



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>January 13, 2016</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>January 27, 2016</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. **Project Address:** 1 N. Webster
Project Title (if any): AC Hotel

2. **This is an application for** (Check all that apply to this UDC application):

New Development **Alteration to an Existing or Previously-Approved Development**

A. Project Type:

- Project in an Urban Design District*** (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX)** (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)**
- Planned Development (PD)**
 - General Development Plan (GDP)**
 - Specific Implementation Plan (SIP)**
- Planned Multi-Use Site or Planned Residential Complex**

B. Signage:

- Comprehensive Design Review*** (public hearing-\$300 fee) **Street Graphics Variance*** (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District** (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: 202 E. Washington, LLC
Street Address: 1600 Aspen Commons, Suite 200
Telephone: (608-836-6060) **Fax:** (608-836-6399)

Company: The North Central Group
City/State: Middleton/WI **Zip:** 53562
Email: jlenz@ncghotels.com

Project Contact Person: Josh Wilcox
Street Address: 7780 Elmwood Avenue, Suite 204
Telephone: (608-829-1750) **Fax:** (608-829-3056)

Company: Gary Brink & Associates, Inc.
City/State: Middleton/WI **Zip:** 53562
Email: josh.wilcox@garybrink.com

Project Owner (if not applicant) : _____
Street Address: _____
Telephone:(____)_____ **Fax:**(____)_____

City/State:_____ **Zip:**_____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on 12/29/15.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Josh Wilcox

Relationship to Property Architect

Authorized Signature _____

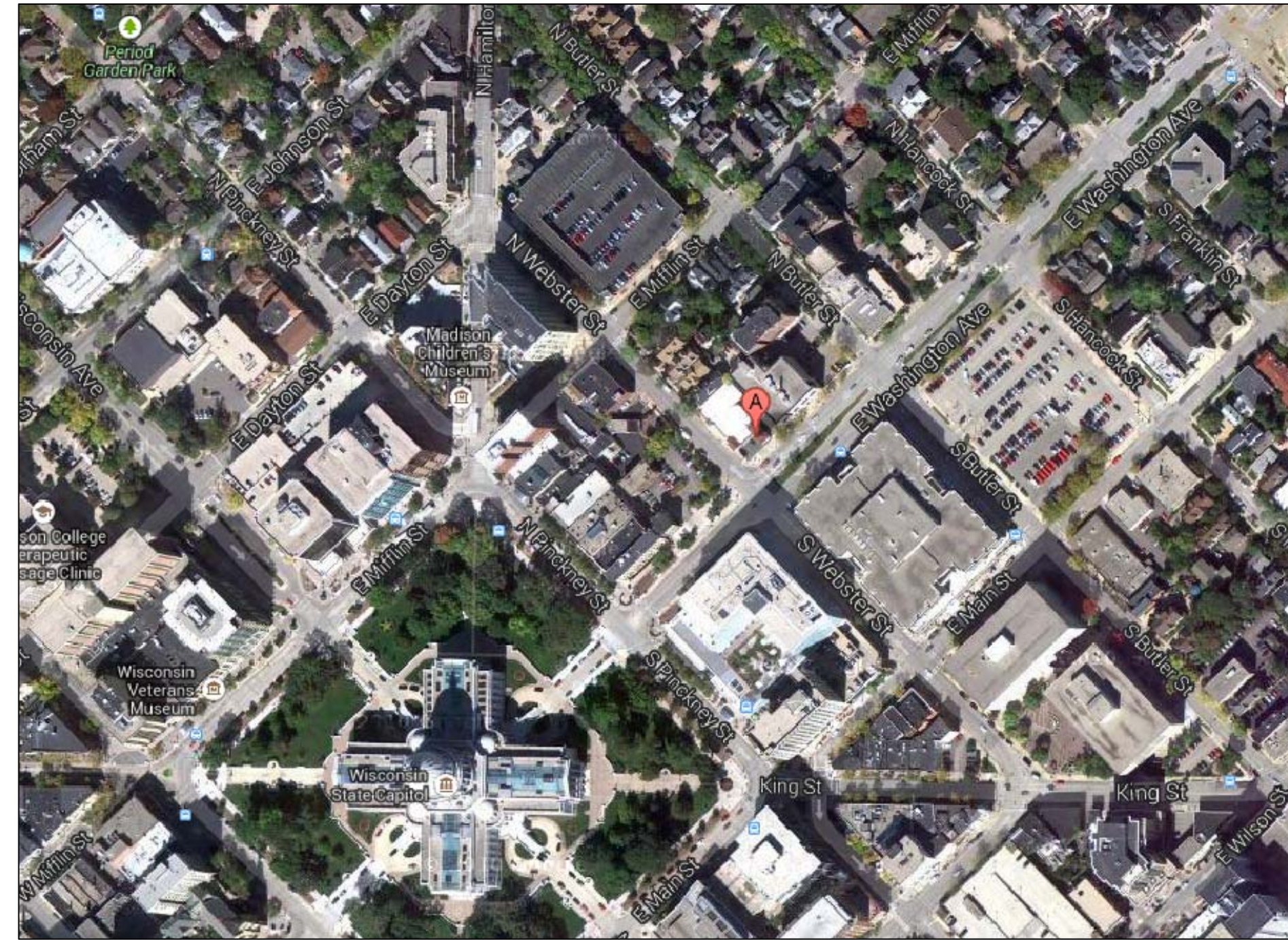
Date 1/12/16

AC HOTEL BY MARRIOTT DOWNTOWN HOTEL



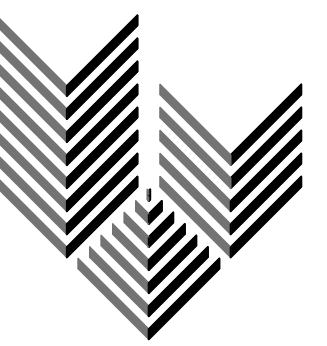
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

PROJECT LOCATION:



ALTERATION TO A PREVIOUSLY APPROVED DEVELOPMENT JANUARY 13, 2016

The green roof on the visible portion of the Webster St. Canopy is being enhanced in lieu of constructing the non-visible portion of the green roof above the 10th floor. The net change of this minor alteration is a cost increase to the project. The minor alteration has no effect on the Stormwater Quality or Quantity Calculations that were approved as part of this project.



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

OWNER :
202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53562
PHONE: 608.836.6060
FAX: 608.836.6399
CONTACT: Andrew Inman
EMAIL: Alnman@ncg-hotels.com

ARCHITECT :
GARY BRINK & ASSOCIATES, INC.
7780 ELMWOOD AVE, SUITE 204
MIDDLETON, WISCONSIN 53562
PHONE: 608-829-1750
FAX: 608-829-3056
PRIMARY CONTACT: JOSH WILCOX
EMAIL: josh.wilcox@garybrink.com

CIVIL ENGINEER :
QUAM ENGINEERING, LLC
4604 SIGGELKOW RD, SUITE A
MCFARLAND, WI 53558
PHONE: 920-284-2262
PRIMARY CONTACT: RYAN D. QUAM
EMAIL: rquam@quamengineering.com



DOWNTOWN AC BY MARRIOTT							
Floor / Level	Guestroom Type					KEYS PER FLOOR	SQUARE FOOTAGE
	AC MODIFIED KING	AC MODIFIED KING - ALT	AC MODIFIED QQ	AC MODIFIED SUITE	AC MODIFIED SUITE - ALT		
G2	0	0	0	0	0	0	12503
G1	0	0	0	0	0	0	12374
1st	0	0	0	0	0	0	8501
2nd	3	7	5	1	0	16	10722
3rd	8	2	13	0	0	23	11100
4th	13	3	7	0	0	23	10306
5th	12	2	7	1	0	22	10306
6th	12	2	7	1	0	22	10306
7th	12	2	7	1	0	22	10306
8th	12	2	7	1	0	22	10306
9th	9	3	1	0	0	13	8935
10th	0	0	0	0	1	1	8909
Total	81	23	54	5	1	164	124574
Percentage	63.4%		32.9%	3.7%		PARKING SPOTS:	
Total Units	164					79 INTERNAL VALET	

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY: AR
DATE:
SCALE: AS NOTED



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PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**
1 N. WEBSTER ST.
MADISON, WISCONSIN

OWNER: **202 E. WASHINGTON, LLC**
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410.1
DRAWN BY: TELAIA
DATE:
SCALE: AS NOTED
ISSUE: B.P.#2 07.29.2015
BUDGET REVIEW: 09-23-2015
ISSUE FOR P&C: 12/02/2015
B.P. #5 12/22/2015

SITE PLAN

A1.01

SYMBOL LEGEND

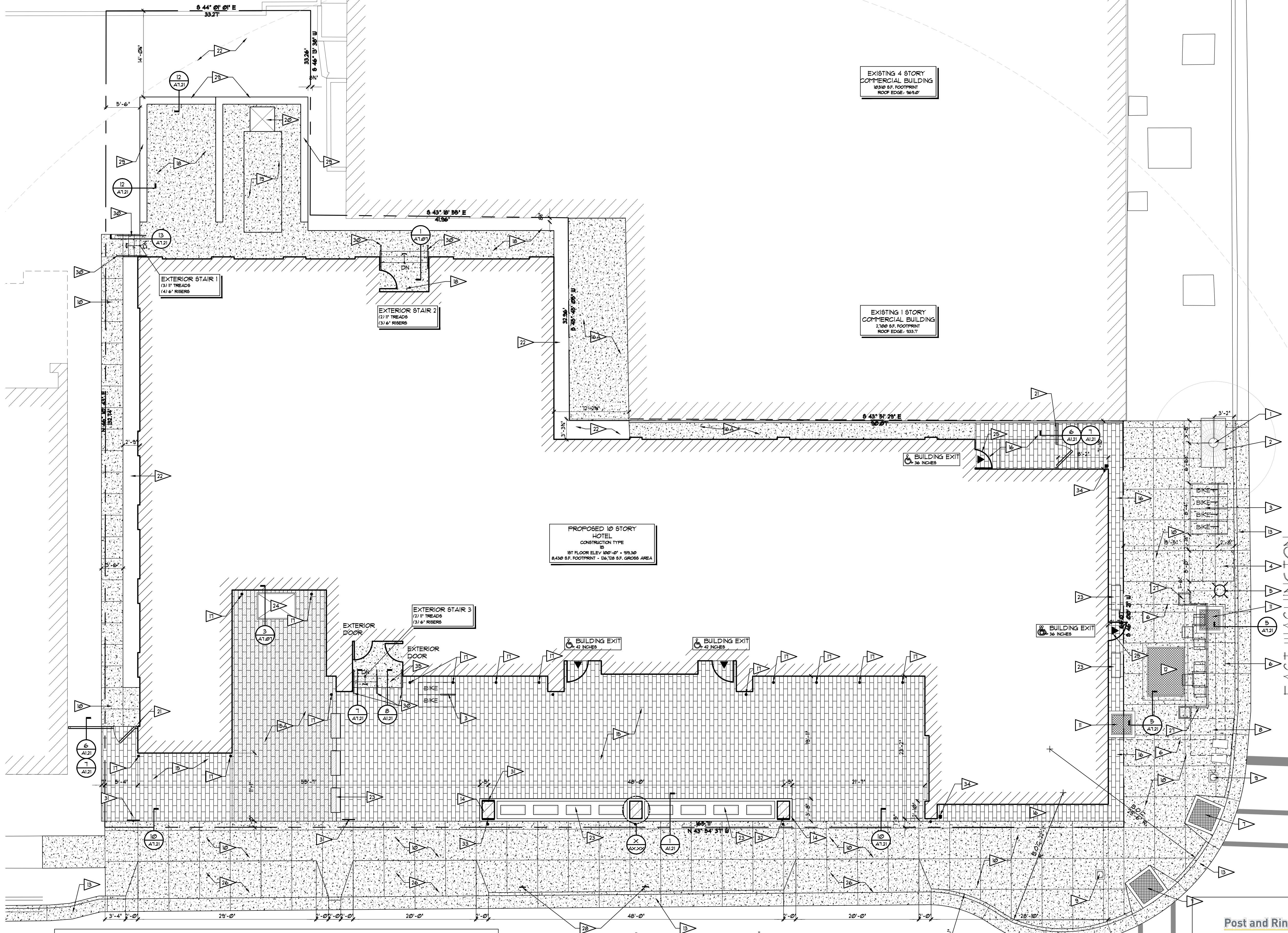
KEYNOTE - DENOTES ITEM TO BE INSTALLED OR REMOVED. ACTION TO BE TAKEN OR INFORMATION VITAL TO THE UNDERSTANDING OF THE BUILDING DESIGN AND CONSTRUCTION.

