

# URBAN DESIGN COMMISSION APPLICATION



City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



### FOR OFFICE USE ONLY:

Date Received 4/29/24 11:54 a.m.  Initial Submittal  
Paid \_\_\_\_\_  Revised Submittal

**Complete all sections of this application, including the desired meeting date and the action requested.** If your project requires both UDC and Land Use application submittals, a completed Land Use Application and accompanying submittal materials are also required to be submitted.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.*

*Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.*

*Yog tias kaj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwrm hom ntawv los sis lwrm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.*

## 1. Project Information

Address (list all addresses on the project site): 2302 Commercial Avenue, Madison, WI 53704

Title: Enterprise Rent-A-Car Company of Wisconsin

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested June 12, 2024

- New development  Alteration to an existing or previously-approved development  
 Informational  Initial Approval  Final Approval

## 3. Project Type

- Project in an Urban Design District  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
 General Development Plan (GDP)  
 Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

### Signage

- Comprehensive Design Review (CDR)  
 Modifications of Height, Area, and Setback  
 Sign Exceptions as noted in Sec. 31.043(3), MGO

### Other

Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Tim Hughes  
**Street address** 1050 Broadway St  
**Telephone** 920.655.9881

**Company** Alliance Construction & Design  
**City/State/Zip** Wrightstown, WI 54180  
**Email** tim.hughes@alliancebuilds.com

**Project contact person** Tim Hughes  
**Street address** 1050 Broadway St  
**Telephone** 920.655.9881

**Company** Alliance Construction & Design  
**City/State/Zip** Wrightstown, WI 54180  
**Email** tim.hughes@alliancebuilds.com

**Property owner (if not applicant)** PINGREE 2000 REAL ESTATE HOLDINGS LLC  
**Street address** 600 CORPORATE PARK DR  
**Telephone** 262.989.8027

**City/State/Zip** ST LOUIS, MO 63105  
**Email** Adam.rosquist@em.com

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- **Informational Presentation.** A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- **Initial Approval.** Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- **Final Approval.** Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

## Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

## 4. Signage Approval (**Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per Sec. 31.043(3))**)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

**5. Required Submittal Materials**

**Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

**Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

**Development Plans** (Refer to checklist on Page 4 for plan details)

**Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)

**Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to [UDCapplications@cityofmadison.com](mailto:UDCapplications@cityofmadison.com). The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.


**Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with J. Kirchgatter, J. Vaughn, K. Bannon, C. Punt on 04/04/2024.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Tim Hughes Relationship to property Contractor

Authorizing signature of property owner  Date 4/29/24

**7. Application Filing Fees**

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §33.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

May 14, 2024

To:  
Jessica Vaughn  
Urban Design Commission  
Planning Division

To:  
Colin Punt  
Planner – Development Review

Re:  
Letter of Intent  
UDC Initial and Final Submittal

Project:  
Enterprise Rent-A-Car Company of Wisconsin  
Service Center  
2302 Commercial Ave  
Madison, WI 53704

To whom it may concern,

The following Letter of Intent is submitted together with the required plans, and application for Use and Final UDC Approval, for review by Urban Design Commission and the City of Madison Staff, Planning Commission and Common Council for consideration and approval.

**Project Team**

OWNER/DEVELOPER  
Pingree 2000 Real Estate Holdings, LLC  
600 Corporate Park Dr  
St. Louis, MO 63105  
Contact: Adam Rosquist [adam.rosquist@em.com](mailto:adam.rosquist@em.com)

GENERAL CONTRACTOR / DESIGN TEAM  
Alliance Construction & Design  
1050 Broadway St  
Wrightstown, WI 54180  
Contact: Tim Hughes [tim.hughes@alliancebuilds.com](mailto:tim.hughes@alliancebuilds.com)

CIVIL ENGINEER / LANDSCAPE ARCHITECT  
McMahon Associates, Inc  
1445 McMahon Dr  
Neenah, WI 54956  
Contact: Shawn Jandrey [sjandrey@mcmgrp.com](mailto:sjandrey@mcmgrp.com)

### **Project Location / Introduction**

The subject property is 2302 Commercial Ave, Madison, WI 53704. Property is bounded on the east by a multi-family development, to the south by Commercial Ave, to the west by Packers Ave, and to the north by Mayer Ave. It is located within the Eken Park Neighborhood Association, Northside Business Association, and Aldermanic District 12.



### **Introduction to Our Project**

This property is zoned NMX – Neighborhood Mixed Use and is in the Urban Design District #4, as well as TOD – Transit Oriented Development overlay district.

The NMX allows for a service center as a conditional use.

The project site is currently operating as a service center for their vehicle fleet, and is serviced by all necessary utilities. Existing facility has a perimeter fence which will remain.

### **Project Description / Design Concept**

The project goal is to add two additional service bays consisting of 1,827 sf to their existing service center of 3,987 sf consisting of office space, drive through wash bay, and single service bay. Currently they are operating within a permitted conditional use of the property which functions as a service and wash center for their fleet but does not rent vehicles from this location.

Project will be addressing the landscaping of the road frontage to meet minimum requirements of the UDC for tree and shrub counts per the Landscape Plan. We will also be improving the percentage of greenspace within the islands located in the parking lot from 3% to 5%.

Through the addition of the new service bays, site improvements will be made as described above to meet the landscaping requirements of the Urban Design District #4 as well as the TOD. Additionally the number of parking stalls and the impervious surfaces will be reduced. The building will be constructed to match the existing façade, for a congruent aesthetic.

### **Urban Design District 4 Approach**

Within the items submitted is a summary of our approach to UDD 4 Requirements and Guidelines in addition to what is outlined below.

1. Public Rights-of-Way.
  - a. Requirements:
    - i. Public rights-of-ways existing landscaping is proposed to remain and be supplemented with additional plantings to meet the requirements. Reference Landscape Plan included.
  - b. Guidelines:
    - i. The appearance of the existing façade to the proposed addition will achieve visual continuity by means of utilizing matching exterior finishes. The façade shall consist of split faced CMU, painted smooth faced CMU, Aluminum soffits and fascia, and horizontal siding.
2. Off-Street Parking and Loading Areas
  - a. Requirements:
    - i. Parking lot landscaping will meet requirements.
    - ii. The quantity of parking and service areas as well as tree islands on the interior of existing parking areas will be improved to meet the requirements including distance from appropriately sized trees.
  - b. Guidelines:
    - i. Employee parking lot is located on the south west side of the building and set back from Commercial Ave.
    - ii. Existing facility is fenced and parking areas include islands with vegetation per the Landscape Plan.
    - iii. Drive in doors are located to face perimeter landscape plantings providing for screening from public roadways.

3. Signs
  - a. Requirements:
    - i. No new signage is proposed.
4. Building Design
  - a. Requirements:
    - i. Exterior building materials will be a mix of masonry, horizontal siding, and aluminum fascia.
    - ii. Proposed mechanical elements will be located within proposed addition.
  - b. Guidelines:
    - i. Proposed addition is designed with matching elements to the existing building.
    - ii. Maximum unobstructed wall surface is 40' long, but accented with color bands in the CMU.
5. Lighting
  - a. Requirements:
    - i. The building lighting will be restricted to that of security and to illuminate pedestrian walking surfaces at the building itself.
    - ii. No additional site lighting is included.
6. Landscaping
  - a. Requirements:
    - i. Landscaping will enhance locations where appropriate and meet requirements.
  - b. Guidelines:
    - i. Landscape plan includes mostly natural plantings and include mulching and edging as required.

### **Proposed Schedule**

The intent is to start construction in July of 2024, and complete the project in September of 2024.

Tim Hughes  
Project Manager  
Alliance Construction & Design  
920.655.9881  
[Tim.hughes@alliancebuilds.com](mailto:Tim.hughes@alliancebuilds.com)



Streetview of South entrance and adjacent property to the East from Commercial Ave.



Streetview of Northeast corner of property and adjacent property to the East



Streetview of property and adjacent property properties to the North, from West side of property on Packers Ave.

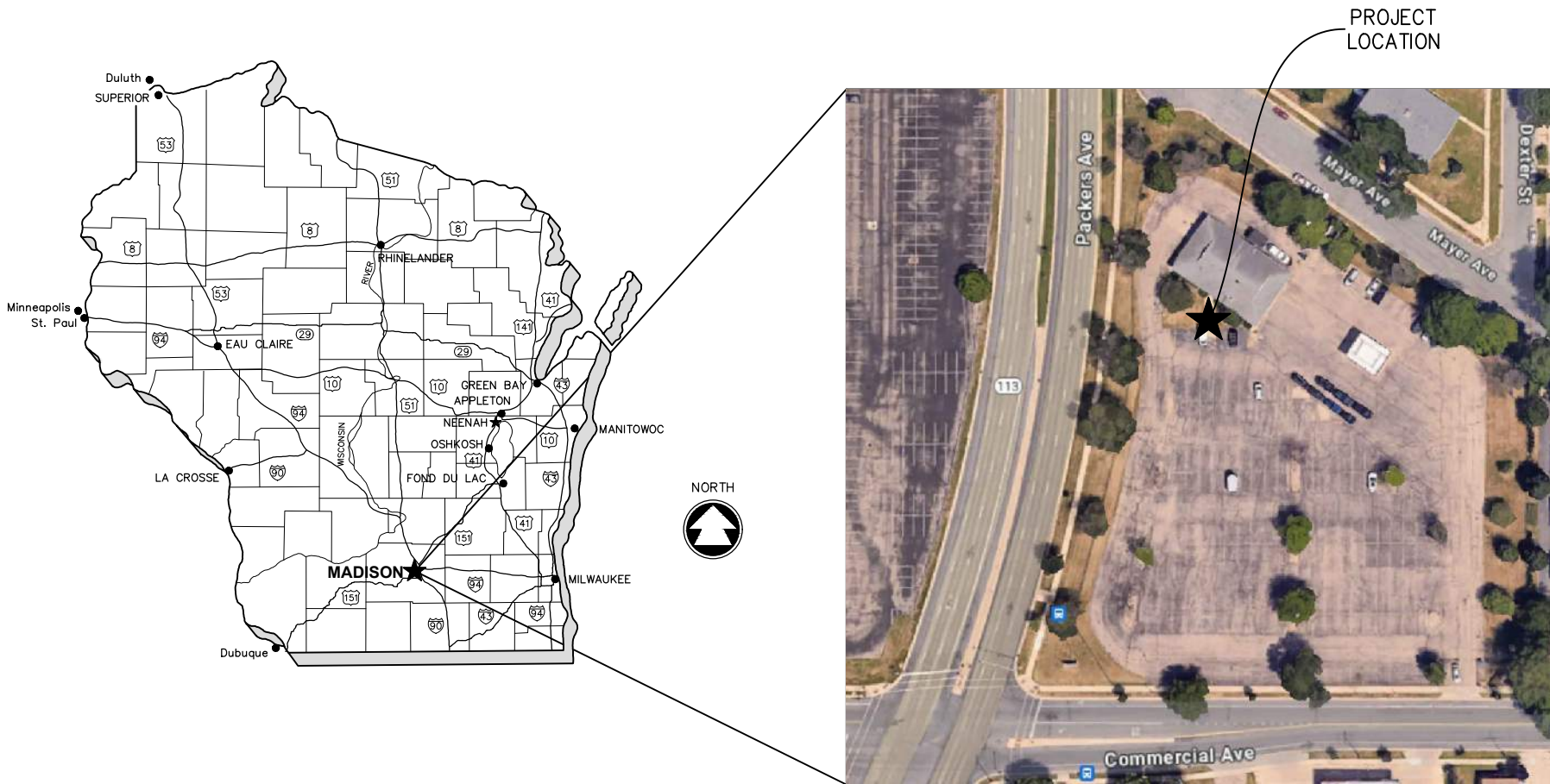


Streetview on North side of property and adjacent properties on Mayer Ave.



# ENTERPRISE RENT-A-CAR CITY OF MADISON

DANE COUNTY, WISCONSIN  
MCM # A0614-09-24-00264



## SHEET INDEX

- 1 ABBREVIATIONS, SYMBOLS & NOTES
- 2 SURVEY CONTROL
- 3 EXISTING SITE & DEMOLITION PLAN
- 4 SITE PLAN
- 5 GRADING & EROSION CONTROL PLAN
- 6 LANDSCAPE PLAN
- 7 LANDSCAPE NOTES & DETAILS
- 8 MISCELLANEOUS DETAILS

## CONTACT INFORMATION

### OWNER CONTACT

ENTERPRISE RENT-A-CAR  
ADAM ROSQUIST  
S17W22650 LINCOLN AVE  
WAUKESHA, WI 53186  
(262) 989-8027  
ADAM.ROSQUIST@EHI.COM

### GENERAL CONTRACTOR

ALLIANCE CONSTRUCTION & DESIGN  
RON GROTH  
1050 BROADWAY ST  
WRIGHTSTOWN, WI 54180  
(920) 226-8095  
RON.GROTH@ALLIANCEBUILDS.COM

### DESIGN CONTACT

McMAHON ASSOCIATES, INC.  
SHAWN JANDREY, P.E.  
1445 McMAHON DRIVE  
NEENAH, WI 54956  
(920) 751-4200  
SJANDREY@MCMGRP.COM

**DIGGERSHOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

**McMAHON**  
ENGINEERS ARCHITECTS  
McMAHON ASSOCIATES, INC.  
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

DATE	APRIL, 2024
PROJECT NO.	A0614-09-24-00264

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**STANDARD ABBREVIATIONS**

AC ACRE	AGG AGGREGATE	AH AHEAD	ASPH ASPHALT PAVEMENT	AVG AVERAGE	B-B BACK TO BACK	BEG BEGIN	BIT BITUMINOUS	BK BACK	B/L BASE LINE	BLDG BUILDING	BM BENCH MARK	BOC BACK OF CURB	BRG BEARING	C-C CENTER TO CENTER	CY CUBIC YARD	C&G CURB AND GUTTER	CB CATCH BASIN	CE COMMERCIAL ENTRANCE	CHD CHORD	C/L CENTER LINE	CL CLASS (FOR CONC PIPE)	CMP CORRUGATED METAL PIPE	CO CLEAN OUT	CONC CONCRETE	CORR CORRUGATED	CP CONTROL POINT	CR CRUSHED	CS CURB STOP	CSW CONCRETE SIDEWALK	CTH COUNTY TRUNK HIGHWAY	CULV CULVERT	D DEPTH OR DELTA	DI DUCTILE IRON	DIA DIAMETER	DIS DISCHARGE	EA EACH	EB EASTBOUND	EBS EXCAVATION BELOW SUBGRADE	EG EDGE OF GRAVEL	ELEV ELEVATION	ELEC ELECTRIC	EMB EMBANKMENT	EMAT EROSION MAT	ENT ENTRANCE	EOR END OF RADIUS	EP EDGE OF PAVEMENT	EXC EXCAVATION	EX EXISTING	EW ENDWALL	F-F FACE TO FACE	FDN FOUNDATION	FE FIELD ENTRANCE	FERT FERTILIZER	FG FINISHED GRADE	F/L FLOW LINE	FT FOOT	FTG FOOTING	GRAV GRAVEL	GN GRID NORTH	GV GAS VALVE	HDPE HIGH DENSITY POLYETHYLENE	HE HIGHWAY EASEMENT	HMA HOT MIX ASPHALT	HP HIGH POINT	HT HEIGHT	HYD HYDRANT	ID INSIDE DIAMETER	IN INCH	INL INLET	INV INVERT	IP IRON PIPE	JCT JUNCTION	LB POUND	LF LINEAR FOOT	LP LIGHT POLE	LT LEFT	LVC LENGTH OF VERTICAL CURVE	MAINT MAINTENANCE	MATL MATERIAL	MAX MAXIMUM	MIN MINIMUM	MH MANHOLE	MP MILE POST	NB NORTHBOUND	NO NUMBER	NOR NORMAL	OD OUTSIDE DIAMETER	OBLIT OBLITERATE	PAVT PAVEMENT	PC POINT OF CURVATURE	PCC PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVATURE	PE PRIVATE ENTRANCE	PED PEDESTAL	PGL PROFILE GRADE LINE	PI POINT OF INTERSECTION	PL PROPERTY LINE	PLE PERMANENT LIMITED EASEMENT	PP POWER POLE	PRC POINT OF REVERSE CURVATURE	PROP PROPOSED	PSD PASSING SIGHT DISTANCE	PSI POUNDS PER SQUARE INCH	PT POINT OF TANGENCY	PVC POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE	PVI POINT OF VERTICAL INTERSECTION	PVT POINT OF VERTICAL TANGENCY	R RADIUS	RCP REINFORCED CONCRETE PIPE	RD ROAD	REBAR REINFORCEMENT ROD	REM REMOVE	RECON RECONSTRUCT	REQ'D REQUIRED	R/L REFERENCE LINE	RP RADIUS POINT	RR RAILROAD	RT RIGHT	R/W RIGHT-OF-WAY	SB SOUTHBOUND	SE SUPERELEVATION	SF SQUARE FEET	SI SLOPE INTERCEPT	STH STATE TRUNK HIGHWAY	SY SQUARE YARD	SALV SALVAGED	SAN SANITARY	SEC SECTION	SHLDR SHOULDER	S/L SURVEY LINE	SQ SQUARE	STA STATION	STD STANDARD	STM STORM	SW SIDEWALK	TC TOP OF CURB	TEL TELEPHONE	TEMP TEMPORARY	TLE TEMPORARY LIMITED EASEMENT	TV TELEVISION	TYP TYPICAL	UG UNDERGROUND	USH U.S. HIGHWAY	VAR VARIES	VC VERTICAL CURVE	VERT VERTICAL	WB WESTBOUND	WM WATER MAIN	WV WATER VALVE
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**GENERAL NOTES**

1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY VERTICAL DISCREPANCY.
3. THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. MCMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
5. A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.
6. ALL CURB RADII SHOWN ON THE PLAN SHEETS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

**STANDARD SYMBOLS (PLAN VIEW ONLY)**

2" IRON PIPE FOUND	TELEPHONE CABLE - BURIED
1 1/4" REBAR FOUND	ELECTRIC CABLE - BURIED
1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET	UTILITIES - OVERHEAD
1" (1.315 OD) IRON PIPE FOUND	FIBER OPTIC CABLE - BURIED
1" IRON PIPE SET	GAS MAIN
3/4" IRON REBAR FOUND	CABLE TELEVISION - BURIED
3/4" IRON PIPE FOUND	DITCH LINE
3/4" x 24" IRON REBAR WEIGHING 1.5 LB/LF SET	STREET C/L OR R/L
MAG NAIL FOUND	PROPERTY LINE
MAG NAIL SET	RIGHT-OF-WAY LINE
MAG SPIKE FOUND	SECTION LINE
MAG SPIKE SET	EXISTING CONTOURS
CHISEL CROSS FOUND	PROPOSED CONTOURS
CHISEL CROSS SET	EXISTING FORCEMAIN SEWER
COUNTY MONUMENT	EXISTING SANITARY SEWER
CONCRETE MONUMENT FOUND	PROPOSED SANITARY SEWER
CONTROL POINT HORIZONTAL	EXISTING WATER MAIN
VERTICAL BENCHMARK	PROPOSED WATER MAIN
SOIL BORING OR MONITORING WELL	EXISTING STORM SEWER
POWER POLE	PROPOSED STORM SEWER
POWER POLE W/GUY WIRE	EXISTING CURB & GUTTER
TELEPHONE OR TELEVISION PEDESTAL	PROPOSED CURB & GUTTER
MAILBOX	PROPOSED REJECT CURB & GUTTER
SIGN	EXISTING CULVERT WITH END SECTIONS
RAILROAD CROSS BUCK	PROPOSED CULVERT WITH END SECTIONS
RAILROAD GATE ARM	BUILDING OUTLINE
RAILROAD TRACKS	FENCE LINE
LIGHT POLE	SAW CUT REQ'D
WOOD POLE	PERIMETER CONTROL
TRAFFIC SIGNAL	GUARD RAIL
TRAFFIC SIGNAL MAST ARM	DITCH CHECK
CONIFEROUS TREE	INLET PROTECTION
DECIDUOUS TREE	PROTECTING PAD
TREE OR BRUSH LINE	TURBIDITY BARRIER OR SHEET PILING
BED ROCK (IN PROFILE VIEW)	SANDBAG COFFERDAM
HANDICAPPED PARKING STALL	SLOPE INTERCEPT
EXISTING SPOT ELEVATION	LIMITS OF DISTURBANCE
PROPOSED SPOT ELEVATION	ASPHALT PAVEMENT
DRAINAGE HIGH POINT	CONCRETE SIDEWALK/DRIVEWAY
DRAINAGE DIRECTION	GRAVEL
EXISTING MANHOLE	RIP-RAP (SIZE AS SPECIFIED)
PROPOSED MANHOLE	PROPOSED EROSION MAT
EXISTING INLET	
PROPOSED INLET	
EXISTING YARD DRAIN	
PROPOSED YARD DRAIN	
EXISTING CLEAN OUT	
PROPOSED CLEAN OUT	
EXISTING DOWNSPOUT	
PROPOSED DOWNSPOUT	
EXISTING WATER VALVE	
PROPOSED WATER VALVE	
EXISTING CURB STOP	
PROPOSED CURB STOP	
EXISTING FIRE HYDRANT	
PROPOSED FIRE HYDRANT	
PROPOSED WATER FITTING	
PROPOSED WATER REDUCER	
PROPOSED ENDCAP	
GAS VALVE	

**EROSION & SEDIMENT CONTROL PLAN**

**BEST MANAGEMENT PRACTICES:**

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.wi.gov/dunoff/stormwater/techstds.htm>. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

- |   |   |
|---|---|
| <input type="checkbox"/> LAND APPLICATION OF ADDITIVES (1050)           | <input type="checkbox"/> DE-WATERING (1061)                     |
| <input type="checkbox"/> WATER APPLICATION OF ADDITIVES (1051)          | <input type="checkbox"/> DITCH CHECK (1062)                     |
| <input type="checkbox"/> NON-CHANNEL EROSION MAT (1052)                 | <input type="checkbox"/> SEDIMENT TRAP (1063)                   |
| <input type="checkbox"/> CHANNEL EROSION MAT (1053)                     | <input type="checkbox"/> SEDIMENT BASIN (1064)                  |
| <input type="checkbox"/> VEGETATIVE BUFFER (1054)                       | <input type="checkbox"/> RIP-RAP (1065)                         |
| <input type="checkbox"/> SEDIMENT BALE BARRIER (1055)                   | <input type="checkbox"/> CONSTRUCTION DIVERSION (1066)          |
| <input type="checkbox"/> PERIMETER SEDIMENT CONTROL (1056)              | <input type="checkbox"/> TEMPORARY GRADING PRACTICES (1067)     |
| <input type="checkbox"/> TRACKOUT CONTROL (1057)                        | <input checked="" type="checkbox"/> DUST CONTROL (1068)         |
| <input checked="" type="checkbox"/> MULCHING (1058)                     | <input type="checkbox"/> TURBIDITY BARRIER (1069)               |
| <input checked="" type="checkbox"/> SEEDING (1059)                      | <input type="checkbox"/> SILT CURTAIN (1070)                    |
| <input checked="" type="checkbox"/> STORM DRAIN INLET PROTECTION (1060) | <input type="checkbox"/> HORIZONTAL DIRECTIONAL DRILLING (1072) |

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING IN RUNOFF:

- A. DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
- B. DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
- C. DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
- D. DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
- E. DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
- F. DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
- G. DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
- H. DISCHARGE OF CHEMICALS, CEMENT AND BUILDING MATERIALS.
- I. DISCHARGE OF UNTREATED VEHICLE AND WHEEL WASH WATER.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- A. PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
- B. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- C. MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
- D. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- E. DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
- F. TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.
- G. PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
- H. CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

**INSPECTION & MAINTENANCE:**

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

**AMENDMENTS:**

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

THIS PLAN SET WAS CREATED WITH CIVIL3D 2023. MCMAHON'S "DISCLAIMER FOR TRANSFER OF ELECTRONIC FILES" FORM NEEDS TO BE SIGNED IF A COPY OF THE ELECTRONIC FILES ARE REQUESTED. MCMAHON MAKES NO REPRESENTATION REGARDING THE COMPATIBILITY OF THESE FILES WITH OTHER SOFTWARE, NOR DOES MCMAHON REPRESENT THAT THE FILES WILL CONVERT TO OTHER SOFTWARE WITHOUT ERROR.



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NO.	DATE	REVISION

**ENTERPRISE RENT-A-CAR  
CITY OF MADISON, DANE CO., WI  
ABBREVIATIONS, SYMBOLS & NOTES**

DESIGNED SMJ	DRAWN SMJ
PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO. <b>1</b>	

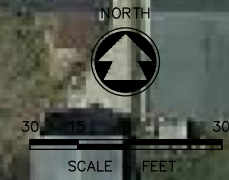
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PACKERS AVE/STH 113

COMMERCIAL AVE

DEXTER ST

MAYER AVE



HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
1	494599.87	829268.09	MAG NAIL
2	494901.81	829197.94	MAG NAIL
3	494785.74	829383.73	MAG NAIL

VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
4	856.36	CHISELED "X" ON LIGHT POLE BASE
5	854.96	CHISELED "X" ON LIGHT POLE BASE
6	854.61	CHISELED "X" ON LIGHT POLE BASE

**NOTE:**  
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND SHALL IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

**VERTICAL DATUM**  
 ELEVATIONS ARE REFERENCED TO NAVD 88 (2018). GPS DERIVED ELEVATIONS ARE BASED ON GEOID18.

**HORIZONTAL DATUM:**  
 HORIZONTAL POSITIONS SHOWN ON THIS PLAN ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM (WISCRS), DANE COUNTY, NAD83 (2011), IN U.S. SIRVEY FEET. POSITIONS SHOWN ARE GRID COORDINATES, AND GRID DISTANCES. GRID DISTANCES ARE THE SAME AS GROUND DISTANCES.

