

# URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

## 1. Project Information

Address: \_\_\_\_\_

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

New development       Alteration to an existing or previously-approved development  
 Informational       Initial approval       Final approval

## 3. Project Type

Project in an Urban Design District  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
     General Development Plan (GDP)  
     Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

### Signage

Comprehensive Design Review (CDR)  
 Signage Variance (i.e. modification of signage height, area, and setback)

### Other

Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** \_\_\_\_\_ Company \_\_\_\_\_

Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Project contact person** \_\_\_\_\_ Company \_\_\_\_\_

Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

## 5. Required Submittal Materials

- Application Form**
- Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist provided below for plan details)
- Filing fee**
- Electronic Submittal\***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

## 6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on 2-22-2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Meghan Strunk

Relationship to property Architecture Firm for Owner

Authorized signature of **Property Owner** Elizabeth Weiner

Date

## 7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (*per §35.24(6) MGO*).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (*per §33.24(6)(b) MGO*)
- Comprehensive Design Review: \$500 (*per §31.041(3)(d)(1)(a) MGO*)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (*per §31.041(3)(d)(1)(c) MGO*)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (*per §31.041(3)(d)(2) MGO*)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MUC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



ARCHITECTS | DESIGNERS | ENGINEERS

City of Madison  
Planning Division  
215 Martin Luther King Jr Blvd, Suite 017  
Madison, Wisconsin 53701

Re: Burger King - Madison  
Project No.: 18224  
Urban Design Commission Application

Dear Planning Division:

The minor alteration to the existing Conditional Use will include a reskinning of the building and site maintenance improvements. The renovated exterior will bring the store up-to-date with the current BK branding standards and provide an attractive building to fit in the context along Odana Road.

The improvements to the site will include replacing, in kind, the asphalt along the front of the building and moving the accessible parking stalls closer to the main entrance. The concrete at the outdoor seating area will be replaced, in kind, and an accessible outdoor seating area will be provided. There will be new landscaping to bring the site into compliance.

There will be a new and slightly repositioned menuboard, presell and order confirmation unit. The concrete at the order confirmation unit will also be replaced, in kind.

The footprint of the building will remain the same. The mansard roofs will be removed and the walls will be extended to create a modern-looking building. Nichiha architectural panels, a fiber cementitious, environmentally friendly product will be introduced as a new cladding material. There will be a wood-looking Nichiha panel that will define the towers and entrance. The existing dark colored EIFS along the bottom half of the building will be replaced with a new brick-looking Nichiha panel.

We are proposing to have only one sign on each side of the building to meet the ordinance. The monument sign out front is proposed to be replaced with an updated version. This sign will have an EMC with a message that will not change more frequently than 5 minutes to meet the ordinance. A cut sheet of the proposed monument sign is included in the drawings package for your reference.

If you have any questions regarding these Documents, please contact me.

Sincerely,

*Meghan Strunk*  
**Meghan Strunk**  
KOMA

Enclosure: (UDC Application\_Sept2017, 2019.3.4 BK MADISON - UDC) dated 3/4/2019.



**KOMA**

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6115 CAHILL AVE, INVER GROVE HEIGHTS, MN 55076  
P. 651.451.4605

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#### GENERAL DEMO SITE NOTES:

1. REFER TO GENERAL DEMOLITION NOTES SHEET A20

#### SITE PLAN DEMOLITION KEY NOTES:

- (D1) DEMOLISH MENUBOARD, OCU, AND FOUNDATIONS  
SAWCUT AND REMOVE EXISTING CONCRETE AND ASPHALT AREA (SHOWN IN APPROXIMATION) IN PREPARATION FOR NEW CONCRETE PAD, 9'-0" FORWARD AND 11'-0" BACK FROM CENTER OF ORDER CONFIRMATION UNIT (MIN); REMOVE EXISTING LOOP DETECTOR
- (D2) DEMOLISH BOLLARD
- (D3) DEMOLISH GATE
- (D4) DEMOLISH WOOD STUD WALL AND COPING AROUND TRASH ENCLOSURE AND FREEZER/COOLER; PREP FOR NEW WALL AND COPING
- (D5) DEMOLISH CONCRETE SIDEWALK AND PATIO
- (D6) DEMOLISH PILLARS AND FENCING
- (D7) SAWCUT AND REMOVE PORTION (APPROX 6'-0" x 10'-0") OF CONCRETE AREA IN PREPARATION OF NEW LOOP DETECTOR (REMOVE EXISTING LOOP DETECTOR)
- (D8) DEMOLISH PORTION OF RESTAURANT; SEE PLANS
- (D9) DEMOLISH PORTION LANDSCAPE BED
- (D10) BLACKOUT PARKING STRIPES
- (D11) PORTION OF EXISTING SIDEWALK TO REMAIN ALONG BUILDING

INDICATES AREA OF EXISTING ASPHALT PAVING TO BE PREPARED FOR NEW ASPHALT PAVING  
 INDICATES AREA OF EXISTING ASPHALT PAVING TO BE REMOVED AND PREPARED FOR NEW ASPHALT PAVING

#### GENERAL SITE NOTES:

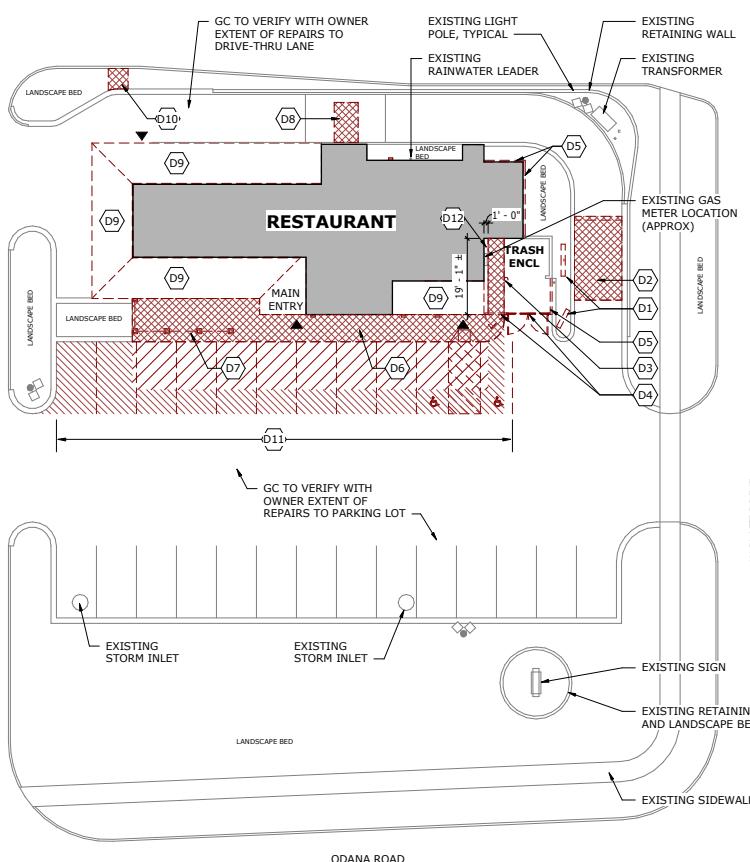
1. ALL EXISTING ITEMS ARE SHOWN IN APPROXIMATION. GC TO VERIFY EXACT LOCATION BEFORE BEGINNING CONSTRUCTION.
2. PATCH AND REPAIR BIT PAVING IN PARKING AREAS. OWNER TO PROVIDE ALLOWANCE AND CONFIRM EXTENT OF REPAIRS PRIOR TO BIDDING.
3. PROVIDE UNIT PRICE PER SQUARE FOOT TO SAWCUT AND REMOVE EXISTING CONCRETE, PREPARE BASE, AND INSTALL NEW CONCRETE/ASPHALT TO MATCH EXISTING.
4. PROVIDE UNIT PRICE PER SQUARE FOOT TO SAWCUT AND REMOVE EXISTING CONCRETE CURB, PREPARE BASE, AND INSTALL NEW CONCRETE CURB TO MATCH EXISTING. OWNER TO PROVIDE ALLOWANCE PRIOR TO BIDDING.
5. RE-STRIPE LOT AS SHOWN ON SITE PLAN. PARKING LOT STRIPING TO BE LEAD-FREE HEAVY WHITE ZONE MARKING PAINT, SPRAY APPLIED AS SHOWN ON SITE PLAN, WITH IN PROPERTY LINE.
6. FILL ALL CRACKS OVER 3/8" WITH ELASTOMERIC FILL. GC TO VERIFY COMPOUND PRIOR TO BIDDING. CONFIRM EXTENT OF REPAIRS WITH OWNER PRIOR TO BIDDING.
7. SEALCOAT LOT, WITHIN PROPERTY LINE. CONFIRM EXTENT WITH OWNER PRIOR TO BIDDING.
8. LANDSCAPE UPGRADES BY OWNER. GC TO COORDINATE WITH LANDSCAPE CONTRACTOR.
9. GC TO INSTALL NEW POWER/DATA SYSTEM AS REQ'D. FOR NEW ORDER CONFIRMATION UNIT. COORDINATE WITH SIGNAGE VENDOR.
10. LANDSCAPE DESIGNER TO UPGRADE LANDSCAPE AREAS, REMOVE WEEDS FROM GRAVEL PORTIONS, THIN/PRUNE OVERGROWN PLANTINGS TO IMPROVE VISIBILITY AT DRIVE THRU AND FROM STREETS. REMOVE/ ALTER PLANTINGS AT NEW MENUBOARD LOCATION.
11. REPLACE ALL BLUE LID OUTDOOR TRASH RECEPTACLES WITH BK STANDARD BLACK LIDS; BY OWNER
12. GC TO VERIFY THAT THE ACCESSIBLE PARKING SPACES AND ACCESS AISLES HAVE A SURFACE SLOPE NOT STEEPER THAN 1:48; COORDINATE WITH ARCHITECT AND OWNER IF THE SLOPE IS EXCEEDED.