KEY NOTES - SITE PLAN

- 1 NEW 3" GALVANIZED "NEW HORIZON" ELM. SEE LANDSCAPE PLANS ADDITIONAL INFORMATION.
- 2 NEENAH RUBBER BROUGHIT IRON TREE GRATE. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 3 MARISSA "CITY RACK" OR "POST & RING" BICYCLE RACK. SEE DETAIL 5A/B/C.
- 4 BUS ACCESS POINT FOR SPECIAL EVENT / DETOUR STOP.
- 5 NEW LIGHT POLE LOCATION.
- 6 EDGE OF NEW BELOW GRADE TRANSFORMER VAULT SHOWN DAMAGED.
- 7 CURB RAMP W/ DETECTABLE WARNING SURFACE - SEE DETAIL 4A/12.1 & SPEC SECTION 02085.
- 8 BUS WHEELCHAIR ACCESS POINT FOR SPECIAL EVENTS / DETOUR STOP.
- 9 TRAFFIC SIGNAL AND POLE. PROVIDE NEW IN SAME FOOTPRINT AS PREVIOUS SIGNAL.
- 10 NEW CONCRETE SIDEWALK. CONFORM TO CITY OF MADISON STANDARDS.
- 11 CAST IN PLACE STEEL VAULT ACCESS DOOR.
- 12 NEW CAST IN PLACE CONCRETE CURB AND GUTTER. SEE CIVIL DRAWINGS FOR MORE INFO.
- 13 CAST IN PLACE CONCRETE CURB.
- 14 3" STAMPED CAST IN PLACE CONCRETE SLAB WITH AN INTEGRAL RADIANT SNOW MELT SYSTEM OVER COMPACTED FREE DRAINING SUB-BASE OF 2" OF XPS INSULATION OVER DRAINAGE MAT OVER PROTECTIVE BOARD OVER NOT APPLIED REINFORCED ASPHALT WATERPROOF MEMBRANE OVER CAST IN PLACE CONCRETE TOPPING OF STRUCTURAL PRECAST HOLLOW CORE PLANK. SEE ASSEMBLY 18A/A22.1.
- 15 SAME AS NOTE 14, BUT WITH 1" SLAB THICKNESS.
- 16 DECORATIVE STAMPED CONCRETE SLAB ON GRADE.
- 17 CONCRETE SLAB ON GRADE - STANDARD BROOK FINISH.
- 18 BOLT DOWN VEHICLE PROTECTION BOLLARD. SEE SPEC SECTION 02085.
- 19 SAME AS NOTE 18, BUT WITHOUT RADIANT SNOW MELT SYSTEM, AND WITH BROOK FINISH SURFACE.
- 20 CAST IN PLACE CONCRETE EQUIPMENT CURB.
- 21 OPENING FOR GARAGE EXHAUST DUCTWORK - SEE STRUCTURAL.
- 22 ALUMINUM FRAME FENCE AND/ OR GATE STRUCTURE - SEE SPEC SECTION 09120.
- 23 PLANTED AREA - SEE LANDSCAPE PLANS.
- 24 SAUSAU TP 4x5 PRECAST CONCRETE PLANTER W/ IRRIGATION & ISLAND - IS REQUIRED.
- 25 IN SLAB SCISSORS LIFT. SEE DETAIL 3A/10.1.
- 26 FROST PROTECTED STOOP BELOW.
- 27 CURB CUT - SEE CIVIL DRAWINGS & COMPLY WITH CITY OF MADISON REQUIREMENTS.
- 28 EXTERIOR SEASONAL SEATING ENCLOSURE WITH PLANTERS.
- 29 NEW STREET SIGNAGE ON GALVANIZED STEEL POLE.
- 30 MASONRY SCREEN WALLS - SEE A2.01 FOR ADDITIONAL INFORMATION.
- 31 6" SIL PIPE HANDRAIL / GUARDRAIL.
- 32 PRIVATE "STOP" SIGN LOCATION. SEE DETAIL 2A/10.
- 33 PRIVATE "ENTRANCE ONLY" SIGN LOCATION. SEE DETAIL 4A/10.
- 34 PRIVATE "EXIT ONLY" SIGN LOCATION. SEE DETAIL 3A/10.
- 35 FREE STANDING FIRE DEPT CONNECTION POST.
- 36 CAST IN PLACE LOGGAGE RAMP.

GENERAL PLAN NOTES

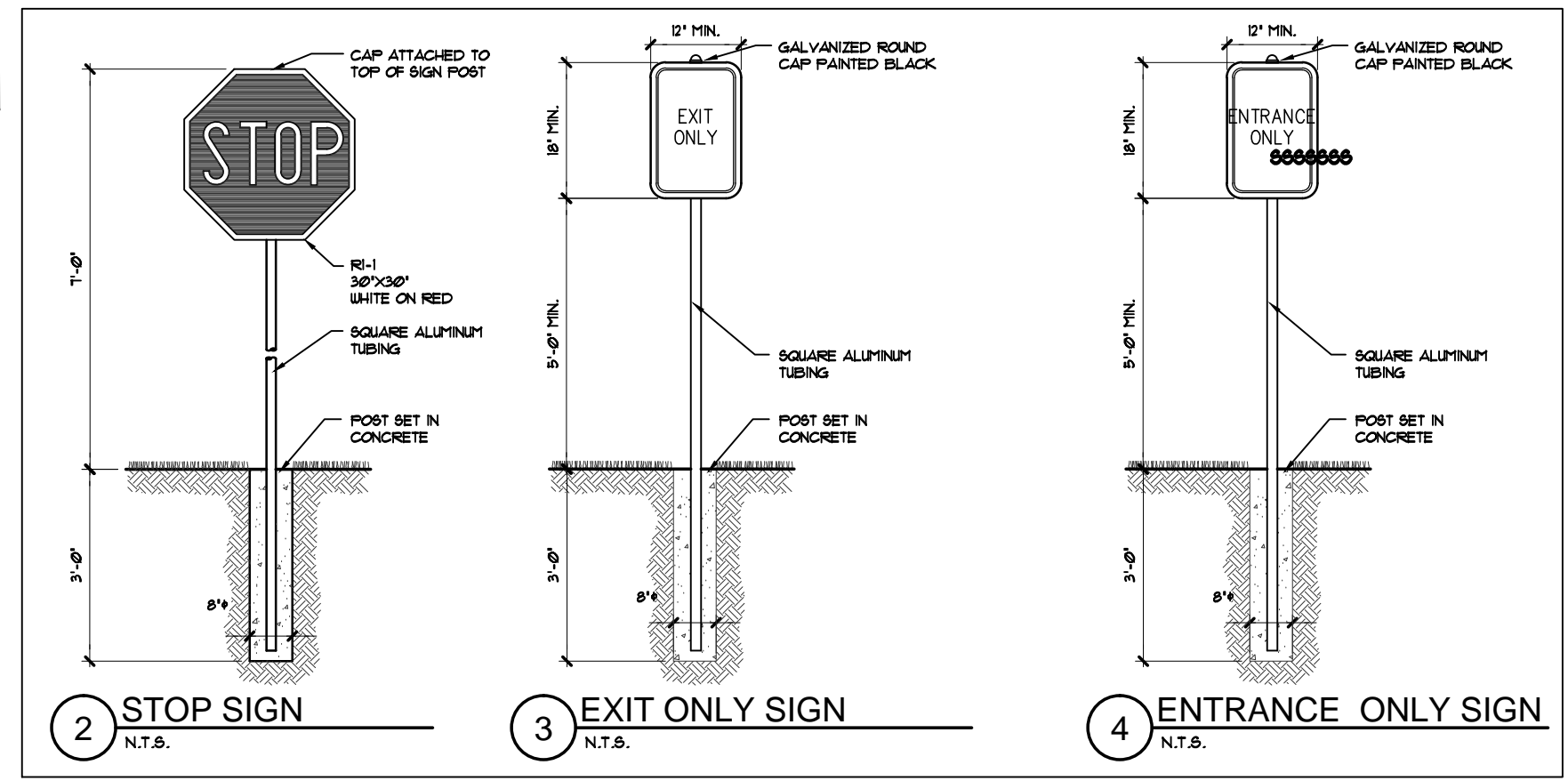
1. ANY DAMAGE TO EXISTING PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH MADISON PATCHING CRITERIA.
2. REPLACE ALL SIDEWALK, CURB AND GUTTER WHICH ADJUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK, CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
3. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
4. ANY DAMAGE ON ADJACENT PROPERTIES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT NO EXPENSE TO THE OWNER.
5. SEE CIVIL DRAWINGS FOR PROPERTY LINES AND EASEMENTS.
6. SIDEWALK WORK COMPLETED AT RIGHT OF WAY SHALL MATCH ADJACENT SIDEWALK AND HAVE EXPOSED AGGREGATE IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY THE CITY. THE STONE USED AS EXPOSED AGGREGATE SHALL BE APPROVED BY THE CITY.
7. ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITH THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY.



EXISTING 4 STORY
COMMERCIAL BUILDING
10,940 S.F. FOOTPRINT
ROOF EDGE: 98'9.0"

EXISTING 1 STORY
COMMERCIAL BUILDING
2,100 S.F. FOOTPRINT
ROOF EDGE: 93.7"

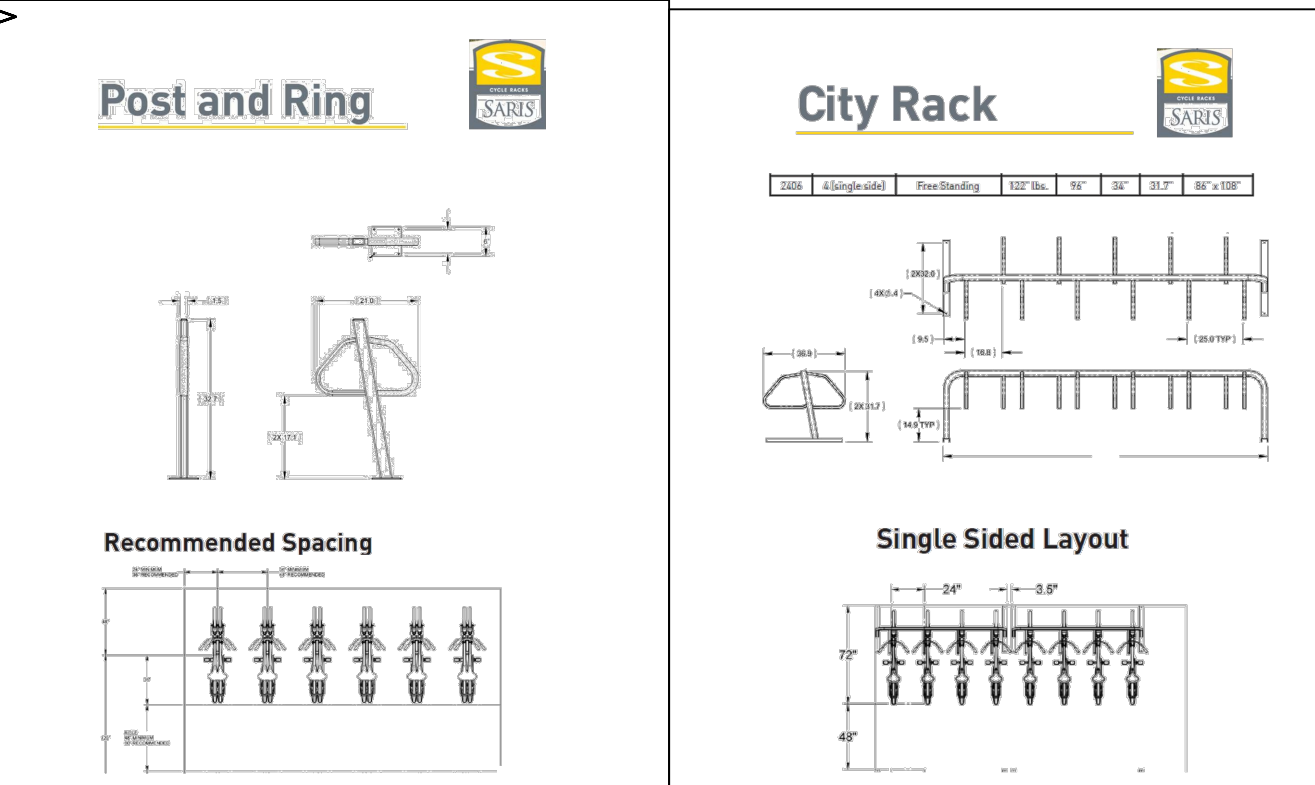
PROPOSED 10 STORY
HOTEL
CONSTRUCTION TYPE B
2ND FLOOR ELEV: 98'-0" ± 98.30
8,430 S.F. FOOTPRINT - 10,738 S.F. GROSS AREA



