

Madison Landmarks Commission Application



Regina Hall Addition and Alterations Edgewood College

Potter Lawson No. 2013.17.00
February 4, 2014

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SECTION ONE

Madison Landmarks Commission Application
Narrative Description



Madison Landmarks Commission APPLICATION

City of Madison Planning Division
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

1. LOCATION

Project Address: 945 Edgewood College Drive Aldermanic District: 13

2. PROJECT

Date Submitted: 2/4/14

Project Title / Description: Regina Hall Addition and Alterations

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- New Construction in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): _____

3. APPLICANT

Applicant's Name: Michael Gordon Company: Potter Lawson, Inc.
 Address: 749 University Row, Suite 300 City/State: Madison Zip: 53705
 Telephone: 608-274-2741 E-mail: mikeg@potterlawson.com
 Property Owner (if not applicant): Edgewood College
 Address: 1000 Edgewood College Drive City/State: Madison, WI Zip: 53711
 Property Owner's Signature: *Michael Gordon, CFO* Date: 020414

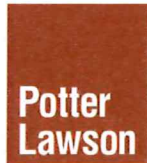
GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
 - Site plan showing all property lines and structures
 - Building elevations, plans and other drawings as needed to illustrate the project
 - Photos of existing house/building
 - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

Questions? Please contact the
 Historic Preservation Planner:
 Amy Scanlon
 Phone: 608.266.6552
 Email: ascanlon@cityofmadison.com

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.



Success by Design

February 4, 2014

Madison Landmarks Commission
Department of Planning
215 Martin Luther King, Jr. Blvd
Madison, WI 53710

Re: **Narrative Description**
Regina Hall – Addition and Alterations, Edgewood College
945 Edgewood College Drive
Madison, WI 53711
Potter Lawson Project No. 2013.17.00

Dear Landmarks Commission Members and City Staff:

Attached is the application for a Madison Landmarks Commission review for the construction of a dormitory addition on the Edgewood College Campus. Edgewood Inc., the owner of the property, is also seeking a Demolition Permit and a Conditional Use Permit for a major Alteration of an Existing Conditional Use with the City. The demolition is limited to removal of approximately 27 ft. off the eastern end of the existing building.

Master Plan and Existing Site

This project has been a part of the Edgewood Campus Plan since 1996. An updated Campus Master Plan was recently submitted to the City. The existing site lies to the Northeast of Regina Hall, and is flanked by the Edgedome to the Northwest and by the Campus School to the Northeast. To the southeast and southwest of the addition are effigy mounds, and further to the southeast is the Park and Pleasure Drive.

Building Site Design

The building addition is located in the center of the campus at the northeast end of the existing Regina Hall. This project will add to a central component of the Edgewood Campus which will reduce the impact of this project to the surrounding neighborhoods. The building form lends to creating a courtyard / outdoor gathering space for students. The building is set back approximately 77 ft. from the Park and Pleasure Drive, in accordance with the proposed Master Plan. Some of the larger trees on the site will be preserved. Some of the removed trees will be replanted on the campus while others will be cut down and stored for future use.

Facility Need and Use

Edgewood College would like to increase the number of students living on campus. Their goal is to have a total of 800 beds on campus; this addition will add an additional 114 beds to bringing their total bed count to 670. The campus is also in need of flexible spaces. This facility will add a multi-purpose space and three flexible classrooms that can be combined into one larger space. Both of these spaces will be located in the basement and be accessible to the entire campus.

Building Design

The proposed building is approximately 43,900 gsf and will be 4 stories including a basement. The exterior is designed to respond directly to its context, in particular the existing Regina Hall. The addition runs perpendicular to the existing Regina Hall and will result in the removal of 12 existing beds from the original building. The removal of these beds is required in order to economically construct the addition and maintain a reasonable clear distance from the Campus School. A welcoming courtyard is formed from this addition and defines a new entrance for the addition and the existing portions of Regina Hall.

Madison Landmarks Commission
February 4, 2014
Page 2 of 2

On each residence floor there will be lounges in the center and the south end. The student rooms are designed to hold two students per room, and clusters are created around each of three bathrooms on each floor. The basement is intended for campus use. There will be large and flexible spaces so that the building will be a common asset to the campus community.

Sustainability

The project is working with Focus on Energy in order to set up strategies to reduce energy consumption and reduce the impact of the construction on the environment.

Some of these strategies include:

- Improved Building Envelope System
- Improved Glazing System
- Improved Lighting System
- Improved HVAC System

Neighborhood Review Process

The Regina addition and alterations were displayed at a neighborhood open meeting on December 10, 2013. The Master Plan was also reviewed at this meeting. The Edgewood Neighborhood Liaison Committee met on January 14, 2014, to review this project.

We have also reviewed the project with staff at the Wisconsin Historical Society. This project will need a compliance review from them and the DNR. A separate consultant is in the process of preparing materials for their review. The building footprint will be approximately 15 feet from the buffer zone around the easternmost effigy mound. Options for the sanitary sewer service have it running within a similar distance from two other mounds southwest of the proposed building addition.

We respectfully submit this for your review. We look forward to meeting with the Madison Landmarks Commission on February 17th.

Sincerely,

POTTER LAWSON INC.

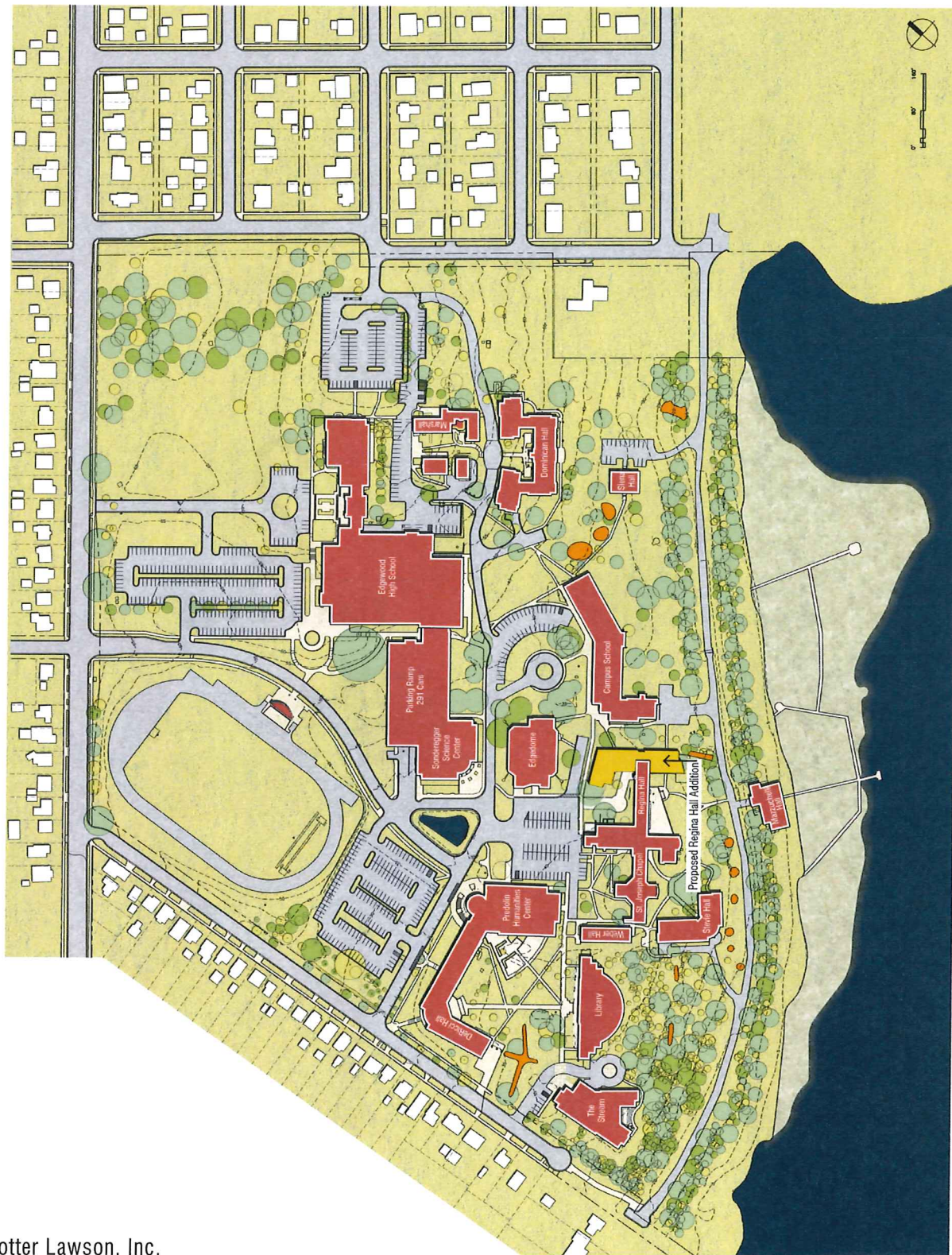


Michael D. Gordon, AIA, LEED AP
Senior Vice President

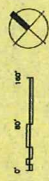
2

SECTION TWO

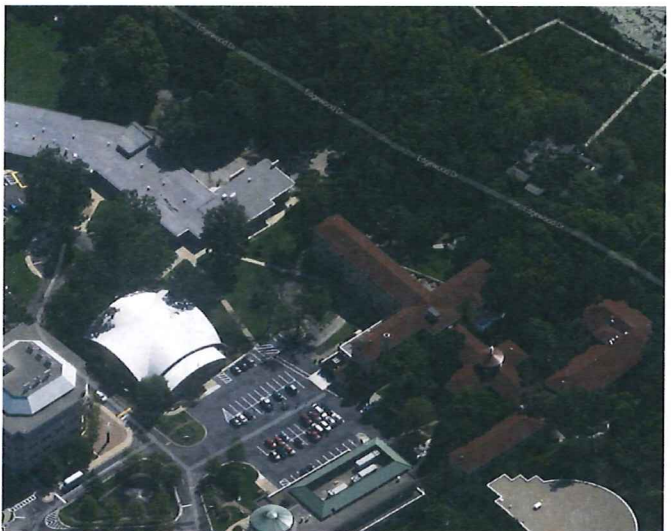
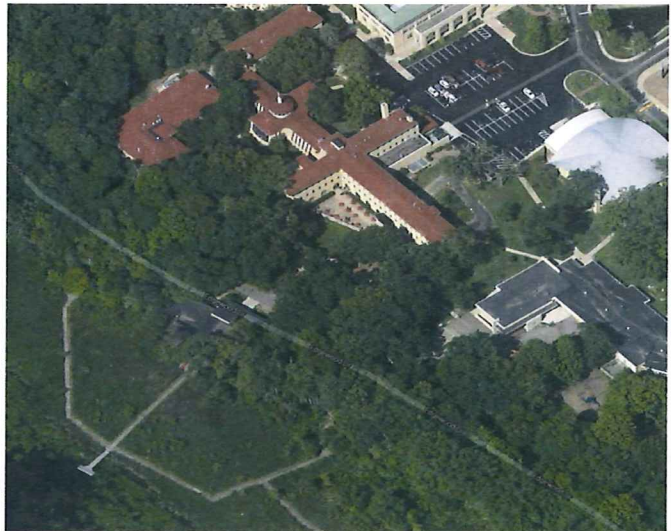
Campus Plan
Site Context Photos
Existing Building Photos
Conceptual Illustrations