**SITE SURVEY NOTE:**  
THE SITE SURVEY INFORMATION SHOWN ON THESE DRAWINGS ARE BASED ON A SCAN OF A SURVEY THAT WAS PROVIDED BY THE CITY FROM PREVIOUS WORK ON THIS SITE AND CASUAL FIELD OBSERVATIONS. THE DRAWING IS DATED 05-24-2000 AND HAS NOT BEEN VERIFIED IN FIELD FOR THIS PROJECT.

#### SITE PLAN KEY NOTES:

- (1) NEW STEEL FRAME, PAINT TO MATCH EP-4G; CLAD FRAMES WITH NEW 6" COMPOSITE DECKING (TREX OR SIMILAR) INSTALL VERTICAL WITH 1/8" GAP; PAINT TO MATCH EP-4G; REPLACE EXISTING DROP PINS ON GATE AND INSTALL SLEEVE; SEE DETAIL 3/A11
- (2) 6'Ø x 48" TALL BOLLARD; SEE DETAIL 9/A11
- (3) PAINT EXISTING TRASH ENCLOSURE TO MATCH EP-2G AND EP-4G; PROVIDE NEW COPING TO MATCH MC-1G WITH CONTINUOUS SEALANT; SEE BUILDING ELEVATIONS FOR FINISHES AND TYPICAL TRANSITIONS
- (4) NEW 6" BLACK CONCRETE W/ 6x6 - W2.1 x W2.1 WWF ON 4" COMPACTED GRANULAR BASE; 9'-0" FORWARD AND 11'-0" BACK FROM CENTER OF ORDER CONFIRMATION UNIT (MIN); NEW LOOP DETECTOR PROVIDED BY OWNER
- (5) PATCH CONCRETE W/ 6x6 - W2.1 x W2.1 WWF ON 4" COMPACTED GRANULAR BASE; MATCH EXISTING ADJACENT THICKNESS; NEW LOOP DETECTOR PROVIDED BY OWNER
- (6) GC TO INSTALL NEW FOUNDATION FOR OCU, MENUBOARD, PRESELL AND CLEARANCE BAR; SEE DETAIL 2/A11; NEW OCU, MENUBOARD, PRESELL AND CLEARANCE BAR INSTALLED BY SIGNAGE COMPANY; LOCATE NEW OCU ACCORDING TO PREFERRED MENUBOARD LAYOUT; SEE DETAIL 4/A11
- (7) NEW PAVEMENT MARKINGS; SEE 6/A11
- (8) EXISTING BOLLARD; PROVIDE NEW COVER
- (9) CONCRETE PATIO/WALK ON COMPACTED FILL BASE
- (10) PATIO FURNITURE WITH ACCESSIBLE SEATING BY OWNER
- (11) PROVIDE (2) ACCESSIBLE VAN PARKING SIGNS AND (1) ACCESSIBLE AISLE SIGN; MOUNTED ON POSTS AND WALLS; FOR MOUNTING HEIGHT AND MORE INFORMATION SEE DETAIL 1/A11 AND DETAIL 5/A11; MOUNTING METHOD IS TO BE DETERMINED BY SURFACE
- (12) NEW 5'-0" x 5'-0" CONCRETE STOOP; SEE DETAIL 8/A11
- (13) NEW SEALCOAT AND PARKING STRIPING

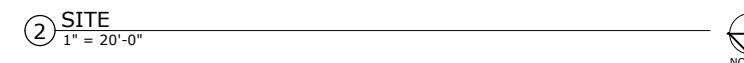
INDICATES NEW ASPHALT PAVING LIFT OVER EXISTING ASPHALT PAVING; NEW LIFT TO BE LOCATED 6" BELOW TOP OF CONCRETE SIDEWALK, SLOPE AWAY FROM SIDEWALK, TIE INTO NEW AND EXISTING ASPHALT PAVING; SEE DETAIL 7/A11 FOR SLOPES TO MAINTAIN AND ACCESSIBLE PARKING STALLS AND AISLE  
 INDICATES NEW ASPHALT PAVING LIFT COMPACTED GRANULAR FILL; ALIGN TOP OF ASPHALT WITH ADJACENT ASPHALT PAVING; SEE DETAIL 7/A11 FOR SLOPES TO MAINTAIN AND ACCESSIBLE PARKING STALLS AND AISLE



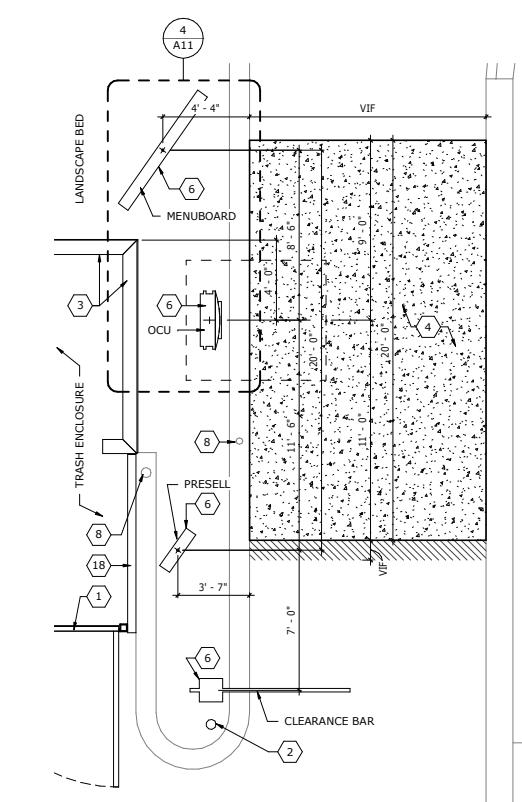
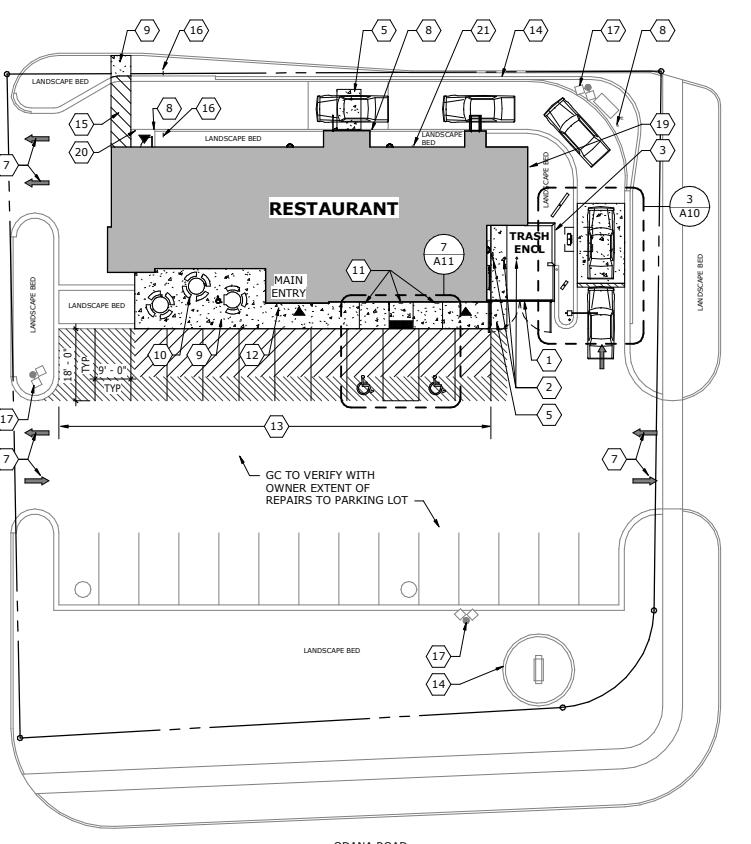
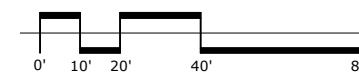
① SITE DEMOLITION  
1" = 20'-0"