WEBSTER STREET

1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

BENCHMARK - 923.04
TOP OF EXISTING HYDRANT



5 BIKE RACK
NTS



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PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**
1 N. WEBSTER ST.
MADISON, WISCONSIN
OWNER: **202 E. WASHINGTON, LLC**
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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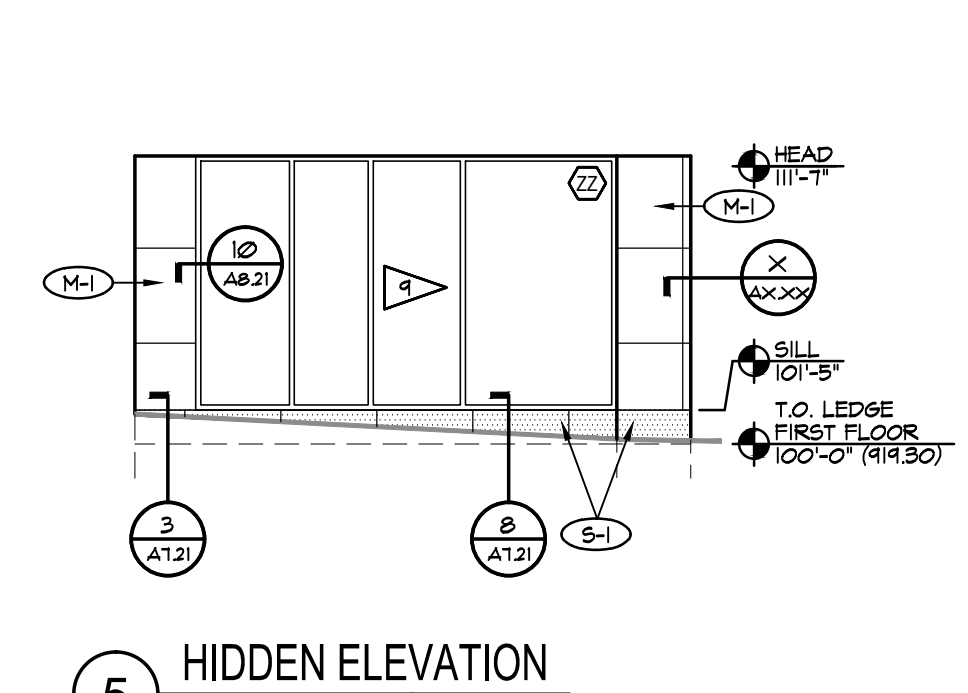
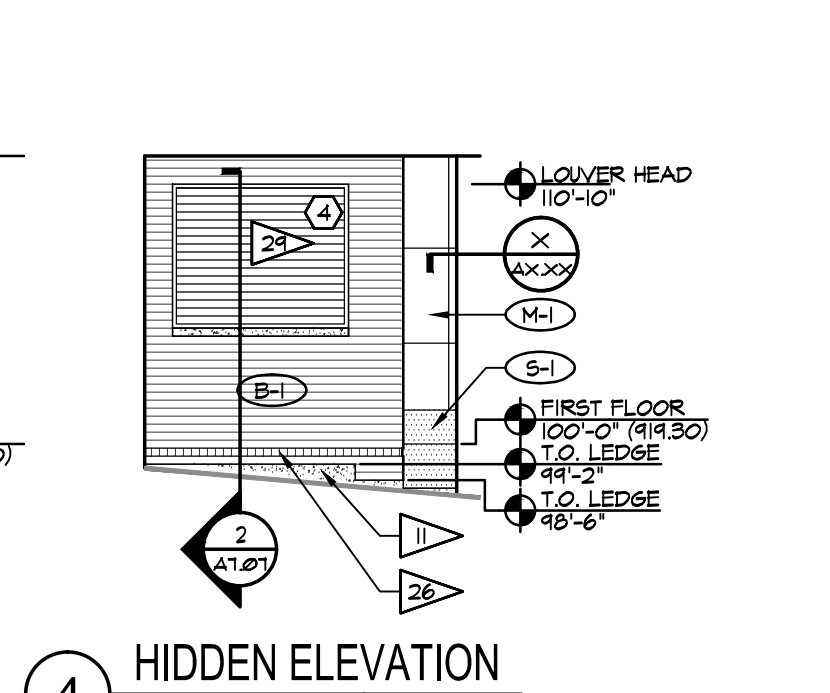
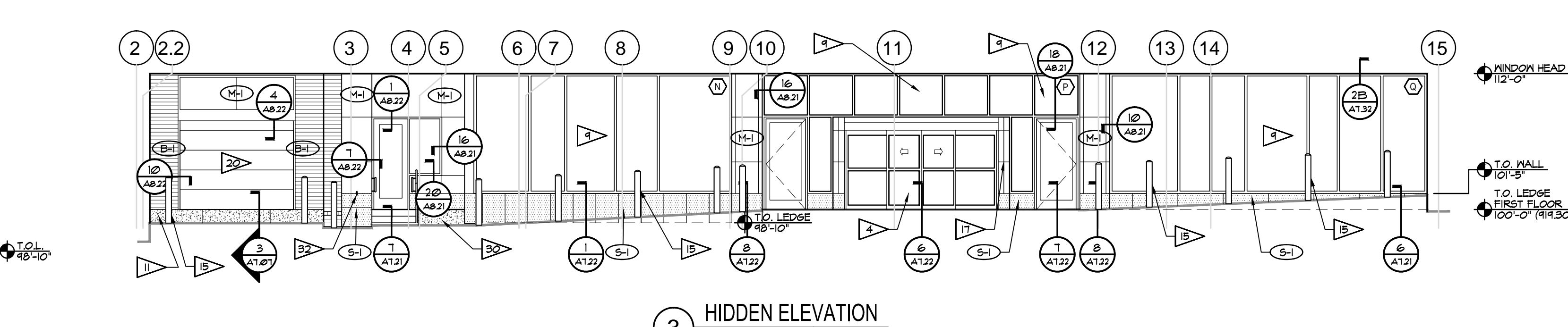
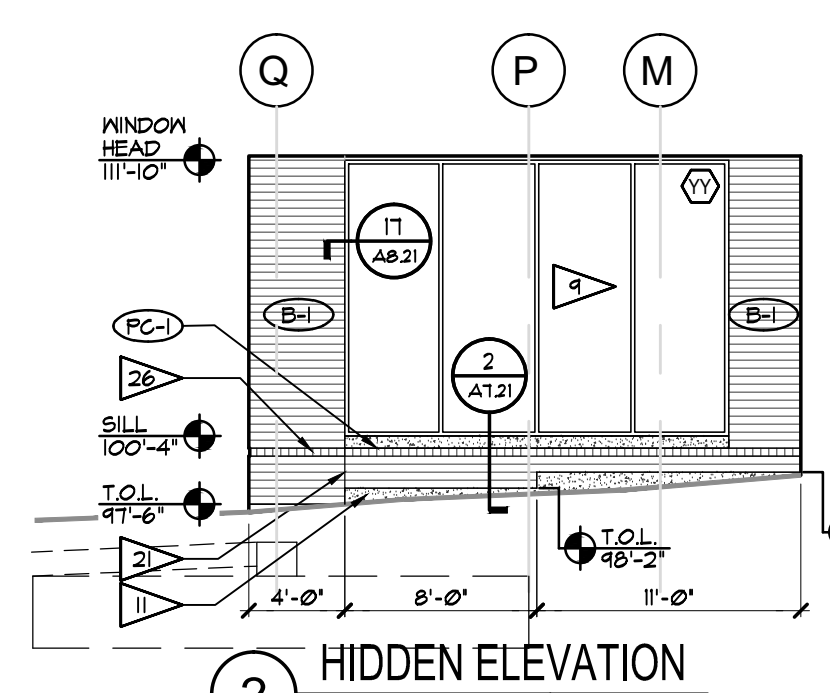
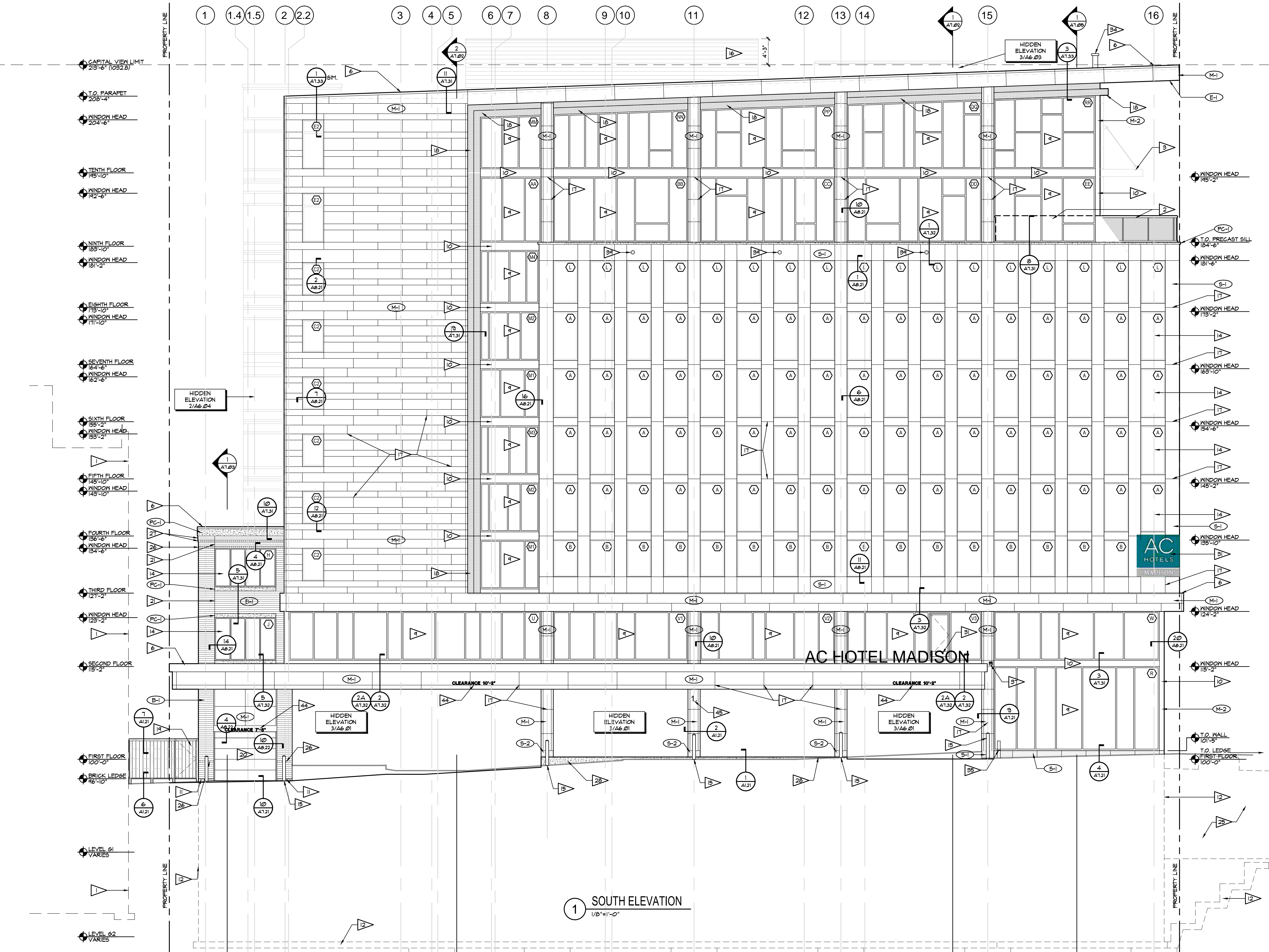
PROJECT: 201410.1
DRAWN BY:
DATE:
SCALE: AS NOTED
ISSUE: B.P.#2 07.29.2015
BPM 10/16/2015
BPM ADDM 11/09/2015
ISSUE FOR P&C 12/02/2015