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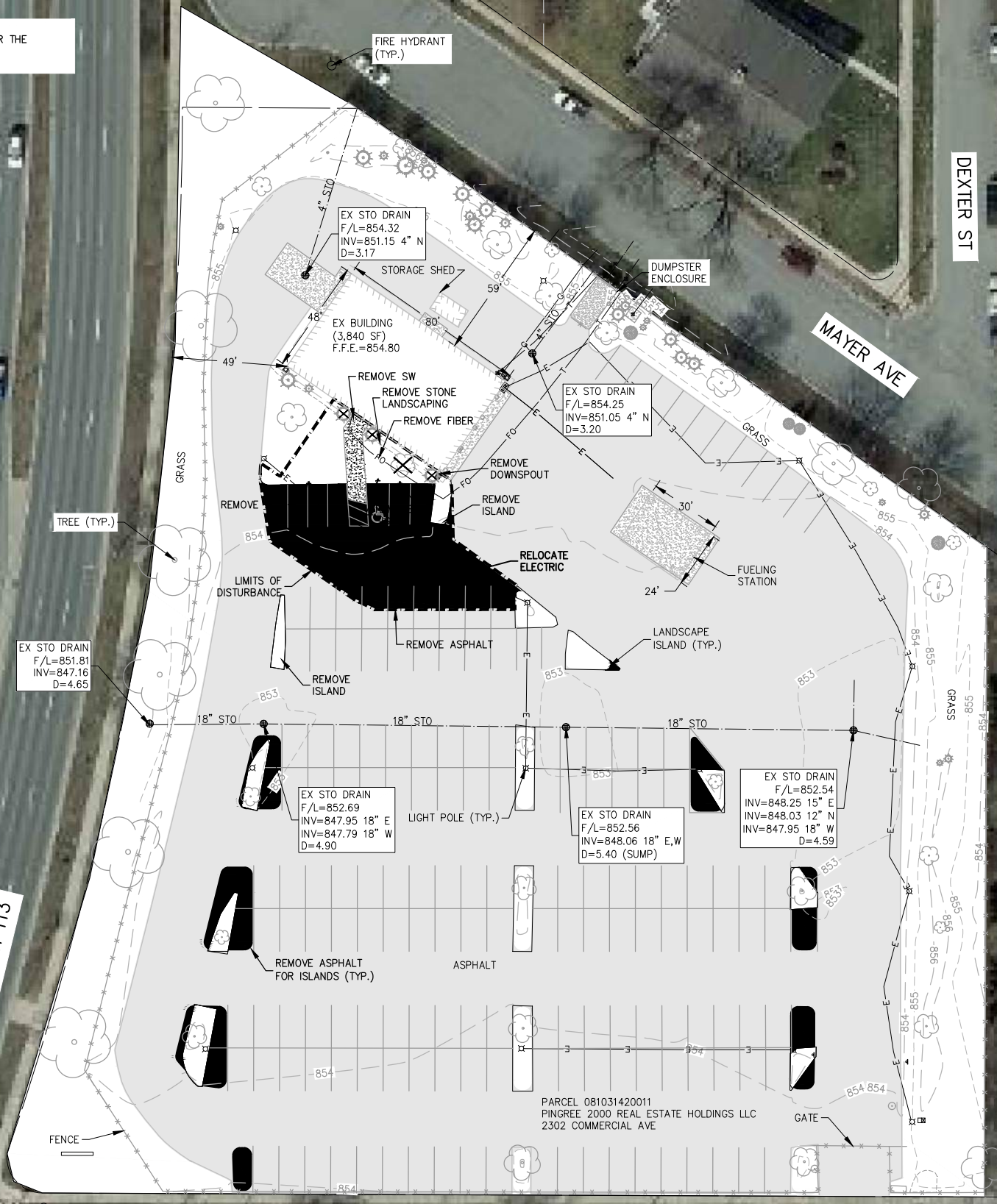
NO.	DATE	REVISION

ENTERPRISE RENT-A-CAR  
 CITY OF MADISON, DANE CO., WI  
 SURVEY CONTROL

DESIGNED: SMJ  
 DRAWN: SMJ  
 PROJECT NO.: A0614-09-24-00264  
 DATE: APRIL, 2024  
 SHEET NO.: 2

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**EXISTING SITE & DEMOLITION NOTES:**  
 1) EXISTING FIBER OPTIC AND ELECTRIC LINES TO BE REMOVED AND/OR RELOCATED FOR THE PROPOSED BUILDING. WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR.  
 2) NO LIGHT POLES OR FIXTURES SHALL BE MODIFIED FOR THIS PROJECT.



PACKERS AVE/STH 113

COMMERCIAL AVE

DEXTER ST

MAYER AVE

PARCEL 081031423122  
 BUIE, CARRIE R & DON K BRAXTON  
 2448COMMERCIAL AVE

PARCEL 081031420011  
 PINGREE 2000 REAL ESTATE HOLDINGS LLC  
 2302 COMMERCIAL AVE



**McMAHON**  
 ENGINEERS ARCHITECTS  
 McMAHON ASSOCIATES, INC.  
 1445 McMAHON DRIVE WEEHAW, WI 53096  
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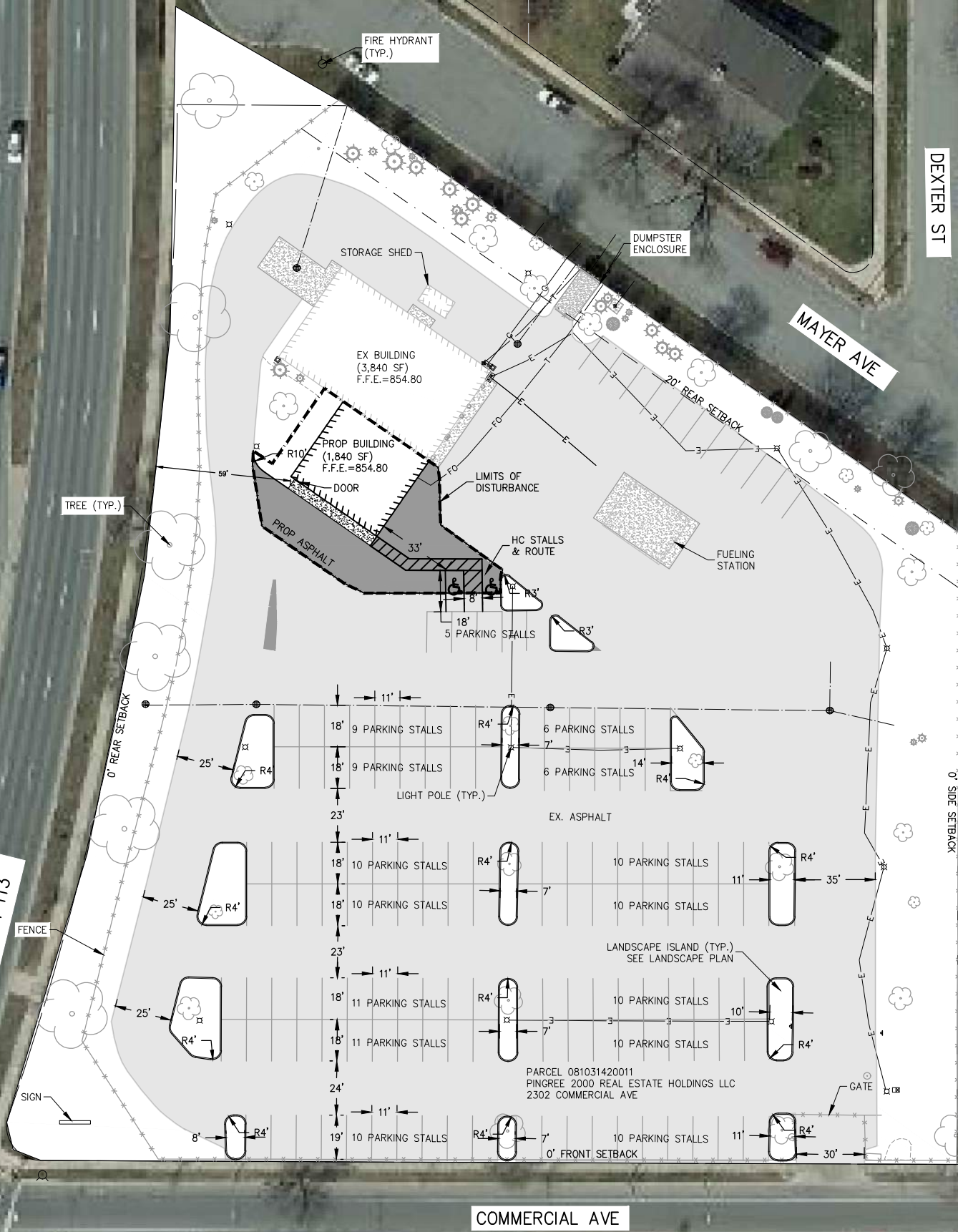
NO.	DATE	REVISION

**ENTERPRISE RENT-A-CAR**  
**CITY OF MADISON, DANE CO., WI**  
**EXISTING SITE & DEMOLITION PLAN**

DESIGNED	SMJ	DRAWN	SMJ
PROJECT NO. A0614-09-24-00264			
DATE APRIL, 2024			
SHEET NO. <b>3</b>			

s:\projects\A0614\09240026A\CADD\Civil3D\Plan Sheets\Site PLAN.dwg, 22x34, Plot Date: 4/29/2024 10:33 AM, xrefs: (x-prop info national car rental madison, x-all points national car rental madison, x-exist shade national car rental madison, x-exist topo national car rental madison)

**SITE PLAN NOTES:**  
 SITE ADDRESS: 2302 COMMERCIAL AVE, MADISON, WI 53704  
 SITE ACREAGE (TOTAL): 145,404 SF (3.34 AC)  
 NUMBER OF BUILDING STORIES (ABOVE GRADE): 1  
 BUILDING HEIGHT: 24'  
 TYPE OF CONSTRUCTION: REFER TO BUILDING PLANS.  
 TOTAL SQUARE FOOTAGE OF BUILDING:  
 EXISTING: 3,840 SF  
 PROPOSED: 1,840 SF  
 TOTAL=5,680 SF  
 USE OR PROPERTY: SERVICE & WASH CENTER FOR FLEET VEHICLES.  
 NO VEHICLE RENTALS ARE PERFORMED AT THIS LOCATION.  
 NUMBER OF EMPLOYEES:  
 NUMBER OF BICYCLE STALLS SHOWN: 0  
 NUMBER OF PARKING STALLS:  
 SMALL CAR: 0  
 LARGE CAR: 137  
 ACCESSIBLE: 2  
 TOTAL: 139



PARCEL 081031423122  
 BUIE, CARRIE R & DON K BRAXTON  
 2448COMMERCIAL AVE

PARCEL 081031420011  
 PINGREE 2000 REAL ESTATE HOLDINGS LLC  
 2302 COMMERCIAL AVE



**McMAHON**  
 ARCHITECTS & ENGINEERS  
 1445 McMAHON DRIVE WISCONSIN, WI 53586  
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NO.	DATE	REVISION

**ENTERPRISE RENT-A-CAR**  
**CITY OF MADISON, DANE CO., WI**  
**SITE PLAN**

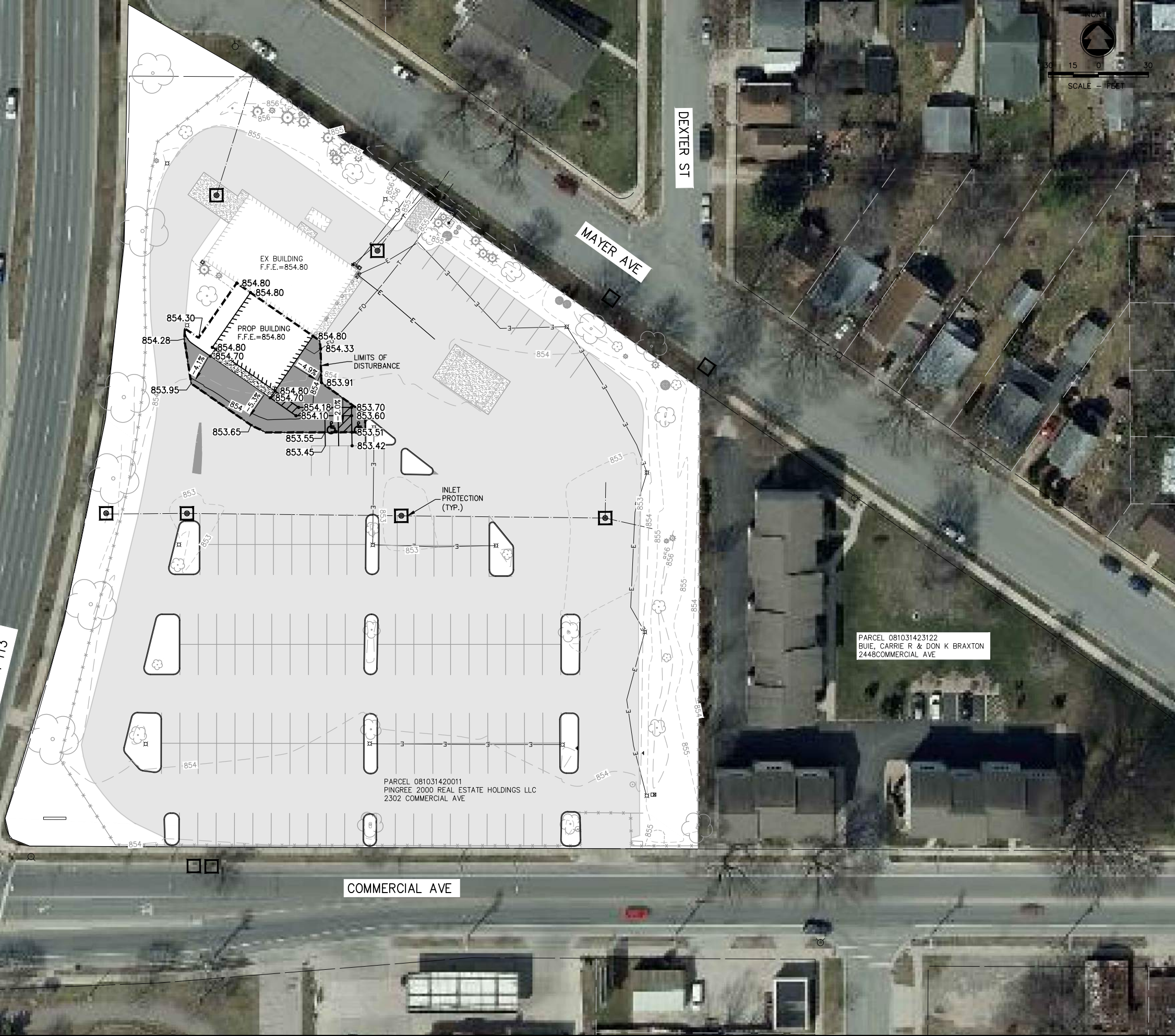
DESIGNED SMJ	DRAWN SMJ
PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO. 4	

s:\projects\A0614\09240026A\CADD\Civil3D\Plan Sheets\GRADING & EROSION CONTROL PLAN.dwg, 22x34, Plot Date: 4/29/2024, 10:29 AM, wref: (x=all points national car rental madison, x=erial, x=exist topo national car rental madison, x=prop into national car rental madison, x=prop shade national car rental madison)

- GRADING & EROSION CONTROL NOTES:**
- 1) INLET PROTECTION IN THE ROW MUST BE RIGID FRAME INLET PROTECTION.
  - 2) ALL VEHICLES LEAVING THE SITE MUST REMAIN ON STABILIZED GROUND.
  - 3) ALL DISTURBED AREAS THAT WILL NOT BE EITHER BUILDING OR PAVEMENT WILL BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND MULCH OR EROSION MAT.
  - 4) NO TRACKING PAD WILL BE INSTALLED SINCE THE SITE IS PRIMARILY IMPERVIOUS. IF NECESSARY, TIRES SHALL BE WASHED PRIOR TO LEAVING THE SITE.
  - 5) THE EXISTING GRAVEL (IMPERVIOUS) LANDSCAPE ISLANDS WILL BE REPLACED A MINIMUM 75% VEGETATIVE COVER (PERVIOUS). THIS WILL RESULT IN A NET DECREASE IN IMPERVIOUS SURFACE AREA FOR THE SITE.
  - 6) THE NET DECREASE IN IMPERVIOUS SURFACE ON THE SITE WILL RESULT IN A DECREASE IN PEAK STORMWATER FLOWS.

- ANTICIPATED CONSTRUCTION SEQUENCE:**
- 1) INSTALL EROSION CONTROLS (INLET PROTECTION).
  - 2) REMOVE SIDEWALK, ASPHALT, AND UTILITIES AS NECESSARY.
  - 3) GRADE, GRAVEL, AND ASPHALT THE PROPOSED PAVEMENT. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
  - 4) STABILIZE THE DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING. PERMANENTLY STABILIZE TURF GRASS AREAS (TOPSOIL, SEED, FERTILIZER, AND MULCH OR EROSION MAT).

Site Information Summary	
Total Site Area (SF)	145,404
Disturbed Area (SF)	5,545
Existing Pervious Area (SF)	35,143
Existing Impervious Area (SF)	110,261
Proposed Pervious Area (SF)	37,669
Proposed Impervious Area (SF)	107,735



PARCEL 081031423122  
BUIE, CARRIE R & DON K BRAXTON  
2448COMMERCIAL AVE

PARCEL 081031420011  
PINGREE 2000 REAL ESTATE HOLDINGS LLC  
2302 COMMERCIAL AVE

**McMAHON**  
ENGINEERS & ARCHITECTS  
McMAHON ASSOCIATES, INC.  
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PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

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NO.	DATE	REVISION

**ENTERPRISE RENT-A-CAR  
CITY OF MADISON, DANE CO., WI  
GRADING & EROSION CONTROL PLAN**

DESIGNED	DRAWN
SMJ	SMJ
PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO. <b>5</b>	



LANDSCAPE NOTES:

- 1) T=TREES; S=SHRUB; E=EVERGREEN; B=B=BALLED IN BURLAP; B.R.=BARE ROOT; P=POTTED; T.S.= TREE SPADE.
- 2) THE LAYOUT OF THE PLANTING AND LOCATION OF PLANT HOLES OR BEDS SHALL BE STAKED BY THE CONTRACTOR SUBJECT TO ENGINEER/ ARCHITECTS APPROVAL.
- 3) ALL PLANTING AREAS TO BE FREE OF WEEDS AND GRASS, TREATED WITH A NON-LEACHING PRE-EMERGENT HERBICIDE, PREEN OR EQUAL, PER MANUFACTURER'S SPECIFICATIONS AND COVERED WITH TYPAR 3301 OR SUPAC 2P AND THEN WITH 3-4" 3/4" DIAMETER WASHED MISSISSIPPI STONE MULCH (MATCH EXISTING), FREE OF WEEDS AND DISEASE. THE STONE SHALL BE RAKED TO PRODUCE A UNIFORM TEXTURE. SUBMIT SAMPLES OF HERBICIDE, AND MULCH TO ENGINEER/ARCHITECT FOR APPROVAL. ON DAY OF INSTALLATION WATER HERBICIDE TO ACTIVATE IF NECESSARY.
- 4) SEE SHEET 7.2 FOR PLANTING AND STAKING DETAILS.
- 5) AREAS TO BE PAVED, SEEDED, AND BEDDED ARE INDICATED ON THE PLANS.
- 6) PLANT QUANTITIES INDICATED ON THE PLAN RULE OVER QUANTITIES ON THE PLANTS LIST.
- 7) CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING PITS FOR NEW TREES.
- 8) ALL PLANTS TO BE SIZED AND GRADED AS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE USA STANDARD FOR NURSERY STOCK.
- 9) PLANT SUBSTITUTIONS PERMISSIBLE WITH ENGINEER/ARCHITECT AND CITY APPROVAL AND WRITTEN NOTIFICATION PRIOR TO INSTALLATION.
- 10) PLASTIC OR METAL POTS TO BE REMOVED. SCORE ROOTBALL 1" DEEP WITH SHARP KNIFE. REMOVE TOP PORTION OF FIBER POT THAT EXTENDS ABOVE FINISH GRADE AND CUT SIDES OF POT TO AID IN DECOMPOSITION.
- 11) ALL LAWN AREAS TO BE SEEDED, FERTILIZED AND MULCHED WITH CHOPPED STRAW. MULCH IS TO BE CRIMPED AND SHOULD CONFORM TO DNR TECHNICAL STANDARDS 1058 AND 1059. SEE EROSION CONTROL PLAN FOR EROSION MAT AND SPECIAL RESTORATION INFORMATION.
- 12) MATURE SHADE TREES SHOULD BE LINED UP TO PROVIDE A SEVEN FOOT UNDERCLEARANCE.
- 13) LOCATE TREES AWAY FROM THE PROPOSED SWALES.
- 14) MULCH TO BE EDGED WITH COBRA EDGING COMMERCIAL HEAVY DUTY GRADE 10001 BY OLD DUTCH MATERIALS (OR EQUAL), FORMED IN LINES OR CURVES AS SHOWN ON THE DRAWINGS. SUBMIT SAMPLE TO ENGINEER/ARCHITECT FOR APPROVAL
- 15) RESTORE ALL DISTURBED AREAS AROUND PERIMETER OF SITE WITH LAWN.
- 16) SEE SHEET 5 FOR GRADING PLAN.
- 17) SEE SHEET 5 FOR LIMITS OF DISTURBANCE.

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	HEIGHT AT MATURITY (HxW)	LANDSCAPE POINTS	PERCENTAGE OF TOTAL CANOPY TREES
<b>SHADE TREES</b>								
AGG	6	Ginkgo Biloba 'Autumn Gold'	Autumn Gold Ginkgo	Balled and Burlapped or Potted	3" Cal	40' x 30'	210	20.00
GSL	3	Tilia cordata 'Greenspire'	Greenspire Linden	Balled and Burlapped or Potted	3" Cal	40' x 40'	105	10.00
PPH	6	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	Balled and Burlapped or Potted	3" Cal	40' x 40'	210	20.00
SGM	4	Acer x freemanii 'Sienna'	Sienna Glen Maple	Balled and Burlapped or Potted	3" Cal	50' x 35'	140	13.33
SSM	7	Acer nyabeii 'Morton'	State Street Nyabeii Maple	Balled and Burlapped or Potted	3" Cal	40' x 30'	245	23.33
SSL	4	Gleditsia triacanthos 'Skyline'	Skyline Locust	Balled and Burlapped or Potted	3" Cal	50' x 40'	140	13.33

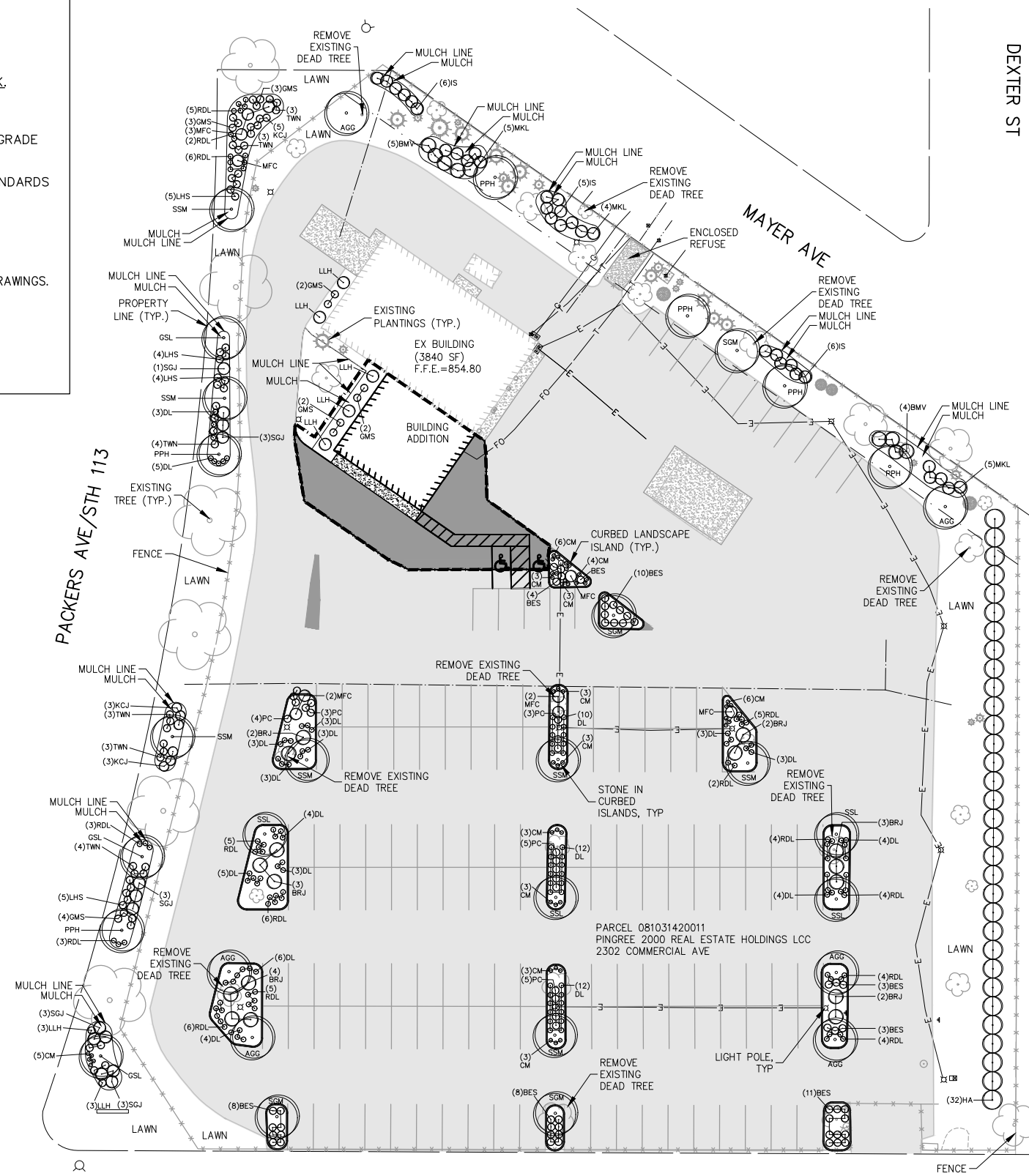
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	HEIGHT AT MATURITY (HxW)	LANDSCAPE POINTS
<b>ORNAMENTAL TREES</b>							
MFC	10	Malus 'Jamin'	Marilee Flowering Crabapple	Balled and Burlapped or Potted	1-1/2" Cal	20' x 8'	150

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	HEIGHT AT MATURITY (HxW)	LANDSCAPE POINTS
<b>SHRUB DECIDUOUS</b>							
BMV	9	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	Potted	3 GAL	6' x 6'	27
GMS	16	Spiraea japonica 'Goldmound'	Gold Mound Spirea	Potted	3 GAL	3' x 3'	48
IS	21	Cornus stolonifera 'Isanti'	Isanti Dogwood	Potted	3 GAL	5' x 5'	63
LHS	18	Itea virginica 'Sprich'	Little Henry Sweetspire	Potted	3 GAL	3' x 3'	54
LLH	11	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	Potted	3 GAL	4' x 4'	33
MKL	10	Syringa velutina 'Miss Kim'	Miss Kim Lilac	Potted	3 GAL	5' x 5'	30
TWN	20	Physocarpus opulifolius 'SMNPOTW'	Tiny Wine Ninebark	Potted	3 GAL	3.5' x 3.5'	60

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	HEIGHT AT MATURITY (HxW)	LANDSCAPE POINTS
<b>SHRUB EVERGREEN</b>							
BRJ	16	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	Potted	3 GAL	1.5' x 8'	64
HA	32	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	Balled and Burlapped or Potted	4"	8' x 4'	320
KCJ	11	Juniperus chinensis 'Kallay's Compacta'	Kallay's Juniper	Potted	3 GAL	3' x 3'	44
SGJ	13	Juniperus chinensis 'Sea Green'	Sea Green Juniper	Potted	3 GAL	4' x 8'	52

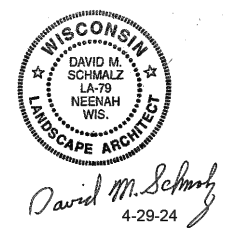
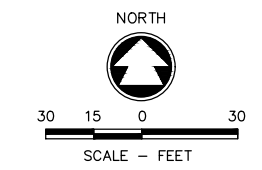
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	HEIGHT AT MATURITY (HxW)	LANDSCAPE POINTS
<b>GROUND COVER AND GRASSES</b>							
BES	56	Rudbeckia Fulgida 'Goldsturm'	Black-Eyed Susan	Potted	1 GAL	3' x 3'	112
CM	45	Nepeta 'Blue Wonder'	Blue Wonder Catmint	Potted	1 GAL	2' x 2'	90
DL	90	Hemerocallis Stella D'Oro	Stella De Oro Daylily	Potted	1 GAL	2' x 2'	180
PC	20	Echinacea purpurea	Purple Coneflower	Potted	1 GAL	3' x 2'	40
RDL	56	Hemerocallis Ruby Stella	Ruby Stella Daylily	Potted	1 GAL	2' x 2'	112

TOTAL POINTS: 2529



NO IRRIGATION ON SITE

COMMERCIAL AVE



DEXTER ST

**McMAHON**  
 LANDSCAPE ARCHITECT  
 1445 McMAHON DRIVE NEENAH, WI 54956  
 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
 PH 920.751.4200 FAX 920.751.4284 MCMGRP.COM

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NO.	DATE	REVISION

DESIGNED	DRAWN
SMJ	SMJ

ENTERPRISE RENT-A-CAR  
 CITY OF MADISON, DANE CO., WI  
 LANDSCAPE PLAN

PROJECT NO.	DATE
A0614-09-24-00264	APRIL, 2024
SHEET NO.	6

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CITY OF MADISON NOTES:

28.142(4)(g)

FIVE (5) LANDSCAPE POINTS SHALL BE PROVIDED FOR EACH THREE HUNDRED (300) SQ. FT. OF DEVELOPED AREA

REQUIRED:

THERE IS APPROX. 105,916 SQ FT OF DEVELOPED AREA, EXCLUDING THE BUILDING FOOTPRINT.