② SITE  
1" = 20'-0"



③ ENLARGED DRIVE-THRU  
1/4" = 1'-0"



#### SITE PLANS

**BURGER KING (STR# 3073)**  
6909 ODANA ROAD  
MADISON, WI 53719

PROJECT: 18224  
DRAWN BY: LAS  
CHECKED BY: KDD  
DATE: 3/15/2019  
REVISIONS:

**PRELIMINARY:  
NOT FOR  
CONSTRUCTION**

**A10**



**KOMA**

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**GENERAL DEMOLITION NOTES:**

1. GRAY AREA AND DASHED LINES INDICATE EXTENT OF DEMOLITION FOR EXISTING SIDING, TRIM, PORTION OF MANSARD, AND BRICK VENEER/SILL
2. REFER TO WALL SECTION SHEETS FOR ANY SPECIFIC EXISTING CONDITIONS
3. REFER TO SHEET A20 FOR GENERAL DEMO NOTES
4. DEMOLISH ALL PARAPET COPING AND PREPARE FOR NEW

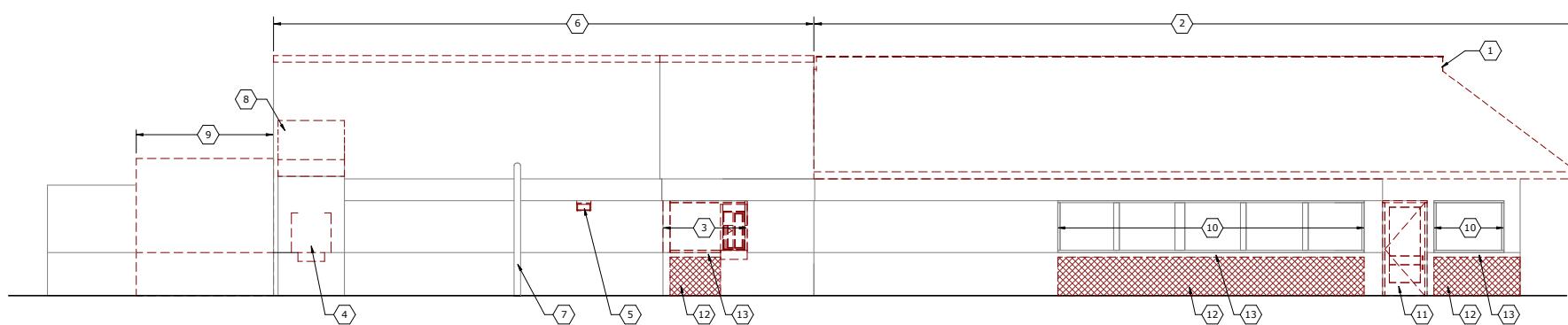
**DEMOLITION KEY NOTES:**

- ① REMOVE EXISTING LIGHT BAND AND GIVE TO OVER TO BE REPURPOSED
- ② DEMOLISH MANSARD OVERHANG
- ③ DEMOLISH EXISTING DRIVE-THRU WINDOW AND SIDELIGHT
- ④ DEMOLISH EXISTING DRIVE-THRU WINDOW AND PORTION OF EXISTING WALL TO ACCOMMODATE NEW DRIVE-THRU WINDOW
- ⑤ DEMOLISH WALL MOUNTED LIGHT FIXTURE
- ⑥ DEMOLISH COPING
- ⑦ EXISTING RAINWATER LEADER TO REMAIN
- ⑧ DEMOLISH ROOF
- ⑨ DEMOLISH EXISTING WALL, FULL HEIGHT
- ⑩ EXISTING STOREFRONT TO REMAIN
- ⑪ DEMOLISH DOOR, FRAME, AND HARDWARE
- ⑫ DEMOLISH PORTION OF EXISTING EXTERIOR WALL FINISHES, PREP FOR NEW FRAMING AND FINISHES, REFER TO WALL SECTIONS
- ⑬ EXISTING WATERTABLE TO REMAIN
- ⑭ DEMOLISH SIGNAGE
- ⑮ DEMOLISH PILLARS AND FENCING
- ⑯ DEMOLISH GLAZING AND HORIZONTALS OF EXISTING STOREFRONT
- ⑰ DEMOLISH GATE AND FRAMING
- ⑱ EXISTING MASONRY WALL TO REMAIN

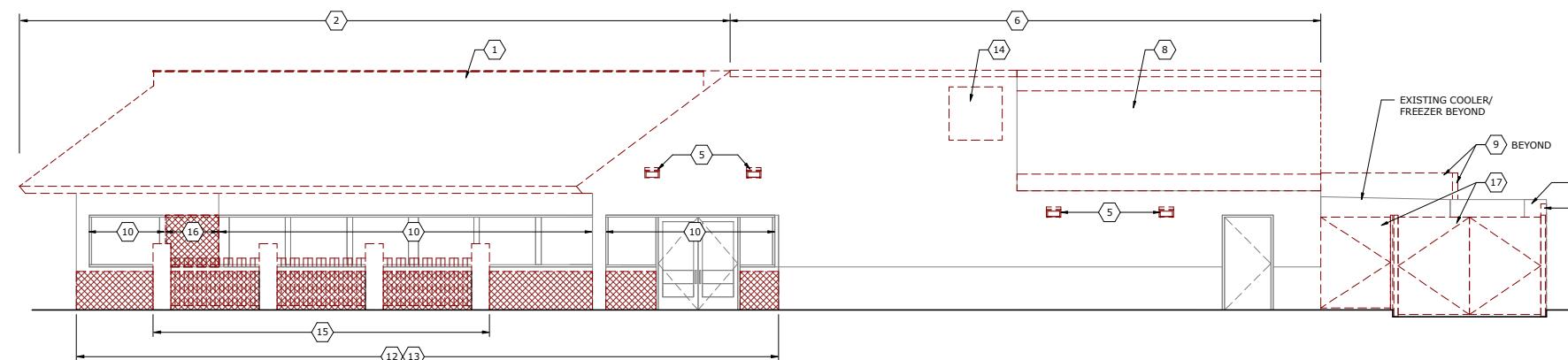
**DEMOLITION ELEVATIONS**

**BURGER KING (STR# 3073)**  
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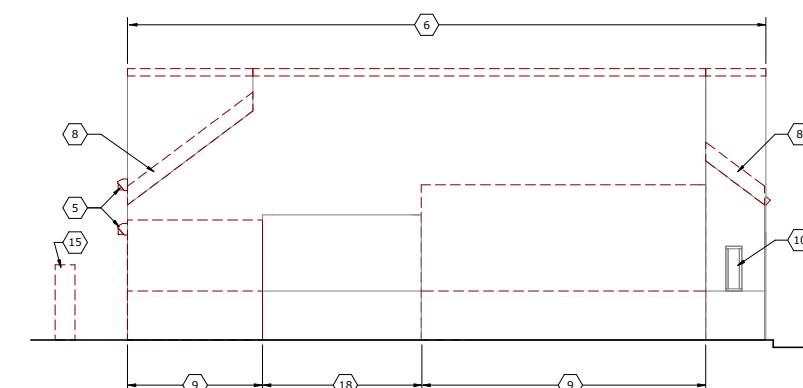
**A22**