BUILDING ELEVATIONS
A6.01

KEY NOTES - BUILDING ELEVATIONS

- KEYNOTE - DENOTES ITEM TO BE INSTALLED, ACTION TO BE TAKEN OR INFORMATION VITAL TO THE UNDERSTANDING OF THE BUILDING DESIGN AND CONSTRUCTION.
- EXISTING BUILDING ON ADJACENT PROPERTY.
- GLASS GUARDRAIL WITH PREFIN ALUMINUM TOP RAIL 4" HIGHER ABOVE PEDESTAL PAVERS. PORTIONS SHOWN DAMAGED FOR CLARITY OF BUILDING BEYOND.
- 2X2 ALUMINUM CHANNEL TRUSS/IS STRUCTURE - CLEAR ANODIZED FINISH.
- BI-PARTING DOOR - MAIN ENTRANCE - SEE DOOR SCHEDULE AND TYPES.
- STEEL FRAMED AND PAINTED PERGOLA STRUCTURE.
- PREFIN METAL COPING
- FOLDING PANEL ALUMINUM EXTERIOR DOOR - SEE DOOR SCHEDULE ON SHEET AB.01.
- INDOOR/OUTDOOR SEE-THRU GAS FIREPLACE.
- ALUMINUM STOREFRONT OR CURTAIN WALL WINDOW ASSEMBLY - SEE WINDOW TYPES SHEETS AB.03, AB.04, AB.05.
- ALUMINUM BRAKE METAL CLASURE.
- EXPOSED CONCRETE FOUNDATION
- BELOW GRADE PORTION OF FOUNDATION SHOWN DAMAGED.
- HAND OR GUARDRAIL ASSEMBLY - SEE DETAILS.
- ALUMINUM WINDOW UNIT - SEE WINDOW TYPES SHEET AB.02.
- VEHICLE PROTECTION BOLLARD.
- ROOF TOP EQUIPMENT SCREEN - INDUSTRIAL LOUVER NO MODEL 650XPH
- E.F.S. STONE OR METAL JOINT SHOWN TYPICAL.
- EFS FACED LIGHT COVE WITH LED LIGHTING.
- ALUMINUM FENCE AND GATE STRUCTURE.
- HIGH SPEED OVERHEAD DOOR - SEE DOOR SCHEDULE ON SHEET AB.01.
- EXPANSION JOINT - SEE DETAILS.
- HOLLOW METAL DOOR / FRAME ASSEMBLY - SEE DOOR SCHEDULE ON SHEET AB.01.
- ROLLING FIRE SHUTTER BEHIND WINDOW OPENING.
- PREFIN METAL LOUVER - SEE MECHANICAL DRAWINGS - FIRE PROTECT PER CODE REQ'S.
- UNDERGROUND TRANSPORTER VAULT STRUCTURE - SEE STRUCTURAL DRAWINGS.
- BRICK HEADER COURSE RECESSED 1/2".
- BRICK COURSE CORREL. OUT 1/2".
- SHOT BLASTED CONCRETE CURB / WALL.
- PREFIN METAL LOUVER - SEE MECHANICAL DRAWINGS.
- CONCRETE "LOADAGE RAMP" - SEE DETAIL BM.01.
- INTERNALLY LIGHTED SIGNAGE BY OWNER - 24" VERTICAL LETTERS.
- HORN DIBS
- THRU WALL SCUPPER - SEE DETAIL 1/134
- MECHANICAL WALL PENETRATION - SEE HVAC & PLUMBING PLANS
- FIRE DEPT CONNECTION ON FREE STANDING POST - SEE FIRE PROTECTION DRAWINGS. PROVIDE CODE REQUIRED SIGNAGE AS REQUIRED BY MADISON FIRE DEPARTMENT.
- FIRE PROTECTION TEST HEADER - SEE FIRE PROTECTION DRAWINGS
- FIRE HORN / STROBE LOCATION - SEE FIRE PROTECTION AND ELECTRICAL DRAWINGS
- WALL LOCATION OF ROOFING MEMBRANE
- BRASS LAYERS TONGUE OVER FLOW ROOF DRAIN TERMINUS
- DRYER VENT TERMINUS - VERIFY SIZE WITH EQUIPMENT MANUFACTURER. BOTTOM OF VENT SHALL BE AT MINIMUM ELEVATION OF 10'-0".
- LIGHT FIXTURE - SEE ELECTRICAL PLANS FOR TYPE AND MOUNTING ELEVATION.
- DIESEL FUEL TANK FILLING PUMP.
- GAS METER - SEE MECHANICAL PLANS
- OVERHEAD CLEARANCE SIGNAGE - SEE SPECIFICATION SECTION 04.00.
- BUILDING ADDRESS SIGNAGE - 2" ALUMINUM LETTERS - PROVIDE BLOCKING / STANDOFFS AS REQUIRED. SEE SPECIFICATION SECTION 04.00.

GRAPHIC	EXTERIOR FINISH KEY
	B-1 BRICK VENEER SIZE: 4"X8"X16" COLOR: "HELL THIRSTLETON" FRG: SUPT BRICK & TILE
	S-1 PORCELAIN / HONEYCOMB VENEER SYSTEM COLOR: GREENVILLE - NATURAL FRG: LAFRANCO
	S-2 STONE NOT USED COLOR: NOT USED FRG: NOT USED
	PC-1 ARCHITECTURAL CAST STONE TRIM COLOR: TBD FRG: EDWARDS CAST STONE PRODUCTS
	EFS COLOR: MATCH INTERIOR CLG COLOR FINISH: SANDBLESS FRG: ETO ESSENCE
	M-1 ALUM COMPOSITE WALL PANEL SYSTEM COLOR: MEDIUM BRONZE '92 FRG: CFA ARCHITECTURAL
	M-2 BRAKE METAL COPPING GRAVEL STOPS COLOR: MEDIUM BRONZE '92 FRG: CFA ARCHITECTURAL
	BRICK PANEL





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1 N. WEBSTER ST.
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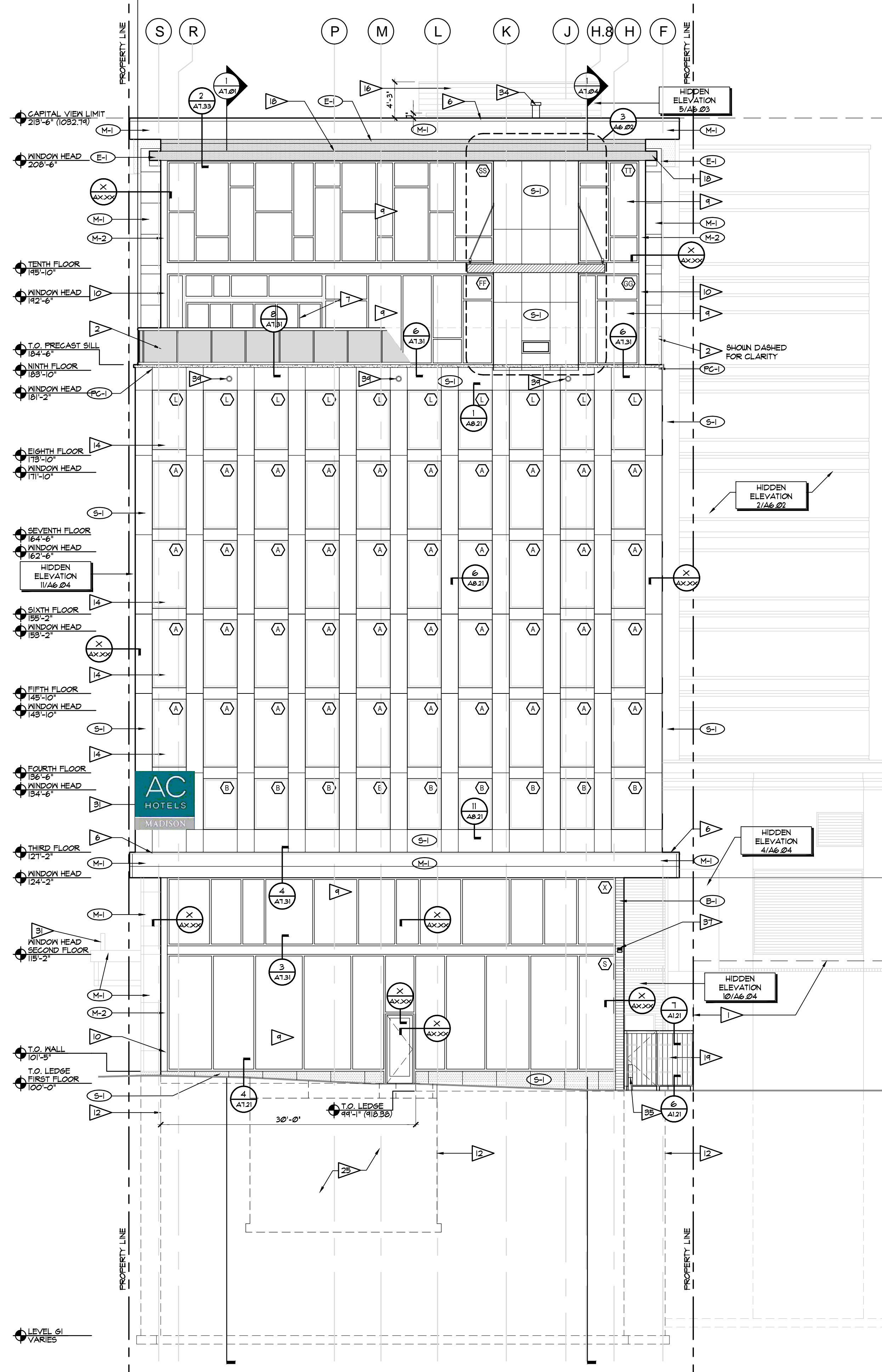
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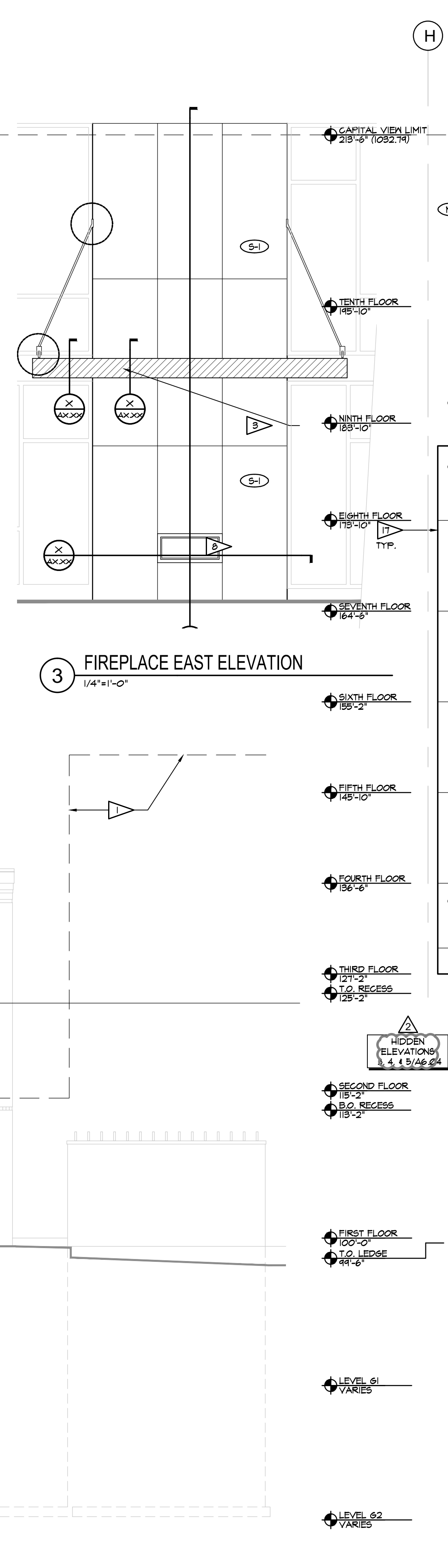
PROJECT: 201410.1
DRAWN BY: TEL/AJA
DATE:
SCALE: AS NOTED
ISSUE: B.P.#2 07.29.2015
BPM4 10/16/2015
BPM4 ADD#1 11/09/2015
ISSUE FOR PAC 12/02/2015
BPM4 ADD#2

