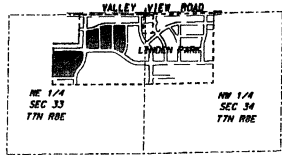


# FIRST ADDITION TO LINDEN PARK

Lots 154-201, 231-256, Outlot 20, vacated Moonlight Trail and Alley Outlots 14, 15, 16, and 21, Linden Park, all located in the NE 1/4 and NW 1/4 of Section 33, T7N, R8E, City of Madison, Dane County, Wisconsin.

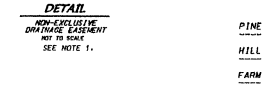
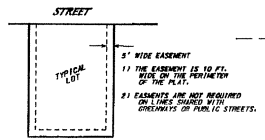
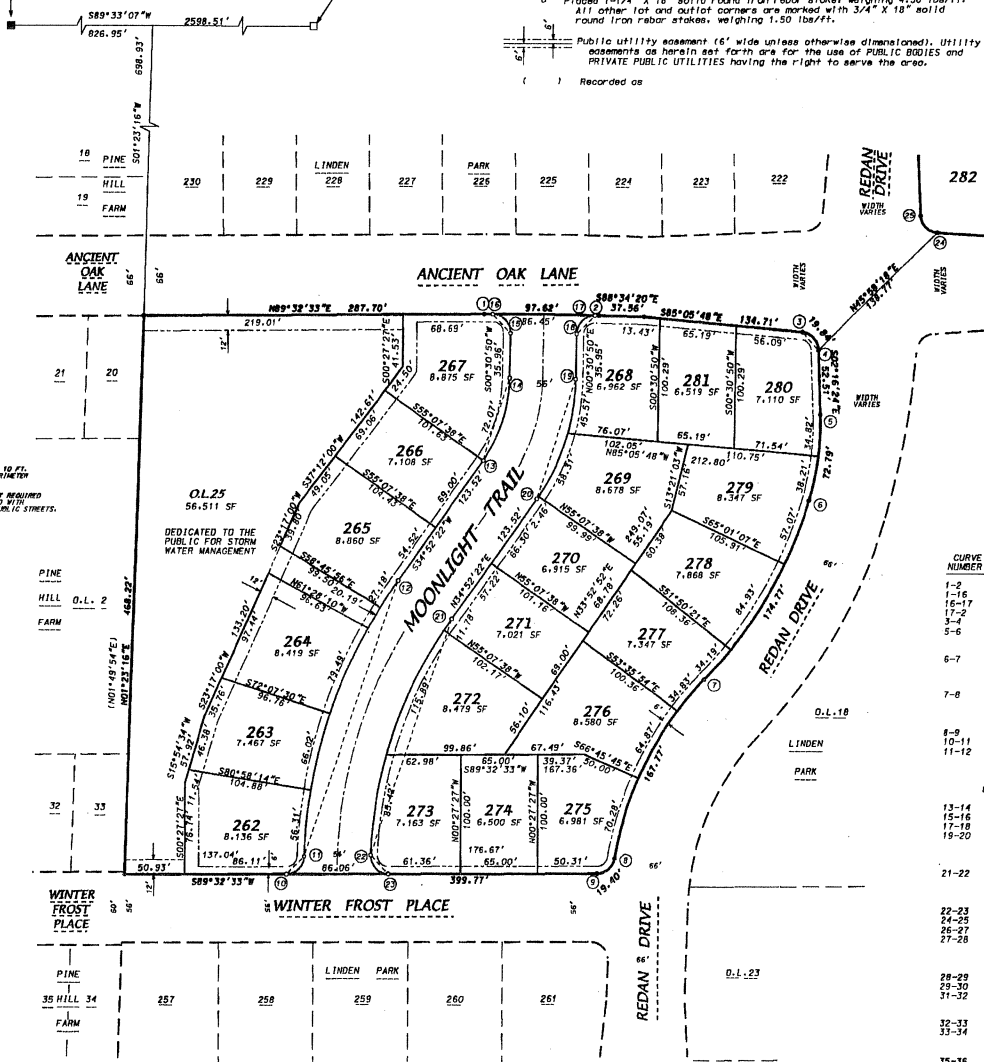
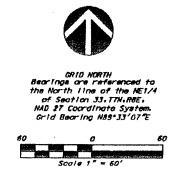


LOCATION MAP  
NOT TO SCALE

NORTH 1/4 CORNER SEC. 33, T7N, R8E  
 WISCONSIN STATE PLANE COORDINATES (SOUTH ZONE) ARE:  
 N 381,465.89  
 E 2,122,320.32  
 NAD 1927 DATUM

LEGEND

- Found red plastic cap monument
- Found City of Madison concrete monument w/cross cap
- Found 1-1/4" diameter solid round iron stake.
- Placed 1-1/4" x 18" solid round iron rebar stake, weighing 4.30 lbs/ft.
- All other lot and outlot corners are marked with 3/4" x 18" solid round iron rebar stakes, weighing 1.50 lbs/ft.
- Public utility easement (6' wide unless otherwise dimensioned). Utility easements as herein set forth are for the use of PUBLIC UTILITIES and PRIVATE PUBLIC UTILITIES having the right to serve the area.
- Recorded as