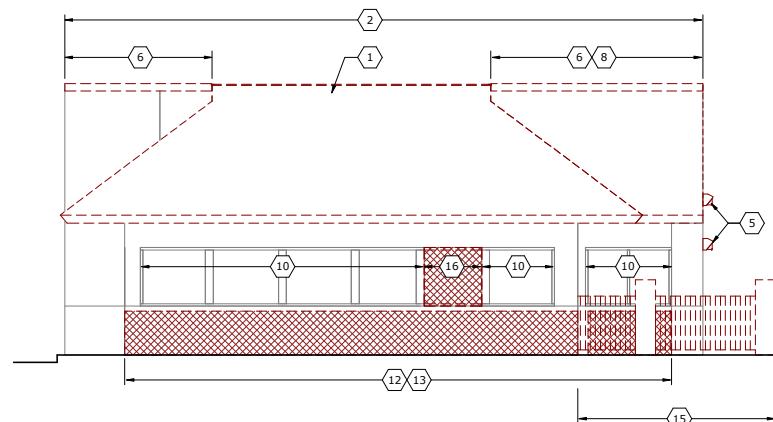
① DEMOLITION DRIVE-THRU ELEVATION  
3/16" = 1'-0"



② DEMOLITION MAIN ENTRANCE ELEVATION  
3/16" = 1'-0"



③ DEMOLITION BACK ELEVATION  
3/16" = 1'-0"



④ DEMOLITION FRONT ELEVATION  
3/16" = 1'-0"

0' 3' 6' 12' 24'

PROJECT: 18224  
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**KOMA**

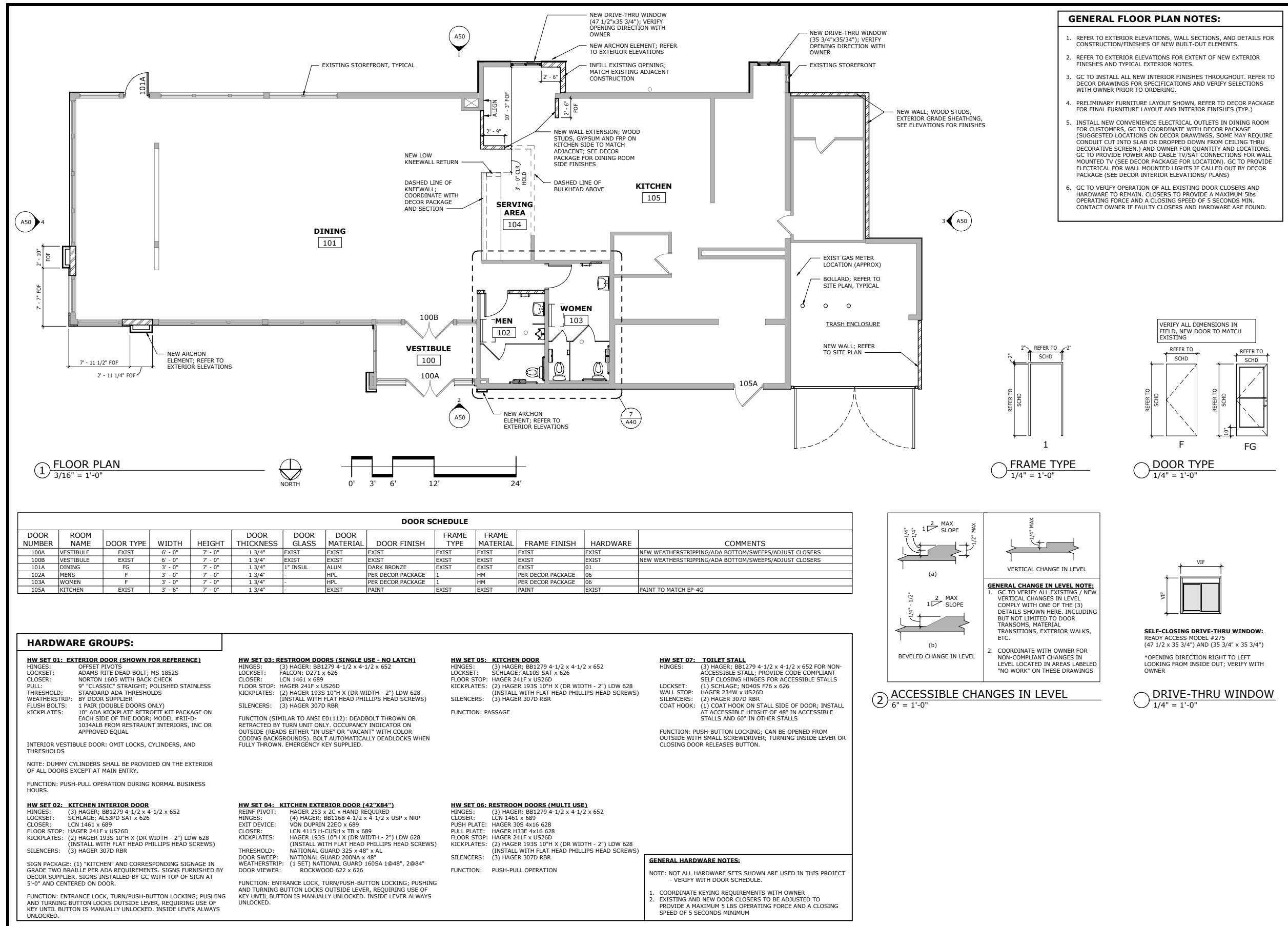
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**BURGER KING (STR# 3073)**  
6909 ODANA ROAD  
MADISON, WI 53719

**A30**









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## EXTERIOR FINISH SCHEDULE

**BURGER KING (STR# 3073)**  
6909 ODANA ROAD  
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PROJECT: 18224  
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**PRELIMINARY:  
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**A80**