KEY NOTES - BUILDING ELEVATIONS

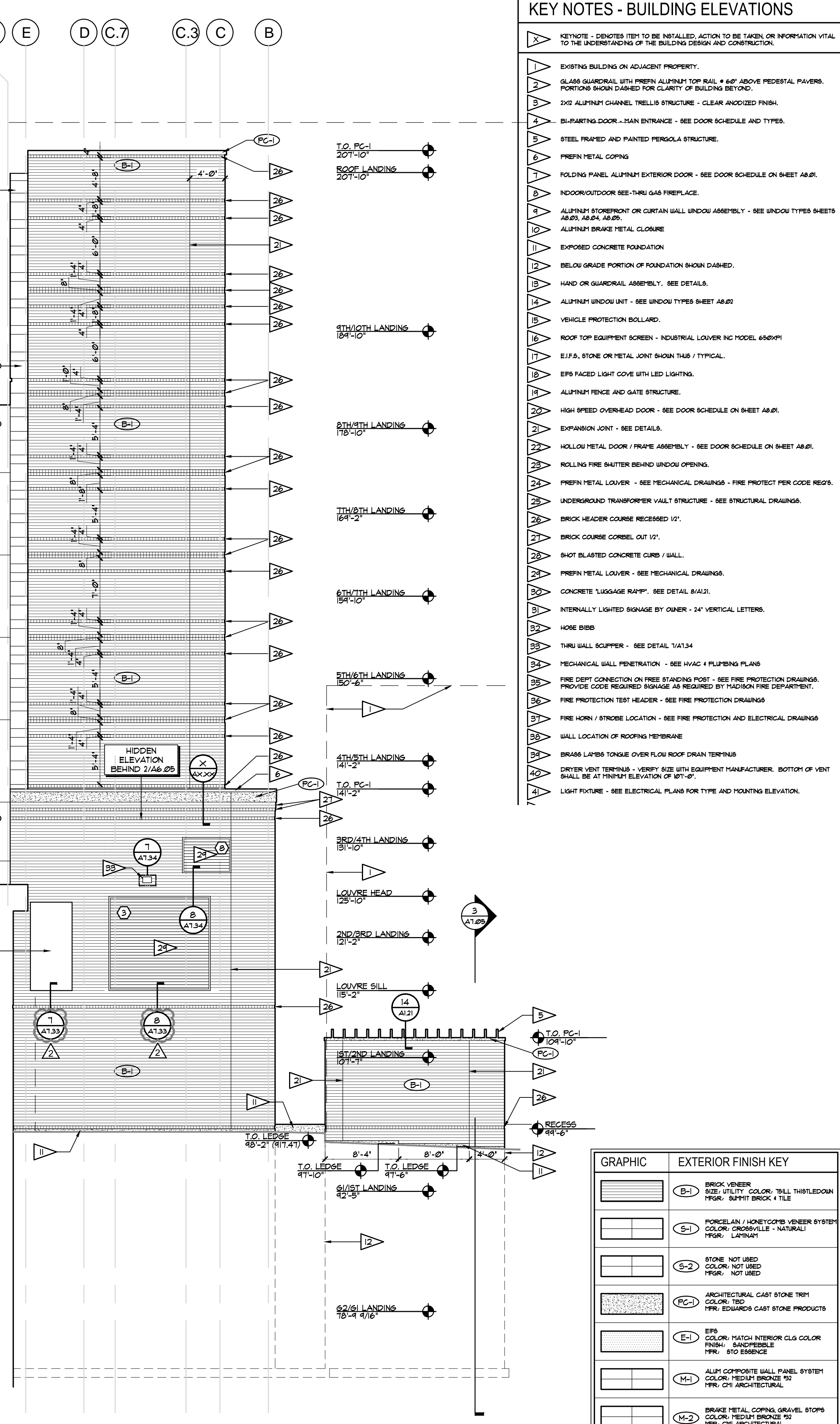
- KEYNOTE - DENOTES ITEM TO BE INSTALLED, ACTION TO BE TAKEN OR INFORMATION VITAL TO THE UNDERSTANDING OF THE BUILDING DESIGN AND CONSTRUCTION.
- EXISTING BUILDING ON ADJACENT PROPERTY.
- GLASS GUARDRAIL WITH FRIBEN ALUMINUM TOP RAIL 4" HGT ABOVE PEDESTAL PAVERS. PORTIONS SHOWN DAMPED FOR CLARITY OF BUILDING BEYOND.
- 2X2 ALUMINUM CHANNEL TRILLIS STRUCTURE - CLEAR ANODIZED FINISH.
- BI-PARTING DOOR - ISAN ENTRANCE - SEE DOOR SCHEDULE AND TYPES.
- STEEL FRAMED AND PAINTED PERGOLA STRUCTURE.
- FRIBEN METAL COPING.
- FOLDING PANEL ALUMINUM EXTERIOR DOOR - SEE DOOR SCHEDULE ON SHEET AB.01.
- INDOOR/OUTDOOR SEE-THRU GAS FIREPLACE.
- ALUMINUM STOREFRONT OR CURTAIN WALL WINDOW ASSEMBLY - SEE WINDOW TYPES SHEETS AB.03, AB.04, AB.05.
- ALUMINUM BRAKE METAL CLOSURE.
- EXPOSED CONCRETE FOUNDATION.
- BELOW GRADE PORTION OF FOUNDATION SHOWN DAMPED.
- HAND OR GUARDRAIL ASSEMBLY - SEE DETAILS.
- ALUMINUM WINDOW UNIT - SEE WINDOW TYPES SHEET AB.02.
- VEHICLE PROTECTION BOLLARD.
- ROOF TOP EQUIPMENT SCREEN - INDUSTRIAL LOWER NC MODEL 650XPH
- EJFA, STONE OR METAL JOINT SHOWN TYPICAL.
- EPS FACED LIGHT COVE WITH LED LIGHTING.
- ALUMINUM FENCE AND GATE STRUCTURE.
- HIGH SPEED OVERHEAD DOOR - SEE DOOR SCHEDULE ON SHEET AB.01.
- EXPANSION JOINT - SEE DETAILS.
- HOLLOW METAL DOOR / FRAME ASSEMBLY - SEE DOOR SCHEDULE ON SHEET AB.01.
- ROLLING FIRE SHUTTER BEHIND WINDOW OPENING.
- FRIBEN METAL LOUVER - SEE MECHANICAL DRAWINGS - FIRE PROTECT PER CODE REQ'S.
- UNDERGROUND TRANSFORMER VAULT STRUCTURE - SEE STRUCTURAL DRAWINGS.
- BRICK HEADER COURSE RECESSED 1/2".
- BRICK COURSE CORBEL OUT 1/2".
- SHOT BLASTED CONCRETE CURB / WALL.
- FRIBEN METAL LOUVER - SEE MECHANICAL DRAWINGS.
- CONCRETE "LOGGAGE RAMP" - SEE DETAIL BA.02.
- INTERNALLY LIGHTED SIGNAGE BY OWNER - 24" VERTICAL LETTERS.
- HORE DIBS
- THRU WALL SCUPPER - SEE DETAIL 1A/134
- MECHANICAL WALL PENETRATION - SEE HVAC & PLUMBING PLANS
- FIRE DEPT CONNECTION ON FREE STANDING POST - SEE FIRE PROTECTION DRAWINGS. PROTECT CODE REQUIRED SIGNAGE AS REQUIRED BY THUNDER FIRE DEPARTMENT.
- FIRE PROTECTION TEST HEADER - SEE FIRE PROTECTION DRAWINGS
- FIRE HORN / STROBE LOCATION - SEE FIRE PROTECTION AND ELECTRICAL DRAWINGS
- WALL LOCATION OF ROOFING MEMBRANE
- BRASS LAYER TONGUE OVER FLOW ROOF DRAIN TERMINUS
- DRYER VENT TERMINUS - VERIFY SIZE WITH EQUIPMENT MANUFACTURER. BOTTOM OF VENT SHALL BE AT MINIMUM ELEVATION OF 10'-0".
- LIGHT FIXTURE - SEE ELECTRICAL PLANS FOR TYPE AND MOUNTING ELEVATION.



1 EAST ELEVATION
1/8"=1'-0"

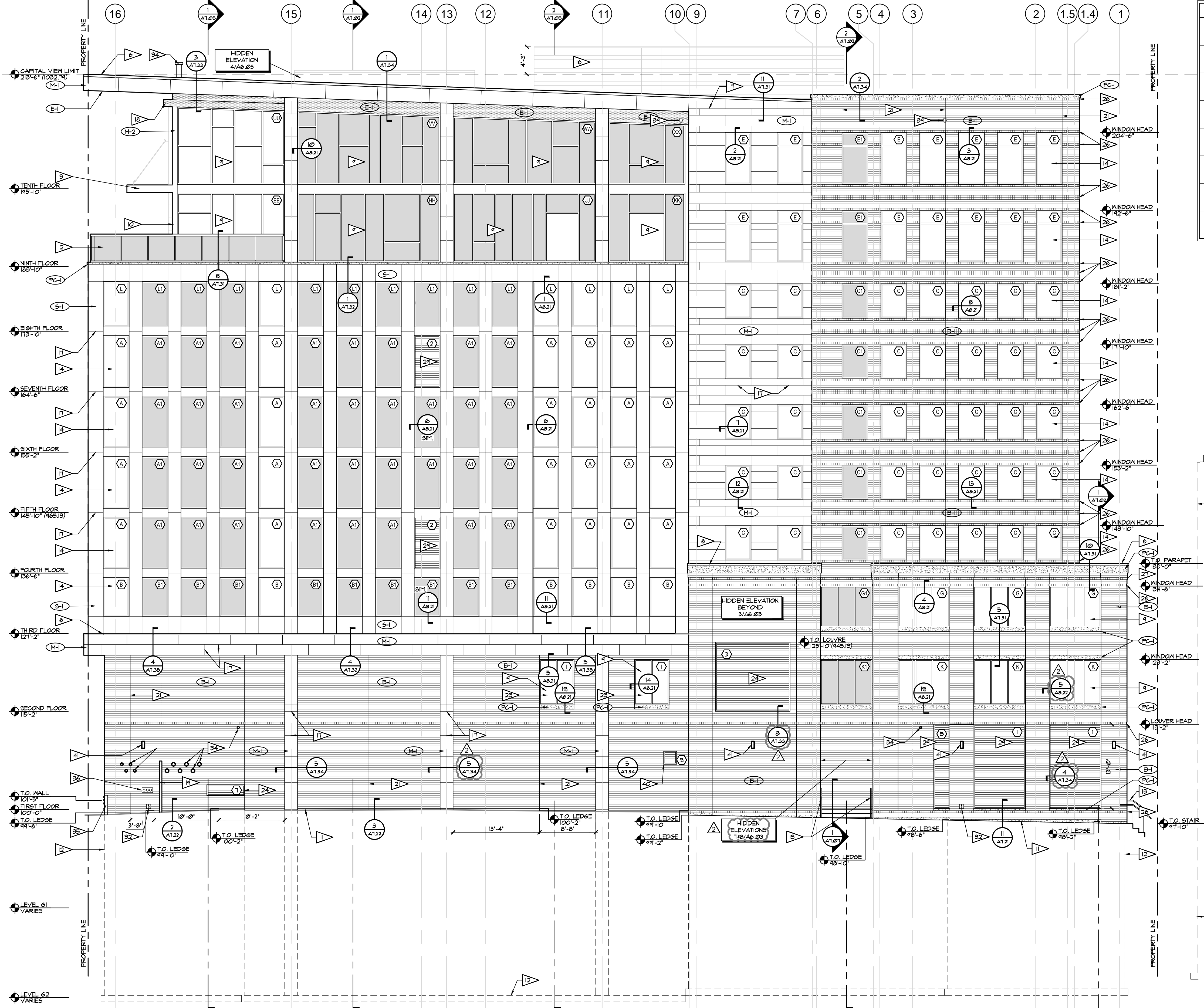


3 FIREPLACE EAST ELEVATION
1/4"=1'-0"



2 PARTIAL EAST ELEVATION
1/8"=1'-0"

GRAPHIC	EXTERIOR FINISH KEY
	B-1 BRICK VENEER SEE UTILITY COLOR; TILL THISTLEDOWN MFG; SUMMIT BRICK & TILE
	S-1 PORCELAIN / HONEYCOMB VENEER SYSTEM COLOR: CROSSLVILLE - NATURAL MFG: LANTINI
	S-2 STONE NOT USED COLOR: NOT USED MFG: NOT USED
	PC-1 ARCHITECTURAL CAST STONE TRIM COLOR: TED MFG: EDWARDS CAST STONE PRODUCTS
	E-1 EPS COLOR MATCH INTERIOR CLG COLOR FINISH: SANDPAPER MFG: STO EMSENCE
	M-1 ALUM COMPOSITE WALL PANEL SYSTEM COLOR: MEDIUM BRONZE 152 MFG: CH ARCHITECTURAL
	M-2 BRAKE METAL COPING, GRAVEL STOPS COLOR: MEDIUM BRONZE 152 MFG: CH ARCHITECTURAL
	GRANITE PANEL