- New Resident Halls
- Existing Buildings
- Native American Mound



SITE CONTEXT PHOTOS



EXISTING BUILDING PHOTOS



Edgedome (Northwest of Site)



Campus School (Northeast of Site)

PHOTOS OF EXISTING REGINA HALL



CONCEPTUAL ILLUSTRATIONS



CONCEPTUAL ILLUSTRATIONS



3

SECTION THREE

Attachments

Regina Hall - Addition and Alterations

945 Edgewood College Drive
Madison, WI 53711
2013.17.00

February 4, 2014 - Madison Landmarks Commission Submittal

DRAWING INDEX

GENERAL

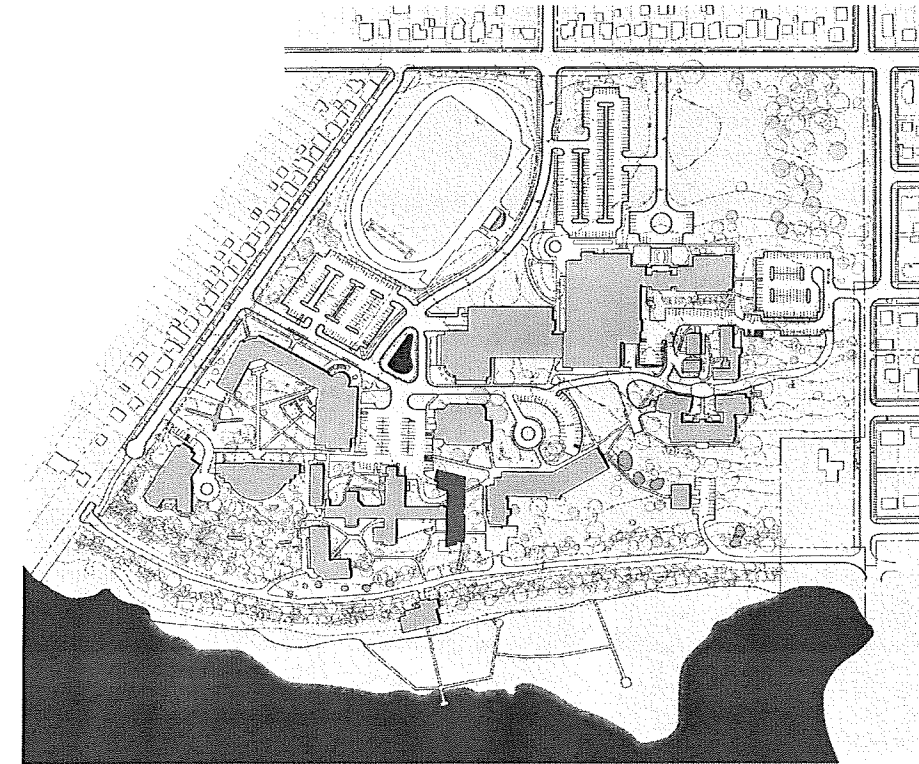
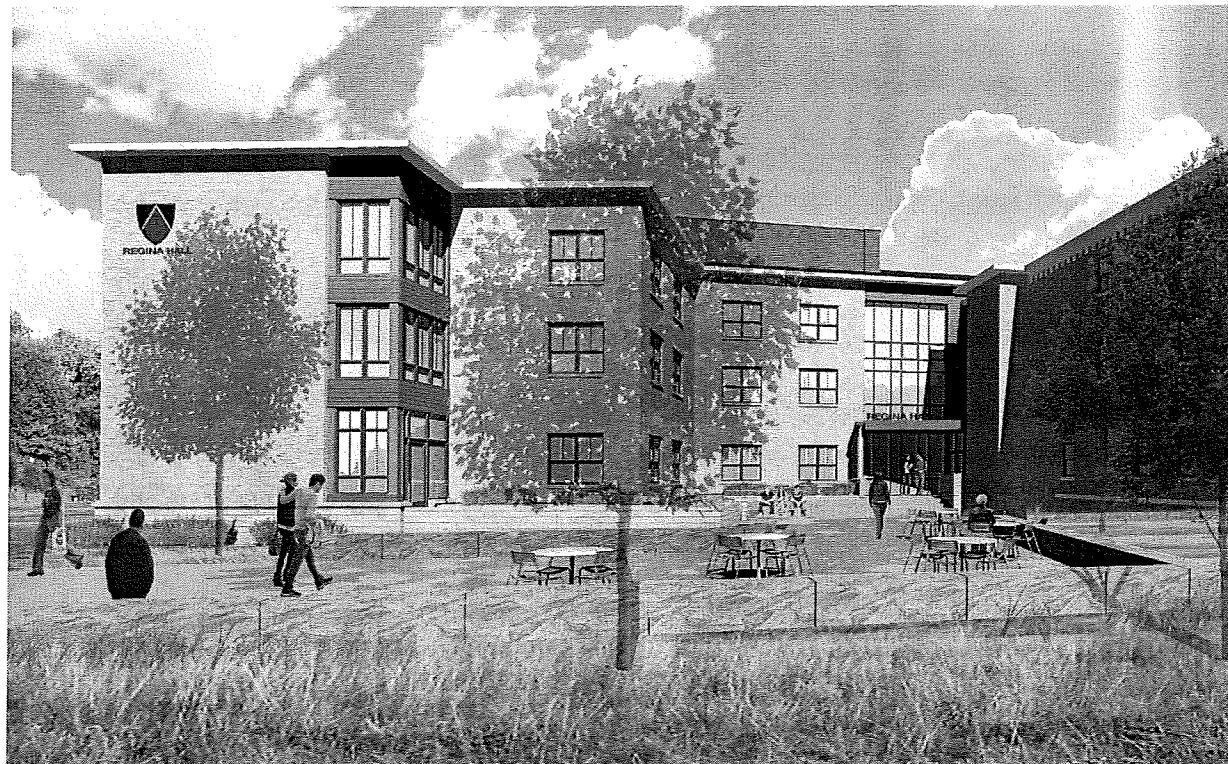
CD-01 COVER DRAWING

CIVIL AND LANDSCAPE

SITE SURVEY
C000 FIRST FLOOR PLAN & EXISTING SITE OVERLAY
C200 SITE LAYOUT PLAN
C300 GRADING & DRAINAGE PLAN
C400 UTILITY PLAN
C500 LANDSCAPE PLAN

ARCHITECTURAL

A101 BASEMENT / FIRST FLOOR PLAN
A102 SECOND / THIRD FLOOR PLAN
A103 PENTHOUSE / ROOF PLAN
A201 BUILDING ELEVATIONS
A202 BUILDING ELEVATIONS