$105,916 \text{ SQ FT} / 300 \text{ SQ FT} = 353.5 * 5 = 1,761.5 \text{ POINTS REQUIRED}$

PROVIDED: SEE PLANTING SCHEDULE AND WORKSHEET

28.142(4)(e)

PLANTING BEDS MUST HAVE AT LEAST SEVENTY-FIVE PERCENT (75%) VEGETATIVE COVER MULCHED

PROVIDED: ALL BEDS CONTAIN AT LEAST 75% VEGETATIVE COVERAGE

28.142(4)(f)

IF THE DEVELOPMENT SITE HAS BETWEEN FIVE (5) AND FIFTY (50) CANOPY TREES, NO SINGLE SPECIES MAY COMPRISE MORE THAN THIRTY-THREE PERCENT (33%) OF TREES.

PROVIDED: SEE PLANTING SCHEDULE

28.142(5): DEVELOPMENT FRONTAGE LANDSCAPING

ONE (1) OVERSTORY TREE AND FIVE (5) SHRUBS SHALL BE PLANTED FOR EACH THIRTY (30) LINEAL FEET OF LOT FRONTAGE.

• PACKER AVE

REQUIRED:

THERE IS APPROXIMATELY 470 LINEAL FEET OF FRONTAGE

$470 \text{ FEET} / 30 \text{ FEET} = 15.67 = (16) \text{ TREES REQUIRED}$   
 $15.67 * 5 = (78) \text{ SHRUBS REQUIRED}$

PROVIDED:

- (6) EXISTING OVERSTORY TREES ARE PROVIDED
- (8) NEW OVERSTORY TREES ARE PROVIDED
- (4) NEW ORNAMENTAL TREES ARE PROVIDED (EQUIVALENT TO (2) OVERSTORY TREES)
- (78) NEW SHRUBS ARE PROVIDED

A TOTAL OF (14) OVERSTORY TREES, (4) ORNAMENTAL TREES AND (78) ARE PROVIDED

• MAYER AVE

REQUIRED:

THERE IS APPROXIMATELY 401 LINEAL FEET OF FRONTAGE

$352 \text{ FEET} / 30 \text{ FEET} = 11.7 = (12) \text{ TREES REQUIRED}$   
 $11.7 * 5 = (59) \text{ SHRUBS REQUIRED}$

PROVIDED:

- (5) EXISTING OVERSTORY TREES ARE PROVIDED
- (4) EXISTING EVERGREEN TREES ARE PROVIDED (EQUIVALENT TO (2) OVERSTORY TREES)
- (2) EXISTING ORNAMENTAL TREES ARE PROVIDED (EQUIVALENT TO (1) OVERSTORY TREE)
- (19) EXISTING SHRUBS ARE PROVIDED
- (4) NEW OVERSTORY TREES ARE PROVIDED
- (45) NEW SHRUBS ARE PROVIDED

A TOTAL OF (9) OVERSTORY TREES, (4) EVERGREEN TREES, (2) ORNAMENTAL TREES AND (59) SHRUBS ARE PROVIDED

• COMMERCIAL AVE

LANDSCAPING IS OMITTED DUE TO PAVEMENT CONSTRAINTS.

28.142(5)(d): DEVELOPMENT FRONTAGE LANDSCAPING – FENCING

THE EXISTING CHAIN LINK FENCE WAS PREVIOUSLY MODIFIED TO BRING IT INTO COMPLIANCE BASED ON INSTRUCTIONS FROM CITY STAFF.

CITY OF MADISON NOTES:

28.142(6)(a) & (b): INTERIOR PARKING LOT LANDSCAPING

FOR CHANGES TO A DEVELOPED SITE, A MINIMUM OF FIVE PERCENT (5%) OF THE ASPHALT OR CONCRETE AREA SHALL BE INTERIOR PLANTING ISLANDS, PENINSULAS, OR LANDSCAPE STRIPS

REQUIRED:

THERE IS 85,925 SQ FT OF ASPHALT PARKING LOT

$85,925 \text{ SQ FT} * 0.05 = 4,296 \text{ SQ FT OF ISLANDS REQUIRED}$

PROVIDED:

4,312 SQ FT (5.02%) OF ISLANDS PROVIDED

AT LEAST (1) DECIDUOUS CANOPY TREE FOR EVERY ONE HUNDRED SIXTY (160) SQ FT OF REQUIRED LANDSCAPED AREA.

REQUIRED:

THERE IS 4,296 SQ FT OF LANDSCAPED ISLANDS REQUIRED

$4,296 \text{ SQ FT} / 160 = 26.85. 27 \text{ DECIDUOUS CANOPY TREES REQUIRED}$

PROVIDED:

- (5) EXISTING DECIDUOUS CANOPY TREES PROVIDED
- (19) DECIDUOUS CANOPY TREES PROVIDED. DUE TO SIZE AND UTILITY CONSTRAINTS, THIS INCLUDES (1) EXISTING TREE LOCATED AT THE NORTHWEST CORNER OF THE LOT AND (3) NEW TREES ALONG THE PARKING PERIMETER ON NORTH END OF THE LOT.
- (6) ORNAMENTAL TREES PROVIDED (EQUIVALENT OF 3 CANOPY TREES)

A TOTAL OF (24) DECIDUOUS CANOPY TREES AND (6) ORNAMENTAL TREES PROVIDED

28.142(7): FOUNDATION PLANTINGS

FOUNDATION PLANTINGS SHALL BE INSTALLED ALONG BUILDING FACADES, EXCEPT WHERE BUILDING FACADES DIRECTLY ADJUT THE SIDEWALK, PLAZA, OR OTHER HARDSCAPE FEATURES.

PROVIDED:

SHRUBS ARE PROVIDED ALONG THE WEST AND SOUTH SIDES OF THE BUILDING NOT ABUTTING THE PARKING LOT

28.142(8): SCREENING ALONG DISTRICT BOUNDARIES

SCREENING SHALL BE PROVIDED ALONG SIDE AND REAR PROPERTY BOUNDARIES BETWEEN COMMERCIAL, MIXED USE OR INDUSTRIAL DISTRICTS AND RESIDENTIAL DISTRICTS

REQUIRED:

HEDGE WITH YEAR-ROUND FOLIAGE BETWEEN SIX (6) AND EIGHT (8) FEET IN HEIGHT SHALL BE PROVIDED ALONG THE EAST BOUNDARY

PROVIDED:

A ROW OF (32) TALL EVERGREEN TREES IS PROVIDED.

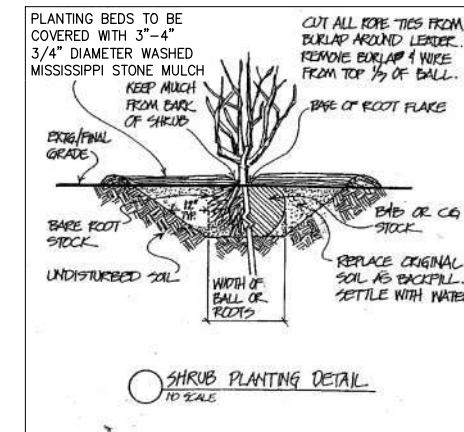
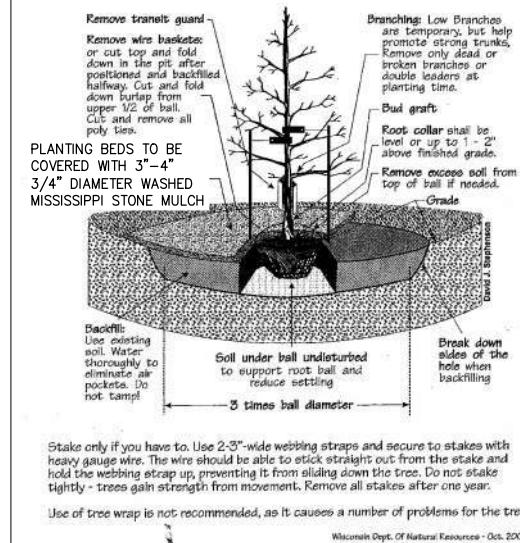
28.142(9)(g): SCREENING OF REFUSED DISPOSAL AREAS

REFUSE DISPOSAL AREAS SHALL BE SCREENED ON FOUR (4) SIDES BY A SOLID COMMERCIAL-GRADE WOOD FENCE, WALL, OR EQUIVALENT MATERIAL WITH A MINIMUM HEIGHT OF SIX (6) FEET AND NOT GREATER THAN EIGHT (8) FEET.

PROVIDED:

AN EXISTING MASONRY WALL ENCLOSURE IS PROVIDED.

Proper Tree Planting Diagram



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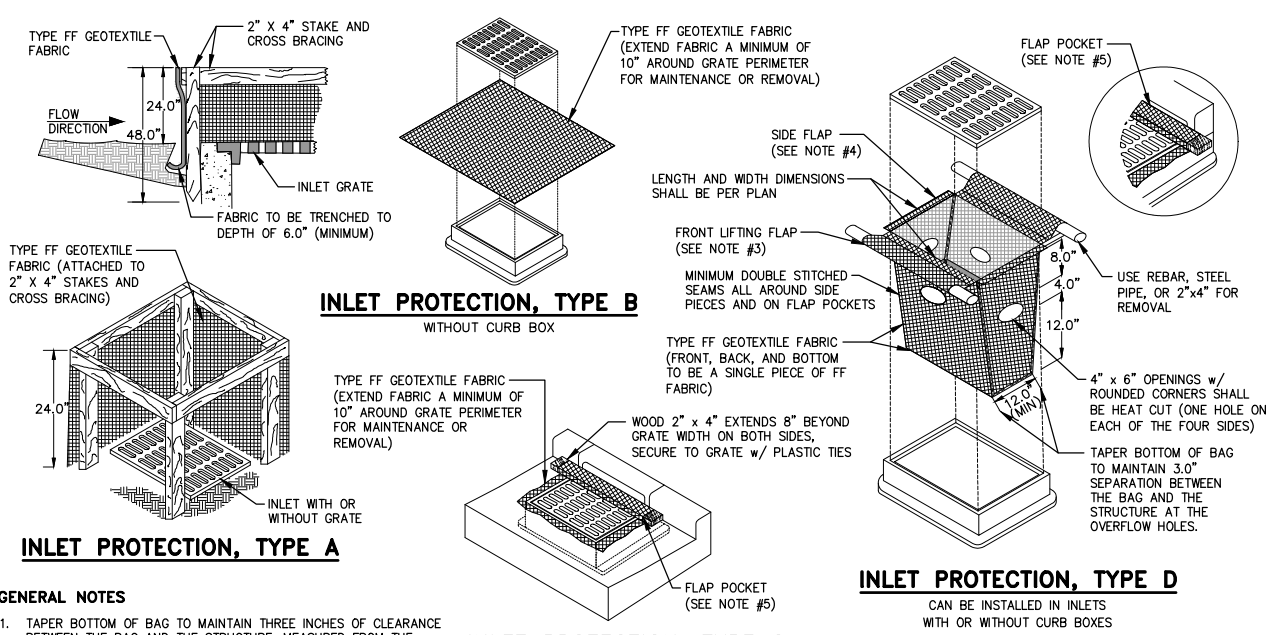
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NO.	DATE	REVISION

ENTERPRISE RENT-A-CAR  
 CITY OF MADISON, DANE CO., WI  
 LANDSCAPE NOTES & DETAILS

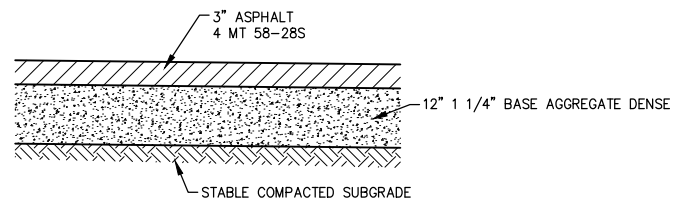
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PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO. 7	

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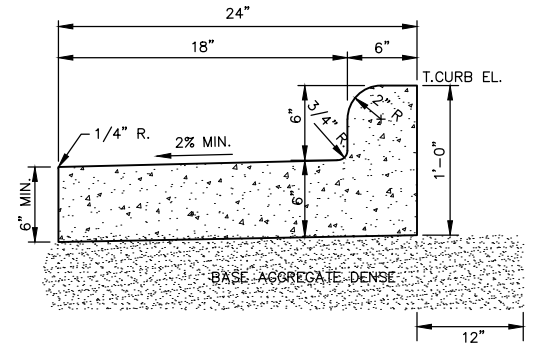


- GENERAL NOTES**
- TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
  - GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
  - FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
  - SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
  - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

- MAINTENANCE NOTES**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



**ASPHALT SECTION**



**REVERSE SLOPE CURB & GUTTER**  
(FOR LANDSCAPE ISLANDS)

**INLET PROTECTION, TYPE D**  
CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES

This drawing based on Wisconsin Department of Natural Resources Technical Standard No. 1060.  
Revision Date: 08/2014

**STORM DRAIN INLET PROTECTION**

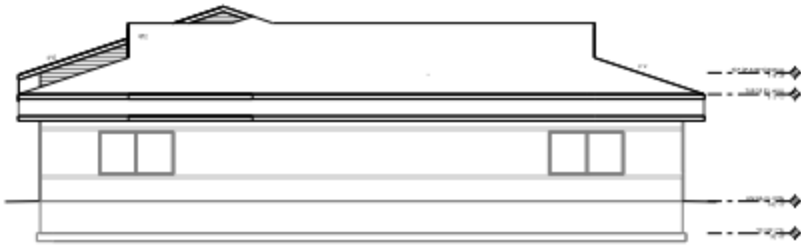
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NO.	DATE	REVISION

**ENTERPRISE RENT-A-CAR**  
**CITY OF MADISON, DANE CO., WI**  
**MISCELLANEOUS DETAILS**

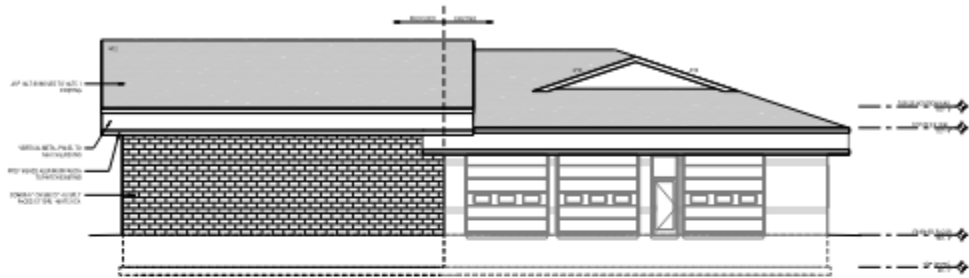
DESIGNED SMJ	DRAWN SMJ
PROJECT NO. A0614-09-24-00264	
DATE APRIL, 2024	
SHEET NO.	



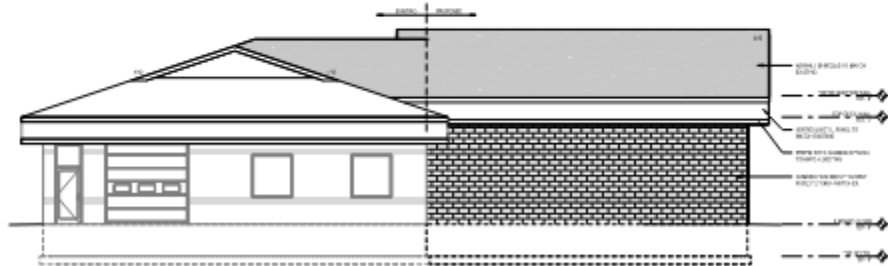
1 NORTH ELEVATION



2 SOUTH ELEVATION



1 EAST ELEVATION

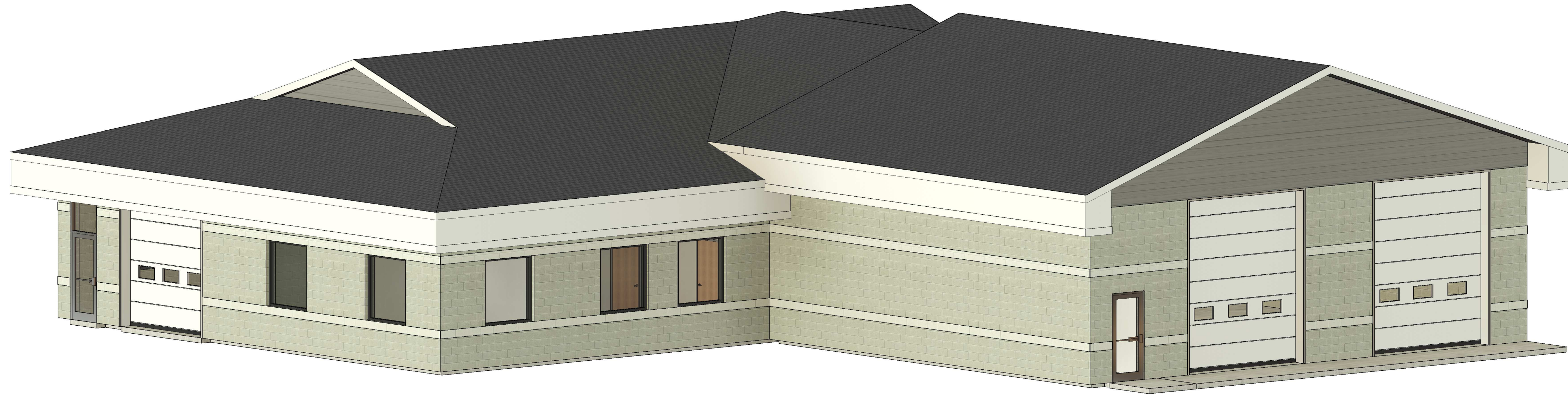


2 WEST ELEVATION

# ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207

STATUS: **APPROVAL**



**Alliance**  
CONSTRUCTION & DESIGN

ALLIANCEBUILDS.COM  
PHONE: (920) 336-3400 | FAX: (920) 336-3401  
1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, LLC.

**ENTERPRISE RENT-A-CAR**

PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704

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**REVISIONS**

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STATUS:

**APPROVAL**

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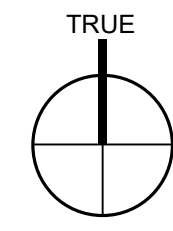
DRAWN BY: BB

SCALE:

TITLE SHEET

**G000**

**PROJECT LOCATION**



2302 COMMERCIAL AVENUE  
MADISON, WI 53704

**CONTACT INFORMATION**

OWNER / DEVELOPER CONTACT	GENERAL CONTRACTOR	ARCHITECT OF RECORD
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MECHANICAL CONTRACTOR	ELECTRICAL CONTRACTOR	PLUMBING CONTRACTOR
<b>AIR TEMPERATURE SYSTEMS, INC.</b> <b>ANNA NORSETTER</b> 5301 VOGES ROAD, MADISON, WI 53718  PHONE: 608.257.2000 CELL: - FAX: 608.638.6821 EMAIL: anna@airtemperature.com	<b>WANKOWSKI ELECTRIC LLC</b> <b>MIKE WANKOWSKI</b> 1288 SUMMIT AVENUE, STE 107, OCCONOMOWOC, WI 53066  PHONE: 414.530.4512 CELL: - FAX: - EMAIL: -	<b>RHD PLUMBING, INC.</b> <b>TREVOR VORDERMANN</b> 6474 BLANCHAR'S CROSSING, WINDSOR, WI 53589  PHONE: 608.873.8933 CELL: 608.931.7809 FAX: - EMAIL: trevor@rhdplumbing.com

**GENERAL SHEET INDEX**

SHEET #	SHEET NAME
G000	TITLE SHEET
G010	PROJECT NOTES & SYMBOLS
G020	ACCESSIBILITY REQUIREMENTS
G100	LIFE SAFETY PLANS

**SITE SHEET INDEX**

SHEET #	SHEET NAME
A050	ARCHITECTURAL SITE PLAN
A051	SITE DETAILS

**ARCHITECTURAL SHEET INDEX**

SHEET #	SHEET NAME
AD100	DEMO PLAN
A110	FLOOR PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A300	BUILDING SECTIONS
A620	SCHEDULES

**STRUCTURAL SHEET INDEX**

SHEET #	SHEET NAME
S100	FOUNDATION PLAN
S120	STRUCTURAL FRAMING PLAN

**ARCHITECTURAL ABBREVIATIONS**

A	AMPERES	DR	DOOR	INCL.	"INCLUDE, INCLUSIVE"	R	RADIUS
A.B.	ANCHOR BOLT	E.A.	EXPANSION ANCHOR	INSUL.	INSULATION	R.D.L.	ROOF DRAIN LEADER
A.F.F.	ABOVE FINISHED FLOOR	E.F.	EXHAUST FAN	INT.	INTERIOR	R.D.O.	ROOF DRAIN OVERFLOW
A.F.G.	ABOVE FINISHED GRADE	E.J.	EXPANSION JOINT	J-BOX	JUNCTION BOX	R.O.	ROUGH OPENING
A/C	AIR CONDITIONING	E.N.	END NAILING	JCT	JUNCTION	R.O.W. or RW	RIGHT OF WAY
ABC	AGGREGATE BASE COURSE	E.W.	EACH WAY	JST.	JOIST	REF	REFRIGERATOR
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	EA	EACH	JT.	JOINT	REF	REFERENCE
ABV.	ABOVE	EL	ELEVATION	K-D	KNOCK DOWN	REINF.	REINFORCED
ACB	ASBESTOS-CEMENT BOARD	ELECT.	"ELECTRIC, ELECTRICAL"	KD	KILN DRIED	REQ'D.	REQUIRED
ACOU.	ACOUSTIC	ELEV.	ELEVATOR	KO	KNOCK OUT	RET.	RETURN
ACT	ACOUSTICAL CEILING TILE	EMC	ELECTRICAL METALLIC CONDUIT	L.E.D.	LIGHT EMITTING DIODE	REV.	REVISION
ADD.	ADDITION or ADDENDUM	EMT	ELECTRICAL METALLIC TUBING	L.F.T.	LINEAR FEET	RM	ROOM
AG	ABOVE GRADE	ENT	ELECTRICAL NON-METALLIC TUBING	LAM	LAMINATE	RMV.	REMOVE
AHU	AIR HANDLER UNIT	EQ.	EQUAL	LAT.	LATERAL	S.C.	SOLID CORE
AL. or ALUM.	ALUMINUM	EQUIP.	EQUIPMENT	LAV	LAVATORY	S.D.	SMOKE DETECTOR
ALT.	ALTERNATE	EST.	ESTIMATE	LD.	LEAD	S.O.V.	SHUT OFF VALVE
ANL	ANNEALED	EVAP.	EVAPORATIVE COOLER	LIN.	LINEAR	S/L	SKYLIGHT
ASPH.	ASPHALT	EWV	ELECTRIC DRINKING COOLER	LINO.	LINOLEUM	S/S	STAINLESS STEEL
AVG	AVERAGE	EXC	EXCAVATE	LT.	LIGHT	SC	SELF CLOSING
AWG	AMERICAN WIRE GAUGE	EXH.	EXHAUST	LTG.	LIGHTING	SCHED.	SCHEDULE
∠ or ANG.	ANGLE	EXIST. or E	EXISTING	LVL	LAMINATED VENEER LUMBER	SECT.	SECTION
B.M.	BENCH MARK	EXT.	EXTERIOR	M.B.	MACHINE BOLT	SES	SERVICE ENTRANCE SECTION
B.N.	BOUNDARY NAILING	F.A.	FIRE ALARM	M.H.	MANHOLE	SH	SHEET
B.O.	BOTTOM OF	F.C.	FAN COIL	M.I.	MALLEABLE IRON	SHTG.	SHEATHING
B.O.F.	BOTTOM OF FOOTING	F.C.O.	FLOOR CLEAN OUT	M.O.	MASONRY OPENING	SIM.	SIMILAR
B.U.	BUILT UP	F.D.	FLOOR DRAIN	MAR.	MARBLE	SPA	SPACE
B/C	BACK OF CURB	F.E.	FIRE EXTINGUISHER	MAS.	MASONRY	SPECS	SPECIFICATIONS
BD.	BOARD	F.N.	FIELD NAILING	MATL	MATERIAL	SPKR.	SPEAKER
BLDG	BUILDING	F.O.	FACE OF	MAX.	MAXIMUM	SQ. FT. or SF	SQUARE FEET
BLK.	BLOCK	F.S.	FLOOR SINK	MECH.	MECHANICAL	SQ. IN.	SQUARE INCHES
BLKG.	BLOCKING	FIG	FIBERGLASS	MED.	MEDIUM	STC	SOUND TRANSMISSION CLASS
BM.	BEAM	FAB.	FABRICATE	MFG.	MANUFACTURING	STD.	STANDARD
BR	BRASS	FACP	FIRE ALARM CONTROL PANEL	MFR.	MANUFACTURER	STL.	STEEL
BRG.	BEARING	FDC	FIRE DEPARTMENT CONNECTION	MIN.	MINIMUM	SUSP.	SUSPENDED
BRZ	BRONZE	FDN.	FOUNDATION	MISC.	MISCELLANEOUS	SW	SWITCH
C.A.P.	CONCRETE ASBESTOS PIPE	FHC	FIRE HOSE CABINET	MOD.	MODULAR	SYM	SYMMETRICAL
C.D.	CONSTRUCTION DOCUMENTS	FIN.	FINISH	MTL.	METAL	SYS.	SYSTEM
C.I.P.	CAST IN PLACE	FL	FLOOR	MUL	MULLION	T & G	TONGUE AND GROOVE
C.J.	CONTROL JOINT	FLG.	FLOORING	N.I.C.	NOT IN CONTRACT	T.B.	THROUGH BOLT
C.O.	CLEAN OUT	FLUOR.	FLUORESCENT	N.T.S.	NOT TO SCALE	T.M.B.	TELEPHONE MOUNTING BOARD
C.T.	CERAMIC TILE	FP	FIRE PROOF	NCM	NON-CORROSIVE METAL	T.O.	TOP OF
CAB	CABINET	FTG	FOOTING	NFC	NOT FOR CONSTRUCTION	T.O.B.	TOP OF BEAM
CAM.	CAMBER	FURN.	FURNISH	NLR	NAILER	T.O.C.	TOP OF CURB
CCTV	CLOSED CIRCUIT TELEVISION	G.I.	GALVANIZED IRON	NO.	NUMBER	T.O.F.	TOP OF FOOTING
CEM.	CEMENT	GA.	GAUGE	NO.	NOMINAL	T.O.J.	TOP OF JOIST
CER	CERAMIC	GALV.	GALVANIZED	O.C.	ON CENTER	T.O.M.	TOP OF MASONRY
CFM	CUBIC FEET PER MINUTE	GAR.	GARAGE	O.D.	OUTSIDE DIAMETER	T.O.S.	TOP OF SLAB
CH or □	CHANNEL	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	O.H.	OVER HANG	T.O.W.	TOP OF WALL
CRT. BKR	CIRCUIT BREAKER	GFI	GROUND FAULT INTERRUPTER	O.I.	ORNAMENTAL IRON	T.S.	TUBE STEEL
CL or ☉	CENTERLINE	GL	GLASS	O.R.	OUTSIDE RADIUS	T.V.	TELEVISION OUTLET
CLG.	CEILING	GLB	GLUE LAMINATED BEAM	OAI	OUTSIDE AIR INTAKE	TEL.	TELEPHONE
CLKG.	CAULKING	GM	GRADE MARK	OH	OVER HEAD	TH.	THRESHOLD
CLO.	CLOSET	GM	GATE VALVE	OPNG.	OPENING	THD.	THREADED
CLR.	CLEAR	GRC	GALVANIZED RIGID TUBING	OPPO.	OPPOSITE	THK.	THICK
CMU	CONCRETE MASONRY UNIT	GYP.	GYPSPUM	P.C.	PRECAST CONCRETE	THRU	THROUGH
CNTRD.	CENTERED	GYP. BD.	GYPSPUM BOARD	P.L. or P	PROPERTY LINE	TLT.	TOILET
COL.	COLUMN	H.B.	HOSE BIBB	P.LAM.	PLASTIC LAMINATE	TRANS.	TRANSFORMER
COMB.	COMBINATION	H.C.	HOLLOW CORE	P.O.C.	POINT OF CONNECTION	TYP.	TYPICAL
CONC.	CONCRETE	H.M.	HOLLOW METAL	PERF.	PERFORATED	UNF.	UNFINISHED
CONST.	CONSTRUCTION	H/C	HANDICAPPED	PERP. or ⊥	PERPENDICULAR	UR	URINAL
CONT.	CONTINUOUS	HDBD.	HARDBOARD	PH.	PHASE	V.B.	VAPOR BARRIER
CONTR.	CONTRACTOR	HDW.	HARDWARE	PL.	PLASTER	V.I.F.	VERIFY IN FIELD
CU	COPPER	HGT.	HEIGHT	PL. or P	PLATE	VA	VOLT AMPERE
d	PENNY	HOR.	HORIZONTAL	PLAS.	PLASTIC	VCT	VINYL COMPOSITION TILE
D.F.	DRINKING FOUNTAIN	HTR	HEATER	PLUMB.	PLUMBING	VERT.	VERTICAL
D.G.	DECOMPOSED GRANITE	HVAC	"HEATING, VENTILATING & AIR CONDITIONING"	PLYWD.	PLYWOOD	W/C	WATER CLOSET
D.S.	DOWN SPOUT	HW	HOT WATER	PORC.	PORCELAIN	WDW	WINDOW
D/W	DISHWASHER	HYD.	HYDRAULIC	PREFAB.	PREFABRICATED	WCT	WAINSCOT
DBL.	DOUBLE	I.C.	INTERCOM OUTLET	PSF	POUNDS PER SQUARE FOOT	WP	WEATHER PROOF
DEMO	DEMOLITION	I.D.	INSIDE DIAMETER	PSI	POUNDS PER SQUARE INCH	WT.	WEIGHT
DIA. or Ø	DIAMETER	I.F.	INSIDE FACE	PTN	PARTITION	W/	WITH
DIAG.	DIAGONAL	ID	IDENTIFICATION	PVC	POLYVINYLCHLORIDE	W/O	WITHOUT
DIM.	DIMENSION	IG	ISOLATED GROUND	PWR.	POWER	WD.	WOOD
DL	DEAD LOAD	IMC	INTERMEDIATE METALLIC CONDUIT	Q.T.	QUARRY TILE	W.I.	WROUGHT IRON
DN.	DOWN	IMPG	IMPREGNATED	QTY.	QUANTITY	YD.	YARD