GARDEN GRILL EXTERIOR MATERIALS & FINISH SCHEDULE							ADDITIONAL INFORMATION	
11/16/2017	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION COLOR	DIMENSION		
EB-1AG (ALTERNATE FOR EB-1G)	EXTERIOR FINISH FIBER CEMENT BRICK PANELS	GENERAL	NICHIHA FIBER CEMENT	NICHIHA CANYON BRICK PANELS	"SHALE BROWN" - STAGGERED JOINTS - UNPAINTED IF NO OTHER BRICK IS PRESENT. (ON REMODELS, IF THERE IS ANY EXISTING BRICK ON THE BUILDING, THE EXISTING BRICK AND THE NICHIHA BRICK MUST BE PAINTED TO MATCH EP-4G)	18" X 6'	CONTACT: NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)</b>	
ECT-1G	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	GRANITI GIANDRE/ EUROWEST	SENSIBLE STONE ED5052	"RED NATURAL" STACKED BOND PATTERN	12" X 24"	CONTACT: JOY DETER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transceramica.com <b>NOTE: USE WITH EGR-4G</b>	
ECT-18G	EXTERIOR CERAMIC TILE	INLINE RESTAURANTS ONLY	GRANITI GIANDRE/ EUROWEST	ROVERE ANTICO LEGNI HIGH TECH	PAR 15334 "ROVERE" STACKED BOND PATTERN	6" X 36"	CONTACT: JOY DETER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transceramica.com <b>NOTE: USE WITH EGR-9G</b>	
EF-1G	EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CI EIFS SYSTEMS	COLOR TO MATCH EP-2G PPG "TANNERS TAUPE"		CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
EF-4G	EXTERIOR FINISH STUCCO	GENERAL		STO POWERWALL STUCCO SYSTEM	COLOR TO MATCH EP-4G PPG "MONTEREY CLIFFS"		CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
EF-9G	EXTERIOR FINISH FIBER CEMENT	EXTERIOR SIGN ARCHONS	NICHIHA FIBER CEMENT	VINTAGE WOOD EF762	"CEDAR"	18"x10'	CONTACT: NICHIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIHA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE VERTICAL SEAMS ALIGNED IN THE CENTER OF THE ARCHON. SEAMS TO BE CAULKED WITH EC-1G OR USE "H-MOLD" FACTORY TRIMS. ALL TRIMS SHALL BE FACTORY PAINTED TO MATCH PANELS. VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)</b>	
TR-1G	ALUMINUM TRIMS							
EC-1G	EXTERIOR CAULK		ADSEAL PRODUCTS	ADSEAL 458-63	"VINTAGE WOOD CEDAR"		CONTACT: MATT KLINGE AT ADFAST (314) 753-0964 MATT.KLINGE@ADFASTCORP.COM <b>NOTE: USE WITH EF-9G</b>	
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL	PPG SHERWIN WILLIAMS COLORS AVAILABLE UPON REQUEST; SEE ADDITIONAL INFORMATION FOR CONTACT	PRIMER: 17-921 PAINT: 6-2045X1	"TANNERS TAUPE" Custom Formula		CONTACT: RICK GARLIN, PPG CORPORATE NATIONAL ACCOUNTS MANAGER phone: (317) 318-5800 email: garlin@ppg.com  <b>NOTE: FOR REMODELS ONLY, NOT FOR USE ON ROOFS SEE EP-6AG &amp; EP-6B8</b>	
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: 17-921 PAINT: 6-2045X1	"MONTEREY CLIFFS" 10YY 14/080			
EP-6G	EXTERIOR PAINT	LOGO SIGN CABINETS & BURGER KING CHANNEL LETTER CABINETS		PRIMER: 6-212 PAINT: 6-230	"BURGER KING SILVER" Custom Formula			
EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE		PRIMER: 17-921 PAINT: 90-1110	"GRIMMYS GREY" 00NN 20/000			<b>NOTE: BY EXCEPTION FOR REMODELS ONLY</b>
EP-6B8G	EXTERIOR PAINT	EXISTING STANDING SEAM METAL ROOF		PRIMER: 90-712 PAINT: 90-1110	"MARCH WIND" Custom Formula			<b>NOTE: BY EXCEPTION FOR REMODELS ONLY</b>
EP-8B8G	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS		PRIMER: 17-921 PAINT: 6-2045X1	"CEDAR" Custom Formula			CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com
EXT-G	EXTERIOR PAINT	POLES & SIGNS		PRIMER: 90-712 PAINT: 90-353	"BLACK"			
EGR-3G	GROUT	BRICK	MAPEI		#5 "CHAMOIS"			<b>NOTE: USE WITH EB-1G</b>
EGR-4G	GROUT	CERAMIC TILE	CUSTOM BUILDING PRODUCTS	POLYBLEND SANDED	#335 "WINTER GRAY"		<b>NOTE: USE WITH ECT-1G *** SETTING MATERIALS USE COMPLETE CONTACT RAPID SET *** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD</b>	
EGR-9G	GROUT	INLINE RESTAURANTS ONLY CERAMIC TILE	LATICRETE	POLYBLEND SANDED	#66 "CHESTNUT BROWN"			<b>NOTE: USE WITH ECT-18G *** CONTRACTOR TO ALLOW 1/16" MAX FOR GROUT JOINT *** FOR SETTING MATERIALS USED COMPLETE CONTACT RAPID SET *** SEAL GROUT WITH AQUAMIX SEALERS CHOICE GOLD CONTACT: KIRBY DAVIS AT LATICRETE (203) 671-7210</b>
MC-1G	METAL COPING	TOP OF LIGHT BAND WALL CAP	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 "SILVERSMITH"		CONTACT: W.P. HICKMAN COMPANY (828)676-1700 - WWW.WPH.COM	
MC-2G	METAL COPING	BELOW LIGHT BAND		PERMA SNAP PLUS	FACTORY FINISH TO MATCH EP-2G PPG "TANNERS TAUPE"			
MC-3G	METAL COPING	TOP OF ARCHON		PERMA SNAP PLUS	TO BE PAINTED TO MATCH EP-8G PPG "CEDAR"			
MP-1G		PARAPET LIGHT BAND	LEKKTRON *SEE APPROVED SIGN SUPPLIERS	LED LIGHT BAND		*SEE PLANS	PRODUCT INFORMATION: KEVIN RUBOTTOM AT LEKTRON (800) 634-4059 OR (918) 622-4978 EMAIL: KRUBOTTOM@LEKTRONINC.COM	
MP-3G	METAL CANOPY	ABOVE DOORS AND WINDOWS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS		
MP-4G	METAL AWNING / SSM ROOFING	ABOVE WINDOWS / MANSARD ROOFING	FIRESTONE METAL PRODUCTS	STANDING SEAM METAL ROOF UC-4 PROFILE	SILVER METALLIC SR	*SEE PLANS	CONTACT: YUSUKE KOREEDA (615) 945-9991 EMAIL: KOREEDAYUSUKE@FIRESTONEBP.COM	
			BERRIDGE ROOFING METAL PRODUCTS	STANDING SEAM METAL ROOF CEE-LOCK	PREMIUM METALLIC - ZINC COTE	*SEE PLANS	CONTACT: (210) 650-7047	



**KOMA**

ARCHITECTS | DESIGNERS | ENGINEERS

6115 CAHILL AVE, INVER GROVE HEIGHTS, MN 55076

P. 651.451.4605

KOMAINC.COM

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**REFERENCE 3D VIEWS**

**BURGER KING (STR# 3073)**  
6909 ODANA ROAD  
MADISON, WI 53719

PROJECT: 18224  
DRAWN BY: LAS  
CHECKED BY: KDD  
DATE: 3/15/2019  
REVISIONS:

**PRELIMINARY:  
NOT FOR  
CONSTRUCTION**

**A90**



③ REFERENCE NIGHT VIEWS  
NOT TO SCALE



① 3D View 1



② 3D View 2



① 3D View 3



② 3D View 4



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**REFERENCE 3D VIEWS**

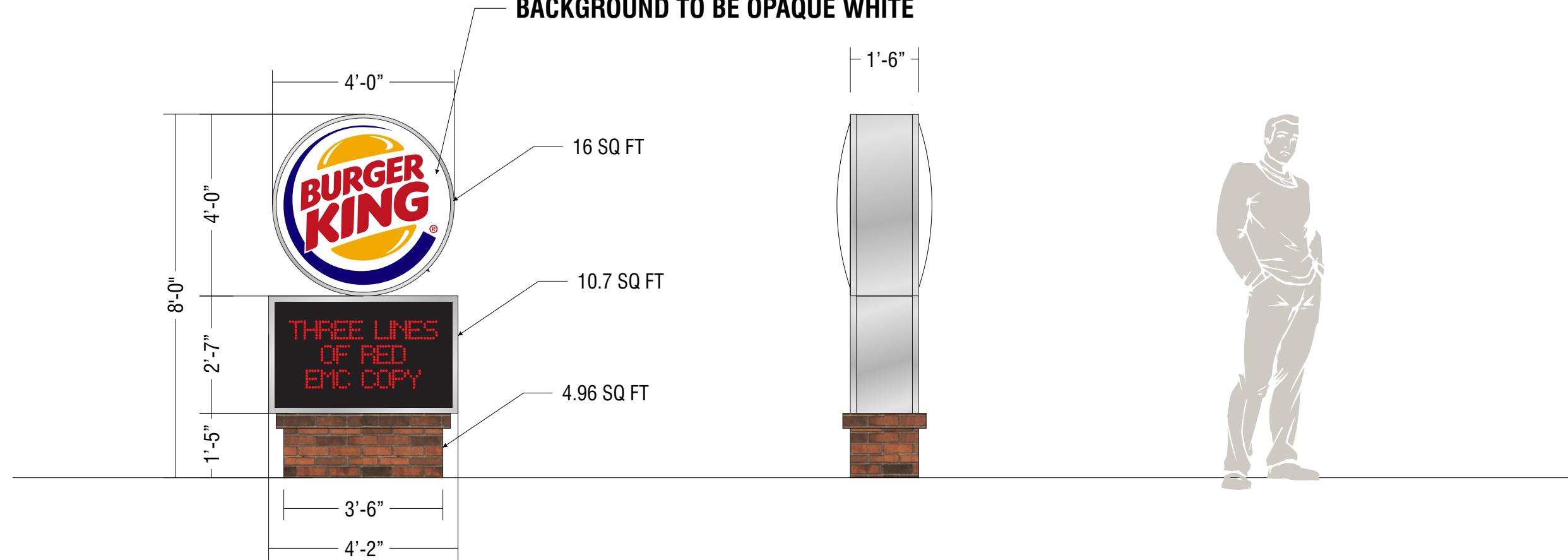
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MADISON, WI 53719