**Potter
Lawson**
Success by Design

Architect

Potter Lawson
749 University Row, Suite 300
Madison, WI 53705
608.274.2741

Consultants

PRELIMINARY
NOT FOR CONSTRUCTION

Regina Hall -
Addition and
Alterations

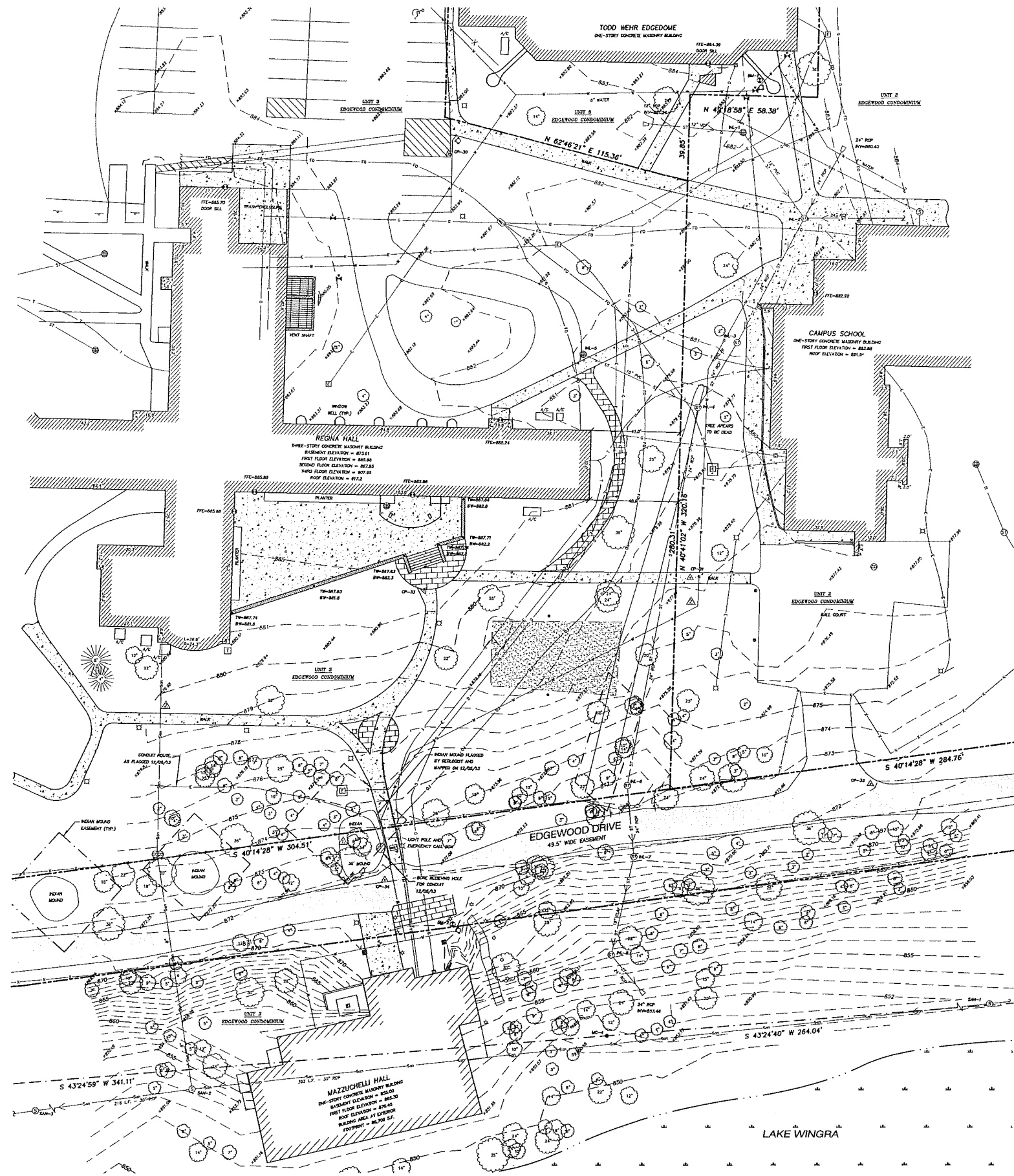
Edgewood College
Madison WI

2013.17.00

Date: Issued: Revised: Syntel
02/04/14 Madison Landmarks Commission Submittal

Cover
Drawing

CD-01



LEGEND

- BENCHMARK
- FINISHED FLOOR SHOT LOCATION (FFE)
- POST
- ⊙ SIGN
- ⊙ SANITARY MANHOLE
- ⊙ CLEAN OUT
- ⊙ HYDRANT
- ⊙ WATER OR GAS VALVE
- ⊙ STORM MANHOLE
- ⊙ ROUND CASTED INLET
- ⊙ SQUARE CASTED RALET
- ⊙ GAS REGULATOR/WAFTER
- ⊙ ELECTRIC TRANSFORMER
- ⊙ AIR CONDITION UNIT
- ⊙ LIGHT POLE
- ⊙ VAULT
- ⊙ TELEPHONE PEDESTAL
- ⊙ HANDICAP PARKING
- PARCEL BOUNDARY
- EASEMENT LINE
- FENCE LINE
- GUARD OR SAFETY RAIL
- STONE WALL
- SHORE LINE
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- BUILDING
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- GRAVEL OR ROCK
- RETAINING WALL
- DISCONTINUED MAPPED PIPE LINE
- TOP OF WALL
- BOTTOM OF WALL

NOTES

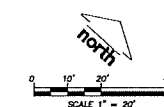
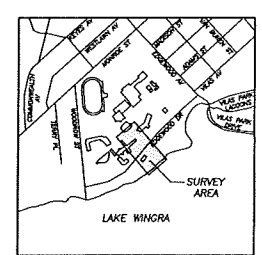
1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JULY 15, 2013.
2. THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS) DANE COUNTY.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF SECTION 27, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN. ELEVATION = 810.22'
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS SHOWN ALONG CURB AND CUTTER REFERENCE THE TOP BACK OF CURB.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20132616228.
7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE AT 1.800.242.8311.
8. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
9. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
10. THIS PARCEL LIES IN ZONE "X" OF OTHER AREAS. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER PARCEL 416 OF 650, MAP No. S00500016C, MAP REVISED JANUARY 02, 2009.

SANITARY SEWER MANHOLES					
Structure #	Rim Elevation	Invert Elevation	Pipe Size	Pipe Type	
SAW-1	852.39	NE 844.29	30"	RCP	
		SW 844.29	30"	RCP	
SAW-2	852.42	NE 844.55	30"	RCP	
		NW 847.58	8"	RCP	
SAW-3	850.85	NE 844.50	30"	RCP	
		NW 847.37	8"	RCP	
		SW 844.68	30"	RCP	

STORM SEWER INLETS					
Inlet ID	Rim Elevation	Invert Elevation	Pipe Size	Pipe Type	
RI-1	881.87	SW 880.18	12"	CLAY	
		E 880.18	12"	PVC	
RI-2	882.79	E 878.25	12"	PVC	
		N 877.64	24"	RCP	
		NE 878.99	24"	RCP	
		S 878.37	24"	RCP	
RI-3	881.34	N 878.07	24"	RCP	
		E 878.07	24"	RCP	
RI-4	879.38	N 871.56	24"	RCP	
		W 875.81	10"	PVC	
		SE 871.71	24"	RCP	
RI-5	880.90	E 878.56	10"	PVC	
RI-6	870.67	NW 866.57	24"	RCP	
		SE 866.57	24"	RCP	
RI-7	870.64	NW 866.24	24"	RCP	
		SE 865.44	16"	CLAY	
RI-8	858.28	NW 855.28	16"	CLAY	
		E 853.68	24"	RCP	

BENCHMARKS		
Bench Mark	Elevation	Description
BM-1	884.62	Top N&E of Hydrant by Tood Wehr Edgewise
BM-2	872.81	Top N&E of Hydrant by Wisconsin Hill

CONTROL POINTS				
Control Monument	Northing	Easting	Elevation	Description
CP-30	476,734.117	811,150.562	883.03	MAG NAIL
CP-31	476,663.718	811,344.588	878.18	CUT CROSS
CP-32	476,577.778	811,277.851	881.58	CUT CROSS
CP-33	476,648.485	811,489.830	872.79	MAG NAIL
CP-34	476,687.097	811,554.367	871.58	MAG NAIL



TOPOGRAPHIC AND UTILITY MAP
PART OF THE FRACTIONAL NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

DATE	07-16-2013	DATE		DATE	
DRAWN BY	JK	CHECKED BY		APPROVED BY	HPJ
DESIGNED BY		DATE		DATE	
PROJECT NO.	13-5757	REVISION NO.		DESCRIPTION	

JSD Professional Services, Inc.
 Engineers • Surveyors • Planners
 15 ELLIS POTTER COURT
 MADISON, WISCONSIN 53711
 PHONE: (608) 248-5080

PROJECT NO. 13-5757
 FILE NO. E-181
 SURVEYED BY RF
 F.B. NO./PG. ---
 SHEET NO. 1 OF 1

PLOT DATE: 12/10/2013 12:58:01 PM



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

**Regina Hall -
Addition and
Alterations**

Edgewood College
Madison WI

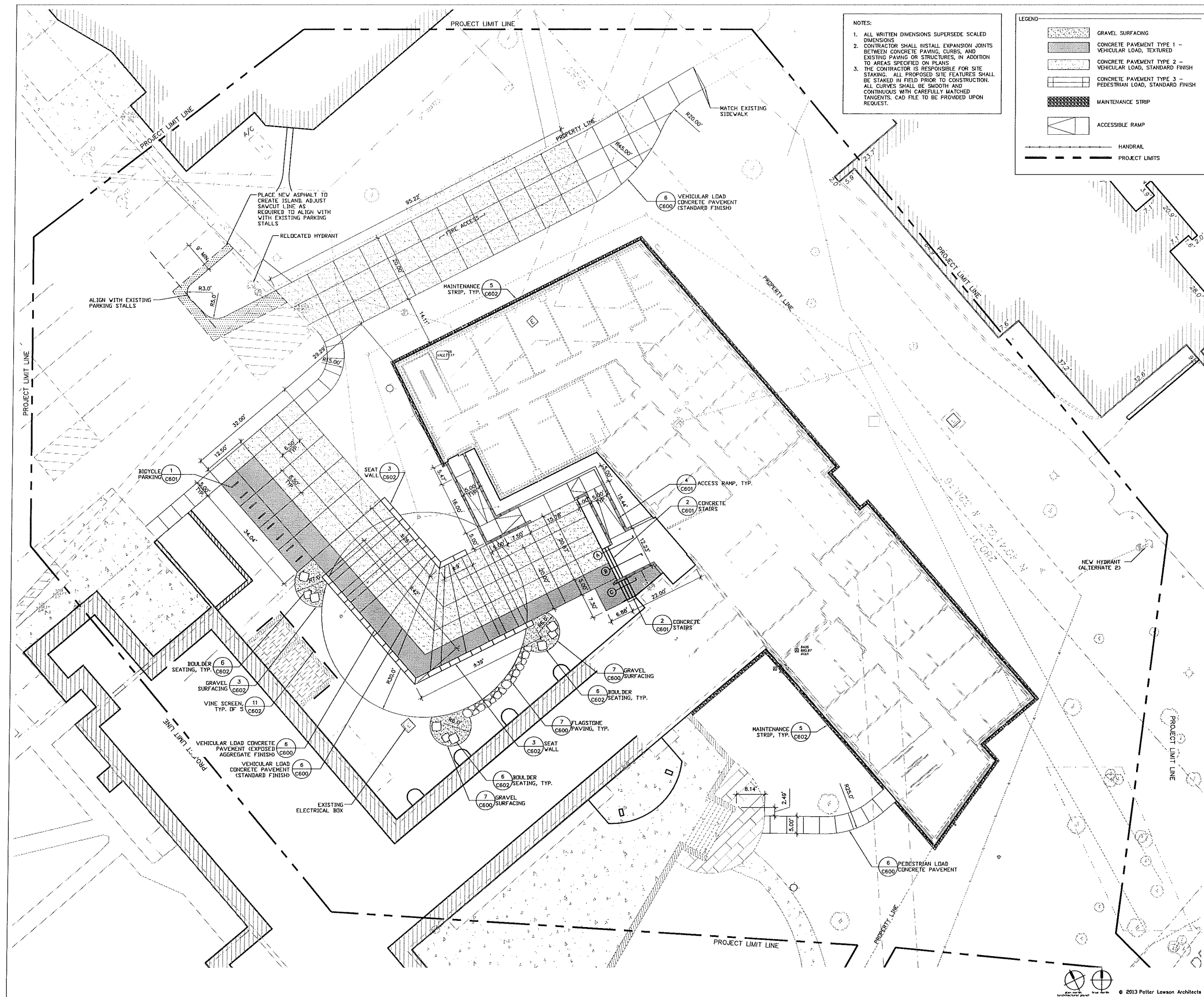
2013.17.00

Date	Issued/Revised	By
01/22/14	Plan Commission Submittal	

**FIRST FLOOR
PLAN & EXISTING
SITE OVERLAY**

1 FIRST FLOOR PLAN EXISTING SITE OVERLAY
C000 1/16" = 1'-0"

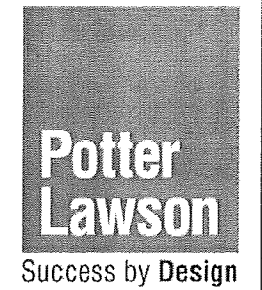
C000



NOTES:
 1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
 2. CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES, IN ADDITION TO AREAS SPECIFIED ON PLANS
 3. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE TO BE PROVIDED UPON REQUEST.