**GENERAL PROJECT NOTES**

- CONSTRUCTION OF THIS BUILDING SHALL MEET OR EXCEED ALL APPLICABLE ORDINANCES CODES AND STANDARDS. IN CASE OF CONFLICT, THE MOST STRINGENT SHALL APPLY.
- ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE CURRENT PUBLICATIONS OF THE PORTLAND CEMENT ASSOCIATION.
- LOCATION, SIZE & INSTALLATION FOR ALL ANCHORS, SLEEVES, HANGERS, INSERTS, OPENINGS, ETC., SHALL BE COORDINATED WITH ALL OTHER APPLICABLE TRADES.
- REINFORCING STEEL SHALL BE ASTM #615 GRADE 60.
- FABRICATION SHALL BE IN ACCORDANCE WITH CURRENT SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE.
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE CONSTRUCTION, AND NOTIFY ARCHITECT & OWNER OF ANY INTERFERENCES.
- CONTRACTORS SHALL PROVIDE ALL BARRICADES, FENCES, SAFETY EQUIPMENT, AND PRECAUTIONS REQUIRED BY ALL CODES OR AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- ALL HEATING EQUIPMENT SHALL BE SEALED COMBUSTION DIRECT VENT. WATER HEATER SHALL BE ELECTRIC. ALL TOILET ROOM FINISHES SHALL BE IMPERVIOUS TO WATER.
- ALL STRUCTURAL LUMBER SHALL BE MINIMUM (6) 90L. ALL HOLES IN TOP PLATES AND ANY VOIDS IN EXTERIOR WALL TO BE CAULKED.
- ALL BATT INSULATION IN EXTERIOR WALLS TO BE SPLIT TO ENVELOPE WIRING.
- EXTERIOR DOORS AND WINDOWS TO BE FOAMED.
- CONFIRM ALL CRITICAL DIMENSIONS w/ DESIGN DEPARTMENT. DO NOT SCALE ON SITE.
- ALL MATERIALS, DETAILS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS.

**FIRE PROTECTION NOTES**

- ALL WALL FRAMING TO HAVE FIRE BLOCKING @ MAX. 10'-0" O.C. VENT. IN ALL STUD CAVITIES.
- PROVIDE FIRE EXTINGUISHERS PER PLAN. PER TABLE 906.3(1) IBC 2015, MAXIMUM DISTANCE OF TRAVEL TO FIRE EXTINGUISHER TO BE 75'-0".
- REFER TO VERTICAL AND HORIZONTAL ASSEMBLY SCHEDULES SHEET FOR RATED ASSEMBLY DETAILS.
- PROVIDE SMOKE/DRAFT-STOPPING IN ENCLOSED ATTIC SPACES WHERE REQUIRED PER IBC 718.3 AND 718.4. PROVIDE INSPECTION ACCESS THROUGH SMOKE BARRIER WITH PROPER SPRING CLOSURE ON ACCESS DOOR.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UN-SWITCHED CIRCUIT AND BE PROVIDED w/ A POWER SOURCE BACKUP.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UN-SWITCHED CIRCUIT w/ EMERGENCY BACKUP POWER.

**SYMBOLS**

**Alliance  
CONSTRUCTION & DESIGN**

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1950 BROADWAY ST., WRIGHTSTOWN, WI 54190

PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, LLC.

**ENTERPRISE RENT-A-CAR**

PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704

**REVISIONS**

#	STAGE	DATE

STATUS:

**APPROVAL**

CURRENT AS OF: 5/1/2024 7:42:16 AM

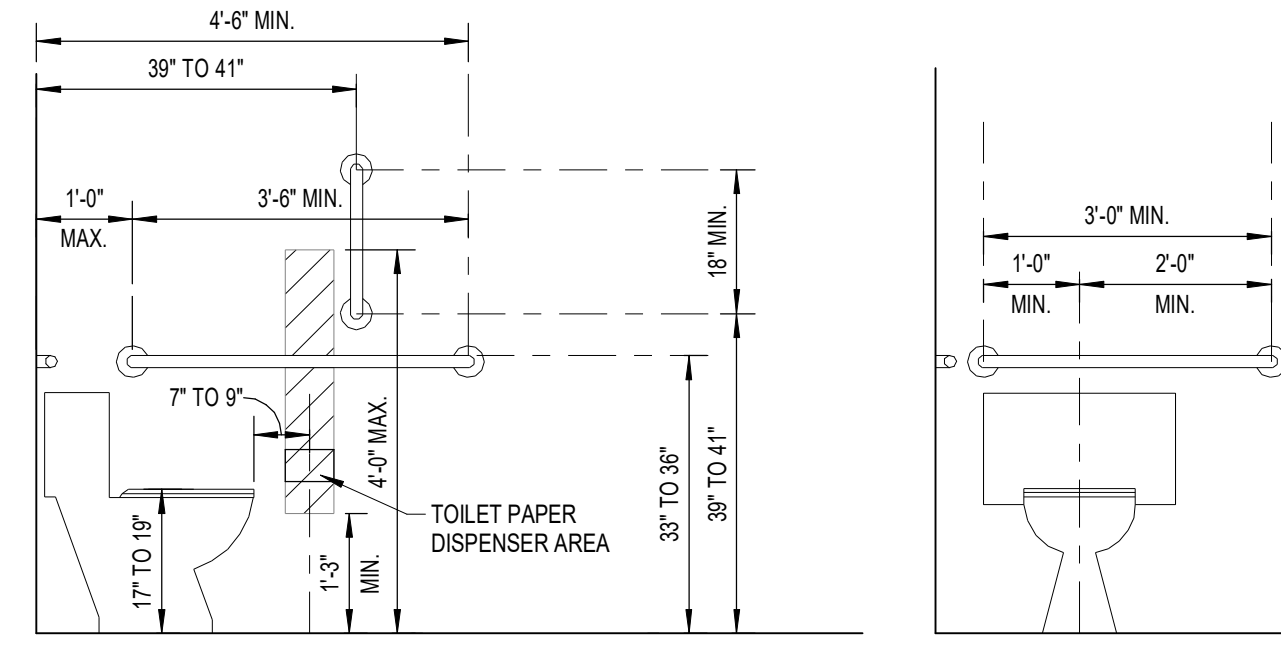
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SCALE: As indicated

**PROJECT NOTES & SYMBOLS**

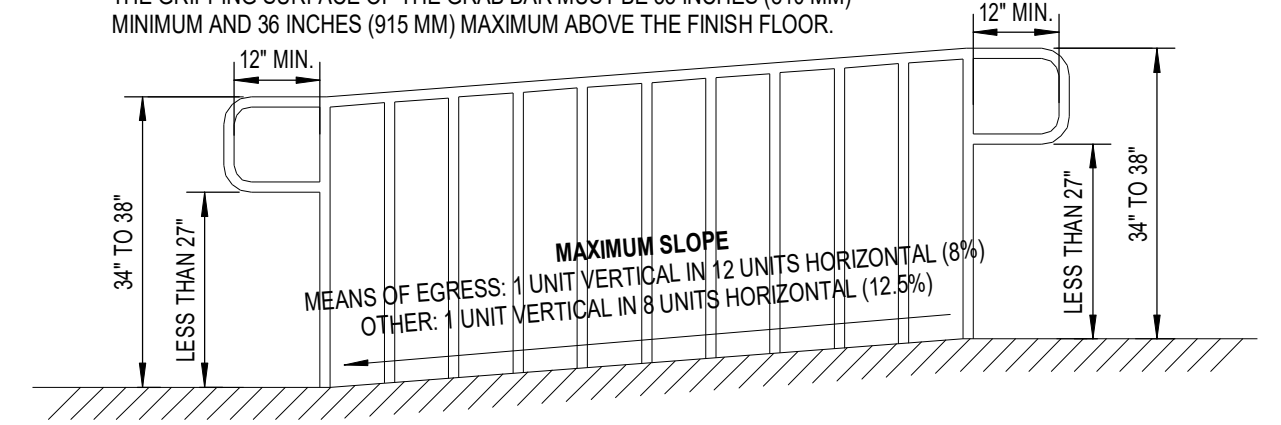
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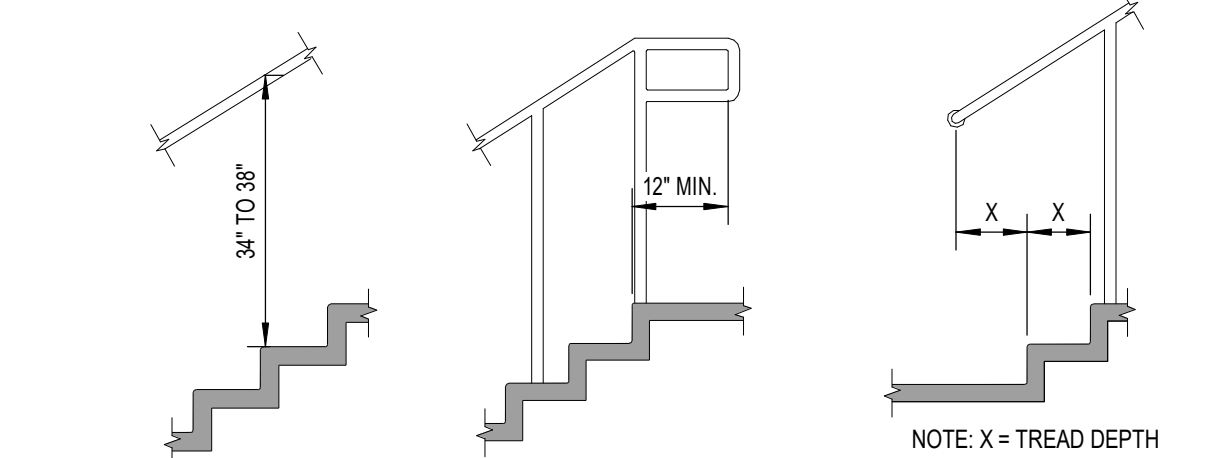
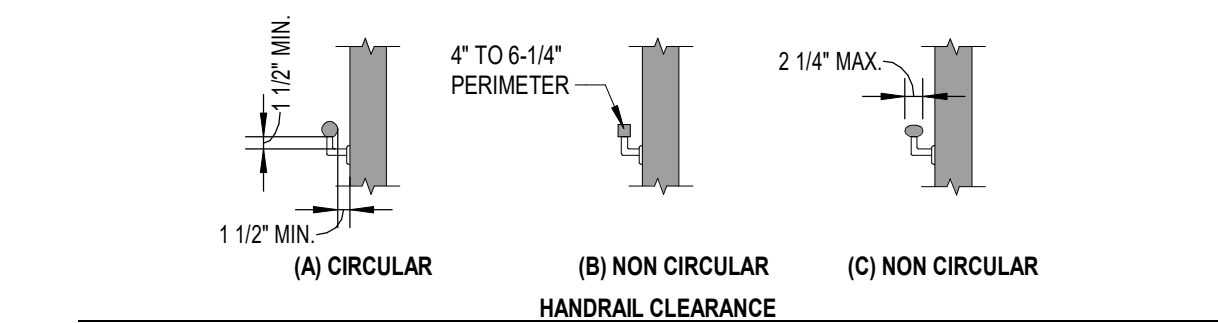
**SIDE WALL GRAB BARS, TOILET SEAT HEIGHT, & TOILET PAPER DISPENSER HEIGHT**

IF TOILET PAPER DISPENSERS ARE INSTALLED ABOVE THE SIDE WALL GRAB BAR, THE OUTLET OF THE TOILET PAPER DISPENSER MUST BE 48 INCHES (1220 MM) MAXIMUM ABOVE THE FINISH FLOOR AND THE TOP OF THE GRIPPING SURFACE OF THE GRAB BAR MUST BE 33 INCHES (840 MM) MINIMUM AND 36 INCHES (915 MM) MAXIMUM ABOVE THE FINISH FLOOR.

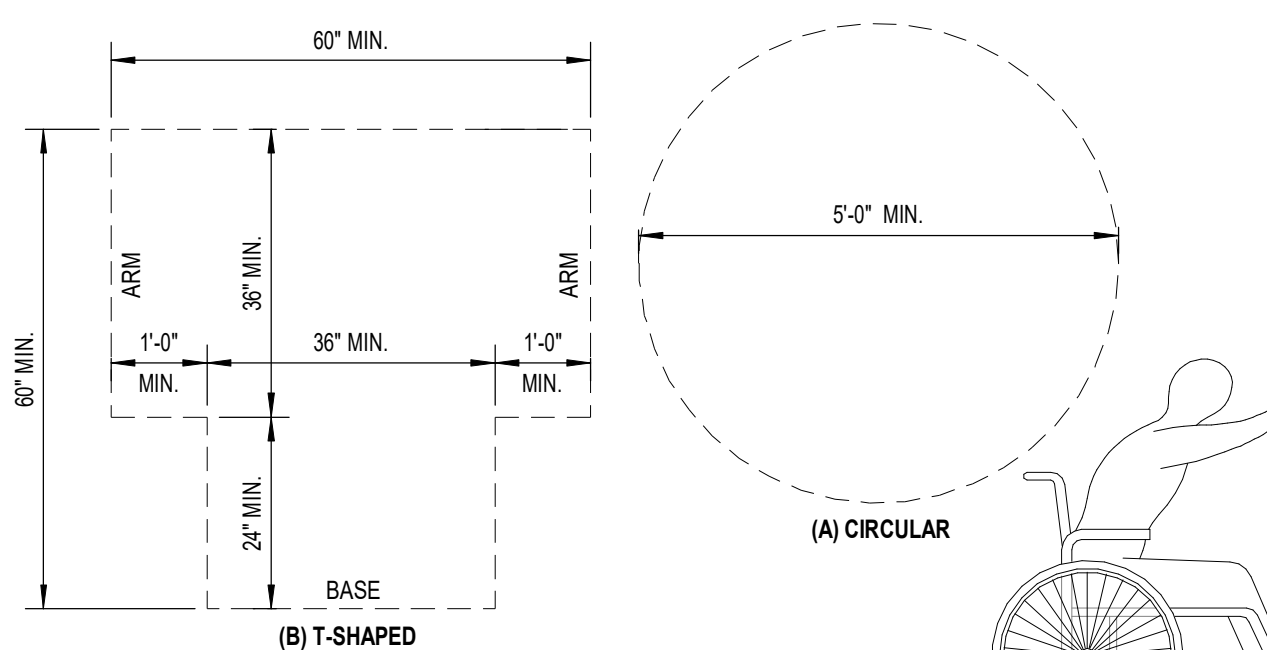


**RAMP WITH HANDRAIL**

- 4.8 RAMP (ADAAG) (REFERENCE)
  - A. EXTERIOR RAMP - THE MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 40", MEASURED BETWEEN HANDRAILS.
  - B. INTERIOR RAMP - THE MINIMUM CLEAR WIDTH OF AN INTERIOR RAMP SHALL BE 36", MEASURED BETWEEN HANDRAILS.
- 4.8.4 LANDINGS (ADAAG)
  - A. RAMP SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN.
  - B. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
    - THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP LEADING TO IT.
    - THE LANDING LENGTH SHALL BE A MINIMUM OF 60" (1525 mm) CLEAR.
    - IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60" x 60" (1525 mm x 1525 mm).
    - IF DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY WITH 4.13.6.
- 4.8.5 HANDRAILS (ADAAG) IF A RAMP HAS A RISE GREATER THAN 6 inches (150 mm) OR A HORIZONTAL PROJECTION GREATER THAN 72" (1830 mm), THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS SHALL COMPLY WITH 4.26.

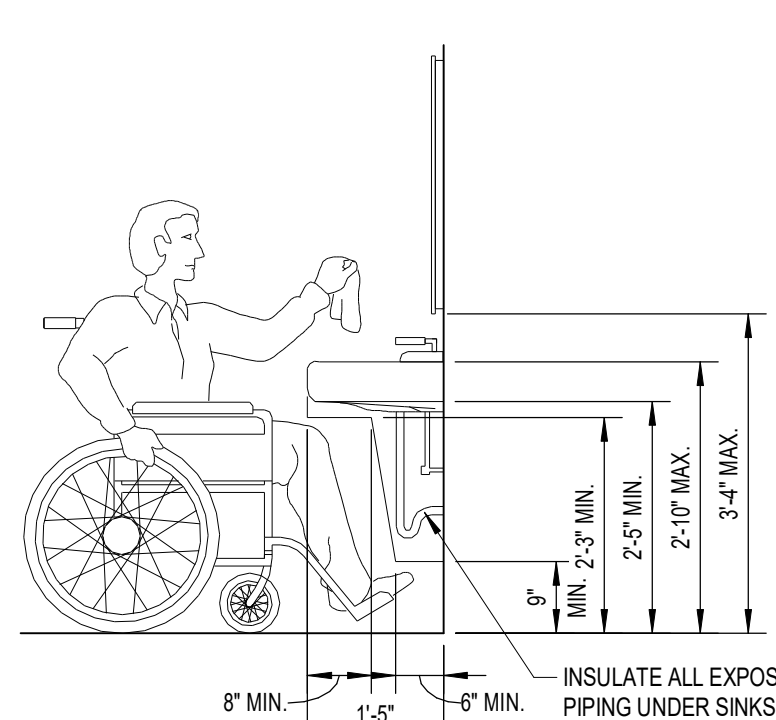
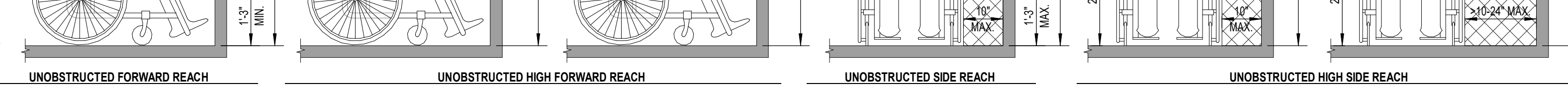


- 505.2 LOCATION. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS.
- 505.3 CONTINUITY. HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS OR RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RUNS. OTHER HANDRAILS SHALL COMPLY WITH SECTIONS 505.10 AND 307.
- 505.4 HEIGHT. TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 34" MINIMUM AND 38" MAXIMUM VERTICALLY ABOVE STAIR NOSINGS AND RAMP SURFACES. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE STAIR NOSINGS AND RAMP SURFACES.
- 505.5 CLEARANCE. CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 1 1/2" MINIMUM.
- 505.6 GRIPPING SURFACE. GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWELL POSTS, OR OTHER CONSTRUCTION ELEMENTS OR OBSTRUCTIONS.
- 505.7 CROSS SECTION. HANDRAILS SHALL HAVE A CIRCULAR CROSS-SECTION WITH AN OUTSIDE DIAMETER OF 1 1/4" MINIMUM & 2" MAXIMUM, OR SHALL PROVIDE EQUIVALENT GRASPABILITY COMPLYING WITH SECTION 505.7.1.
- 505.7.1 NON-CIRCULAR CROSS SECTIONS. HANDRAILS WITH OTHER SHAPES SHALL BE PERMITTED PROVIDED THEY HAVE A PERIMETER DIMENSION OF 4" MINIMUM AND 6-1/2" MAXIMUM, AND PROVIDED THEIR LARGEST CROSS-SECTION DIMENSION IS 2 1/4" MAXIMUM.
- 505.10.1 TOP AND BOTTOM EXTENSION AT RAMPS. RAMP HANDRAILS SHALL EXTEND HORIZONTALLY 12" MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS. SUCH EXTENSION SHALL RETURN TO A WALL, GUARD, OR THE WALKING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.
- 505.10.2 TOP EXTENSIONS AT STAIRS. AT THE TOP OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12" MINIMUM, BEGINNING DIRECTLY ABOVE THE FIRST RISER NOSING. SUCH EXTENSION SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.
- 505.10.3 BOTTOM EXTENSION AT STAIRS. AT THE BOTTOM OF A STAIR FLIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FOR A DISTANCE EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING. SUCH EXTENSION SHALL CONTINUE WITH A HORIZONTAL EXTENSION OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT, OR SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE, IF PROVIDED AT THE BOTTOM OF A STAIR FLIGHT. A HORIZONTAL EXTENSION OF A HANDRAIL SHALL BE 12" LONG, MINIMUM, AND A HEIGHT EQUAL TO THAT OF THE SLOPING PORTION OF THE HANDRAIL, AS MEASURED ABOVE THE STAIR NOSINGS. SUCH EXTENSION SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.



**FLOOR OR GROUND SURFACES OF A WHEELCHAIR TURNING**

- 304.2 FLOOR OR GROUND SURFACE. SPACE SHALL HAVE A SLOPE NOT STEEPER THAN 1:48 AND SHALL COMPLY WITH ICC/ANSI A117.1-1998 SECTION 302.
- 304.3 SIZE. WHEELCHAIR TURNING SPACE SHALL COMPLY WITH ICC/ANSI A-117.1-1998 SECTIONS 304.3.1 OR 304.3.2.



**REAR WALL GRAB BARS**

INSULATE ALL EXPOSED PIPING UNDER SINKS

ALL STEPS ON A FLIGHT OF STAIRS SHALL HAVE UNIFORM RISER HEIGHTS



504.2 TREADS AND RISERS. RISERS SHALL BE 4" HIGH MINIMUM AND 7" MAXIMUM. TREADS SHALL BE 11" DEEP MINIMUM, MEASURED FROM RISER TO RISER AND UNIFORM TREAD DEPTH.

- 504.3 OPEN RISERS. OPEN RISERS SHALL NOT BE PERMITTED.
- 504.4 TREAD SURFACE. STAIR TREADS SHALL COMPLY WITH SECTION 302.
- 504.5 NOSINGS. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE 1/2" MAXIMUM. NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE LEADING EDGE CURVED OR BEVELED. RISERS SHALL BE PERMITTED TO SLOPE UNDER THE TREAD AT AN ANGLE OF 30 DEG. MAXIMUM FROM VERTICAL. THE PERMITTED PROJECTION OF THE NOSING SHALL BE 1 1/2" MAXIMUM BEYOND THE TREAD BELOW.
- 504.6 HANDRAILS. STAIRS SHALL HAVE HANDRAILS COMPLYING WITH SECTION 505.

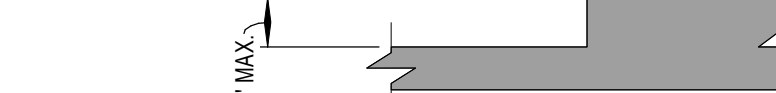
303.2 VERTICAL CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL.

- 303.3 BEVELED. CHANGES IN LEVEL BETWEEN 1/4" & 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- 303.4 RAMPED. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED AND SHALL COMPLY WITH ICC/ANSI A117.1-1998 SECTION 405 AND 406.