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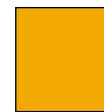
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**A91**

## BACKGROUND TO BE OPAQUE WHITE



## LOGO



3M Translucent Vinyl #3630-125 Yellow



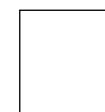
3M Translucent Vinyl #3630-8703 Blue



3M Vinyl #3630-22 Matte Black



3M Translucent Vinyl #3630-33 Red



3M White Diffuser #3635-70



BK Silver

**SIGN:** D/F INTERNALLY ILLUMINATED BUTTON LOGO**EMC:** TWO (2) S/F INTERNALLY ILLUMINATED  
EMC CABINETS W/ RED COPY**BASE:** BRICKCUSTOMER APPROVAL 

DATE

FILE LOCATION: H: MARKETING DESIGN / CDR / B / BURGER KING / MADISON, WI - MONUMENT.cdr



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**EXISTING PHOTOS**

**BURGER KING (STR# 3073)**  
6909 ODANA ROAD  
MADISON, WI 53719

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**EXISTING PHOTOS**

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MADISON, WI 53719

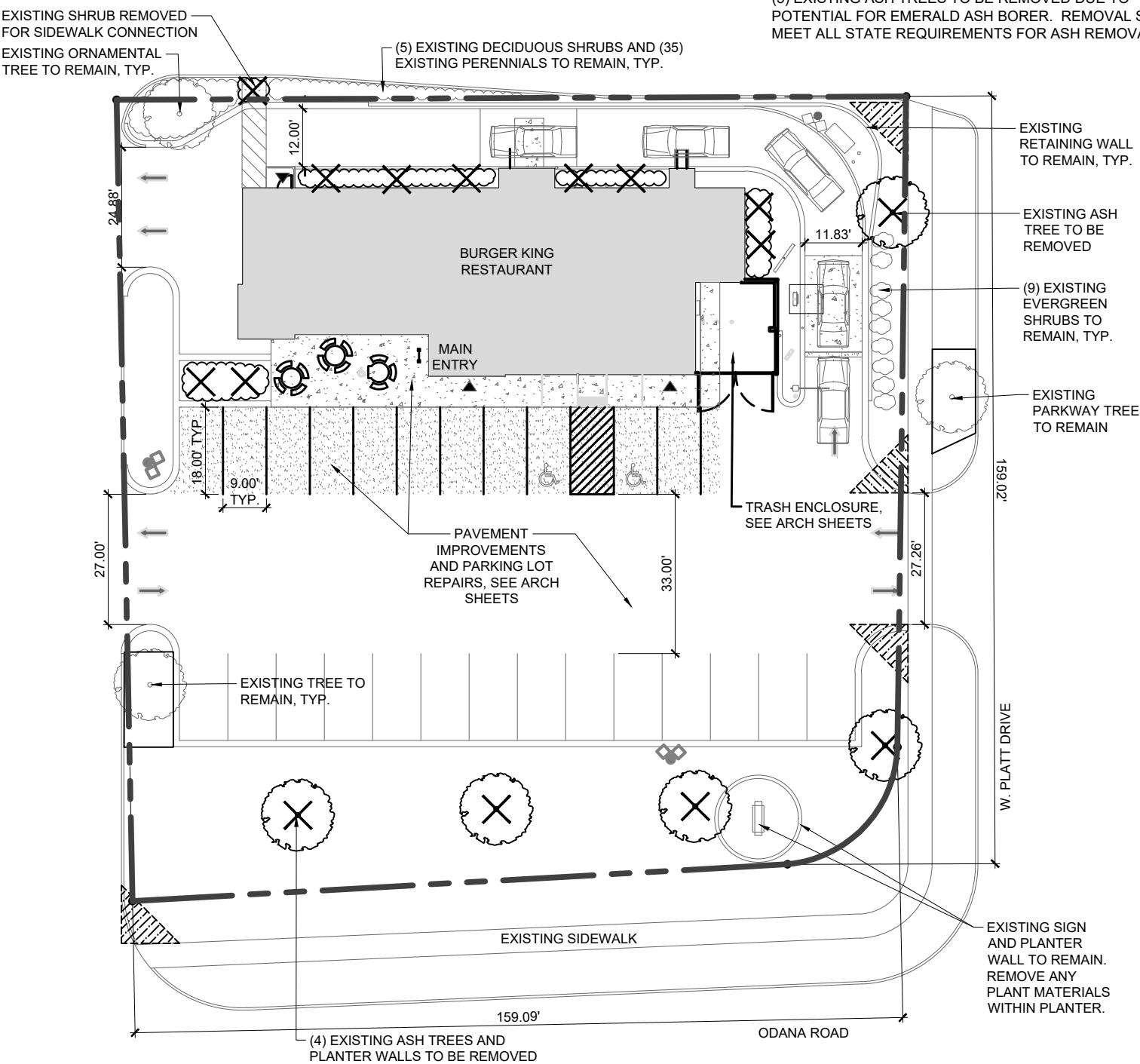
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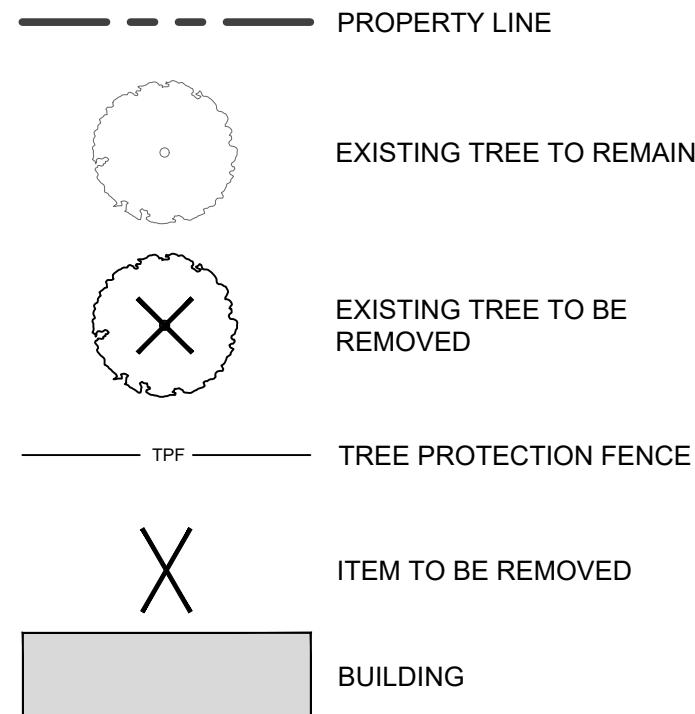
**A93**

**NOTE:**

(5) EXISTING ASH TREES TO BE REMOVED DUE TO POTENTIAL FOR EMERALD ASH BORER. REMOVAL SHALL MEET ALL STATE REQUIREMENTS FOR ASH REMOVAL.



Scale: 1 inch = 30 ft.

