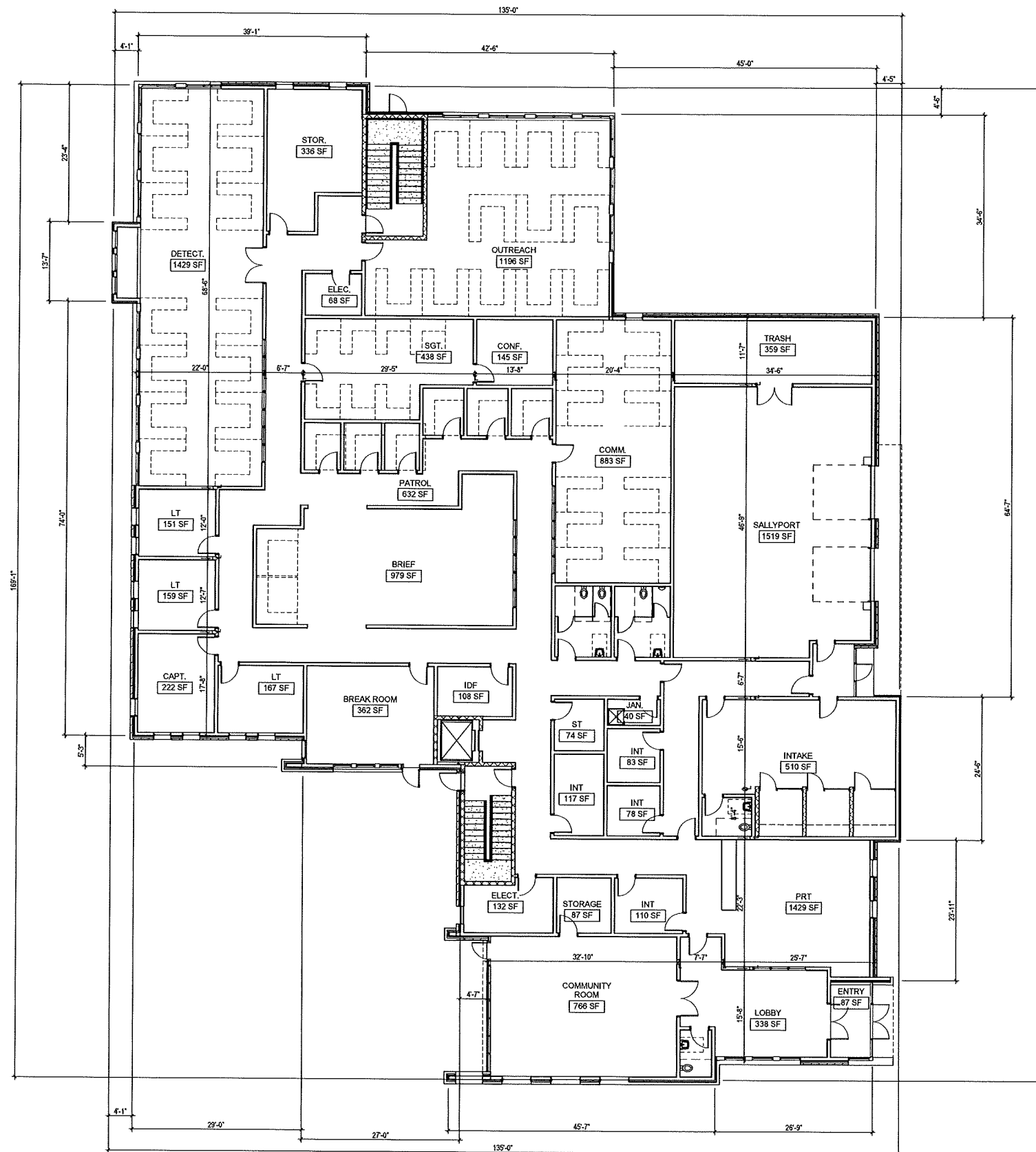
SCALE: 1/8"=1'0"

June 15, 2016

Engberg Anderson Project No. 152413.01



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Midtown Police Station

First Floor Plan

SCALE: 1/8"=1'0"

June 15, 2016

Engberg Anderson Project No. 152413.01



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