LEGEND

- GRAVEL SURFACING
- CONCRETE PAVEMENT TYPE 1 - VEHICULAR LOAD, TEXTURED
- CONCRETE PAVEMENT TYPE 2 - VEHICULAR LOAD, STANDARD FINISH
- CONCRETE PAVEMENT TYPE 3 - PEDESTRIAN LOAD, STANDARD FINISH
- MAINTENANCE STRIP
- ACCESSIBLE RAMP
- HANDRAIL
- PROJECT LIMITS



SAA DESIGN GROUP
 SAA Design Group, Inc.
 101 East Badger Road
 Madison, WI 53713
 Ph. 608.255.0800
 Fx. 608.255.7750
 www.saa-madison.com

Notes:

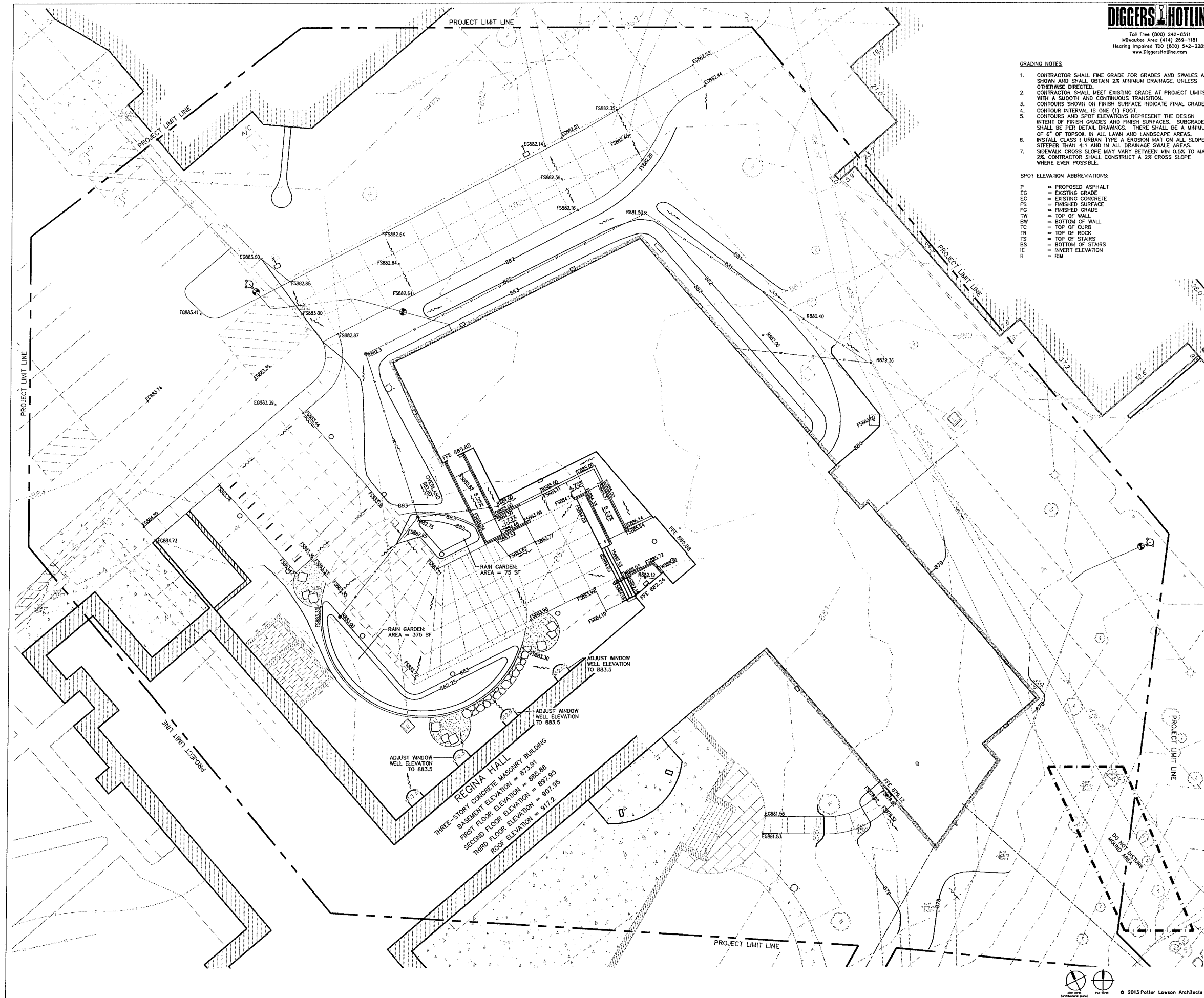
Regina Hall - Addition and Alterations

Edgewood College
 Madison, WI 53711
 Project 2013.17.00

Date	Issuance/Revisions	Symbol
01/22/2014	Plan Commission Submittal	

SITE LAYOUT PLAN

C200



DIGGERS HOTLINE
 Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

- GRADING NOTES**
1. CONTRACTOR SHALL FINE GRADE FOR GRADES AND SWALES AS SHOWN AND SHALL OBTAIN 2% MINIMUM DRAINAGE, UNLESS OTHERWISE DIRECTED.
 2. CONTRACTOR SHALL MEET EXISTING GRADE AT PROJECT LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
 3. CONTOURS SHOWN ON FINISH SURFACE INDICATE FINAL GRADE.
 4. CONTOUR INTERVAL IS ONE (1) FOOT.
 5. CONTOURS AND SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER DETAIL DRAWINGS. THERE SHALL BE A MINIMUM OF 6" OF TOPSOIL IN ALL LAWN AND LANDSCAPE AREAS.
 6. INSTALL CLASS I URBAN TYPE A EROSION MAT ON ALL SLOPES STEEPER THAN 4:1 AND IN ALL DRAINAGE SWALE AREAS. SIDEWALK CROSS SLOPE MAY VARY BETWEEN MIN 0.5% TO MAX 2%. CONTRACTOR SHALL CONSTRUCT A 2% CROSS SLOPE WHERE EVER POSSIBLE.
 - 7.

- SPOT ELEVATION ABBREVIATIONS:**
- P = PROPOSED ASPHALT
 - EG = EXISTING GRADE
 - EC = EXISTING CONCRETE
 - FS = FINISHED SURFACE
 - FG = FINISHED GRADE
 - TW = TOP OF WALL
 - BW = BOTTOM OF WALL
 - TC = TOP OF CURB
 - TR = TOP OF ROCK
 - TS = TOP OF STAIRS
 - BS = BOTTOM OF STAIRS
 - IE = INVERT ELEVATION
 - R = RIM

Potter Lawson
 Success by Design

SAA DESIGN GROUP
 SAA Design Group, Inc.
 101 East Badger Road
 Madison, WI 53713
 Ph. 608.255.0800
 Fx. 608.255.7750
 www.saa-madison.com

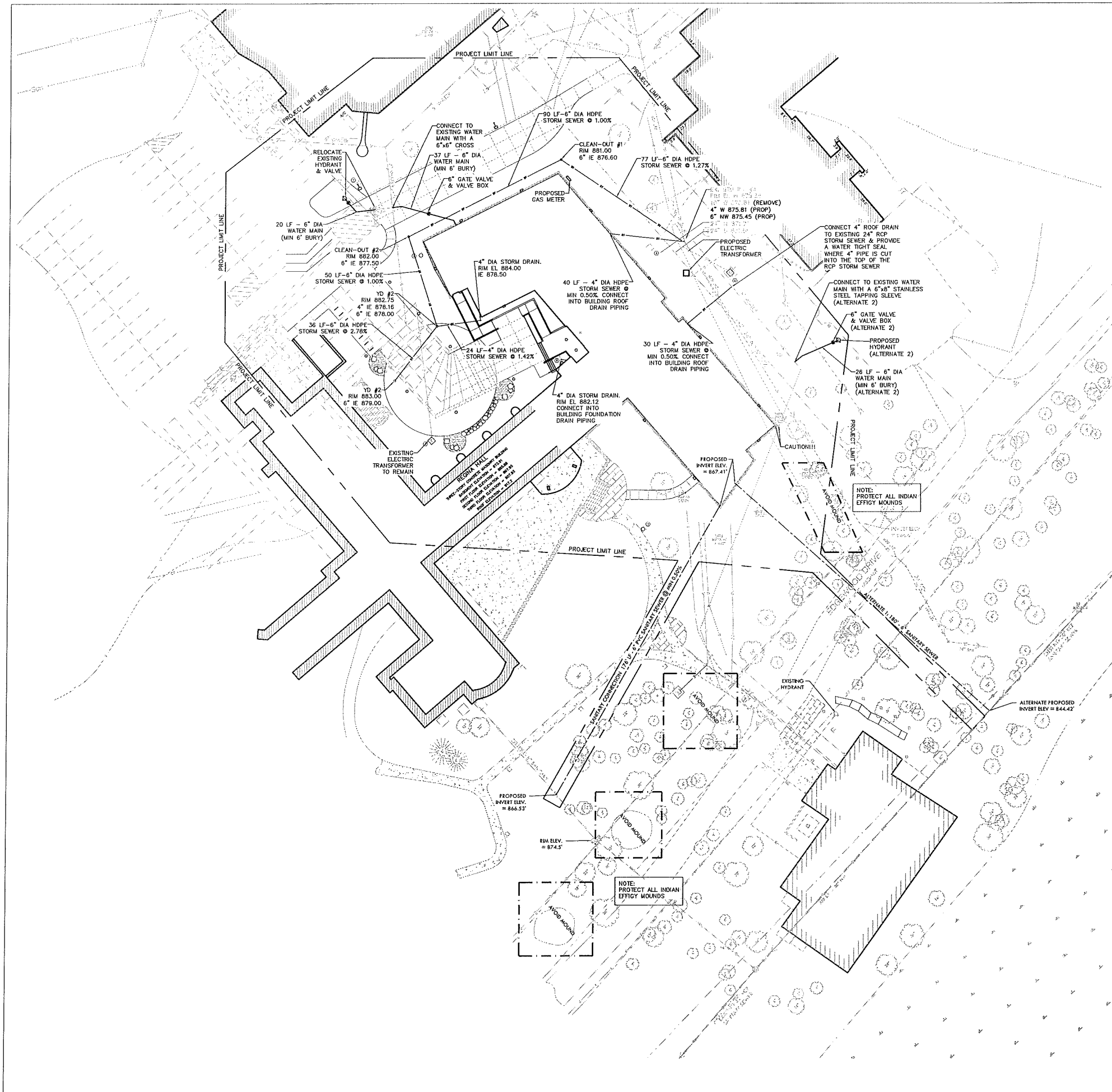
Regina Hall - Addition and Alterations

Edgewood College
 Madison, WI 53711
 Project 2013.17.00

Date	Issuance/Revisions	Symbol
01/22/2014	Plan Commission Submittal	

GRADING & DRAINAGE PLAN

C300



UTILITY NOTES:

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:

- "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (WSWS) LATEST EDITION
- STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (WSDOT) LATEST EDITION
- CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.

INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.

WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.

A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.

WATER DISTRIBUTION SYSTEM:

MAIN:

- DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSWS) OR
- POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSWS)

-ALL WATER MAIN JOINTS SHALL BE RESTRAINED.

SANITARY SEWER MAIN:

- 8" & 12"- POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-35 (BURY DEPTH 16" OR LESS)
- 8" & 12"- POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-18 (BURY DEPTH 22" TO 16")

LATERALS:

- 3" OR LARGER - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52
- 2" & SMALLER - HIGH DENSITY POLYETHYLENE (HDPE) AWWA C-901, SDR 11

-WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

STORM SEWER:

- STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS:

- 12" DIA - CLASS V RCP
- 15" DIA - CLASS IV RCP
- 18" DIA - CLASS III RCP

-STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR.

-STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76, POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.

Potter Lawson
Success by Design

SAA DESIGN GROUP
SAA Design Group, Inc.
101 East Badger Road
Madison, WI 53713
Ph. 608.255.0800
Fx. 608.255.7730
www.saa-mod.com

Notes:

Regina Hall - Addition and Alterations

Edgewood College
Madison, WI 53711
Project 2013.17.00

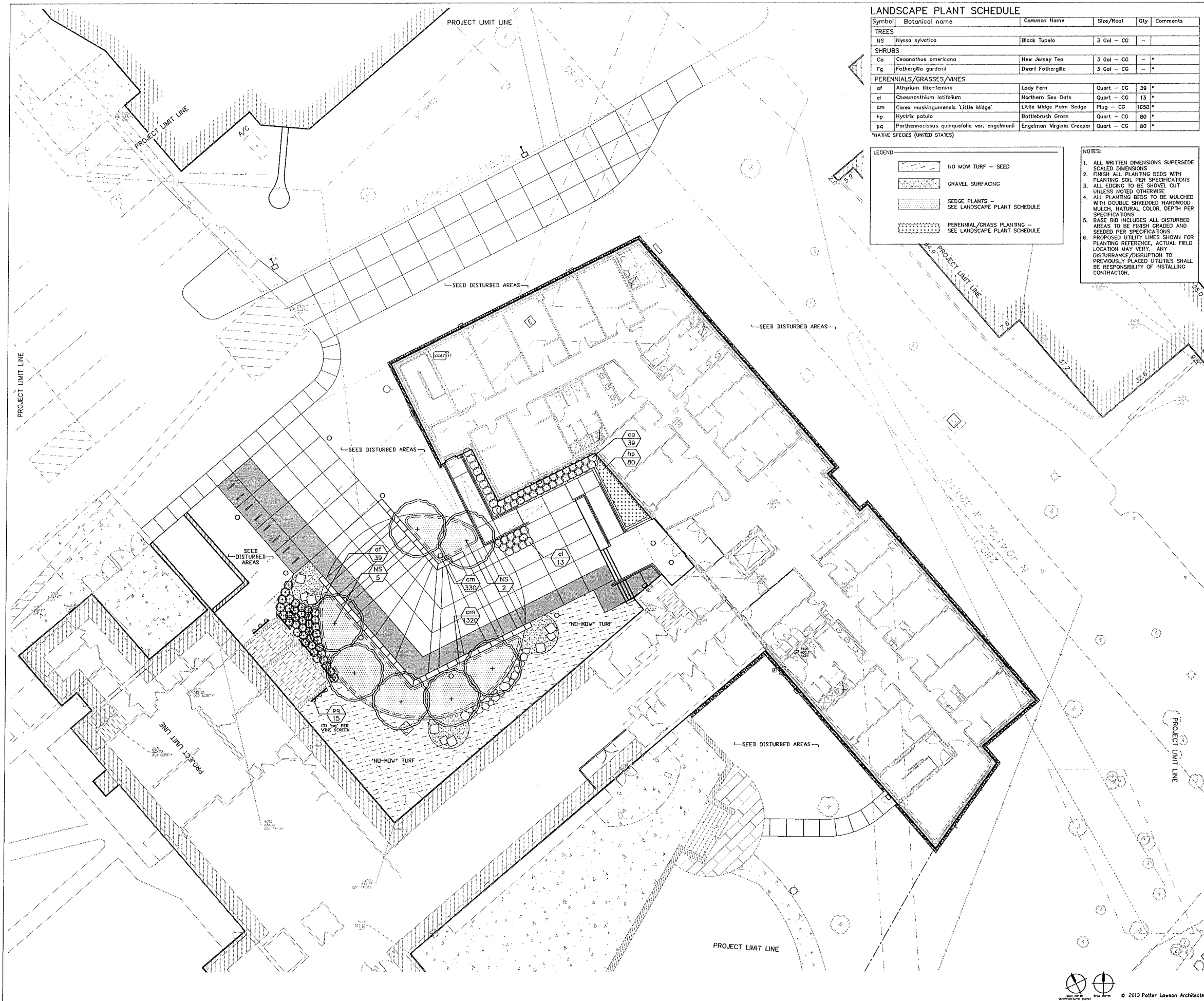
Date	Issuance/Revisions	Symbol
01/22/2014	Plan Commission Submittal	

DIGGERS HOTLINE
Toll Free (800) 242-8511
UltraVee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggerHotline.com

0 10 20 40
© 2013 Potter Lawson Architects

UTILITY PLAN

C400



LANDSCAPE PLANT SCHEDULE

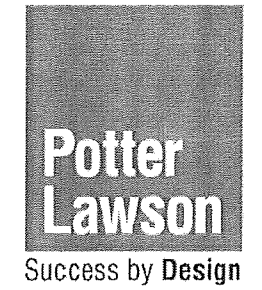
Symbol	Botanical name	Common Name	Size/Root	Qty	Comments
TREES					
NS	<i>Nyssa sylvatica</i>	Black Tupelo	3 Gal - CG	-	
SHRUBS					
Ca	<i>Ceanothus americanus</i>	New Jersey Tea	3 Gal - CG	-	*
Fg	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	3 Gal - CG	-	*
PERENNIALS/GRASSES/VINES					
af	<i>Athyrium filix-femina</i>	Lady Fern	Quart - CG	39	*
cl	<i>Chasmodon latifolium</i>	Northern Sea Oats	Quart - CG	13	*
cm	<i>Carex muskingumensis</i> 'Little Midge'	Little Midge Palm Sedge	Plug - CG	1650	*
hp	<i>Hystrix patula</i>	Bottlebrush Grass	Quart - CG	80	*
pd	<i>Parthenocissus quinquefolia</i> var. <i>engelmannii</i>	Engelmann Virginia Creeper	Quart - CG	80	*

LEGEND

- NO MOW TURF - SEED
- GRAVEL SURFACING
- SEED PLANTS - SEE LANDSCAPE PLANT SCHEDULE
- PERENNIAL/GRASS PLANTING - SEE LANDSCAPE PLANT SCHEDULE

- NOTES:**
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
 - FINISH ALL PLANTING BEDS WITH PLANTING SOIL PER SPECIFICATIONS
 - ALL EDGING TO BE SHOVEL CUT UNLESS NOTED OTHERWISE
 - ALL PLANTING BEDS TO BE MULCHED WITH DOUBLE SHREDED HARDWOOD MULCH, NATURAL COLOR, DEPTH PER SPECIFICATIONS
 - BASE BID INCLUDES ALL DISTURBED AREAS TO BE FINISH GRADED AND SEEDED PER SPECIFICATIONS
 - PROPOSED UTILITY LINES SHOWN FOR PLANTING REFERENCE, ACTUAL FIELD LOCATION MAY VARY. ANY DISTURBANCE/DISRUPTION TO PREVIOUSLY PLACED UTILITIES SHALL BE RESPONSIBILITY OF INSTALLING CONTRACTOR.

Notes:



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 SAA Design Group, Inc.
 101 East Badger Road
 Madison, WI 53713
 Ph. 608.255.0800
 Fx. 608.255.7730
 www.saa-madison.com

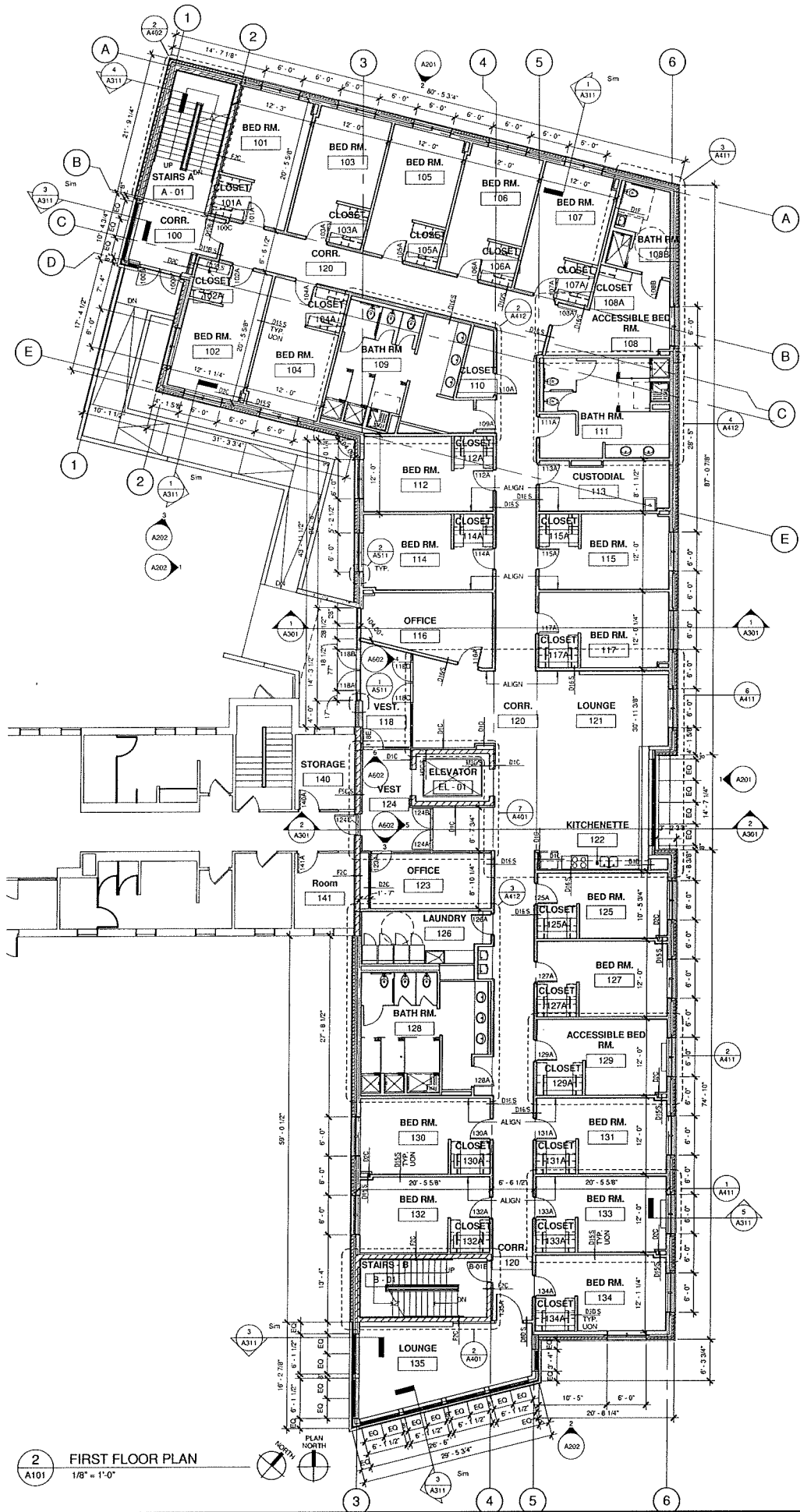
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Edgewood College
 Madison, WI 53711
 Project 2013.17.00