302 GENERAL. FLOOR OR GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT, AND SHALL COMPLY WITH ICC/ANSI A117.1-1998 SECTION 302.

- 302.2 CARPET. PILE HEIGHT SHALL BE 1/2" MAX. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR OR GROUND AND SHALL HAVE TRIM ALONG ENTIRE LENGTH OF EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH ICC/ANSI A117.1-1998 SECTION 303. (FIG.302.2)

**CARPET ON FLOOR OR GROUND SURFACES - N.T.S.**

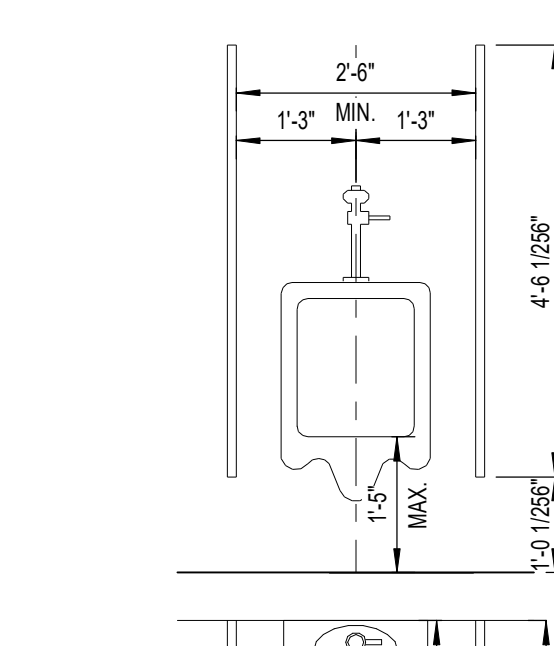
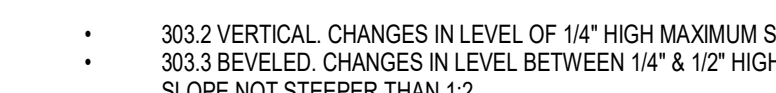


**SHOWER COMPARTMENTS**



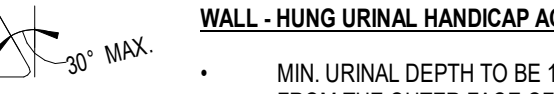
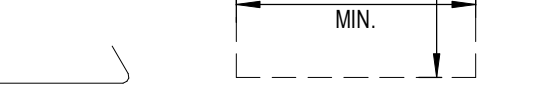
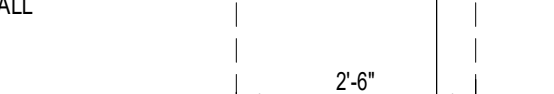
AREA OF REFUGE SIGNAGE 703.4.1 HEIGHT ABOVE FINISH FLOOR OR GROUND, TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES (1220 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE.

MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 60 INCHES (1525 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER.



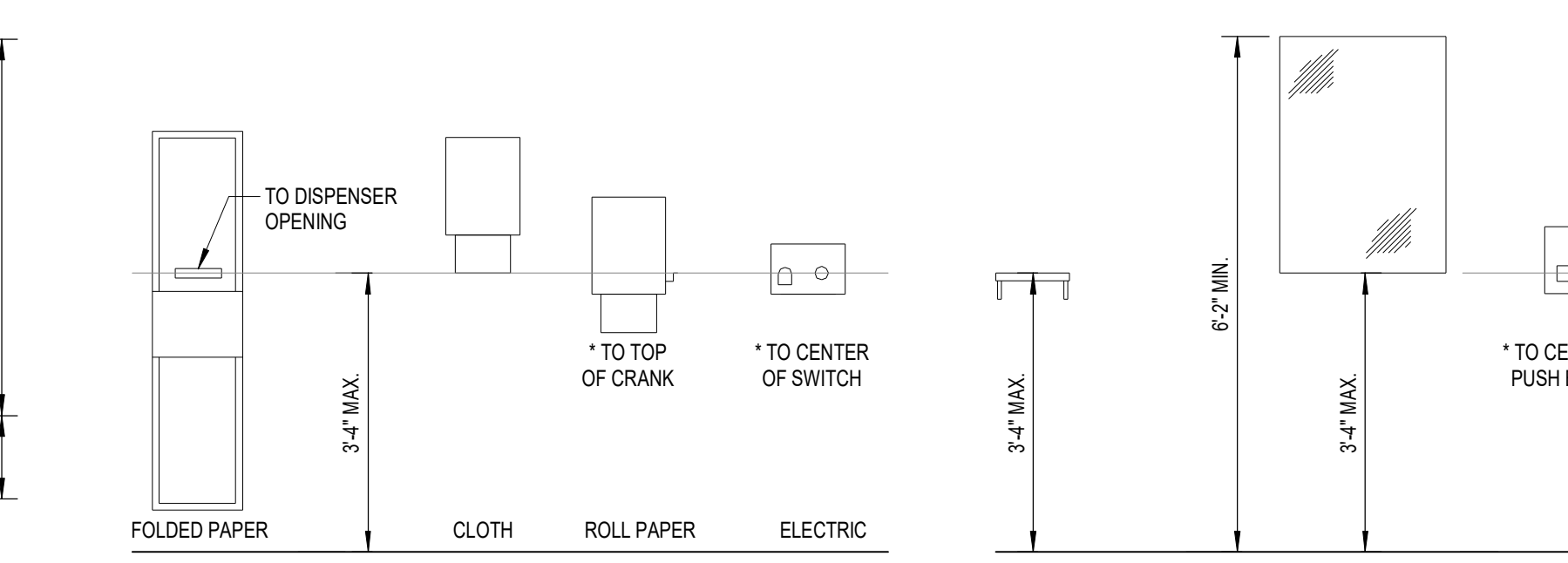
**WALL - HUNG URINAL HANDICAP ACCESSIBLE**

MIN. URINAL DEPTH TO BE 13 1/2" MEASURED FROM THE OUTER FACE OF THE URINAL RIM TO THE BACK OF THE FIXTURE

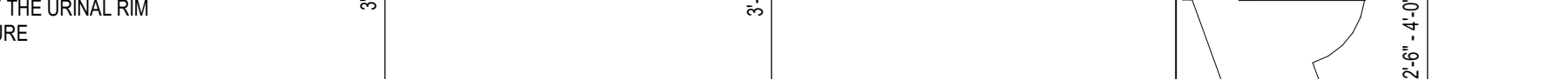
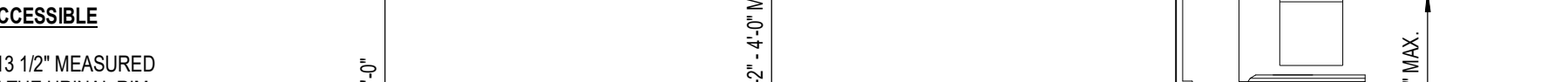
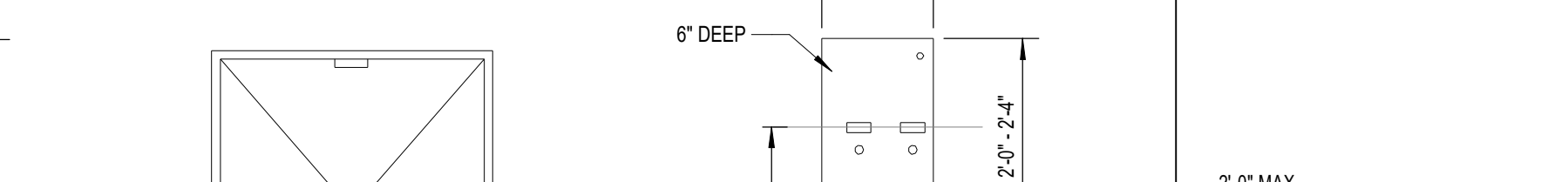


**A.D.A. MOUNTING HEIGHTS FOR FIXTURES & ACCESSORIES**

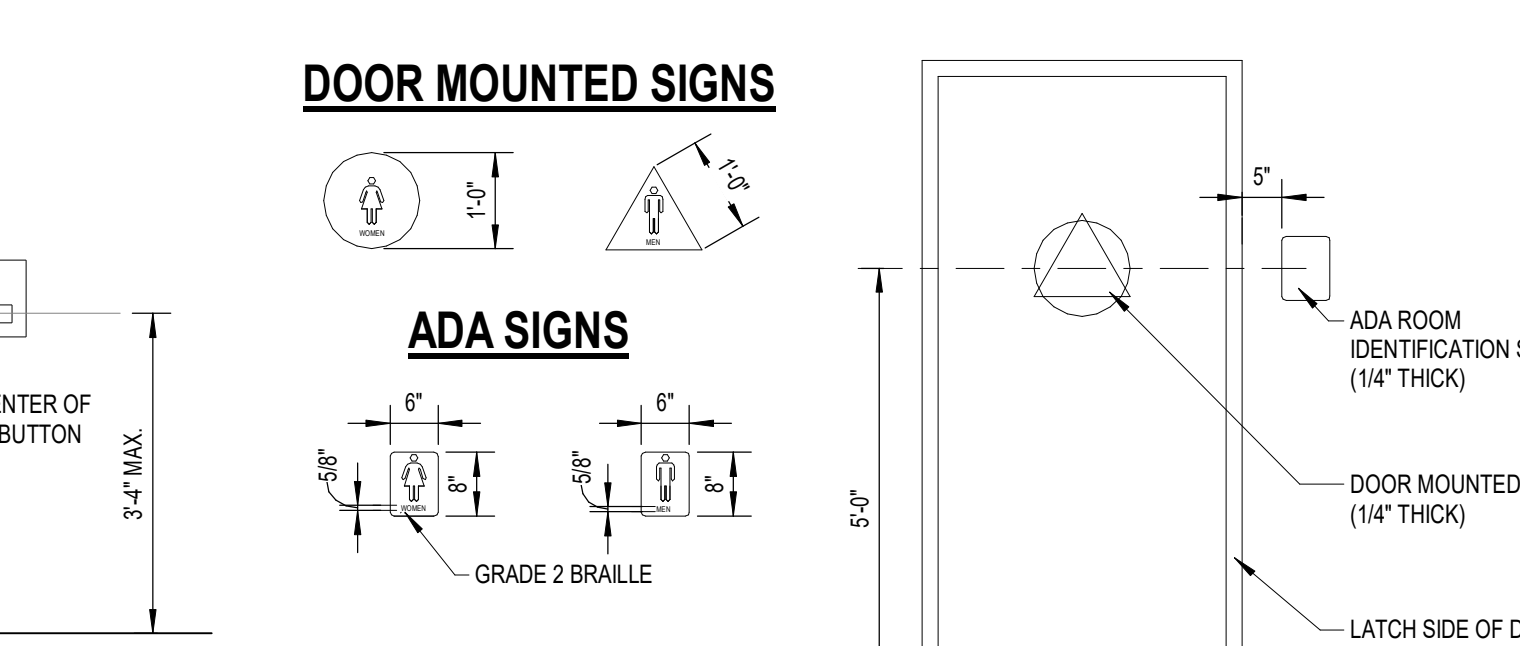
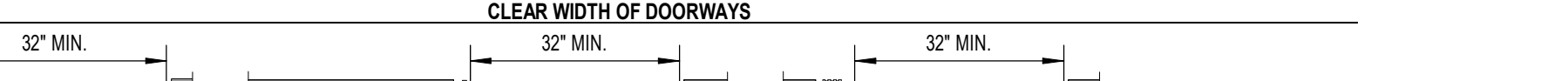
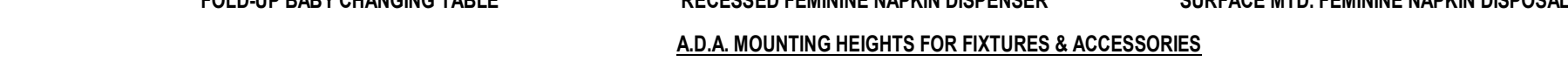
- FOLDED PAPER: 3'-4" MAX.
- CLOTH: 3'-4" MAX.
- ROLL PAPER: 3'-4" MAX.
- ELECTRIC: 3'-4" MAX.
- SHELF: 6'-2" MIN.
- MIRROR: 3'-4" MAX.
- SOAP DISPENSER: 3'-4" MAX.



**MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS & GATES**



**MANEUVERING CLEARANCES AT DOORWAYS WITHOUT DOORS OR GATES, MANUAL SLIDING DOORS, AND MANUAL FOLDING DOORS**



**DOOR MOUNTED SIGNS**

**ADA SIGNS**

- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.
- IDENTIFICATION SYMBOLS ARE TO BE ON WALL ADJACENT DOOR 60" ABOVE FLOOR AND ARE TO BE DISTINCTLY DIFFERENT FROM DOOR AND WALL IN COLOR AND CONTRAST.
- PROVIDE ROOM IDENTIFICATION SIGN ON LATCH SIDE OF DOOR.
- LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MIN. SHALL BE A MIN. OF 5/8" HIGH & SHALL BE SANS-SERIF UPPERCASE CHARACTERS. A.D.A. SIGNAGE ACCOMPANIED BY GRADE 2 BRAILLE.
- REGULATORY SIGNS TO BE TYPICALLY ADA COMPLIANT TACTILE 3-D PLAQUES PER CODE REQUIREMENTS.
- SIGNS TO BE A TYPICAL ONE PIECE INJECTION MOLDED FABRICATION WITH RAISED SECOND SURFACE GRAPHICS.
- BRAILLE SHOWN IS FOR PLACEMENT ONLY. USE CORRECT BRAILLE FOR SIGN PRODUCTION.

APPROACH DIRECTION	DOOR SIDE	MINIMUM CLEARANCES	
		PERPENDICULAR TO DOOR	PARALLEL TO DOOR
FROM FRONT	PULL	60"	18"
FROM FRONT	PUSH	48"	0" (NOTE 1)
FROM HINGE	PULL	60"   54"	36"   42"
FROM HINGE	PUSH	42" (NOTE 2)	22" (NOTE 3)
FROM LATCH	PULL	48" (NOTE 4)	24"
FROM LATCH	PUSH	42" (NOTE 4)	24"

NOTE: MANEUVERING SPACE SHALL INCLUDE FULL WIDTH OF DOORWAY.

- ADD 12" IF CLOSER AND LATCH PROVIDED.
- ADD 6" IF CLOSER AND LATCH PROVIDED.
- BEYOND HINGE SIDE.
- ADD 6" IF CLOSER PROVIDED.

**Alliance**  
CONSTRUCTION & DESIGN

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1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL: \_\_\_\_\_

PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704

# ENTERPRISE RENT-A-CAR

APPROVAL

REVISIONS	
#	STAGE

STATUS: \_\_\_\_\_

APPROVAL: \_\_\_\_\_

CURRENT AS OF: 5/1/2024 7:42:17 AM

DRAWN BY: BB

SCALE: 1/2" = 1'-0"

ACCESSIBILITY REQUIREMENTS

**G020**

### OCCUPANCY SCHEDULE

ROOM	NAME	AREA	AREA PER OCCUPANT	CLASSIFICATION	OCCUPANT LOAD
<b>ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM</b>					
101	NEW SERVICE BAYS	1449 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	5
001	EX. SERVICE BAYS	816 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	3
002	EX. WASH BAY	1487 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	5
009	EX. SUPPLY ROOM	103 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	1
010	EX. STOR.	40 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	1
013	EX. STOR.	25 SF	300 SF	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	1
<b>BUSINESS AREAS</b>					
004	EX. BREAKROOM	118 SF	100 SF	BUSINESS AREAS	2
005	EX. MANAGERS OFFICE	118 SF	100 SF	BUSINESS AREAS	2
006	EX. OPEN AREA	386 SF	100 SF	BUSINESS AREAS	4
007	EX. VEST.	29 SF	100 SF	BUSINESS AREAS	1
008	EX. IT	23 SF	100 SF	BUSINESS AREAS	1
011	EX. R.R.	40 SF	100 SF	BUSINESS AREAS	1
012	EX. R.R.	50 SF	100 SF	BUSINESS AREAS	1
003	EX. CORRIDOR	178 SF	100 SF	BUSINESS AREAS	2
102	CORR.	231 SF	100 SF	BUSINESS AREAS	3
TOTAL		5093 SF			33

### GENERAL NOTES

- PER IBC TABLE 906.3 (1), MAXIMUM DISTANCE OF TRAVEL TO FIRE EXTINGUISHER TO BE 75'-0".
- PER IBC SECTION 1013, EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100'-0" OR THE LISTED VIEWING DISTANCE FROM THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- PER IBC SECTION 703.7, FIREWALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING SPACED AND SIZED TO MEET CODE REQUIREMENTS.
- REFER TO LIFE SAFETY PLAN FOR TRAVEL DISTANCES, COMMON PATH OF TRAVEL, EGRESS WIDTHS, ACCESSIBLE ROUTE, ACCESSIBLE ENTRANCES AND EXITS.
- REFER TO ARCHITECTURAL SITE PLAN FOR DISTANCES TO PROPERTY LINES, STREETS, AND BUILDINGS ON SAME SITE.
- EXIT DOORS w/ PANIC HARDWARE SHALL BE PROVIDED AT EACH ACCESSIBLE PATH EGRESS EXIT
- REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR EXIT SIGNAGE LOCATION AND TYPES
- REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR EMERGENCY LIGHTING LOCATIONS AND TYPES
- REFER TO MEP CONSULTANT DRAWINGS FOR FIRE DEPARTMENT CONNECTIONS AND CONTROL PANEL LOCATIONS

### PROJECT INFORMATION/CODE SUMMARY

**DESCRIPTION OF WORK**

THE PROJECT REPRESENTS THE NEW ADDITION TO THE EXISTING BUILDING TO ADD TWO NEW SERVICE BAYS AND ACCESS CORRIDOR. THE EXISTING STRUCTURE IS TO REMAIN INTACT. THE ADDITION WILL CONSIST OF EXTERIOR CMU WALLS, WOOD ROOF, AND INTERIOR PARTITIONS TO BE NEW, WOOD FRAME CONSTRUCTION WITH COMMERCIAL GRADE ARCHITECTURAL FINISHES.

**PROJECT LOCATION & AREA**

CITY OF MADISON, DANE COUNTY, WI

- CLIMATE ZONE: 6
- PARCEL NUMBER: 2510810-314-2001-1
- PROPERTY ZONED: COMMERCIAL
- PROPOSED BUILDING AREA: 1,827 S.F.
- EXISTING BUILDING AREA: 3,987 S.F.
- TOTAL LOT AREA: 145,403 S.F. (3.338 ACRES)

LEGAL DESCRIPTION: CSM 6197, VOL. 14624, P.A. DOC'T 2218732 LOT 1

**APPLICABLE CODES**

- STATE OF WISCONSIN ENROLLED COMMERCIAL BUILDING CODE VOLUME 8(ii)
- WISCONSIN ADMINISTRATIVE CODE: SPS 381-366 (COMMERCIAL BUILDING CODE)
- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2015 INTERNATIONAL FIRE CODE (IFC)
- 2015 INTERNATIONAL FIRE CODE (IFC) (COMMERCIAL PROVISIONS)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC)
- 2017 ICC / ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

**DEFERRED SUBMITTALS**

- HVAC
- PLUMBING

**GENERAL BUILDING HEIGHTS AND AREAS**

CONSTRUCTION TYPE VB

**BUILDING AREA** (TABLE 506.2)

- ALLOWABLE: 9,000 SQ. FT.
- ACTUAL: 15,750 SQ. FT.

**BUILDING HEIGHT** (TABLE 504.3)

- ALLOWABLE: 40 FT.
- ACTUAL: 24'-2" FT.

**BUILDING STORIES** (TABLE 504.4)

- ALLOWABLE: 1 STORY
- ACTUAL: 1 STORY

**FRONTAGE INCREASE** (TABLE 506.3)

- MINIMUM FRONTAGE DISTANCE = 30 FT.
- W = [(L<sub>1</sub> x W<sub>1</sub>) + (L<sub>2</sub> x W<sub>2</sub>) + (L<sub>3</sub> x W<sub>3</sub>)] / F = .75
- AMOUNT OF INCREASE = .75
- I<sub>e</sub> = (F / P - 0.25) W / 30

**ALLOWABLE AREA**

- TOTAL ALLOWABLE AREA = 15,750 SQ. FT.
- FIRST FLOOR ALLOWABLE AREA = 15,750 SQ. FT.
- A<sub>a</sub> = [A<sub>s</sub> + (NS x I<sub>e</sub>)]

**OCCUPANCY**

OCCUPANCY CLASSIFICATION(S) (CHAPTER 3)

GROUP S-1 - STORAGE  
GROUP B - BUSINESS

**OCCUPANCY SEPARATION** (TABLE 508.4)

NON SEPERATED

**OCCUPANT LOAD** (TABLE 1004.1.2)

GROUP S	16 OCC.	(3,920 SF.)
GROUP B	+ 17 OCC.	(1,173 SF.)
TOTAL	= 33 OCC.	(5,093 SF.)

**MEANS OF EGRESS** (SECTION 1005.3)

STAIRWAYS

- MIN. REQ. = 9' 9" (0.3 IN. PER OCCUPANT OR 44" MIN. PER SECTION 1011.2)
- ACTUAL = 0"

OTHER

- MIN. REQ. = 6' 6" (0.2 IN. PER OCCUPANT)
- ACTUAL = 96"

**FIRE PROTECTION**

SPRINKLER SYSTEM (CHAPTER 903.2)  
NONSPRINKLERED BUILDING

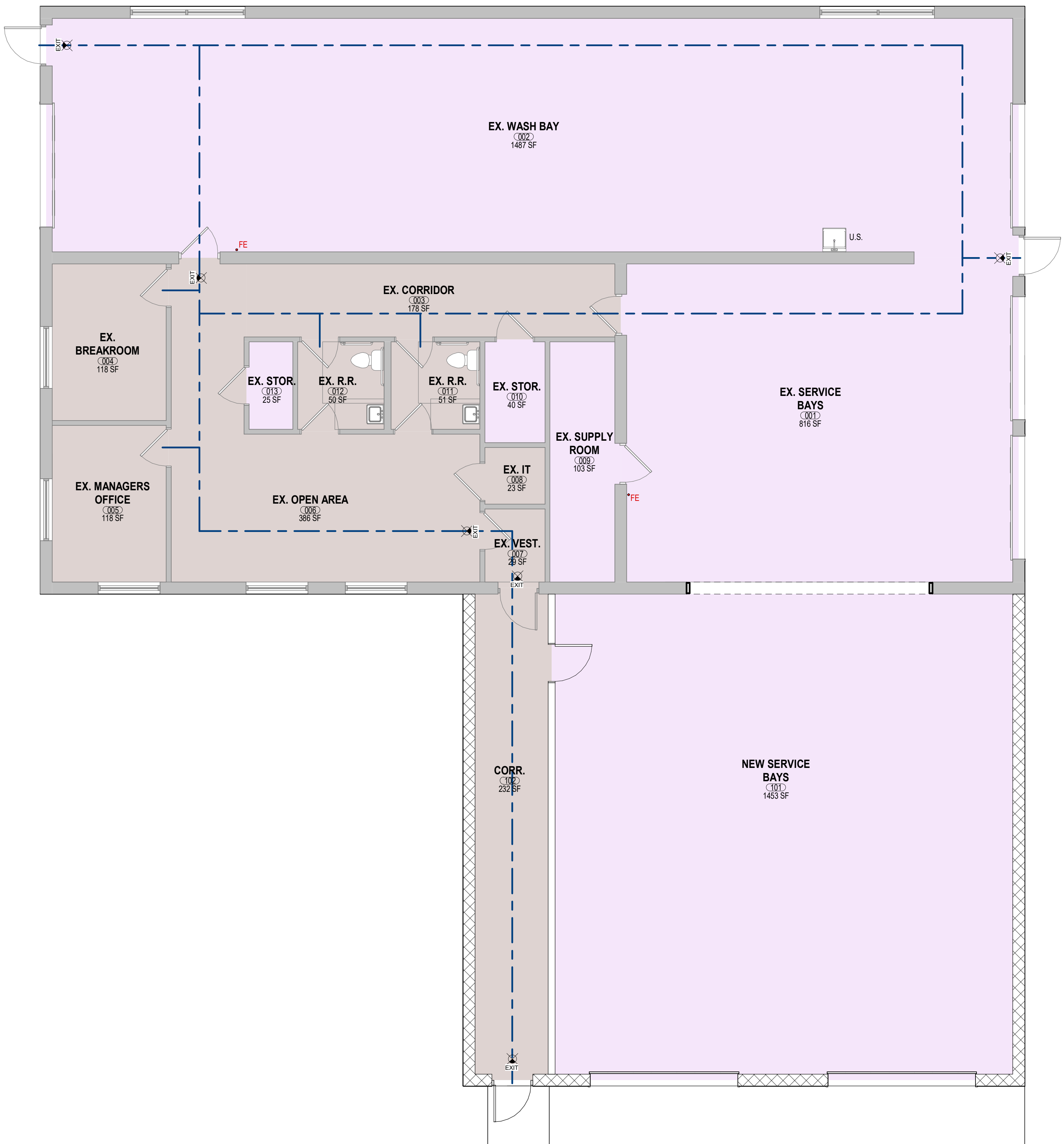
MAXIMUM FIRE AREA (CHAPTER 903.2)  
12,000 SQ. FT.

FIRE ALARM (CHAPTER 907.2)  
NONE

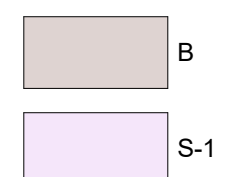


**Alliance**  
CONSTRUCTION & DESIGN

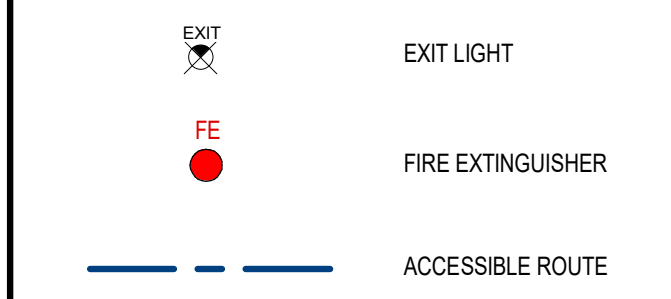
ALLIANCEBUILDS.COM  
PHONE: (920)-336-3400 | FAX: (920)-336-3401  
1050 BROADWAY ST., WRIGHTSTOWN, WI 54180



### OCCUPANCY KEY



### LIFE SAFETY SYMBOLS



**1 LIFE SAFETY PLAN**  
3/16" = 1'-0"

PROFESSIONAL SEAL:  
LLOYD CARPENTER ARCHITECT, LLC.