GRAPHIC	EXTERIOR FINISH KEY
	B-1 BRICK VENEER SIZE: UTILITY COLOR: BULL THROATLEAD PFR: SUMMIT BRICK 4 TILE
	S-1 PORCELAIN / HONEYCOMB VENEER SYSTEM COLOR: CROSBVILLE - NATURAL PFR: LUMINAT
	S-2 STONE NOT USED COLOR: NOT USED PFR: NOT USED
	PC-1 ARCHITECTURAL CAST STONE TRIM COLOR: TRIO PFR: EDWARDS CAST STONE PRODUCTS
	E-1 EIFS COLOR: MATCH INTERIOR CLG COLOR FINISH: SANDPAPER PFR: STO ESSENCE
	M-1 ALUM COMPOSITE WALL PANEL SYSTEM COLOR: MEDIUM BRONZE 52 PFR: CHI ARCHITECTURAL
	M-2 BRAKE METAL COPING GRAVEL STOPS COLOR: MEDIUM BRONZE 52 PFR: CHI ARCHITECTURAL
	SPANDEL PANEL

- KEY NOTES - BUILDING ELEVATIONS**
- KEYNOTE - DENOTES ITEM TO BE INSTALLED, ACTION TO BE TAKEN OR INFORMATION VITAL TO THE UNDERSTANDING OF THE BUILDING DESIGN AND CONSTRUCTION.
 - EXISTING BUILDING ON ADJACENT PROPERTY.
 - GLASS GUARDRAIL WITH PRECAST ALUMINUM TOP RAIL 4'-0" ABOVE PEDESTAL PAVERS. PORTIONS SHOWN DAMAGED FOR CLARITY OF BUILDING BEYOND.
 - 2X2 ALUMINUM CHANNEL TRILLIS STRUCTURE - CLEAR ANODIZED FINISH.
 - BI-PARTING DOOR - MAIN ENTRANCE - SEE DOOR SCHEDULE AND TYPES.
 - STEEL FRAMED AND PAINTED PERGOLA STRUCTURE.
 - PREPARED METAL COPING.
 - FOLDING PANEL ALUMINUM EXTERIOR DOOR - SEE DOOR SCHEDULE ON SHEET AB.01.
 - INDOOR/OUTDOOR SEE-THRU GAS FIREPLACE.
 - ALUMINUM STOREFRONT OR CURTAIN WALL WINDOW ASSEMBLY - SEE WINDOW TYPES SHEETS AB.03, AB.04, AB.05.
 - ALUMINUM BRAKE METAL CLASURE.
 - EXPOSED CONCRETE FOUNDATION.
 - BELOW GRADE PORTION OF FOUNDATION SHOWN DAMAGED.
 - HAND OR GUARDRAIL ASSEMBLY - SEE DETAILS.
 - ALUMINUM WINDOW UNIT - SEE WINDOW TYPES SHEET AB.02.
 - VEHICLE PROTECTION BOLLARD.
 - ROOF TOP EQUIPMENT SCREEN - INDUSTRIAL LOUVER NC MODEL 650XPH
 - E.I.F.S. STONE OR METAL JOINT SHOWN TYPICAL.
 - EIFS FACED LIGHT COVE WITH LED LIGHTING.
 - ALUMINUM FENCE AND GATE STRUCTURE.
 - HIGH SPEED OVERHEAD DOOR - SEE DOOR SCHEDULE ON SHEET AB.01.
 - EXPANSION JOINT - SEE DETAILS.
 - HOLLOW METAL DOOR / FRAME ASSEMBLY - SEE DOOR SCHEDULE ON SHEET AB.01.
 - ROLLING FIRE SHUTTER BEHIND WINDOW OPENING.
 - PREPARED METAL LOUVER - SEE MECHANICAL DRAWINGS - FIRE PROTECT PER CODE REQ.
 - UNDERGROUND TRANSPORTER VAULT STRUCTURE - SEE STRUCTURAL DRAWINGS.
 - BRICK HEADER COURSE RECESSED 1/2".
 - BRICK COURSE CORBEL OUT 1/2".
 - SHOT BLASTED CONCRETE CURB / WALL.
 - PREPARED METAL LOUVER - SEE MECHANICAL DRAWINGS.
 - CONCRETE "LAGGAGE RAMP" - SEE DETAIL BM.21.
 - INTERNALLY LIGHTED SIGNAGE BY OWNER - 24" VERTICAL LETTERS.
 - HOME DECK.
 - THRU WALL SCUPPER - SEE DETAIL 1/134.
 - MECHANICAL WALL PENETRATION - SEE HVAC & PLUMBING PLANS.
 - FIRE DEPT CONNECTION ON FREE STANDING POST - SEE FIRE PROTECTION DRAWINGS. PROVIDE CODE REQUIRED SIGNAGE AS REQUIRED BY THICKON FIRE DEPARTMENT.
 - FIRE PROTECTION TEST HEADER - SEE FIRE PROTECTION DRAWINGS.
 - FIRE HORN / STROBE LOCATION - SEE FIRE PROTECTION AND ELECTRICAL DRAWINGS.
 - WALL LOCATION OF ROOFING MEMBRANE.
 - BRASS LAYER TONGUE OVER FLOOR DRAIN TERMINUS.
 - DRYER VENT TERMINUS - VERIFY SIZE WITH EQUIPMENT MANUFACTURER. BOTTOM OF VENT SHALL BE AT MINIMUM ELEVATION OF 10'-0".
 - LIGHT FIXTURE - SEE ELECTRICAL PLANS FOR TYPE AND MOUNTING ELEVATION.
 - DIESEL FUEL TANK FILLING PUMP.
 - GAS METER - SEE MECHANICAL PLANS.
 - OVERHEAD CLEARANCE SIGNAGE - SEE SPECIFICATION SECTION 0400.
 - BUILDING ADDRESS SIGNAGE - 12" ALUMINUM LETTERS - PROVIDE BLOCKING / STANDOFFS AS REQUIRED. SEE SPECIFICATION SECTION 0600.

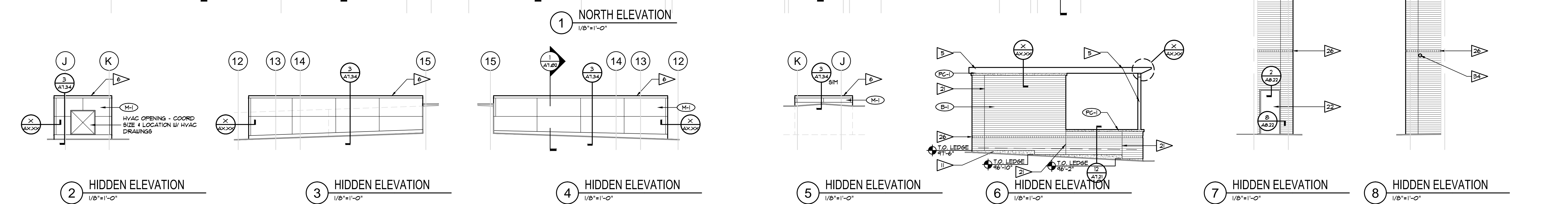
GARY BRINK & ASSOCIATES ARCHITECTS
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PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
 1 N. WEBSTER ST.
 MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON, LLC
 C/O: NORTH CENTRAL GROUP
 1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410.1
DRAWN BY: TEL.A1A
DATE:
SCALE: AS NOTED
ISSUE:
B.P.#2: 07.29.2015
BPM: 10/16/2015
BPM ADDM: 11/09/2015
ISSUE FOR P&C: 12/02/2015
BPM4 ADDP: 12/02/2015

BUILDING ELEVATIONS
A6.03

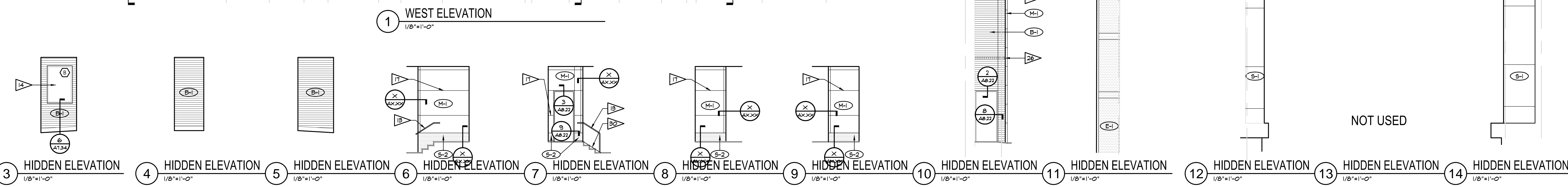
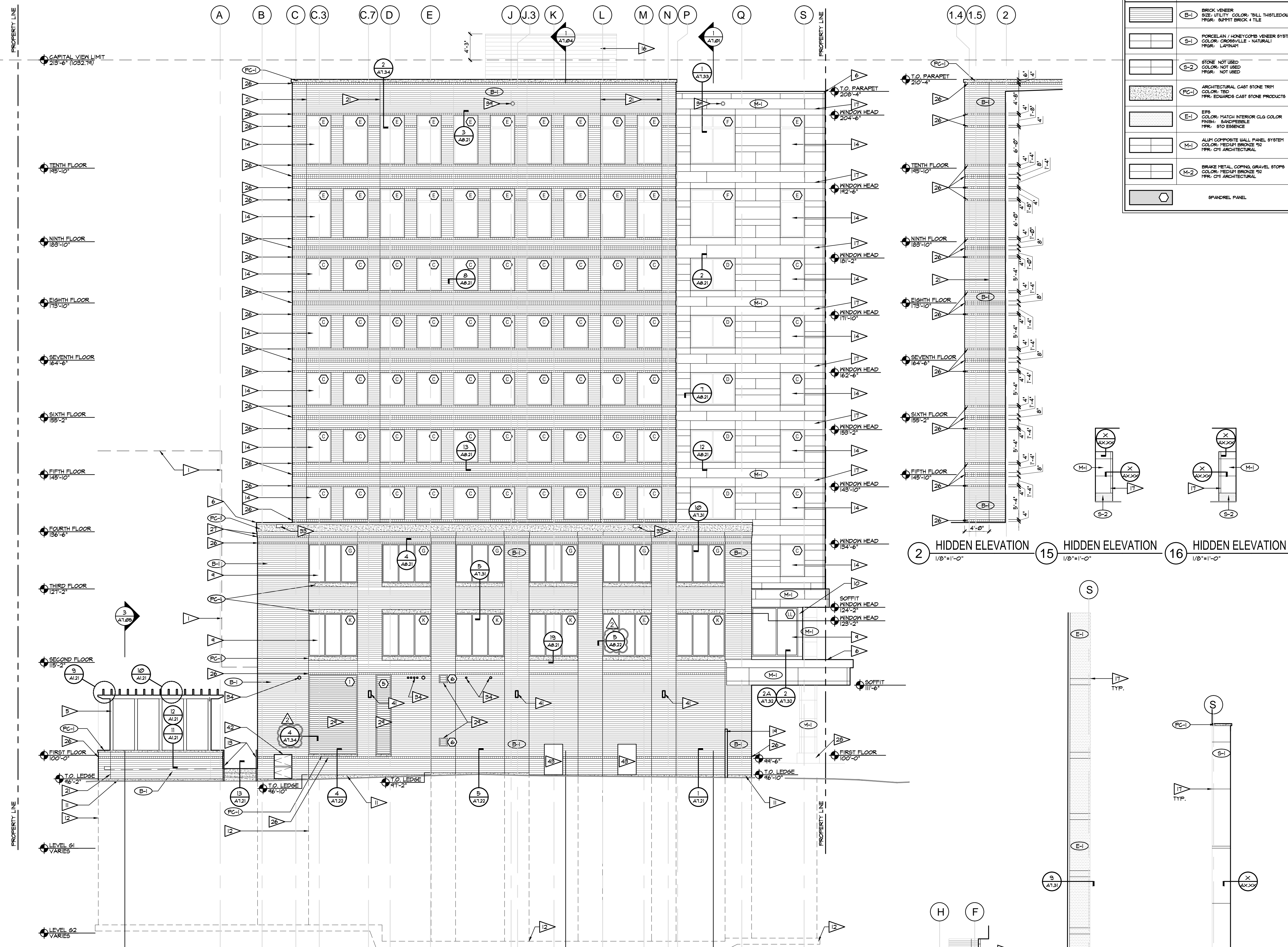