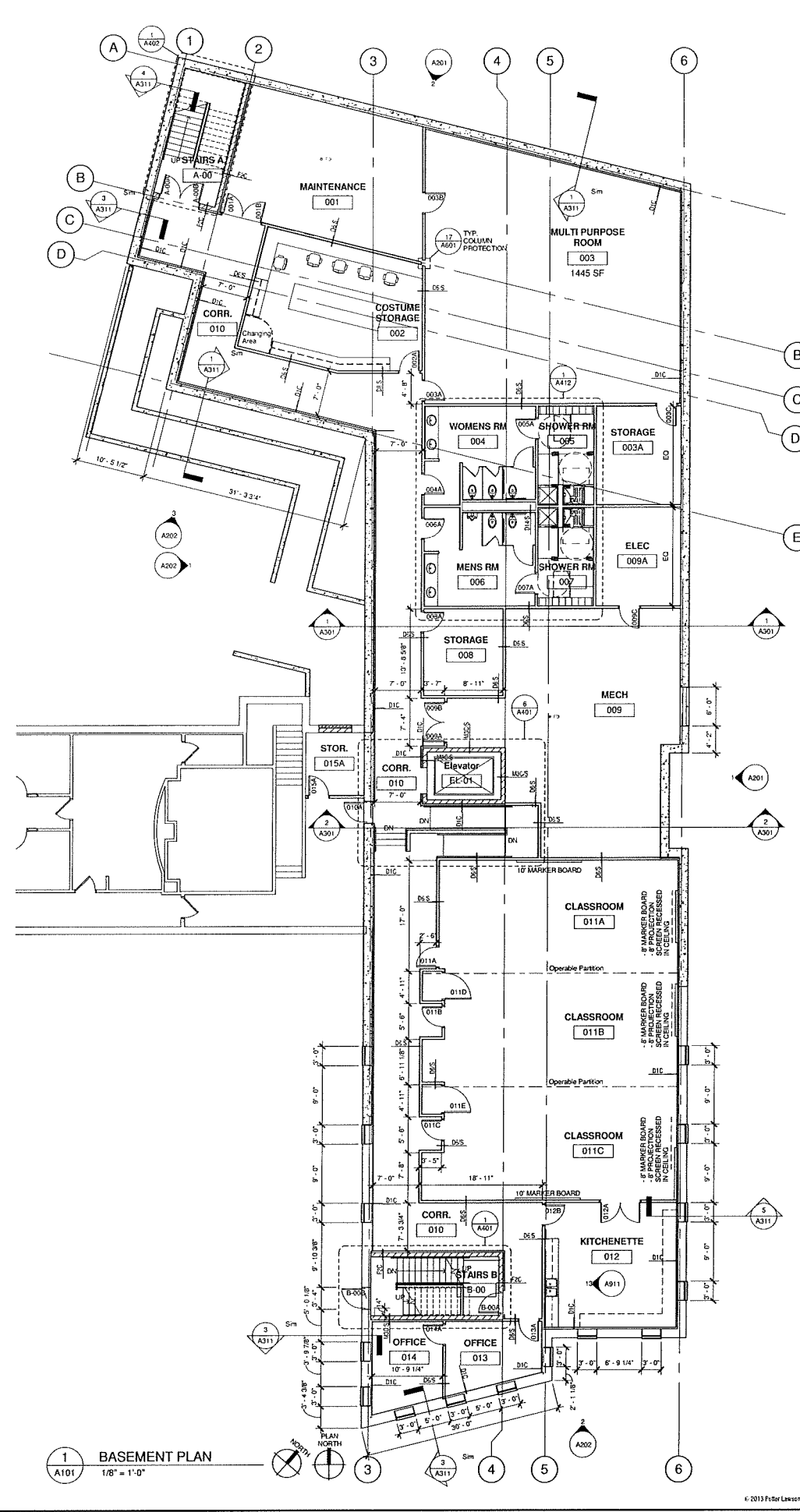
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01/22/2014	Plan Commission Submittal	

LANDSCAPE PLAN

C500



2 FIRST FLOOR PLAN
1/8" = 1'-0"



1 BASEMENT PLAN
1/8" = 1'-0"

- Notes:
- GENERAL REMODELING NOTES
1. CARU COURSEING, JOISTS AND BONDING PATTERNS SHALL MATCH THE EXISTING ADJACENT WALLS UNLESS OTHERWISE NOTED.
 2. TOOTH IN ALL NEW CMU INTO EXISTING MASONRY AT R/FALL AND NEW OPENINGS IN EXPOSED LOCATIONS UNLESS OTHERWISE NOTED.
 3. WHERE NEW PARTITIONS ARE A CONTINUATION OF EXISTING PARTITIONS, THE NEW FINISH SURFACES SHALL BE FLUSH, CONTINUOUS, AND MATCH THE EXISTING SURFACES TYPICAL BOTH SIDES.
 4. REPAIR ANY CONSTRUCTION OR FINISHES AFFECTED BY ADJACENT CONSTRUCTION. MATCH EXISTING FINISHES.
 5. PROVIDE CHASES IN EXISTING PARTITIONS FOR NEW PLUMBING WORK UNLESS OTHERWISE NOTED.

GENERAL PLAN NOTES
SEE DRAWING A601 FOR PARTITION TYPES
OTHER PARTITIONS ARE TYPE 030 S (UCP)

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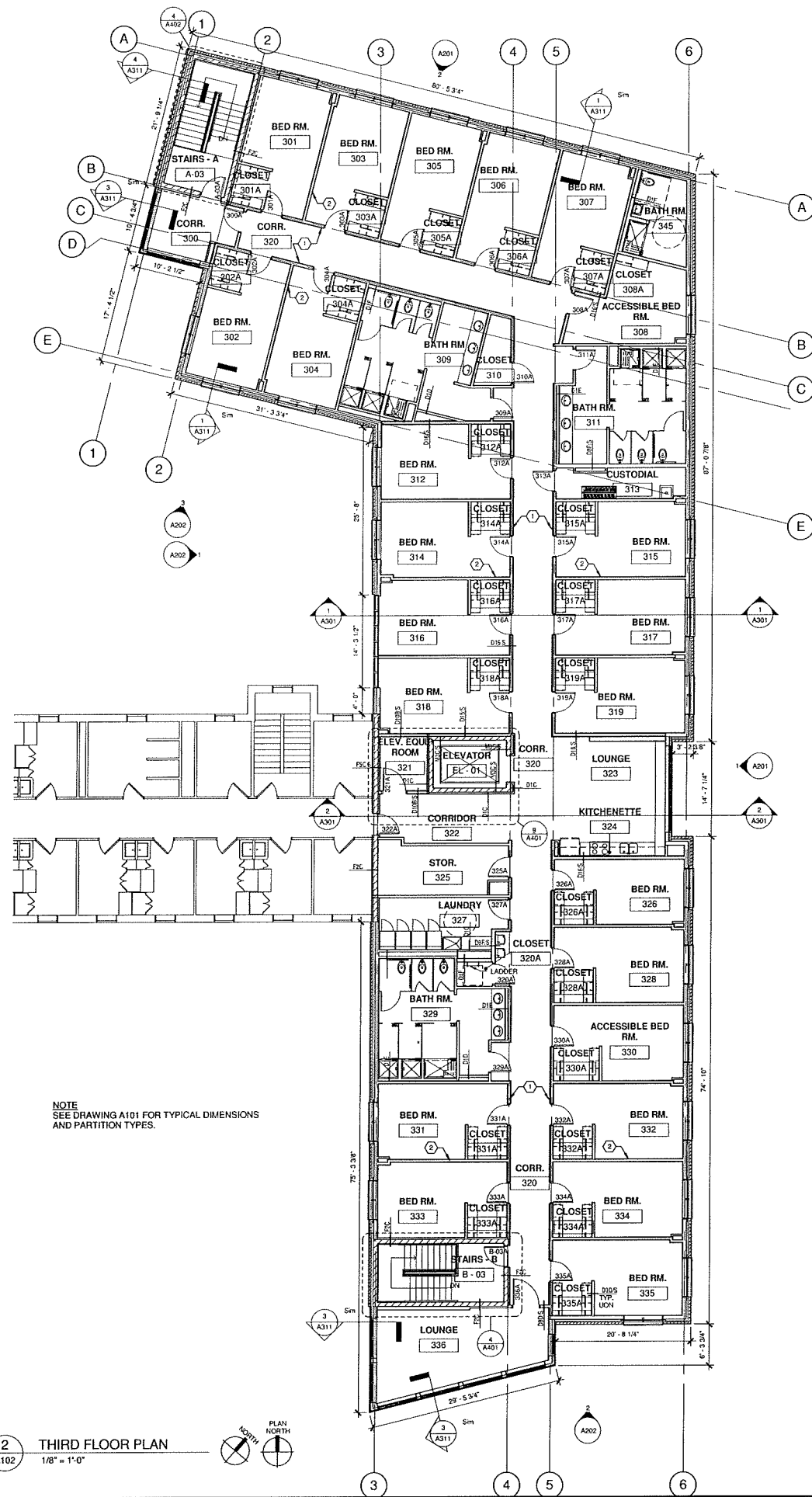
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Madison WI