**LEGEND:**LANDSCAPE ARCHITECT:

#LA-742-14  
exp. 8/31/19

Kevin Graham FASLA, PLA  
TERRA Engineering Ltd.  
225 W. Ohio Street, Fourth Floor  
Chicago, Illinois 60610  
ph: 312.467.0123



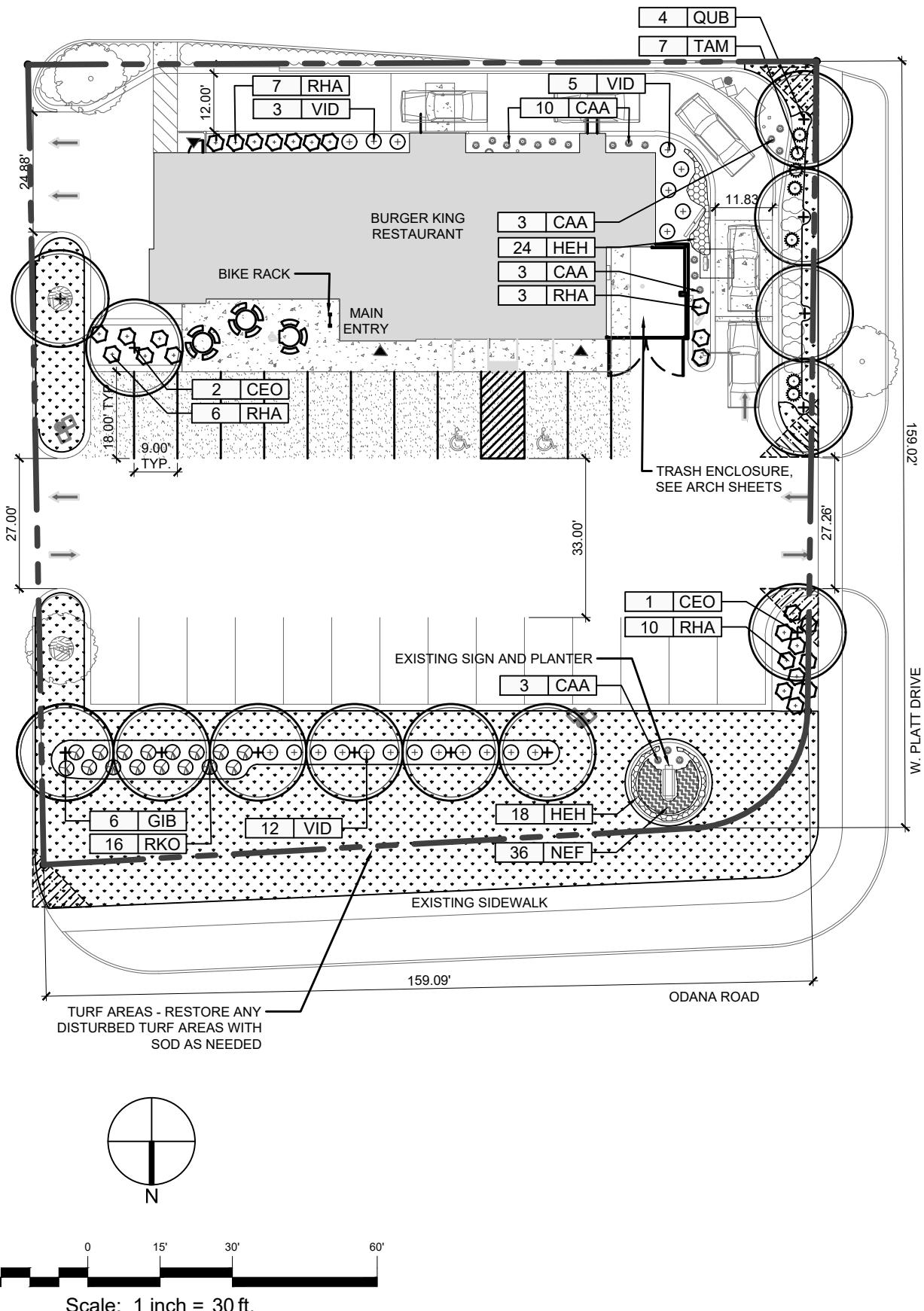
March 4, 2019

**LANDSCAPE REMOVALS PLAN**

**BURGER KING #3073**

6909 ODANA RD., MADISON, WI.

L0.0



## Landscape Requirements

Burger King - 6909 Odana Rd., Madison, WI

### Zoning CC

Site Area:	25,934 SF (0.66 AC)
Building Footprint:	3,608 SF
Total Developed Area:	22,326 SF
Total Parking:	252 Stalls (Includes 2 ADA)

**General Landscape Requirement:** 5 Landscape points for every 300 SF developed area (Does not include building footprint)

22,326 *5 / 300	372	Points Required
Landscape Provided:	1,038	Points Provided (See Landscape Worksheet)

**Development Frontage Landscape Requirement:** 1 Shade tree and 5 shrubs per 30 LF of lot

159 LF along Odana Rd. requires 5.3 Trees and 26.5 Shrubs

Trees Provided:	6 Trees
Shrubs Provided:	27

159 LF along Platt Ave. requires 5.3 Trees and 26.5 Shrubs

Trees Provided:	5 Trees
Shrubs Provided:	(9 Existing evergreen shrubs counted toward 27 requirement)

**Interior Parking Lot Landscape Requirement:** Changes to developed site required 5% of pavement area shall be landscaped. (1) Shade tree for every 160 SF of required landscape area.

9,767 SF Parking pavement requires 488.35 SF of interior landscape area.

Landscape Areas Provided:	815 SF

488.35 SF Interior Landscape area requires 3.0 Interior trees.

Interior Trees Provided:	Trees (1 Existing tree counted toward 3 requirement)

**Foundation Landscape Requirement:** Shrubs and perennials shall be provided along building

Foundation Landscape Provided:	15 Shrubs
	10 Perennials/Grasses

**Screening of Refuse Requirement:** Screen area with 6' wood fence or wall

Screening Provided:	Existing masonry wall with gates to remain (See Arch Sheets)
---------------------	--

### NOTE:

SEE L1.1 FOR PLANT SCHEDULE AND LANDSCAPE NOTES.

## LEGEND:

PROPERTY LINE

BUILDING

SHADE TREE

DECIDUOUS SHRUBS

EVERGREEN SHRUBS

ORNAMENTAL GRASSES

LAWN SOD

PERENNIAL / GROUNDCOVER AREAS

MULCH, 3" DEPTH

12' X 12' SIGHT TRIANGLE

### LANDSCAPE ARCHITECT:

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March 4, 2019

LANDSCAPE PLAN

BURGER KING #3073

6909 ODANA RD., MADISON, WI.

L1.0



**TERRA**  
ENGINEERING LTD.

## Plant Schedule

Qty.	Key	Botanical name	Common name	Size at Planting	Notes
<b>TREES</b>					
3	CEO	Celtis occidentalis	Hackberry	2.5" BB	Central Leader
6	GIB	Ginko biloba "Autumn Gold"	Autumn Gold Ginkgo	2.5" BB	Central Leader
4	QUB	Quercus bicolor	Swamp White Oak	2.5" BB	Central Leader
13	<i>Tree Total</i>				
<b>DECIDUOUS SHRUBS</b>					
26	RHA	Rhus aromatica "Gro-Low"	Gro-Low Fragrant Sumac	#5 Cont.	Min. 12' ht., 5' o.c.
16	RKO	Rosa "Knockout"	Knockout Rose	#5 Cont.	4' o.c.
7	TAM	Taxus media "Densiformis"	Dense Yew	18" BB	4' o.c.
20	VID	Viburnum dentatum "Blue Muffin"	Blue Muffin Arrowwood Viburnum	24" BB	5' o.c.
69	<i>Shrub Total</i>				
<b>PERENNIALS AND ORNAMENTAL GRASSES</b>					
42	HEH	Hemerocallis "Happy Returns"	Happy Returns Daylily	#1 Cont.	18" o.c.
36	NEF	Nepeta racemosa "Walker's Low"	Walker's Low Catmint	#1 Cont.	18" o.c.
19	CAA	Calamagrostis acutiflora "Karl Foerster"	Karl Foerster Feather Reed Grass	#1 Cont.	30" o.c.
97	<i>Perennial Total</i>				
<b>SEED AND SOD AREAS</b>					
TBD	Sod	Restore any disturbed areas with sod. Quantities determined by Contractor			
294	SY	Mulch	All existing and new planting beds to receive mulch to a depth of 3".		