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GRAPHIC	EXTERIOR FINISH KEY
	B-1 BRICK VENEER SIZE: UTILITY COLOR: TELL THISTLEDON PFR: SUPPLY BRICK & TILE
	B-1 PORCELAIN / MONOCOLOR VENEER SYSTEM COLOR: CROSSVILLE - NATURAL PFR: LAMINAT
	B-2 STONE NOT USED COLOR: NOT USED PFR: NOT USED
	PC-1 ARCHITECTURAL CAST STONE TRIM COLOR: TRD PFR: EDWARDS CAST STONE PRODUCTS
	E-1 EPB COLOR MATCH INTERIOR CLG COLOR FINISH: SANDPAPERABLE PFR: STO ESSENCE
	M-1 ALUM COMPOSITE WALL PANEL SYSTEM COLOR: REDDIT BRONZE #2 PFR: CHI ARCHITECTURAL
	M-2 BRAKE METAL COPING GRAVEL STOPS COLOR: NOT USED PFR: CHI ARCHITECTURAL
	SPANDREL PANEL

KEY NOTES - BUILDING ELEVATIONS	
	KEYNOTE - DENOTES ITEM TO BE INSTALLED, ACTION TO BE TAKEN OR INFORMATION VITAL TO THE UNDERSTANDING OF THE BUILDING DESIGN AND CONSTRUCTION.
	EXISTING BUILDING ON ADJACENT PROPERTY.
	GLASS GUARDRAIL WITH PREFIN ALUMINUM TOP RAIL 4" HGT ABOVE PEDESTAL PAVERS. PORTIONS SHOWN DAMAGED FOR CLARITY OF BUILDING BEYOND.
	2X6 ALUMINUM CHANNEL TRILLIS STRUCTURE - CLEAR ANODIZED FINISH.
	SI-PARTING DOOR - MAIN ENTRANCE - SEE DOOR SCHEDULE AND TYPES.
	STEEL FRAMED AND PAINTED PERGOLA STRUCTURE.
	PREFIN METAL COPING
	FOLDING PANEL ALUMINUM EXTERIOR DOOR - SEE DOOR SCHEDULE ON SHEET AB.01.
	INDOOR/OUTDOOR SEE-THRU GAS FIREPLACE.
	ALUMINUM STOREFRONT OR CURTAIN WALL WINDOW ASSEMBLY - SEE WINDOW TYPES SHEETS AB.03, AB.04, AB.05.
	ALUMINUM BRAKE METAL CLOSURE
	EXPOSED CONCRETE FOUNDATION
	BELOW GRADE PORTION OF FOUNDATION SHOWN DAMAGED.
	HAND OR GUARDRAIL ASSEMBLY - SEE DETAILS.
	ALUMINUM WINDOW UNIT - SEE WINDOW TYPES SHEET AB.02
	VEHICLE PROTECTION BOLLARD.
	ROOF TOP EQUIPMENT SCREEN - INDUSTRIAL LOUVER INC MODEL 650XPH
	EIFS, STONE OR METAL JOINT SHOWN TYPICAL.
	EPB FACED LIGHT COVE WITH LED LIGHTING.
	ALUMINUM FENCE AND GATE STRUCTURE.
	HIGH SPEED OVERHEAD DOOR - SEE DOOR SCHEDULE ON SHEET AB.01.
	EXPANSION JOINT - SEE DETAILS.
	HOLLOW METAL DOOR / FRAME ASSEMBLY - SEE DOOR SCHEDULE ON SHEET AB.01.
	ROLLING FIRE SHUTTER BEHIND WINDOW OPENING.
	PREFIN METAL LOUVER - SEE MECHANICAL DRAWINGS - FIRE PROTECT PER CODE REQ'S.
	UNDERGROUND TRANSPORTER VAULT STRUCTURE - SEE STRUCTURAL DRAWINGS.
	BRICK HEADER COURSE RECESSED 1/2".
	BRICK COURSE CORBEL OUT 1/2".
	SHOT BLASTED CONCRETE CURB / WALL.
	PREFIN METAL LOUVER - SEE MECHANICAL DRAWINGS.
	CONCRETE "LUGGAGE RAMP" - SEE DETAIL BM.02.
	INTERNALLY LIGHTED SIGNAGE BY OWNER - 24" VERTICAL LETTERS.
	HOME DRIVE
	THRU WALL SCUPPER - SEE DETAIL 1/A134
	MECHANICAL WALL PENETRATION - SEE HVAC & PLUMBING PLANS
	FIRE CHERT CONNECTION ON FREE STANDING POST - SEE FIRE PROTECTION DRAWINGS. PROVIDE CODE REQUIRED SIGNAGE AS REQUIRED BY THICKEN FIRE DEPARTMENT.
	FIRE PROTECTION TEST HEADER - SEE FIRE PROTECTION DRAWINGS
	FIRE HORN / STROBE LOCATION - SEE FIRE PROTECTION AND ELECTRICAL DRAWINGS
	WALL LOCATION OF ROOFING MEMBRANE
	BRASS LAYER TONGUE OVER FLOOR ROOF DRAIN TERMINUS
	DRYER VENT TERMINUS - VERIFY SIZE WITH EQUIPMENT MANUFACTURER. BOTTOM OF VENT SHALL BE AT MINIMUM ELEVATION OF 10'-0".
	LIGHT FIXTURE - SEE ELECTRICAL PLANS FOR TYPE AND MOUNTING ELEVATION.
	DIESEL FUEL TANK FILLING PUMP.
	GAS METER - SEE MECHANICAL PLANS
	OVERHEAD CLEARANCE SIGNAGE - SEE SPECIFICATION SECTION 04.00.
	BUILDING ADDRESS SIGNAGE - 2" ALUMINUM LETTERS - PROVIDE BLOCKING / STANDOFFS AS REQUIRED. SEE SPECIFICATION SECTION 05.00.



PROJECT:
AC BY MARRIOTT - DOWNTOWN MADISON
1 N. WEBSTER ST.
MADISON, WISCONSIN
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202 E. WASHINGTON, LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410.1
DRAWN BY: TEL/AIA
DATE:
SCALE: AS NOTED
ISSUE: B.P.#2 07.29.2015
BPM4 10/16/2015
BPM4 ADD# 11/09/2015
ISSUE FOR P&C 12/02/2015
BPM4 ADD#

BUILDING ELEVATIONS
A6.04



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ROOF KEY NOTES

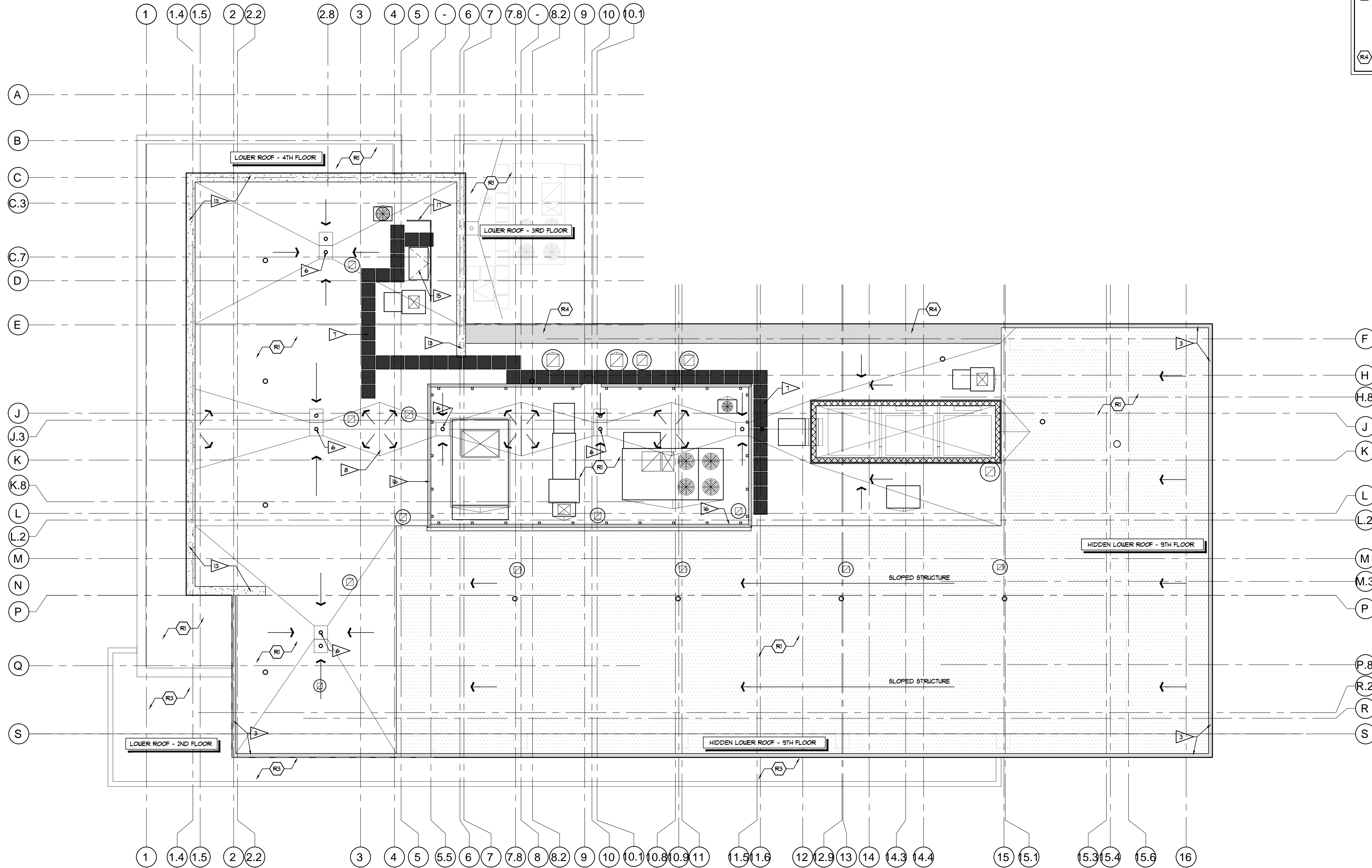
1. NOT USED.
2. NOT USED.
3. PRE-FINISHED STEEL COPING PER DETAILS INDICATED.
4. NOT USED.
5. NOT USED.
6. PRE-FABRICATED ROOF SUMP, ROOF DRAIN (R.D.) & ASSEMBLY.
7. 24" X 24" WALKWAY PADS (APPROXIMATE ROUTING AS INDICATED).
8. NOT USED.
9. NOT USED.
10. PRAIRIE VEGETATED EXTENSIVE ROOF SYSTEM (3" DEPTH) WITH IRRIGATION. ALL MATERIALS ABOVE EPDM SUPPLIED AND INSTALLED BY VEGETATED ROOFING CONTRACTOR. SEE L-102 DRAWINGS.
11. PRAIRIE VEGETATED INTENSIVE ROOF SYSTEM (9" DEPTH) WITH IRRIGATION. ALL MATERIALS ABOVE EPDM SUPPLIED AND INSTALLED BY VEGETATED ROOFING CONTRACTOR. SEE L-102 DRAWINGS.
12. NOT USED.
13. ARCHITECTURAL PRECAST CONCRETE CAP.
14. NOT USED.
15. ROOF HATCH.
16. INVERTED BLADE EQUIPMENT SCREEN SYSTEM PAINTED TO MATCH M-1 BY G.C. SEE A6.04 FOR ELEVATIONS.
17. GUARD RAIL.