**ENTERPRISE RENT-A-CAR**

PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704

REVISIONS		
#	STAGE	DATE

STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:18 AM

DRAWN BY: BB

SCALE: As indicated

BUILDING ELEMENT	FIRE-RESISTANCE RATING REQUIREMENTS	
	REQUIRED (HOURS)	PROVIDED (HOURS)
PRIMARY STRUCTURAL FRAMING	0	0
BEARING WALLS	0	0
NONBEARING WALLS AND PARTITIONS (EXTERIOR)	SEE TABLE 602	
NONBEARING WALLS AND PARTITIONS (INTERIOR)	0	0
FLOOR CONSTRUCTION	0	0
ROOF CONSTRUCTION	0	0

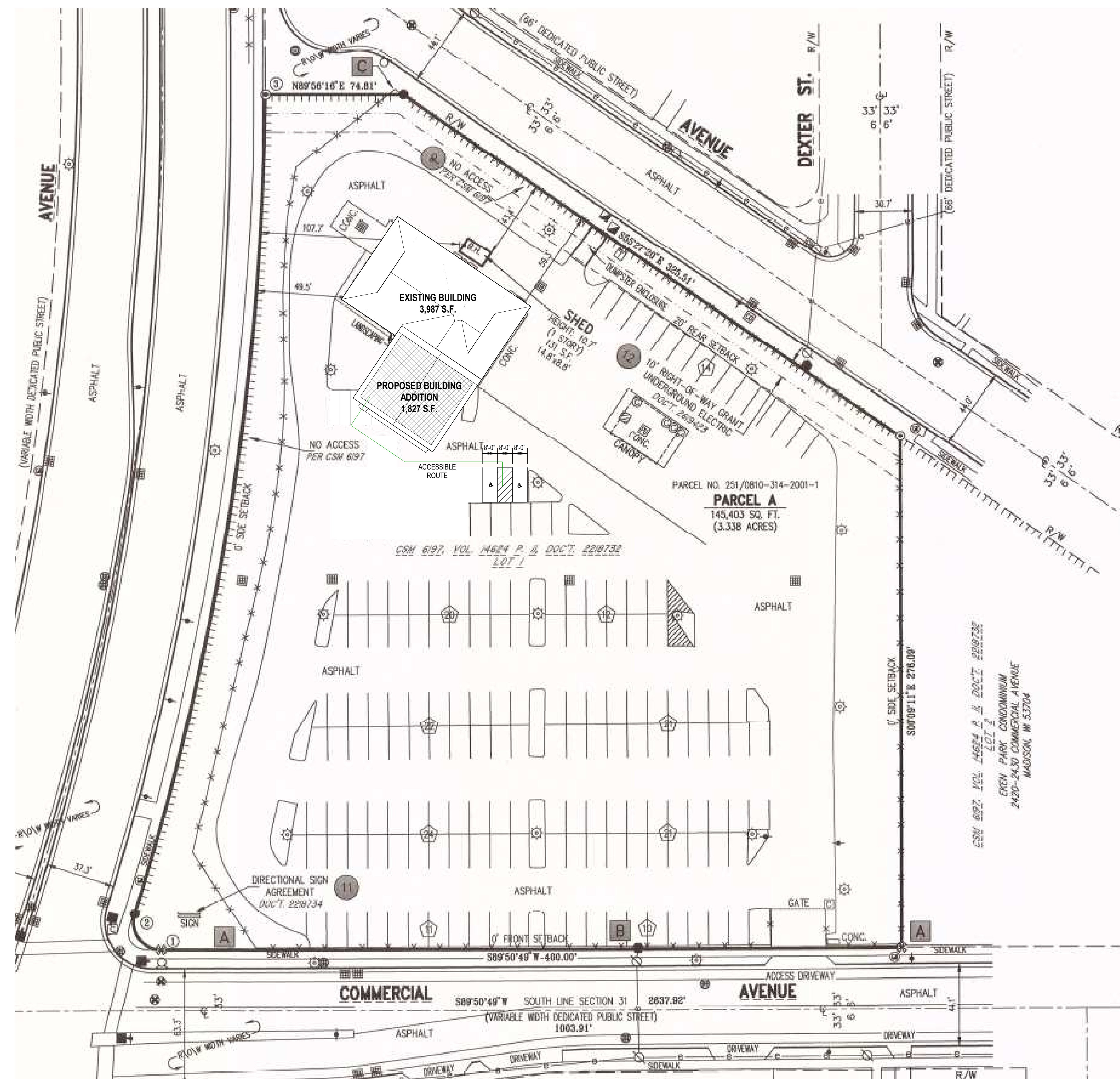
REQUIRED	MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES						
	TABLE 2902.1						
	MEN	WOMEN	BATHTUBS/	DRINKING	OTHER		
URINALS	W/C	LAV	FOUNTAINS				
REQUIRED	0	1	2	0	0	1 S.S.	
EXISTING	0	1	2	0	0	1 S.S.	
PROPOSED	0	0	0	0	0	0 S.S.	

LIFE SAFETY PLANS

# G100

P:\23-207 Enterprise Madison Service Center\27 Model\Rev\23-207 Enterprise Madison Addition.rvt





**GENERAL NOTES**

- PARKING COUNT:
- VAN ACCESSIBLE PARKING STALL PROVIDED: ONE (1)
- COORDINATE ALL STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DISCIPLINES AND ANY ADDITIONAL SUPPORTING DOCUMENTS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- COORDINATE DOWNSPOUT LOCATIONS AND/OR DOWNSPOUT TIE-IN TO STORM SEWER.
- ALL UTILITY LOCATIONS AND SCOPE OF WORK SHALL BE COORDINATED PRIOR TO START OF CONSTRUCTION.
- LANDSCAPING SHALL MEET LOCAL MUNICIPALITY REQUIREMENTS.

**PLAN KEYNOTES**

NO.	DESCRIPTION
-----	-------------

**Alliance**  
CONSTRUCTION & DESIGN

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PHONE: (920) 336-3400 | FAX: (920) 336-3401  
1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, LLC.

**ENTERPRISE RENT-A-CAR**

PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704

REVISIONS		
#	STAGE	DATE

STATUS:

**APPROVAL**

CURRENT AS OF: 5/1/2024 7:42:19 AM

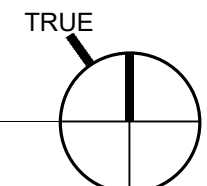
DRAWN BY: BB

SCALE: As indicated

ARCHITECTURAL SITE PLAN

**A050**

2 SITE PLAN - PLAN NORTH  
1" = 30'-0"

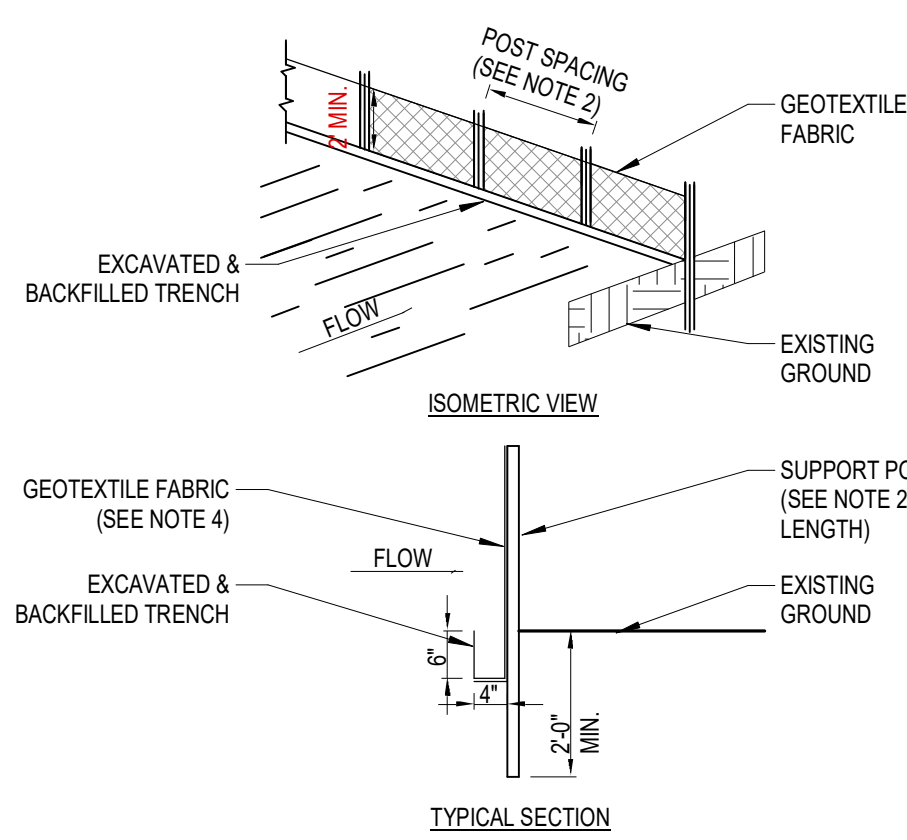


TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITY BEFORE YOU DIG IN WISCONSIN

# CALL DIGGERS HOTLINE 1-800-242-8511

WISCONSIN STATUTE 182.0175 (1974)  
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

## DIGGERS HOTLINE



### NOTES:

1. THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.
2. WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/8" X 1-1/8" AIR OR KILN DRIED OF HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAL FOOT AND 5 FEET LONG. POST SPACING SHALL BE A MAXIMUM OF 8 FEET FOR WOVEN FABRIC AND 3 FEET FOR NON-WOVEN FABRIC.
3. THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UPSLOPE SIDE OF WOODEN POSTS WITH 0.5" INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRAPS ON THE UPSLOPE SIDE.
4. THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.

ALL FABRIC SHALL MEET THE FOLLOWING REQUIREMENTS:

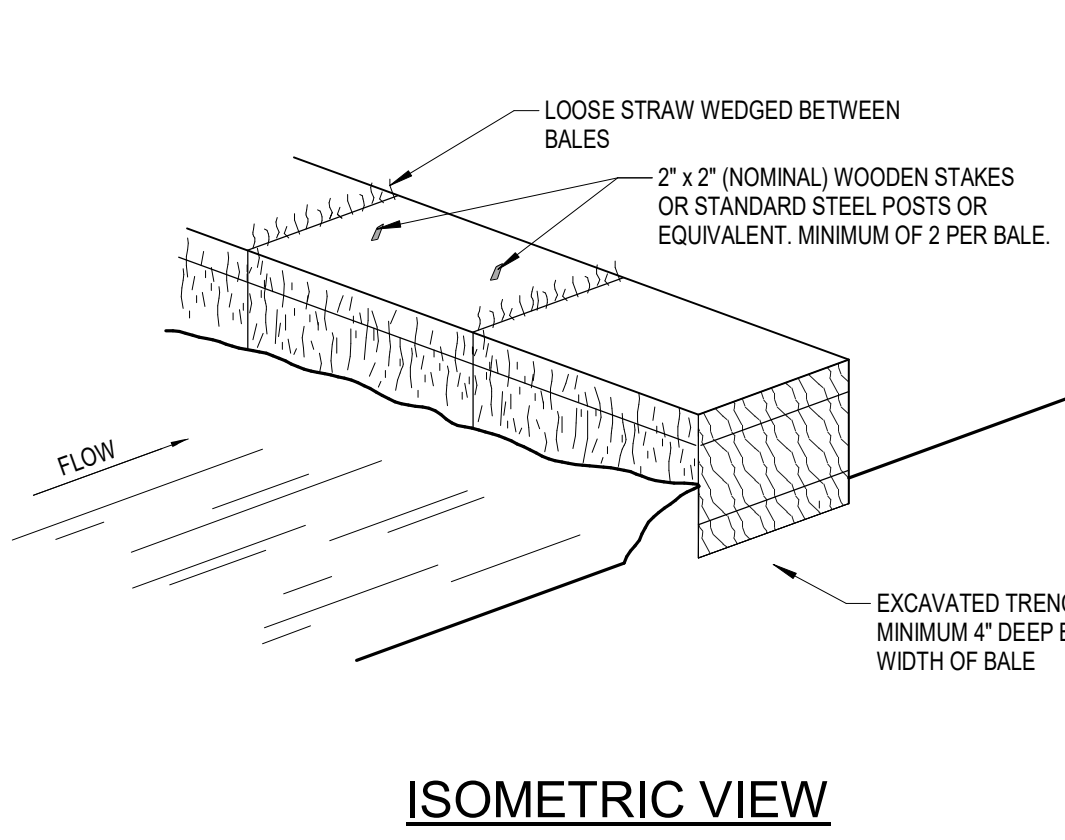
TEST REQUIREMENTS:	METHOD	VALUE:
MIN. GRAB TENSILE STRENGTH IN THE MACHINE DIRECTION	ASTM D 4632	120 LBS
MIN. GRAB TENSILE STRENGTH IN THE CROSS MACHINE DIRECTION	ASTM D 4632	100 LBS
MAXIMUM APPARENT OPENING SIZE EQUIVALENT STANDARD SIEVE	ASTM D 4751	NO. 30
MIN. PERMITTIVITY	ASTM D 4491	0.05 SEC.
MIN. PERMITTIVITY	ASTM D 4491	0.135 SEC. OR 10 GAL/SQ. FT. @ 50MM CONSTANT HEAD
MIN. ULTRAVIOLET STABILITY PERCENTAGE OF STRENGTH RETAINED	ASTM D 4355 70%	AFTER 500 HOURS OF EXPOSURE

\* ALL NUMERICAL VALUES REPRESENT MINIMUM/MAXIMUM AVERAGE ROLL VALUES. (FOR EXAMPLE, THE AVERAGE OF MINIMUM TEST RESULTS ON ANY ROLL IN A LOT SHOULD MEET OR EXCEED THE MINIMUM SPECIFIED VALUES.)

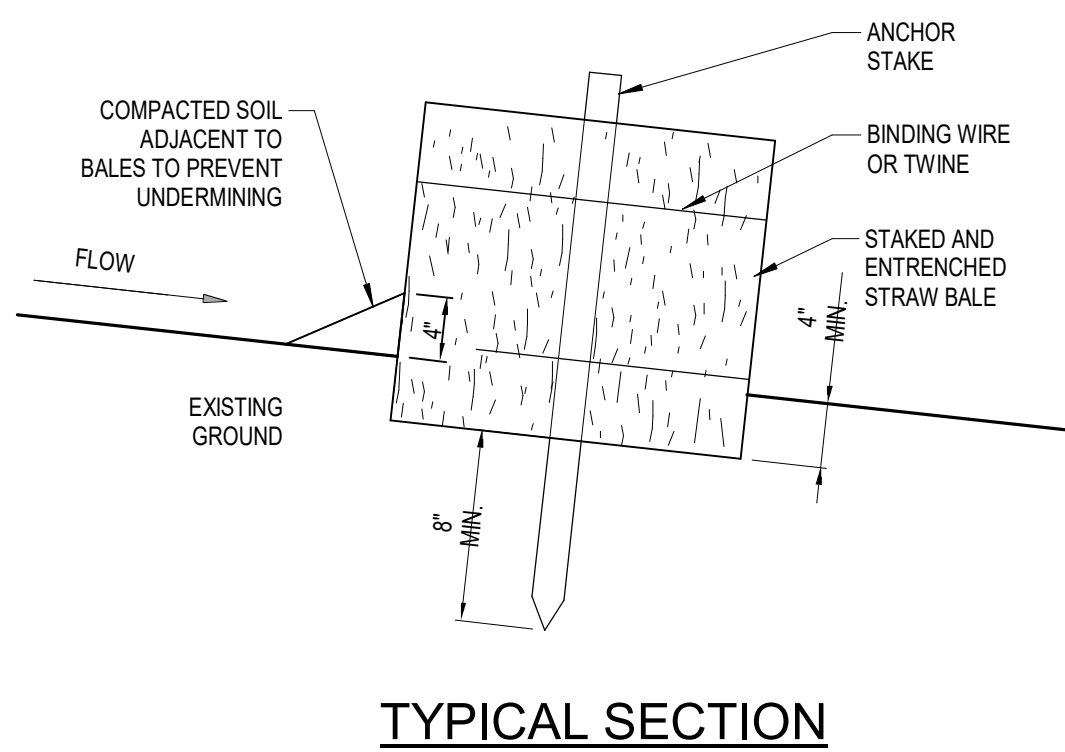
## SILT FENCE DETAIL

## EROSION MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS. AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFFSITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 12" OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS-LINED CHANNELS, WILL BE RE-SEEDED AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
4. BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS MONTHLY.



## ISOMETRIC VIEW



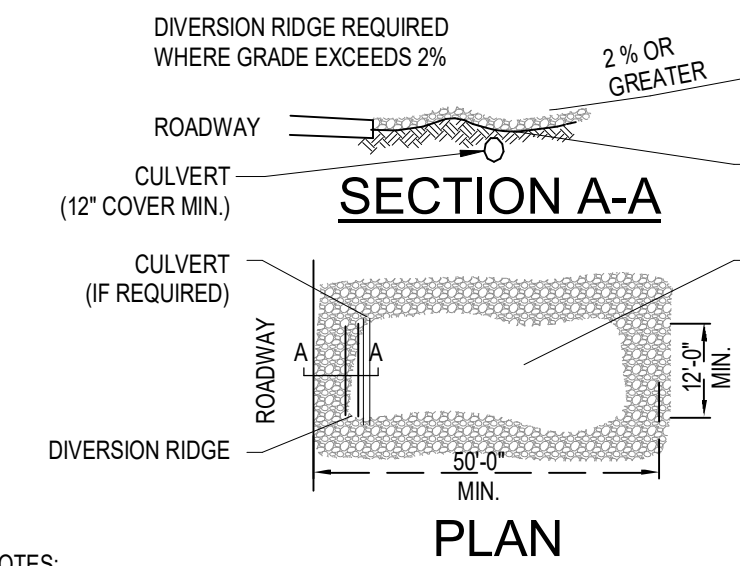
### NOTES:

1. TURN THE ENDS OF THE STRAW BALES SEDIMENT TRAP UPSLOPE 1 TO 2 FEET IN ELEVATION TO PREVENT FLANKING.
2. THE STRAW BALES SHALL BE BUTTED TOGETHER AS TIGHTLY AS POSSIBLE.
3. THE FIRST ANCHOR STAKE SHALL BE DRIVEN TOWARD THE PREVIOUSLY ANCHORED BALES TO HELP CREATE A TIGHT FIT.

## STRAW BALES FENCE DETAIL

## PLANNED EROSION CONTROL PRACTICES:

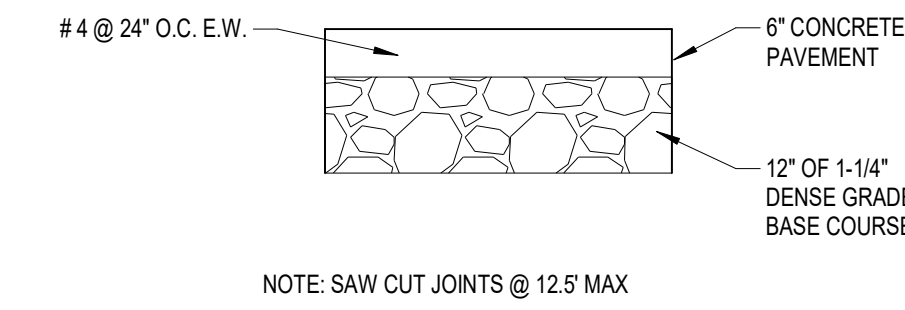
1. TEMPORARY CONSTRUCTION ENTRANCE / EXIT (TECH. STANDARD 1057)  
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
2. STOCKPILED TOPSOIL / TEMPORARY FILL PILES  
SILT FENCING OR STRAW BALES FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND / OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
3. SILT FENCE (TECH. STANDARD 1056)  
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELLED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALES FENCE WILL BE INSTALLED.
4. DUST CONTROL (TECH. STANDARD 1068)  
DUST SHALL BE CONTROLLED IN ACCORDANCE WITH WDNR STANDARDS AS NEEDED.
5. INLET PROTECTION (TECH. STANDARD 1069)  
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.



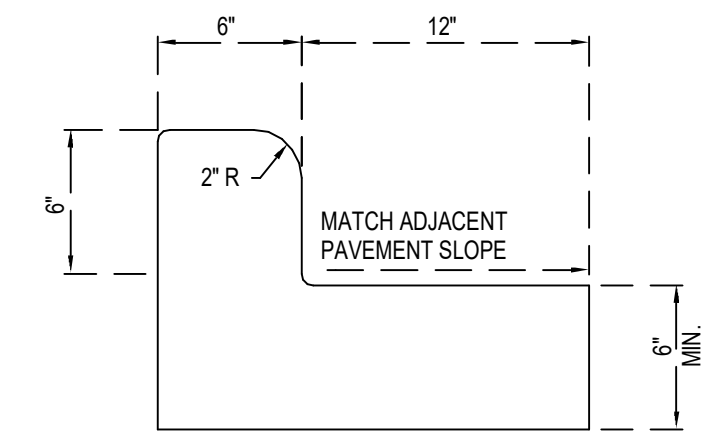
### NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED EROSION CONTROL BMP.
4. USE SANDBAGS, STRAW BALES, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BMP AS REQUIRED.

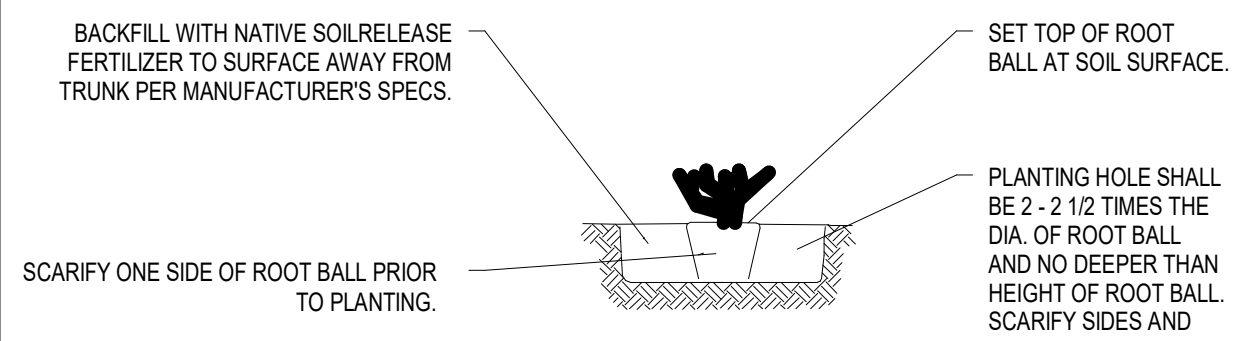
## SILT FENCE DETAIL



## 6\"/>



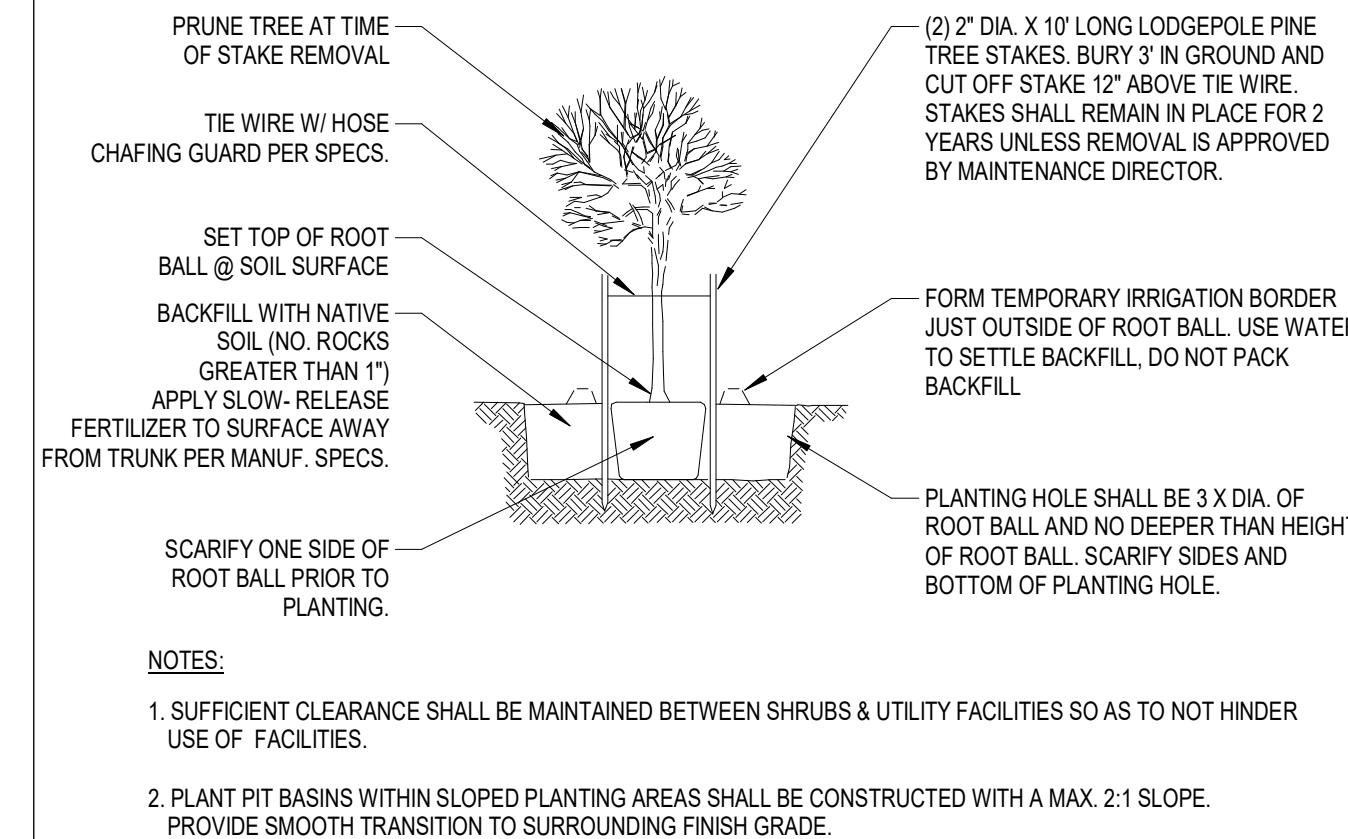
## 18 IN. CURB & GUTTER DETAIL



### NOTES:

1. SUFFICIENT CLEARANCE SHALL BE MAINTAINED BETWEEN SHRUBS & UTILITY FACILITIES SO AS TO NOT HINDER USE OF FACILITIES.
2. PLANT PIT BASINS WITHIN SLOPED PLANTING AREAS SHALL BE CONSTRUCTED WITH A MAX. 2:1 SLOPE. PROVIDE SMOOTH TRANSITION TO SURROUNDING FINISH GRADE.