## LANDSCAPE GENERAL NOTES:

1. ALL PLANT MATERIAL IS SUBJECT TO AVAILABILITY AND CORRECT SEASONAL PLANTING PROCEDURE. ANY AND ALL SUBSTITUTIONS REQUEST MUST BE SUBMITTED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING SUBSTITUTION MATERIALS.
2. THE LANDSCAPE CONTRACTOR SHALL STAKE AND LAYOUT ALL INSTALLATIONS AND BEDS FOR APPROVAL BY OWNER'S REPRESENTATIVE. FAILURE TO RECEIVE REVIEW AND APPROVAL MAY BE CAUSE TO REQUIRE THE REMOVAL OF PLANTS AND REINSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR SHALL SUPPLY LANDSCAPE PLANTING SOIL MIX FOR ALL PERENNIAL PLANTING BEDS TO CONSIST OF 1/3 TOPSOIL, 1/3 SAND AND 1/3 COMPOSTED MANURE OR "MUSHROOM COMPOST". THIS MIXTURE IS TO BE ROTOTILLED INTO THE SOIL A MINIMUM OF 8" THROUGHOUT THE BED. AFTER INSTALLATION, MULCH AS SPECIFIED BELOW.
4. ALL PLANTING BEDS SHALL RECEIVE SHREDDED HARDWOOD MULCH. TREE / SHRUB BEDS SHALL RECEIVE A MINIMUM 3" DEPTH OF MULCH AND PERENNIAL PLANTINGS SHALL RECEIVE A MINIMUM 2" OF MULCH.
5. ALL DISTURBED AREAS NOT RECEIVING OTHER LANDSCAPE TREATMENTS SHALL BE RESTORED WITH SOD AS NECESSARY.

LANDSCAPE ARCHITECT:



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March 4, 2019

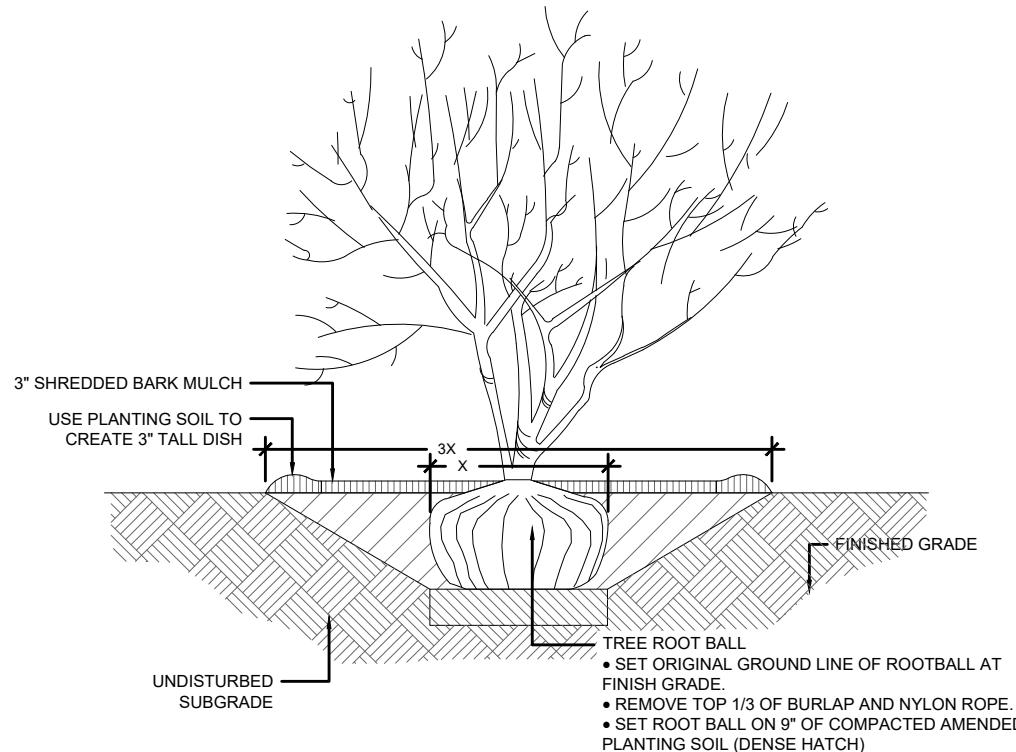
LANDSCAPE PLANT SCHEDULE AND NOTES

BURGER KING #3073

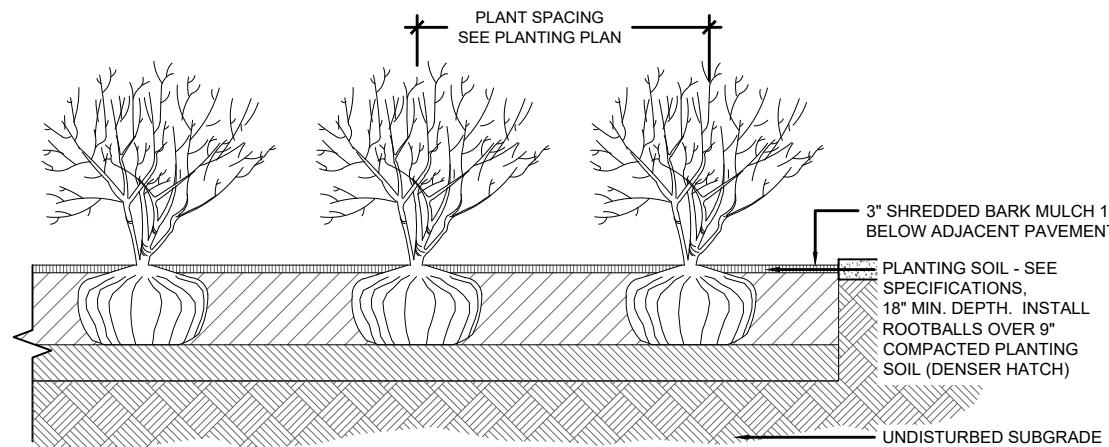
6909 ODANA RD., MADISON, WI.

L1.1

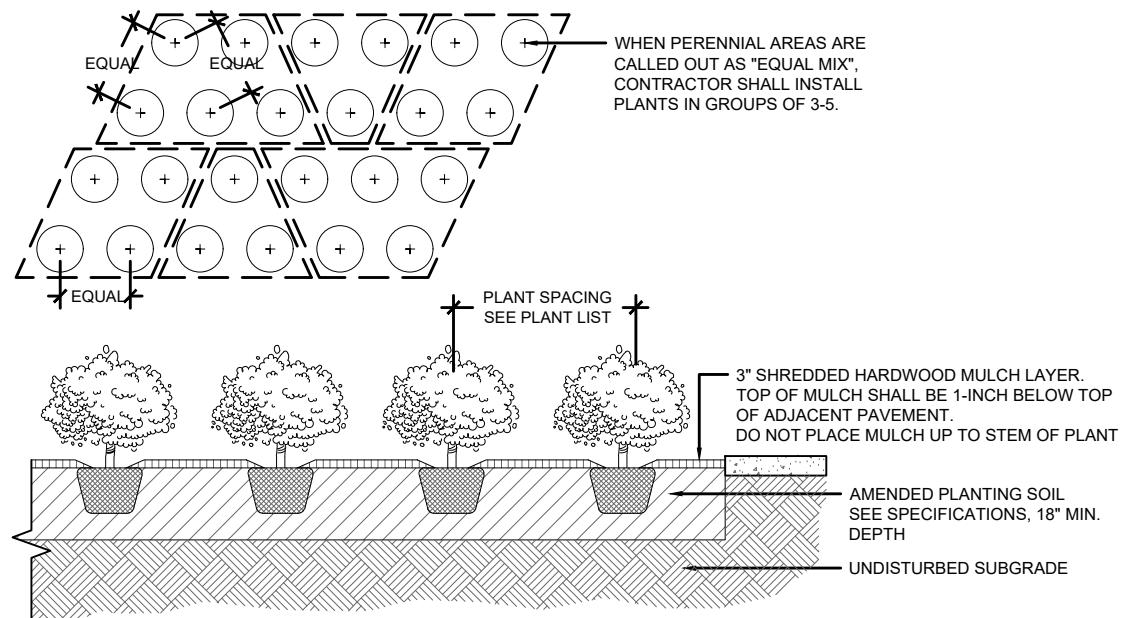




① SHADE/ORNAMENTAL TREE PLANTING DETAIL  
SCALE: NTS



② SHRUB PLANTING DETAIL  
SCALE: NTS



③ PERENNIAL PLANTING DETAIL  
SCALE: NTS

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