GENERAL ROOFING NOTES

1. ARROWS ON ROOF PLAN DESIGNATE INTENDED DIRECTION OF WATER SURFACE DRAINAGE AND/OR PITCH OF SLOPED STRUCTURE.
2. REFER TO PLUMBING AND MECHANICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS AND ROOFING DETAILS NOT SHOWN, (INCLUDING PLUMBING VENTS).
3. PROVIDE CRICKETS / SADDLES AT HIGH SIDE OF ALL MECHANICAL EQUIPMENT.
4. SEE 2nd, 3rd, & 4th FLOOR PLANS FOR ADDITIONAL INFORMATION ON LOWER ROOF AREAS.
5. ROOFING CONTRACTOR TO PROVIDE BALLAST MATERIAL FOR ALL ROOFTOP EQUIPMENT CURBS.
6. SEE DETAILS - THRU - ON SHEET AT.17.01 FOR TYPICAL DETAILS NOT SPECIFICALLY REFERENCED (SUCH AS ROOF CURBS, ROOF DRAIN, ETC.)
7. VEGETATED ROOF ROOF SYSTEMS ARE BASED OFF HANGING GARDEN SYSTEMS PROVIDED BY ANTHONY MAYER - 414.871.2001

ROOF ASSEMBLY LEGEND

- (R1) FULLY ADHERED 60 MIL WHITE TPO ROOFING SYSTEM OVER 4" MINIMUM POLYISOCYANURATE INSULATION BOARD OVER 9/8" PROTECTION BOARD OVER GALVANIZED METAL ROOF DECK AND FRAMING IDENTIFIED ON STRUCTURAL PLANS. SYSTEM TO BE 1 HOUR RATED, REFER TO DETAIL H1 & H9/A2.22 FOR ADDITIONAL INFORMATION ON CEILING/ROOF ASSEMBLYS.
- (R2) PEDESTAL PAVERS OVER FULLY ADHERED 60 MIL BLACK E.P.D.M. ROOFING SYSTEM OVER 4" MINIMUM POLYISOCYANURATE INSULATION BOARD OVER CONCRETE TOPPING OVER GALVANIZED METAL ROOF DECK AND FRAMING IDENTIFIED ON STRUCTURAL PLANS. SYSTEM TO BE 1 HOUR RATED, REFER TO DETAIL H1/A2.22 FOR ADDITIONAL INFORMATION ON CEILING/ROOF ASSEMBLYS.
- (R3) NATIVE PLANTINGS AND SPRAY IRRIGATION IN 9" (AVERAGE DEPTH) GROWTH MEDIA OVER FILTER FLEECE OVER DRAINAGE / RETAINAGE MAT OVER PROTECTION FLEECE LAYER OVER 60 MIL BLACK E.P.D.M. ROOFING SYSTEM OVER 1" RIGID INSULATION OVER GALVANIZED METAL ROOF DECK AND FRAMING IDENTIFIED ON STRUCTURAL PLANS. SYSTEM TO BE 1 HOUR RATED, REFER TO DETAIL H1/A2.22 FOR ADDITIONAL INFORMATION ON CEILING/ROOF ASSEMBLYS.
- (R4) 22 GA. PREFINISHED STEEL ROOFING OVER ICE AND WATER SHIELD OVER 3/4" P.T. PLYWOOD OVER METAL STUD FRAMING.



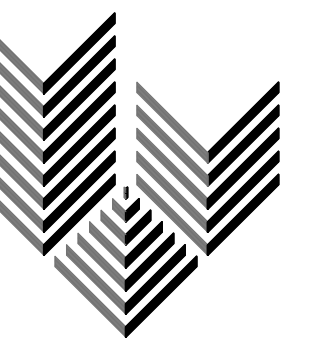
1 ROOF PLAN AS PROPOSED
1/8" = 1'-0"

PLAN TRUE

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
1 N. WEBSTER ST.
MADISON, WISCONSIN
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PROJECT: 201410.1
DRAWN BY: TELAIA
DATE:
SCALE: AS NOTED
ISSUE:
B.P.#2 07.29.2015
U.D.C. REVIEW 01.12.2016



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ROOF KEY NOTES

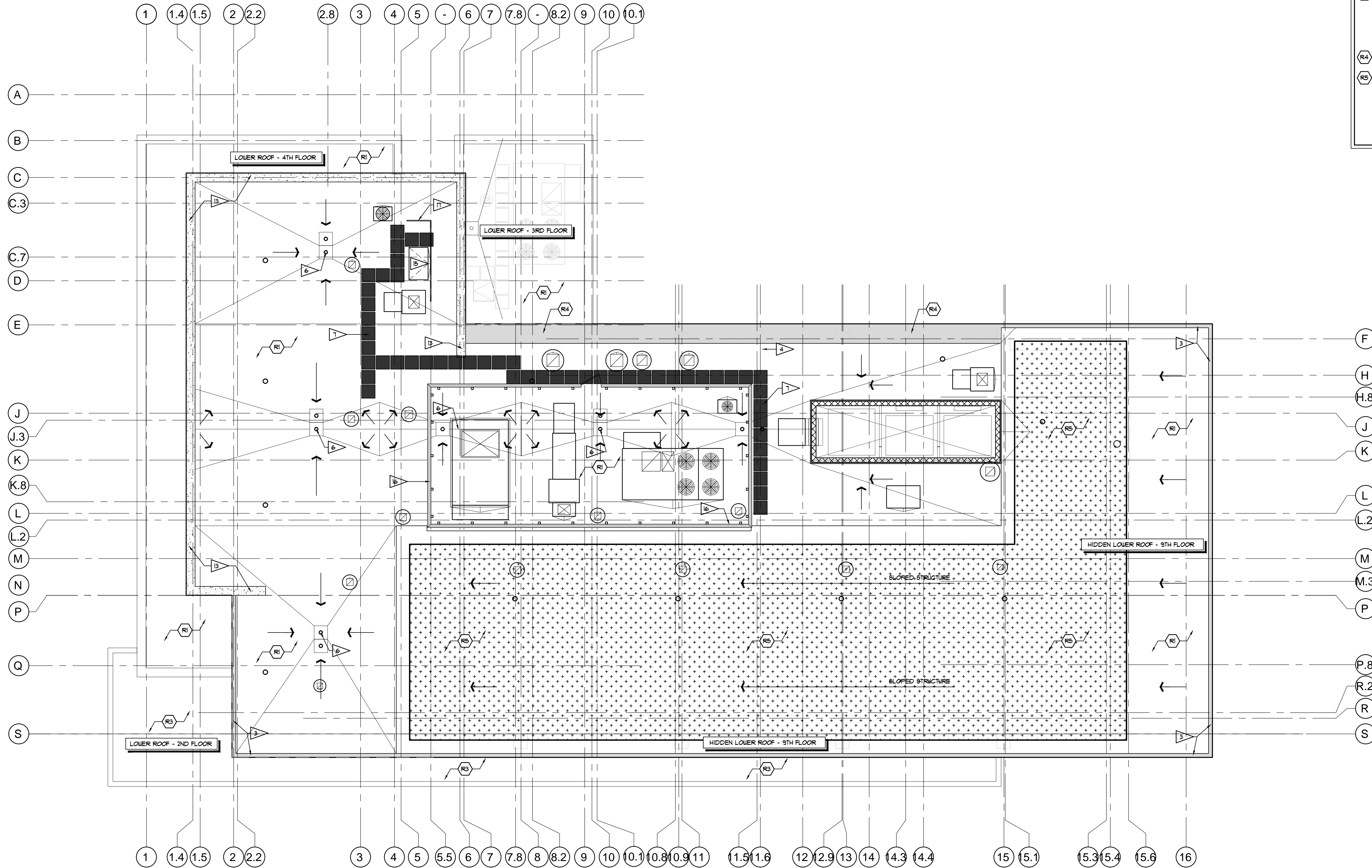
1. NOT USED.
2. NOT USED.
3. PRE-FINISHED STEEL COPING PER DETAILS INDICATED.
4. NOT USED.
5. NOT USED.
6. PRE-FABRICATED ROOF SUMP, ROOF DRAIN (R.D.) & ASSEMBLY.
7. 24" X 24" WALKWAY PADS (APPROXIMATE ROUTING AS INDICATED).
8. NOT USED.
9. NOT USED.
10. PRAIRIE VEGETATED EXTENSIVE ROOF SYSTEM (3" DEPTH) WITH IRRIGATION. ALL MATERIALS ABOVE EPDM SUPPLIED AND INSTALLED BY VEGETATED ROOFING CONTRACTOR. SEE L-102 DRAWINGS.
11. PRAIRIE VEGETATED INTENSIVE ROOF SYSTEM (9" DEPTH) WITH IRRIGATION. ALL MATERIALS ABOVE EPDM SUPPLIED AND INSTALLED BY VEGETATED ROOFING CONTRACTOR. SEE L-102 DRAWINGS.
12. NOT USED.
13. ARCHITECTURAL PRECAST CONCRETE CAP.
14. NOT USED.
15. ROOF HATCH.
16. INVERTED BLADE EQUIPMENT SCREEN SYSTEM PAINTED TO MATCH M-1 BY G.C. SEE A6.04 FOR ELEVATIONS.
17. GUARD RAIL.

GENERAL ROOFING NOTES

1. ARROWS ON ROOF PLAN DESIGNATE INTENDED DIRECTION OF WATER SURFACE DRAINAGE AND/OR PITCH OF SLOPED STRUCTURE.
2. REFER TO PLUMBING AND MECHANICAL DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS AND ROOFING DETAILS NOT SHOWN. (INCLUDING PLUMBING VENTS)
3. PROVIDE CRICKETS / SADDLES AT HIGH SIDE OF ALL MECHANICAL EQUIPMENT.
4. SEE 2nd, 3rd, & 4th FLOOR PLANS FOR ADDITIONAL INFORMATION ON LOWER ROOF AREAS.
5. ROOFING CONTRACTOR TO PROVIDE BALLAST MATERIAL FOR ALL ROOFTOP EQUIPMENT CURBS.
6. SEE DETAILS - THRU - ON SHEET AT.17.01 FOR TYPICAL DETAILS NOT SPECIFICALLY REFERENCED (SUCH AS ROOF CURB, ROOF DRAIN, ETC.)
7. VEGETATED ROOF ROOF SYSTEMS ARE BASED OFF HANGING GARDEN SYSTEMS PROVIDED BY ANTHONY MAYER - 414.871.2001

ROOF ASSEMBLY LEGEND

- (R1) FULLY ADHERED 60 MIL WHITE TPO ROOFING SYSTEM OVER 4" MINIMUM POLYISOCYANURATE INSULATION BOARD OVER 9/8" PROTECTION BOARD OVER GALVANIZED METAL ROOF DECK AND FRAMING IDENTIFIED ON STRUCTURAL PLANS. SYSTEM TO BE 1 HOUR RATED, REFER TO DETAIL H1 & H9/A2.22 FOR ADDITIONAL INFORMATION ON CEILING/ROOF ASSEMBLYS.
- (R2) PEDESTAL PAVERS OVER FULLY ADHERED 60 MIL BLACK EPDM ROOFING SYSTEM OVER 4" MINIMUM POLYISOCYANURATE INSULATION BOARD OVER CONCRETE TOPPING OVER GALVANIZED METAL ROOF DECK AND FRAMING IDENTIFIED ON STRUCTURAL PLANS. SYSTEM TO BE 1 HOUR RATED, REFER TO DETAIL H1/A2.22 FOR ADDITIONAL INFORMATION ON CEILING/ROOF ASSEMBLY.
- (R3) NATIVE PLANTINGS AND SPRAY IRRIGATION IN 9" (AVERAGE DEPTH) GROWTH MEDIA OVER FILTER FLEECE OVER DRAINAGE / RETAINAGE MAT OVER PROTECTION FLEECE LAYER OVER 60 MIL BLACK EPDM ROOFING SYSTEM OVER 1" RIGID INSULATION OVER GALVANIZED METAL ROOF DECK AND FRAMING IDENTIFIED ON STRUCTURAL PLANS. SYSTEM TO BE 1 HOUR RATED, REFER TO DETAIL H1/A2.22 FOR ADDITIONAL INFORMATION ON CEILING/ROOF ASSEMBLY. AREA OF PLANTINGS - 985 SF.
- (R4) 22 GA. PREFINISHED STEEL ROOFING OVER ICE AND WATER SHIELD OVER 3/4" P.T. FLYWOOD OVER METAL STUD FRAMING
- (R5) SEDUM PLANTINGS AND SPRAY IRRIGATION IN 3" (AVERAGE DEPTH) GROWTH MEDIA OVER FILTER FLEECE OVER DRAINAGE / RETAINAGE MAT OVER PROTECTION FLEECE LAYER OVER 60 MIL BLACK EPDM ROOFING SYSTEM OVER 1" RIGID INSULATION OVER GALVANIZED METAL ROOF DECK AND FRAMING IDENTIFIED ON STRUCTURAL PLANS. SYSTEM TO BE 1 HOUR RATED, REFER TO DETAIL H1/A2.22 FOR ADDITIONAL INFORMATION ON CEILING/ROOF ASSEMBLY. AREA OF PLANTINGS - 3,625 SF.



1 ROOF PLAN AS APPROVED
1/8" = 1'-0"

PROJECT:
AC BY MARRIOTT - DOWNTOWN MADISON
1 N. WEBSTER ST.
MADISON, WISCONSIN

OWNER:
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PROJECT: 201410.1
DRAWN BY: TELAJIA
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UDC REVIEW: 01.12.2016