## SHRUB PLANTING

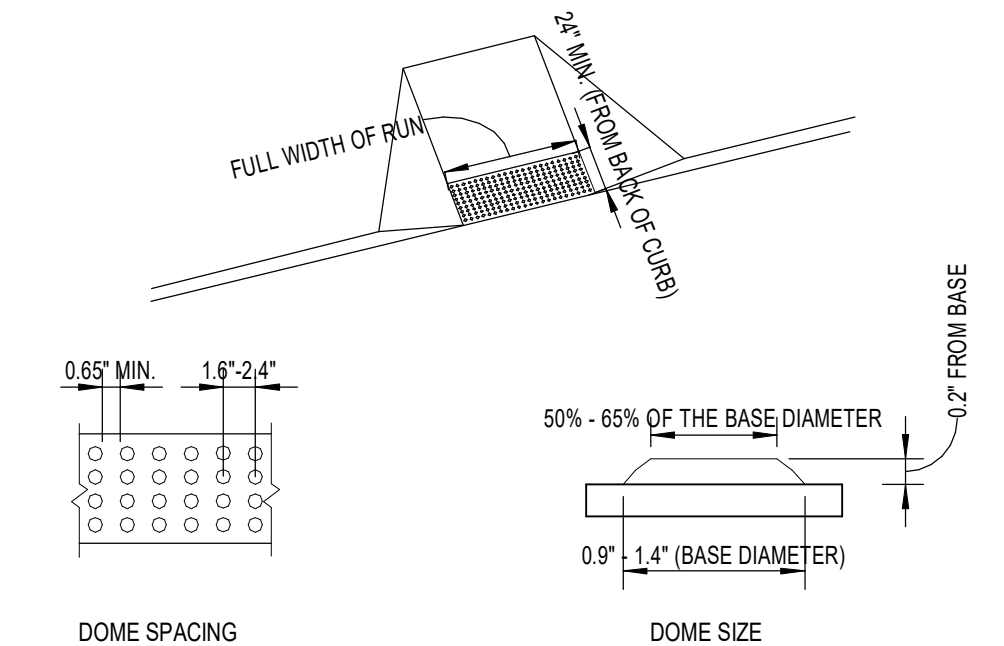


### NOTES:

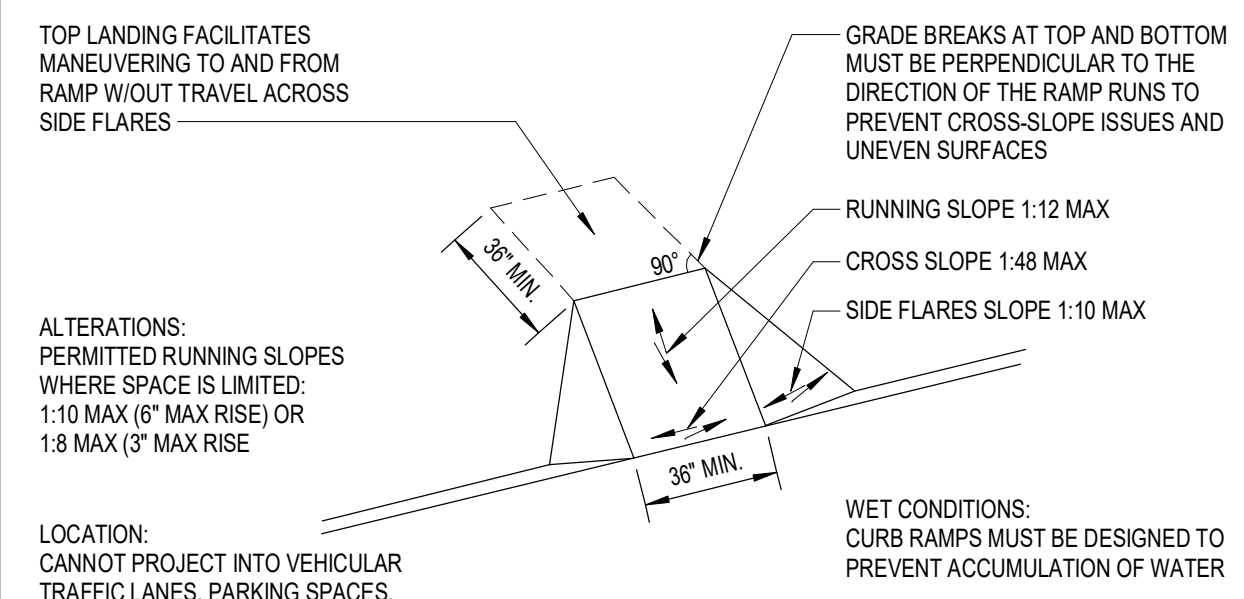
1. SUFFICIENT CLEARANCE SHALL BE MAINTAINED BETWEEN SHRUBS & UTILITY FACILITIES SO AS TO NOT HINDER USE OF FACILITIES.
2. PLANT PIT BASINS WITHIN SLOPED PLANTING AREAS SHALL BE CONSTRUCTED WITH A MAX. 2:1 SLOPE. PROVIDE SMOOTH TRANSITION TO SURROUNDING FINISH GRADE.

## TREE PLANTING & STAKING 36\"/>

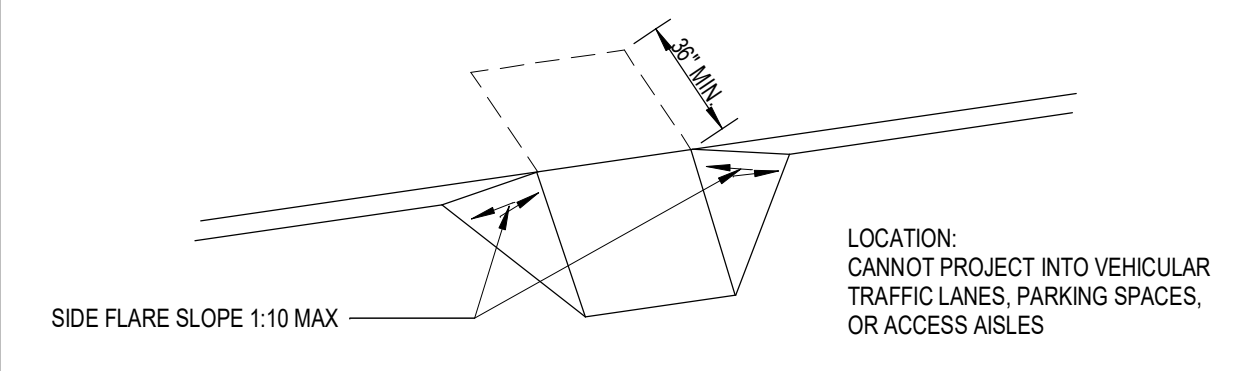
## ACCESSIBLE ROUTE



## DETECTABLE WARNINGS ON CURB RAMPS



## CURB TRANSITION TO STREET



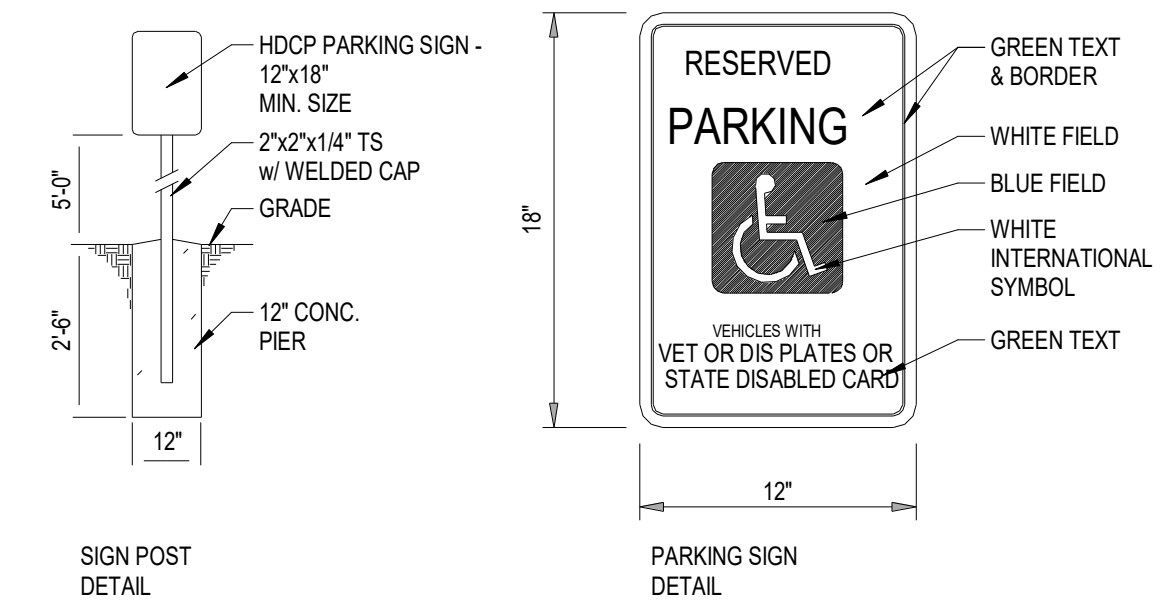
## BUILT-UP CURB RAMPS WITH SIDE FLARES

## ACCESSIBLE ROUTE

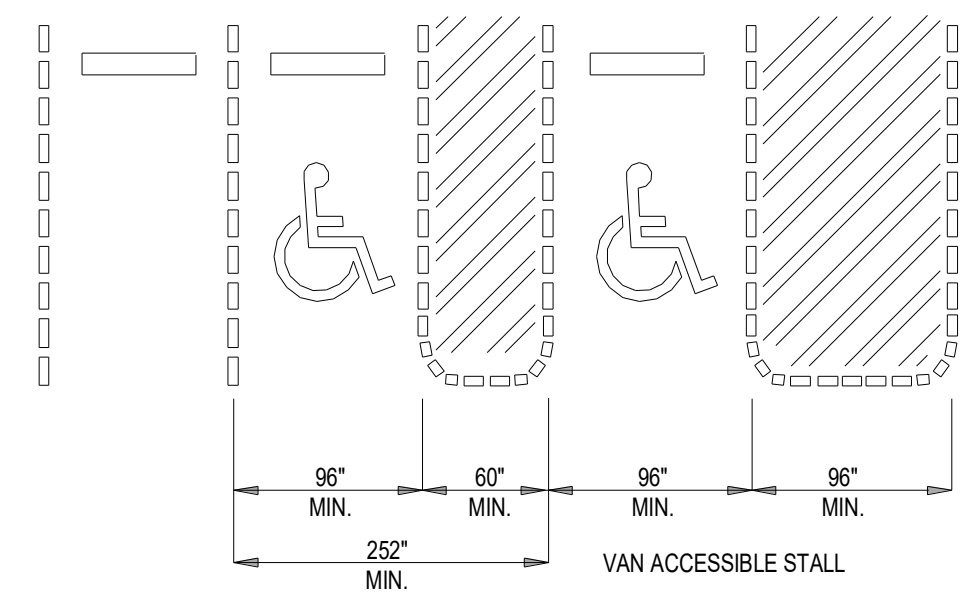


INTERNATIONAL SYMBOL FOR BARRIER-FREE ENVIRONMENTS

IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO INSTALL (WHERE SHOWN HEREON), BARRIER FREE PARKING SIGNS IN CONFORMITY TO WISCONSIN ADMINISTRATIVE CODE : TRANS #200.07

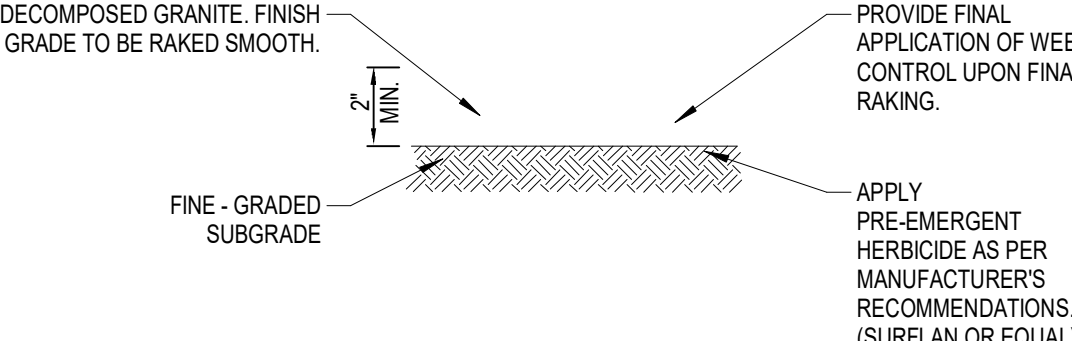


## HNDCP PARKING SIGN DETAILS



## PARKING SPACE DIMENSIONS

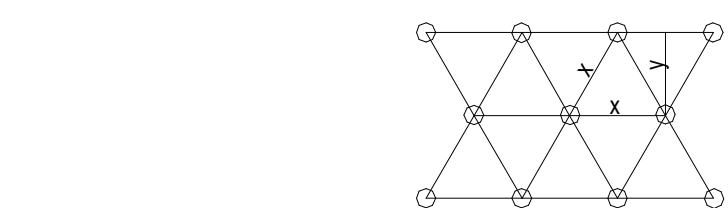
NOTE: IF ONLY ONE ACCESSIBLE STALL IS REQUIRED, THAT STALL MUST BE VAN ACCESSIBLE



### NOTES:

1. REFER TO COS DETAIL FOR FINISH GRADE HEIGHT OF DECOMPOSED GRANITE IN RELATION TO TOP OF CURBS AND SIDEWALKS.

## DECOMPOSED GRANITE



### NOTES:

1. ALL GROUND COVERS TO BE PLANTED ON CENTER IN A TRIANGULAR PATTERN. (SEE DIAGRAM ABOVE)
2. X = O.C. DIMENSION NOTED IN PLAN
3. Y = 0.86 OF DIMENSION 'X'

## GROUNDCOVERS



ALLIANCEBUILDS.COM  
PHONE: (920)-336-3400 | FAX: (920)-336-3401  
1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, L.L.C.

# ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207

2302 COMMERCIAL AVENUE  
MADISON, WI 53704

REVISIONS		
#	STAGE	DATE

STATUS: APPROVAL

CURRENT AS OF: 5/1/2024 7:42:20 AM

DRAWN BY: BB

SCALE: As indicated

## SITE DETAILS

# A051





KEYNOTES	
NO.	DESCRIPTION



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1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

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2302 COMMERCIAL AVENUE  
MADISON, WI 53704

REVISIONS

#	STAGE	DATE

STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:23 AM

DRAWN BY: BB

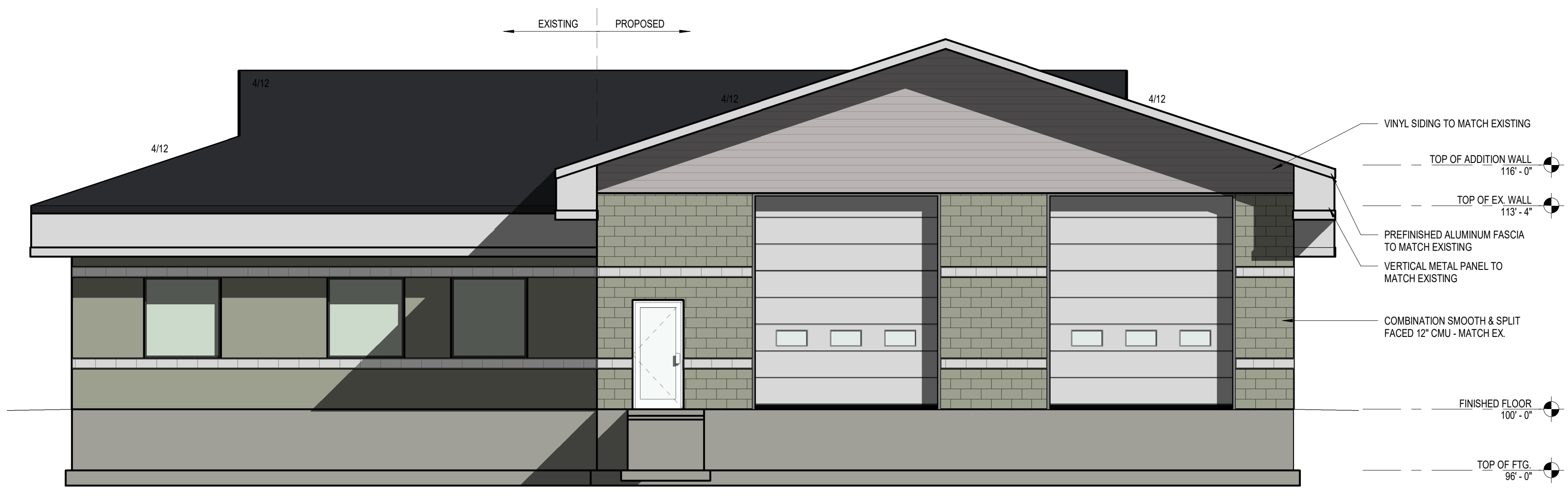
SCALE: 3/16" = 1'-0"

ELEVATIONS

**A200**



1 NORTH ELEVATION  
3/16" = 1'-0"



2 SOUTH ELEVATION  
3/16" = 1'-0"

KEYNOTES	
NO.	DESCRIPTION



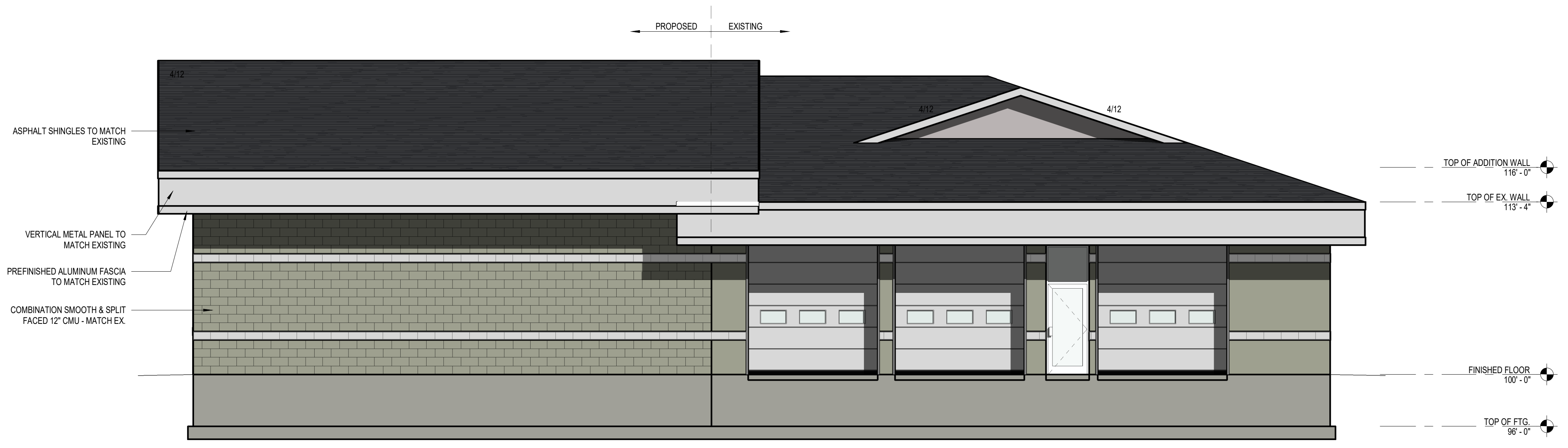
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1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

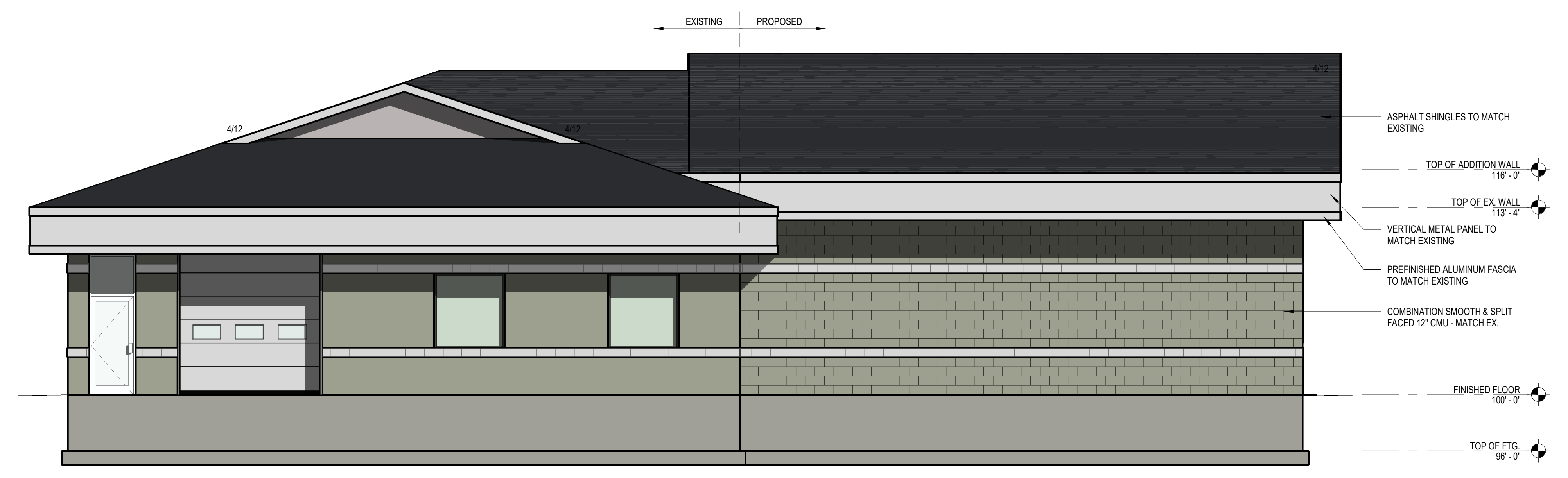
PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, L.L.C.

**ENTERPRISE RENT-A-CAR**  
 PROJECT NUMBER: 23-207  
 2302 COMMERCIAL AVENUE  
 MADISON, WI 53704



**1 EAST ELEVATION**  
3/16" = 1'-0"



**2 WEST ELEVATION**  
3/16" = 1'-0"

#	REVISIONS	STAGE	DATE

STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:25 AM

DRAWN BY: BB

SCALE: 3/16" = 1'-0"

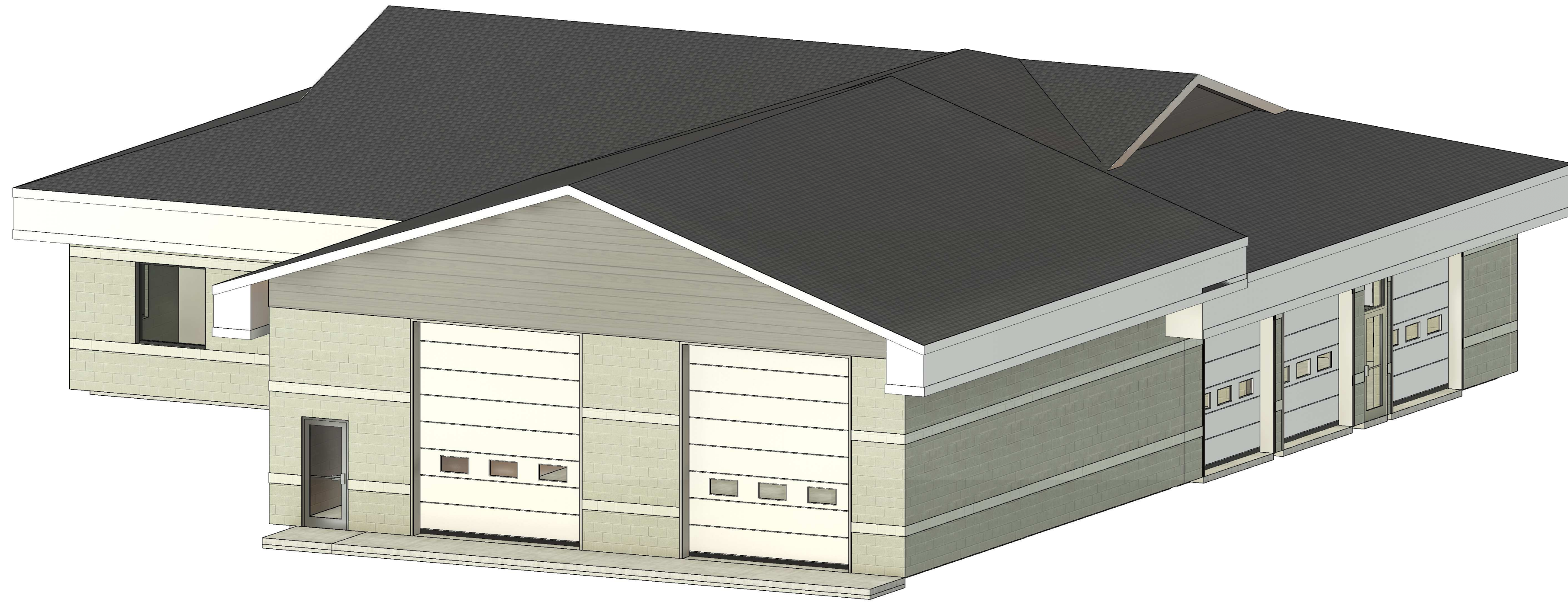
ELEVATIONS

**A201**

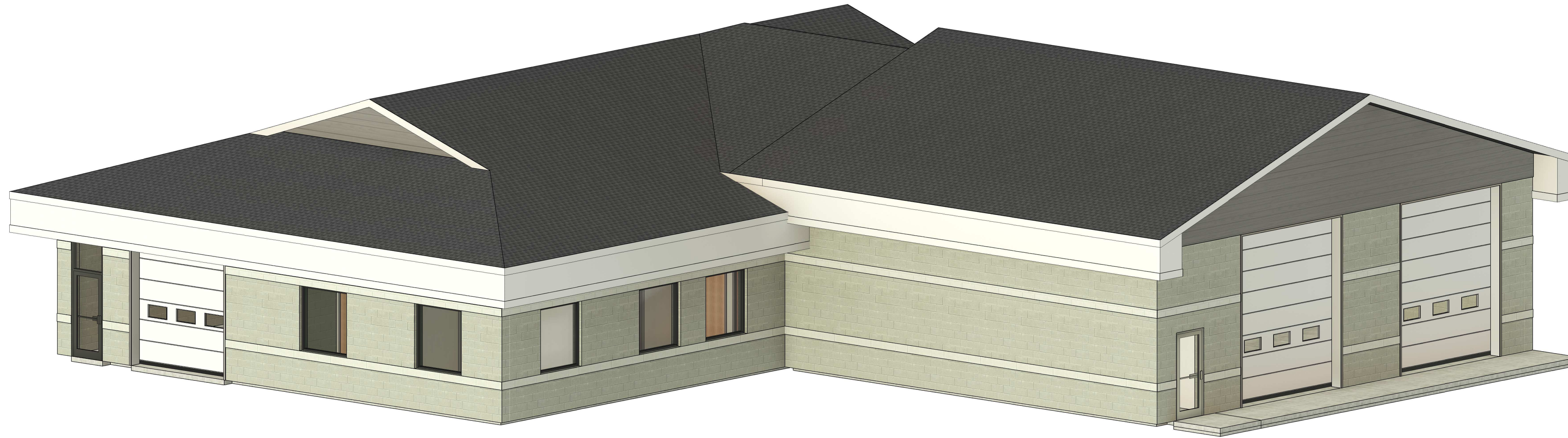








1 PERSPECTIVE #1



2 PERSPECTIVE #2



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PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, L.L.C.

ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704

# REVISIONS

#	STAGE	DATE

STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:37 AM

DRAWN BY: DESIGNER

SCALE:

PERSPECTIVES

# A900

\*THESE RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT MEANT TO BE AN EXACT DEPICTION OF THE RENDITION SHOWN. ANY RELIANCE ON THESE RENDERINGS SHALL BE AT THE USER'S SOLE RISK. ALLIANCE CONSTRUCTION & DESIGN, INC. IS NOT RESPONSIBLE FOR ANY RELIANCE OR MISUSE OF THESE RENDERINGS AND/OR DAMAGES, CLAIMS, LOSSES OR LIABILITY THAT MAY RESULT.\*

P:\23-207 Enterprise Madison Service Center\23-207 Model\Rev\23-207 Enterprise Madison Addition.rvt

### GENERAL NOTES

1. ALL CONC. SHALL BE PLACED IN ACCORDANCE w/ CURRENT PUBLICATIONS OF THE PORTLAND CEMENT ASSOCIATION.
2. BEND ALL REINFORCING RODS AROUND ALL CORNERS AND INTO ALL INTERSECTING WALLS.
3. COORDINATE w/ ALL OTHER TRADES FOR THE INSTALLATION OF ALL ANCHORS, SLEEVES, HANGERS, INSERTS OPENINGS & ETC.
4. REINFORCING STEEL SHALL BE ATSM-615 GRADE 60.
5. FABRICATION SHALL BE WITHIN CURRENT SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE.
6. COORDINATE w/ ALL OTHER TRADES LOCATIONS & SIZE OF ALL OPENINGS IN FLOORS, WALLS, CEILINGS, & ROOF, FOR MECH. EQUIP. & ETC.
7. STRUCTURAL STEEL SHALL BE ATSM DES. A36 IN ACCORDANCE w/ SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL.
8. ALL BOLTS SHALL BE HIGH-STRENGTH ATSM DES A325F.
9. ALL WELDS SHALL BE FULL.
10. ALL STEEL SHALL BE CLEAN, NEW, AND SHOP PRIMED.
11. ALL STEEL SHALL BE ERECTED TRUE AND PLUMB.
12. VERIFY ALL EXISTING CONDITIONS ON JOB SITE BEFORE CONSTRUCTION.
13. ALL BUILDING MATERIALS SHALL BE INSTALLED IN ACCORDANCE w/ MANUFACTURER RECOMMENDATIONS & SPECIFICATIONS.
14. CAULK ALL LOCATIONS WHERE DISSIMILAR MATERIALS MEET.
15. CONTRACTORS SHALL LOCATE ALL UTILITIES BEFORE CONSTRUCTION & NOTIFY ARCHITECT & OWNER OF ANY INTERFERENCES.
16. CONTRACTORS SHALL PROVIDE ALL BARRIERS, BARRICADES, FENCES, & SAFETY EQUIP. & PRECAUTIONS REQUIRED BY ALL CODES OR AGENCIES HAVING JURISDICTION OVER THE PROJECT.



**Alliance  
CONSTRUCTION & DESIGN**

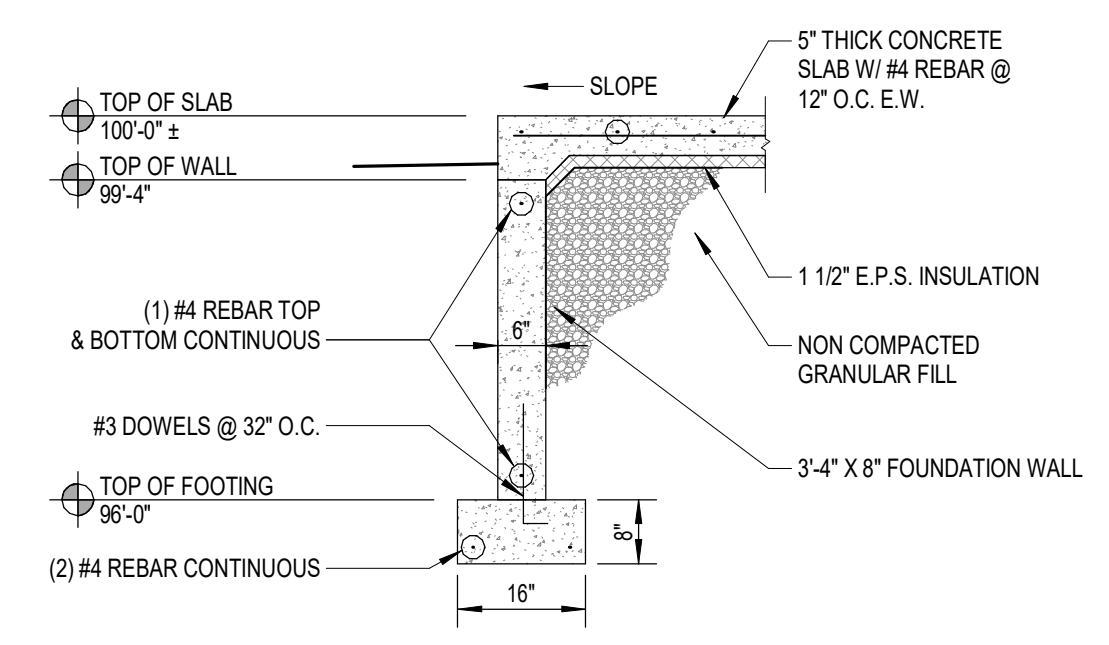
ALLIANCEBUILDS.COM  
PHONE: (920)-336-3400 | FAX: (920)-336-3401  
1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

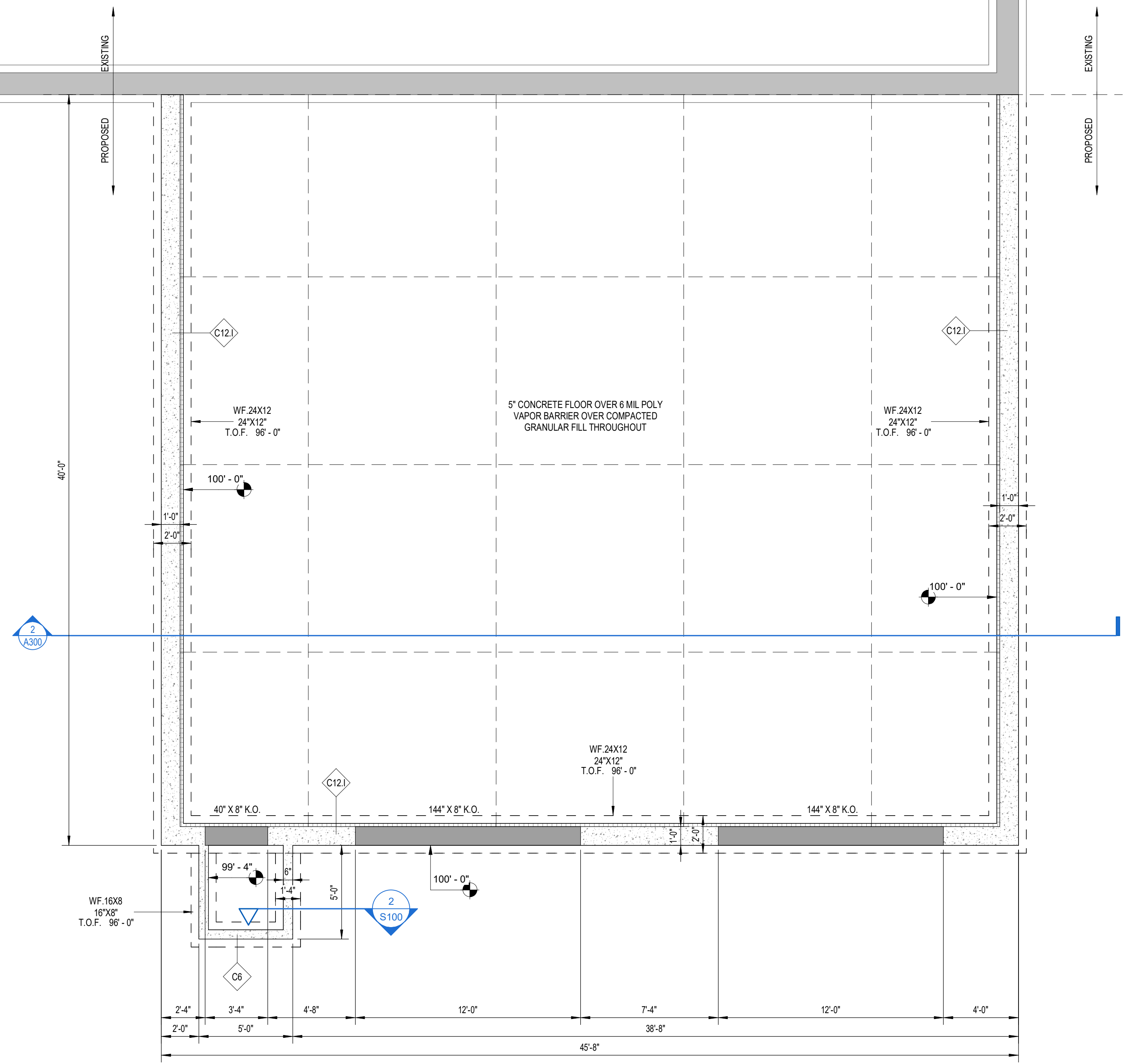
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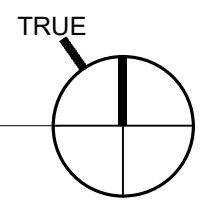
PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704



2 6" STOOP WALL (TYP.)  
1/2" = 1'-0"



1 FOUNDATION PLAN  
1/4" = 1'-0"



REVISIONS		
#	STAGE	DATE

STATUS:

APPROVAL

CURRENT AS OF: 5/1/2024 7:42:37 AM

DRAWN BY: BB

SCALE: As indicated

FOUNDATION PLAN

S100

P:\23-207 Enterprise Madison Service Center\07 Models\Rev\23-207 Enterprise Madison Addition.rvt

LINTEL SCHEDULE					
MK	QTY	DESCRIPTION	BEARING	REMARK	
LBB.1	1	(2) #5 CONT. BOND BEAM	IGROUT FULL 8" EACH SIDE BELOW TO FOUNDATION		
LBB.1	1	(2) #5 CONT. BOND BEAM	IGROUT FULL 8" EACH SIDE BELOW TO FOUNDATION		
LBB.1	1	(2) #5 CONT. BOND BEAM	IGROUT FULL 8" EACH SIDE BELOW TO FOUNDATION		

BEAM SCHEDULE					
MK	QTY	DESCRIPTION	CONNECTION TYPE	REMARKS	
B-1	1	W12X65	4" X 9" X 1/2" PLATE - FULL WELD		

COLUMN SCHEDULE					
MK	QTY	DESCRIPTION	BASE PLATE	ANCHOR BOLTS	REMARKS
C-1	1	W12 X 65	7" X 11" X 1/2"	(4) 1/2" DIA. LDT - 4" EMBED	
C-1	1	W12 X 65	7" X 11" X 1/2"	(4) 1/2" DIA. LDT - 4" EMBED	



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PROFESSIONAL SEAL:

LLOYD CARPENTER ARCHITECT, LLC.

ENTERPRISE RENT-A-CAR

PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704

REVISIONS

#	STAGE	DATE

STATUS:

APPROVAL

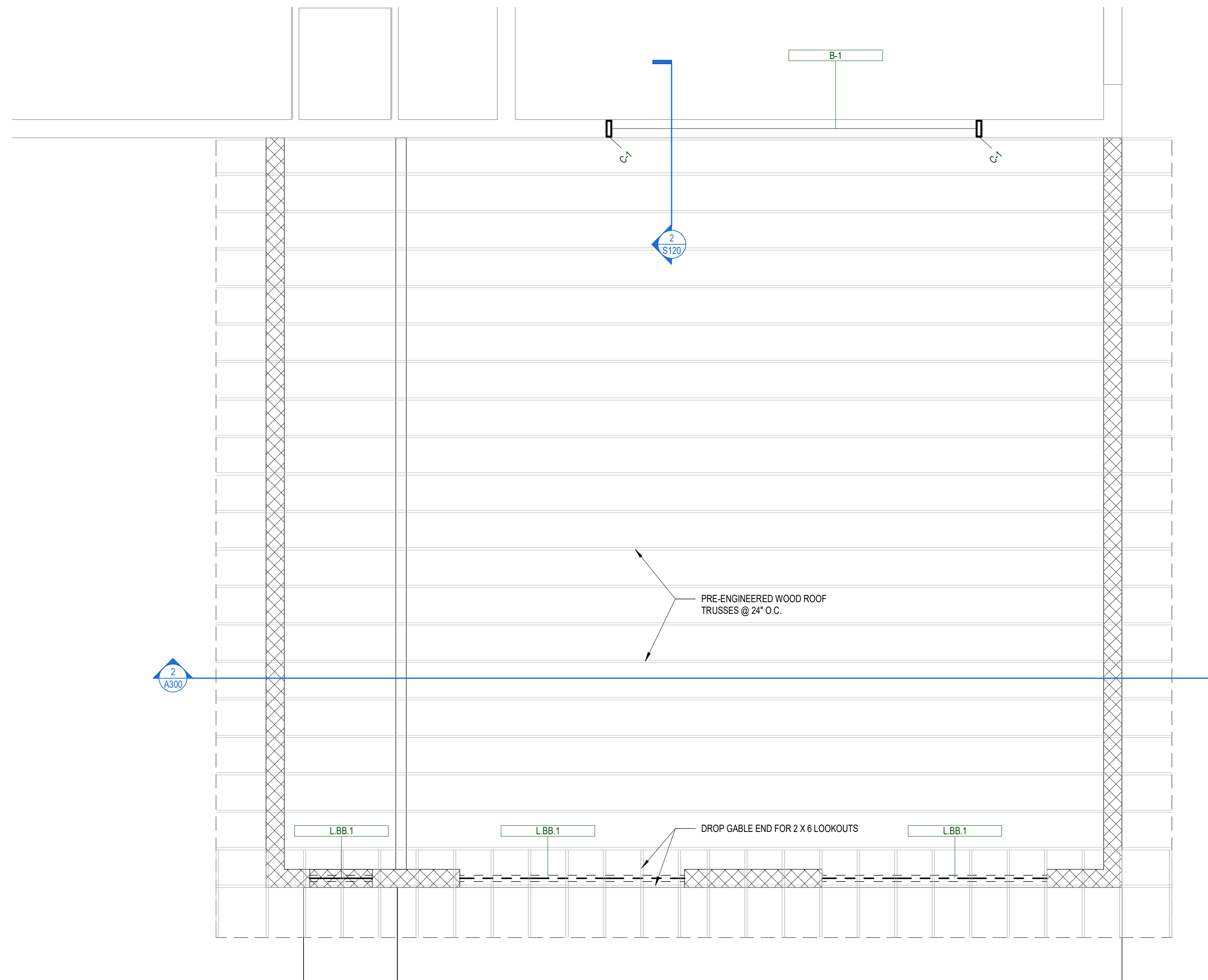
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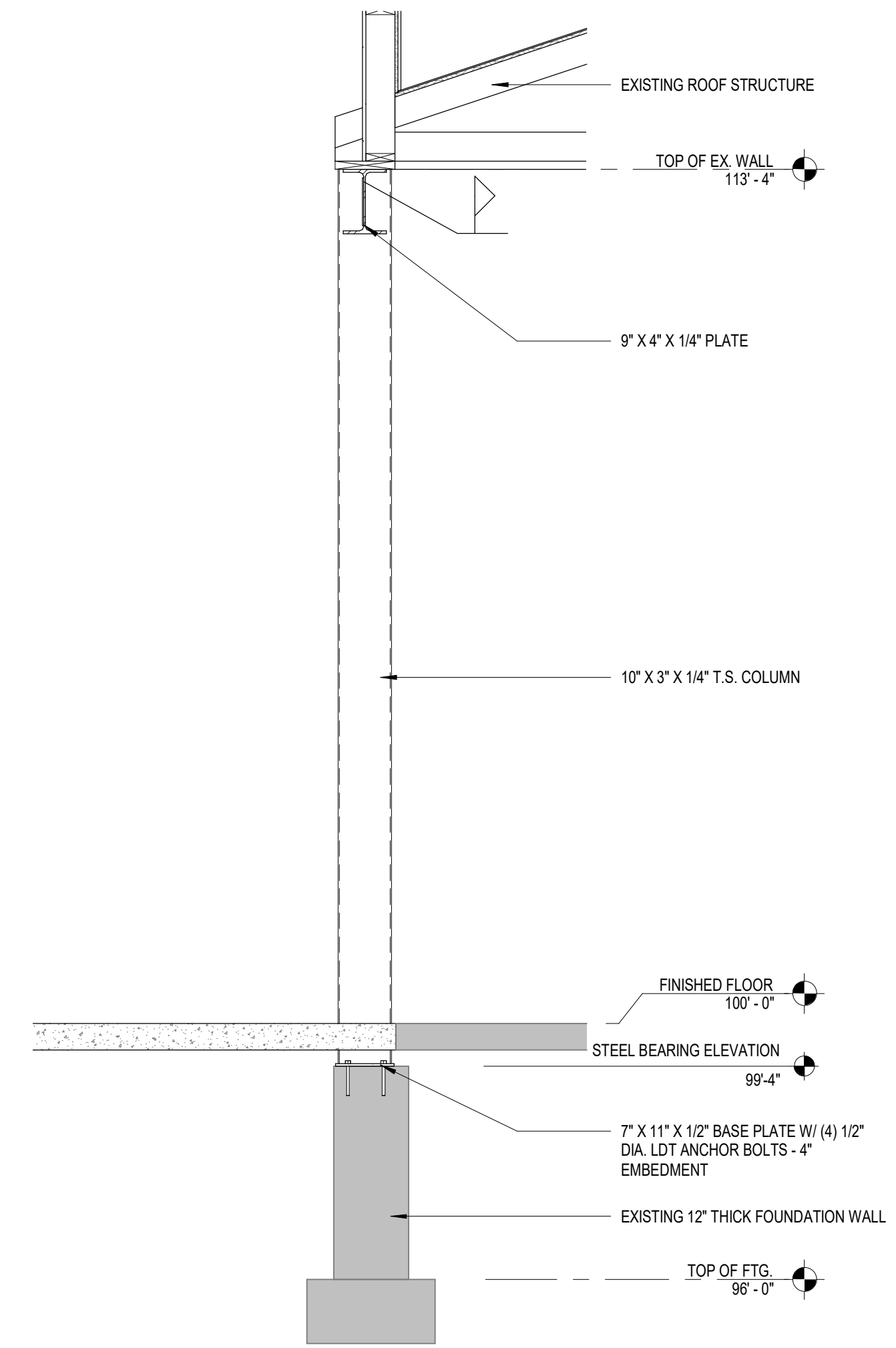
SCALE: As indicated

STRUCTURAL FRAMING  
PLAN

S120



**1** STRUCTURAL FRAMING  
PLAN  
1/4" = 1'-0"



**2** NEW OPENING SECTION  
1/2" = 1'-0"



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**ENTERPRISE RENT-A-CAR**

PROJECT NUMBER: 23-207  
2302 COMMERCIAL AVENUE  
MADISON, WI 53704

**REVISIONS**

#	STAGE	DATE

STATUS:

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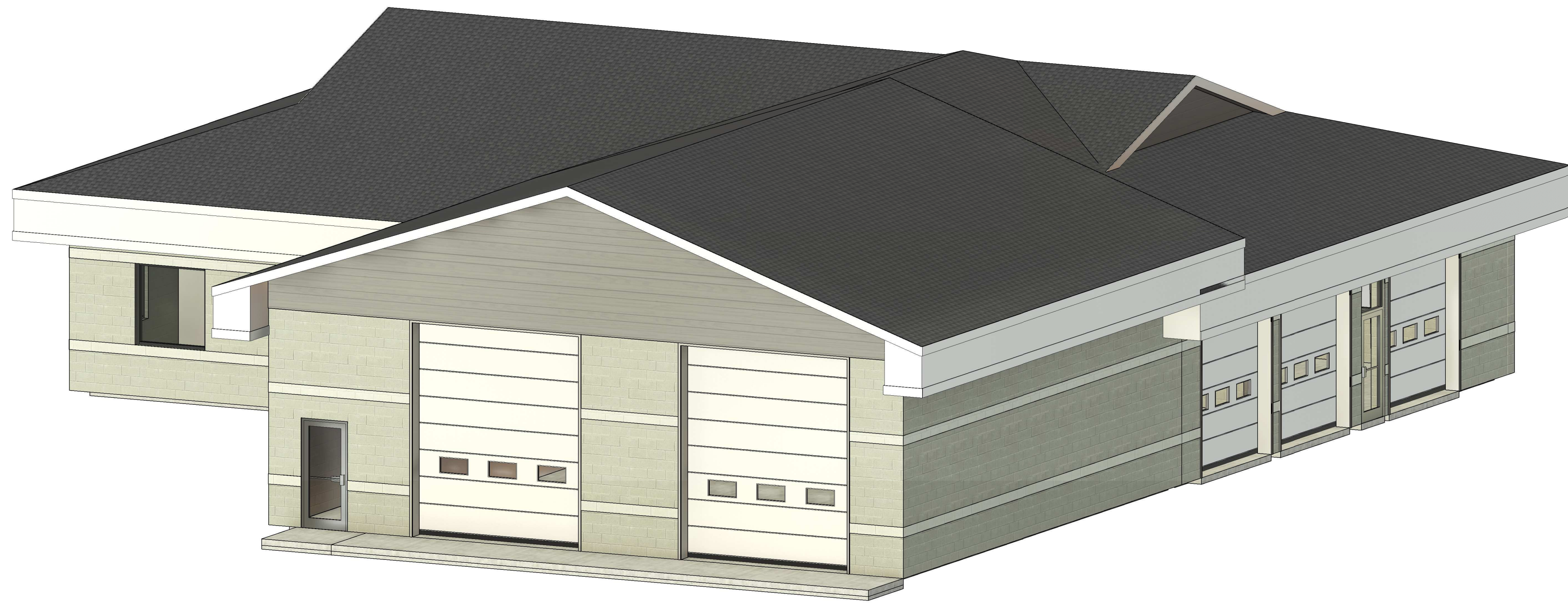
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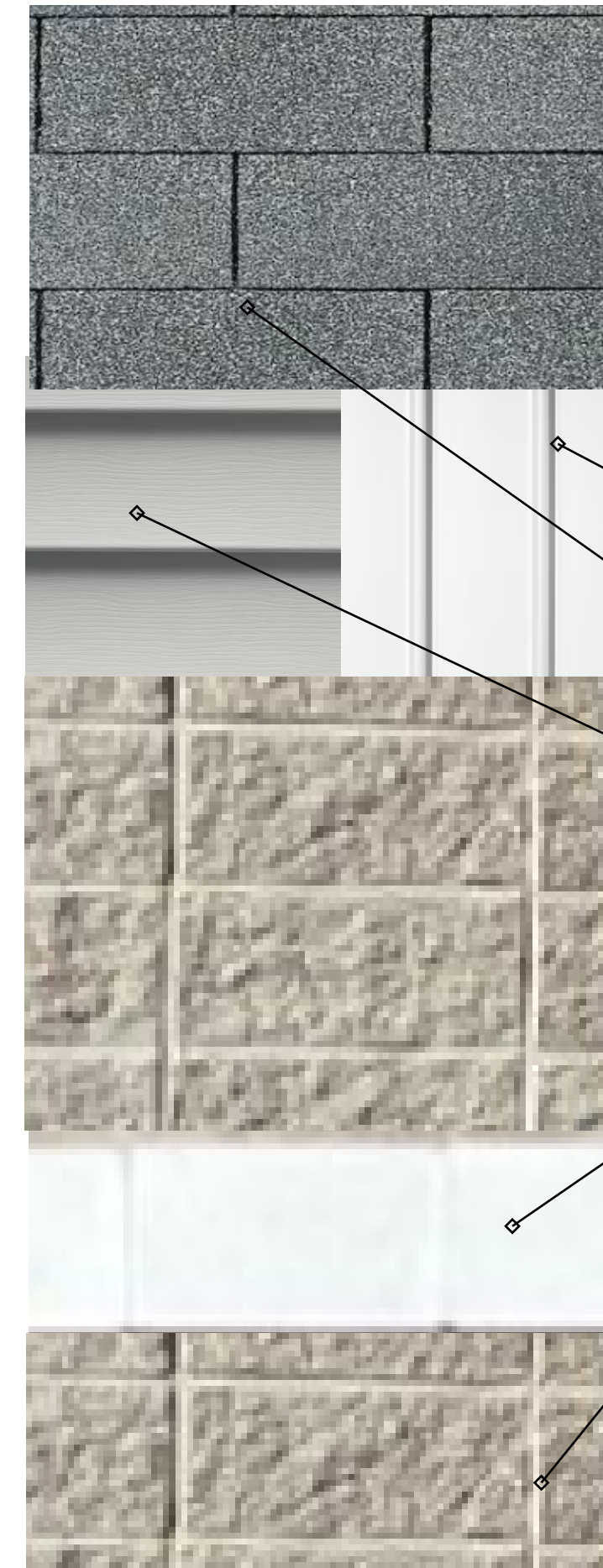
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PERSPECTIVES

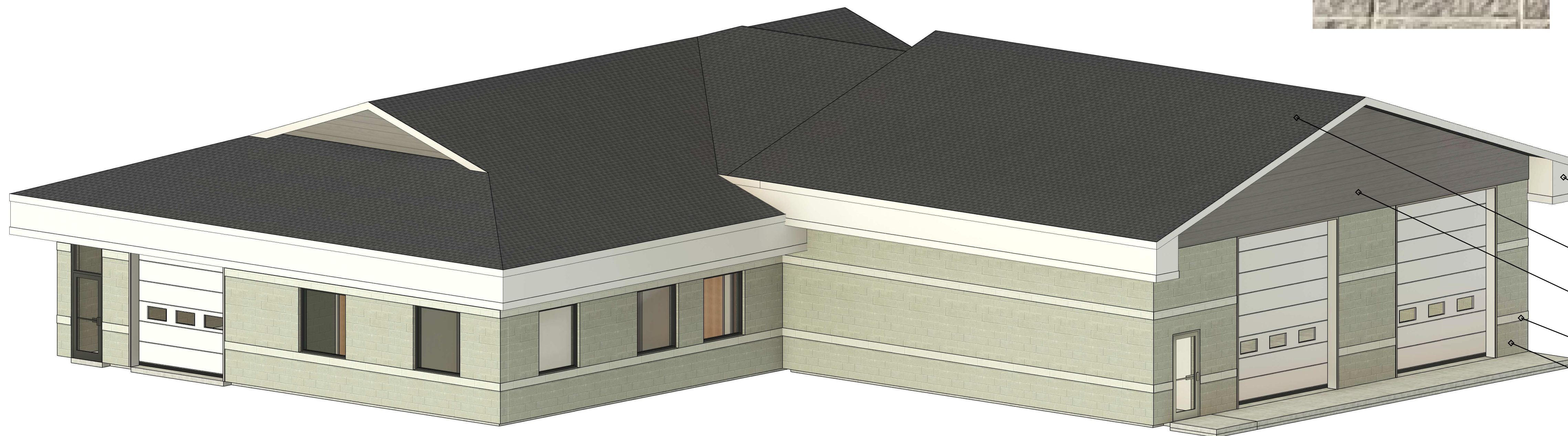
**A900**



1 PERSPECTIVE #1



- VERTICAL METAL WALL PANEL - WHITE
- ASPHALT SHINGLES - TBD MATCH EXISTING
- D4 VINYL SIDING - GREY
- SMOOTH FACED CMU - PAINTED WHITE
- SPLIT FACED CMU - NATURAL/GREY



2 PERSPECTIVE #2

- VERTICAL METAL WALL PANEL - WHITE
- ASPHALT SHINGLES - TBD MATCH EXISTING
- D4 VINYL SIDING - GREY
- SMOOTH FACED CMU - PAINTED WHITE
- SPLIT FACED CMU - NATURAL/GREY

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