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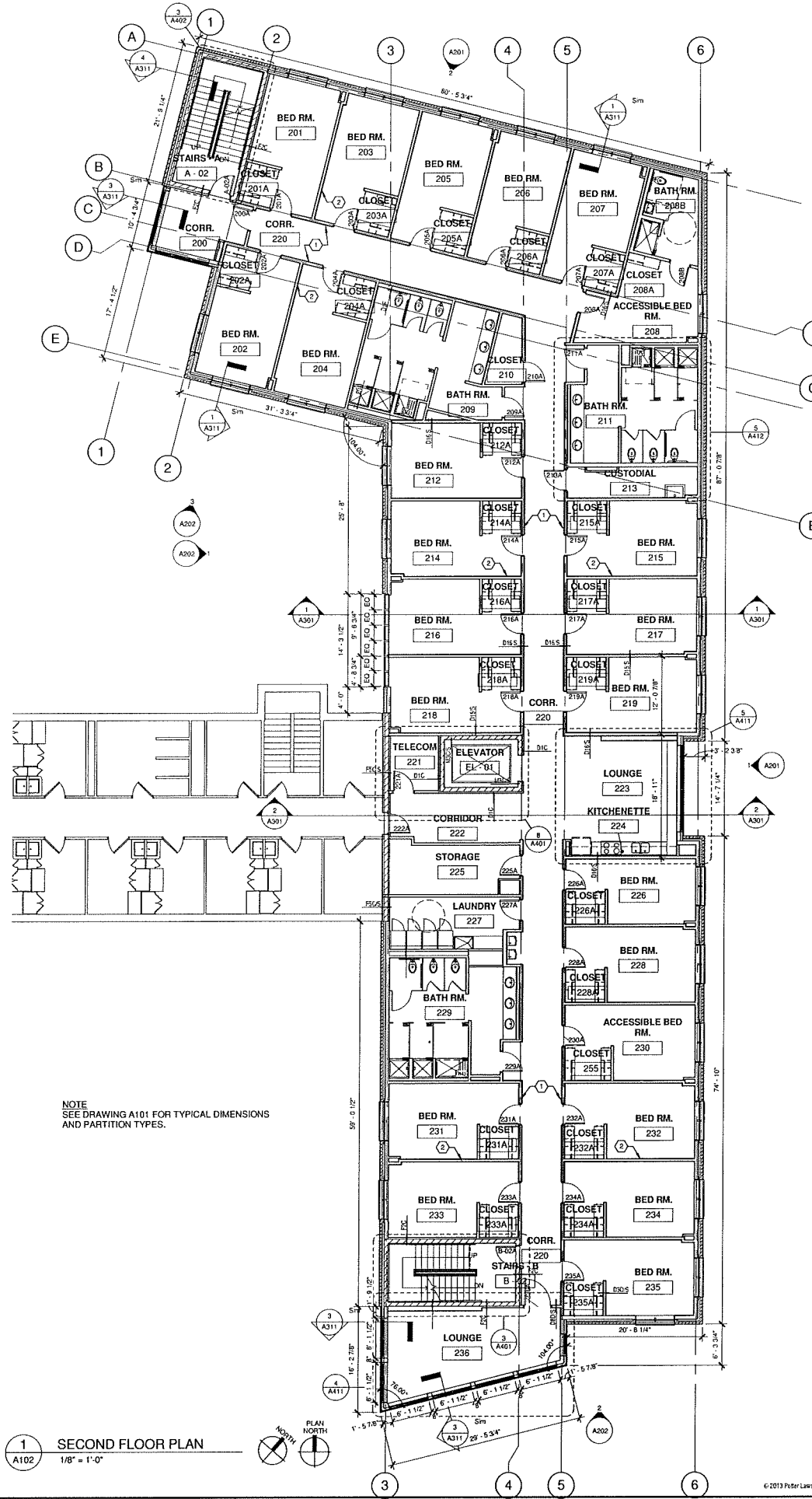
Date: Issuance: Revision: Symbol:
02/04/14 Madison Landmarks Commission Submittal

Basement / First
Floor Plans

A101



2 THIRD FLOOR PLAN
1/8" = 1'-0"



1 SECOND FLOOR PLAN
1/8" = 1'-0"

- Notes:
- GENERAL REMODELING NOTES
1. CMU COURSING, JOINTS AND BONDING PATTERNS SHALL MATCH THE EXISTING ADJACENT WALLS UNLESS OTHERWISE NOTED.
 2. TOOTH IN ALL NEW CMU INTO EXISTING MASONRY AT R/FILL AND NEW OPENINGS IN EXPOSED LOCATIONS UNLESS OTHERWISE NOTED.
 3. WHERE NEW PARTITIONS ARE A CONTINUATION OF EXISTING PARTITIONS, THE NEW FINISH SURFACES SHALL BE FLUSH, CONTINUOUS, AND MATCH THE EXISTING SURFACES (TYPICAL BOTH SIDES).
 4. REPAIR ANY CONSTRUCTION OR FINISHES AFFECTED BY ADJACENT CONSTRUCTION. MATCH EXISTING FINISHES.
 5. PROVIDE CHASES IN EXISTING PARTITIONS FOR NEW PLUMBING WORK UNLESS OTHERWISE NOTED.
- GENERAL PLAN NOTES
- SEE DRAWING A601 FOR PARTITION TYPES
OTHER PARTITIONS ARE TYPE D&D'S (UO'S)

PRELIMINARY
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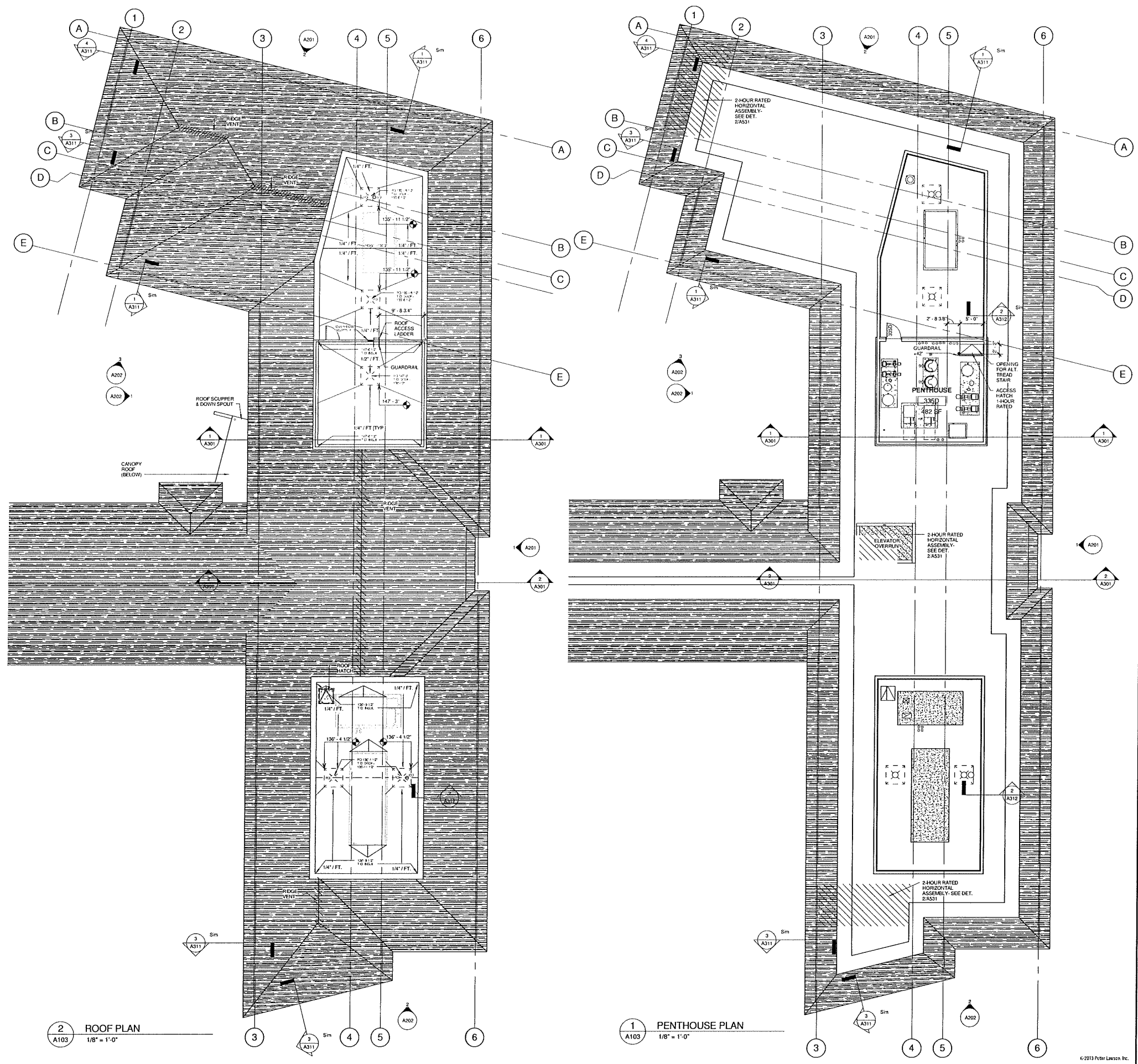
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**Second / Third
Floor Plans**



Notes:

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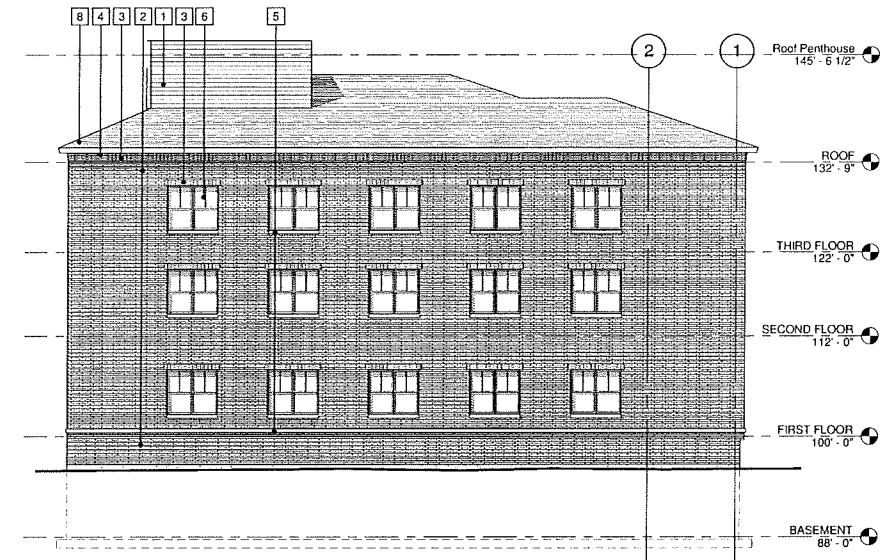
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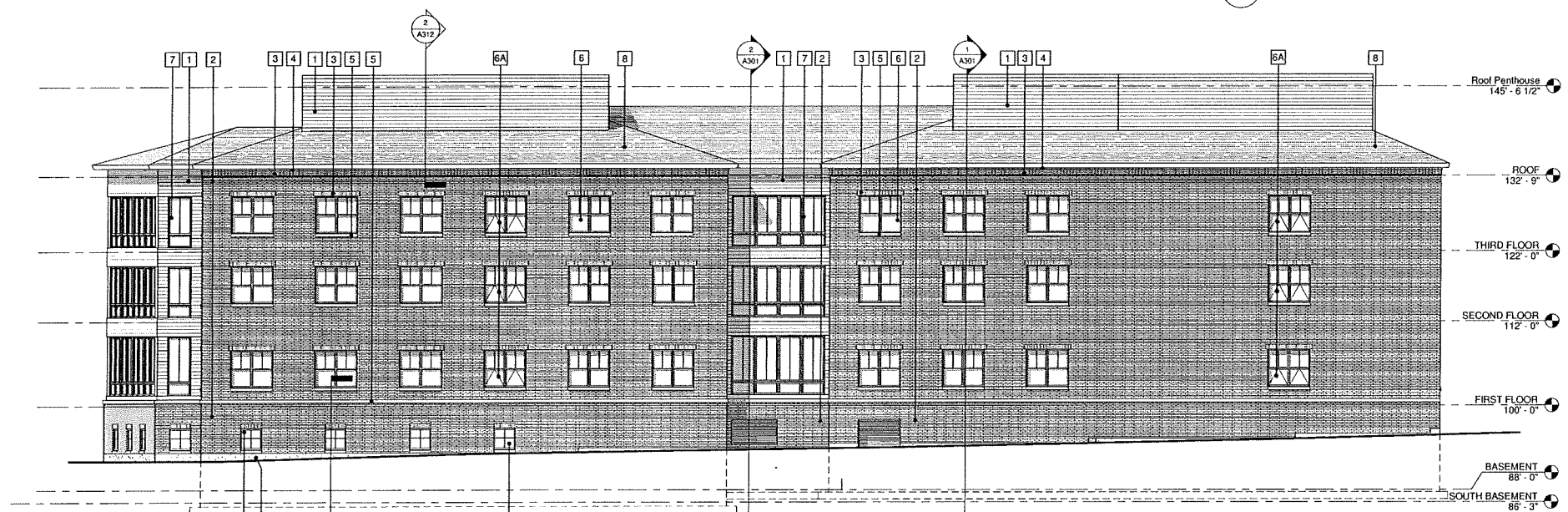
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**Penthouse / Roof
Plans**

A103



2 NORTH ELEVATION
A201 1/8" = 1'-0"



1 EAST ELEVATION
A201 1/8" = 1'-0"

- Notes:
- ELEVATION KEY NOTES
- 1 METAL SIDING
 - 2 BRICK VENEER
 - 3 BRICK SOLDIER COURSE
 - 4 BRICK POWLOCK COURSE
 - 5 MANUFACTURED STONE SILL / HORIZONTAL BAND
 - 6 GLAZED ALUMINUM OPERABLE WINDOW UNIT
 - 6A ADA COMPLIANT GLAZED ALUMINUM OPERABLE WINDOW UNIT
 - 7 GLAZED ALUMINUM FIXED WINDOW UNIT
 - 8 SHINGLE ROOFING
 - 9 GLAZED ALUMINUM FIXED WINDOW UNIT W/ WINDOW WELL
 - 10 GLAZED ALUMINUM CURTAIN WALL SYSTEM W/ OPERABLE VENTS
 - 11 CANOPY
 - 12 CONCRETE SITE WALL
 - 13 CONCRETE BENCH / STAIRS

PRELIMINARY
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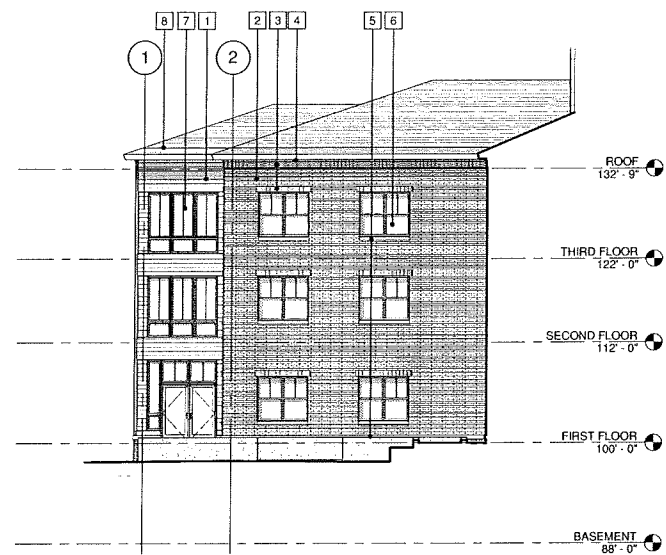
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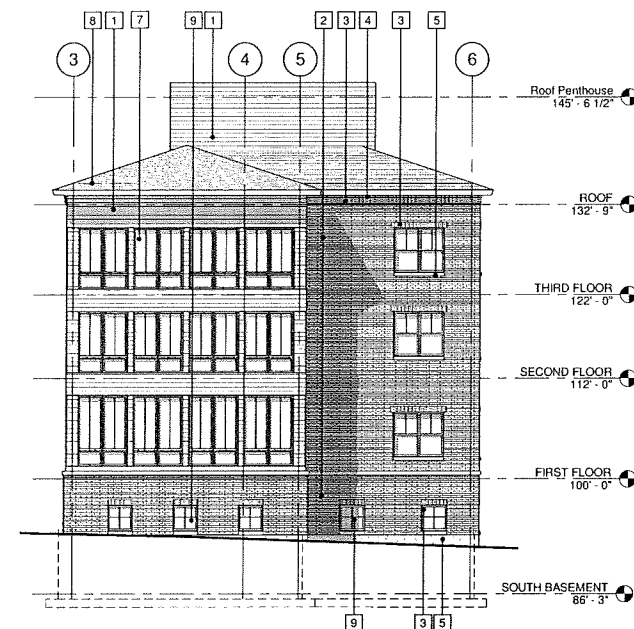
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**BUILDING
ELEVATIONS**

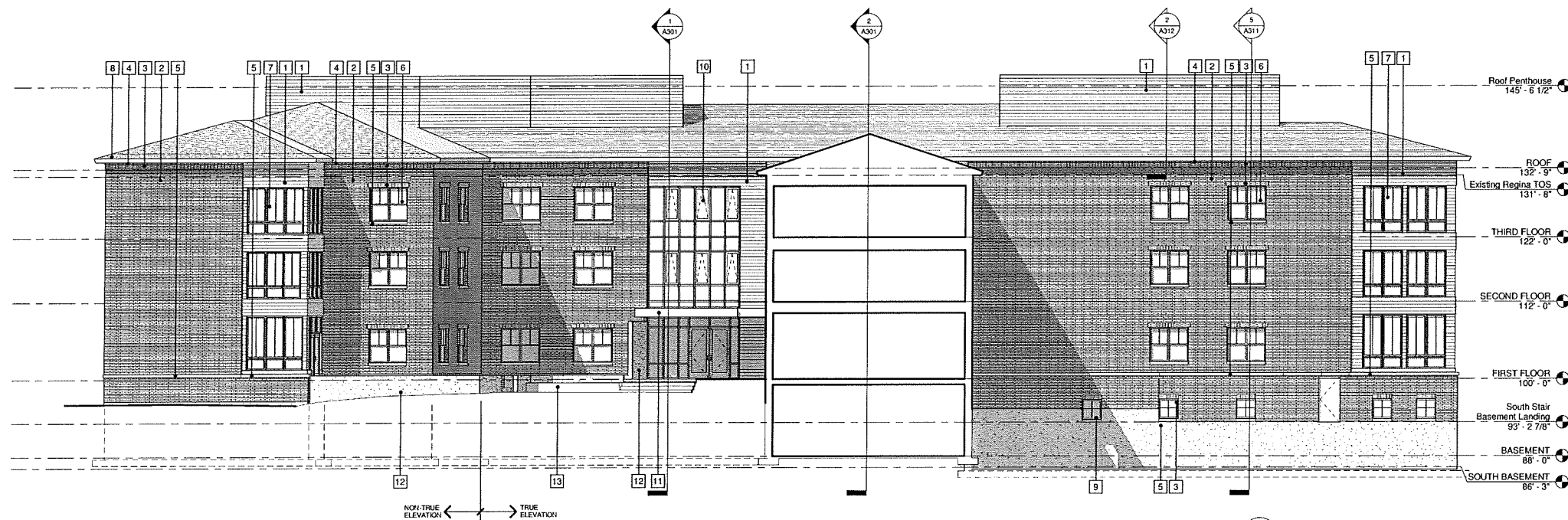
A201



3 NORTH EAST ELEVATION
A202 1/8" = 1'-0"



2 SOUTH ELEVATION
A202 1/8" = 1'-0"



1 WEST ELEVATION
A202 1/8" = 1'-0"

Notes:

ELEVATION KEY NOTES

- 1 METAL SIDING
- 2 BRICK VENEER
- 3 BRICK SOLDIER COURSE
- 4 BRICK ROWLOCK COURSE
- 5 MANUFACTURED STONE SILL / HORIZONTAL BAND
- 6 GLAZED ALUMINUM OPERABLE WINDOW UNIT
- 6A ADA COMPLIANT GLAZED ALUMINUM OPERABLE WINDOW UNIT
- 7 GLAZED ALUMINUM FIXED WINDOW UNIT
- 8 SHINGLE ROOFING
- 9 GLAZED ALUMINUM FIXED WINDOW UNIT W/ WINDOW WELL
- 10 GLAZED ALUMINUM CURTAIN WALL SYSTEM W/ OPERABLE VENTS
- 11 CANOPY
- 12 CONCRETE SITE WALL
- 13 CONCRETE BENCH / STAIRS

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BUILDING
ELEVATIONS

A202