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.  
 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
 YOUR NATIONAL RESOURCE FOR LAND DEVELOPMENT

This instrument was drafted by D'Onofrio, Kottke & Associates, Inc. FN: 08-07-109

NOTES

- All lots within this plat are subject to public easements for drainage purposes which shall be a minimum of 5 feet in width measured from the property line to the interior of each lot except that the easements shall be 10 feet in width on the perimeter of the plat. For purposes of 10 feet or more lots combined for a single development site, or where two (2) or more lots have a shared driveway agreement, the public easement for drainage purposes shall be a minimum of five (5) feet. In width and shall be measured only from the exterior property lines of the combined lots that create a single development site, or have a shared width along the perimeter of the plat. Easements shall not be required on property lines shared with greenways or public streets. No buildings, driveways, or retaining walls shall be placed in any easement for drainage purposes. Fences may be placed in the easement only if they do not impede the anticipated flow of water. Notes: In the event of a City of Madison Plan Commission and/or Common Council approved subdivision of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivision.
- The intra-block drainage easements shall be graded with the construction of each principal structure in accordance with the approved Stormwater Drainage Plan on file with the City Engineer and the Zoning administrator, as amended in accordance with the Madison General Ordinances.
- Subsoil information indicates that basements of structures within the plat may encounter bedrock. The sub-surface conditions report, dated May 10, 2002, is on file with the City Engineer.
- This subdivision is subject to the inclusionary zoning sections of Chapter 28 of the Madison General Ordinances. This requirement shall be satisfied by a separate recorded restriction.
- This plat is subject to the following recorded instruments:
  - a. Declaration of Protective Covenants, Conditions and Restrictions recorded as Document No. 410102 and amendments to said document recorded as Document No.'s 415B823, 4180132 and 4192102.
  - b. Declaration of Conditions and Covenants recorded as Document No. 4151413.
  - c. Declaration of Conditions, Covenants and Restrictions recorded as Document No. 4150972.
  - d. Declaration of Conditions and Covenants recorded as Document No.'s 4176509 and 4176510.
- Distances, lengths and widths are measured to the nearest hundredth of a foot.
- Distances shown along curves are chord lengths.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by a 236.12, Wis. Stats.

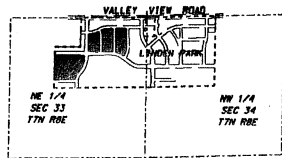
Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration

CURVE DATA						
CURVE NUMBER	LOT	RADIUS (FEET)	CHORD (FEET)	ARC (FEET)	CHORD BEARING	CENTRAL ANGLE
1-2	2967.00	97.62	97.63	889°30'53"E	001°53'07"W	
1-16	2967.00	71.34	71.34	N89°36'10"E	000°00'00"W	16-N89°41'03"E
16-17	2967.00	86.45	86.45	S89°28'52"E	001°40'10"W	17-S89°38'47"E
17-2	2967.00	84.84	84.84	S89°36'34"E	000°04'27"W	
3-4	15.00	19.84	19.84	S43°41'08"E	009°24'36"W	
5-6	227.52	72.79	73.10	S05°55'54"W	018°24'36"W	
6-7	272.50	174.77	176.44	S29°06'55"W	007°19'20"W	
7-8	279	227.52	36.21	36.25	S11°19'13"W	009°37'58"W
8-9	277	370.00	57.07	57.02	S20°33'34"W	008°50'44"W
9-10	277	370.00	84.93	85.11	S37°34'20"W	013°10'48"W
10-11	277	370.00	34.19	34.21	S40°46'38"W	005°17'48"W
11-12	277	283.00	167.77	170.33	S26°13'00"W	034°29'04"W
12-13	277	283.00	34.83	34.86	S39°55'00"W	007°03'04"W
13-14	275	283.00	64.87	65.01	S29°49'16"W	013°09'44"W
14-15	275	283.00	70.28	70.46	S18°06'26"W	014°19'56"W
15-16	275	283.00	15.40	15.40	S49°12'00"W	080°34'06"W
16-17	275	283.00	20.85	23.05	N45°30'46"E	088°03'33"W
17-18	262	428.00	245.91	249.42	N19°10'41"E	033°23'02"W
18-19	262	428.00	56.31	56.35	N05°15'18"E	007°32'16"W
19-20	263	428.00	66.02	66.09	N13°27'06"E	008°50'50"W
20-21	264	428.00	79.49	79.60	N23°12'00"E	010°39'22"W
21-22	265	428.00	20.19	20.19	N29°52'54"E	002°42'12"W
22-23	265	428.00	27.18	27.15	N33°03'11"E	003°18'22"W
23-24	268	178.00	105.15	106.74	S17°41'36"E	034°21'32"W
24-25	269	178.00	86.31	86.58	S24°39'06"W	018°51'20"W
25-26	270	178.00	2.46	2.46	S34°29'18"E	017°59'20"W
26-27	271	372.00	210.82	213.75	S18°24'42"W	032°55'20"W
27-28	271	372.00	21.65	24.19	N44°27'51"E	084°26'06"W
28-29	272	372.00	85.42	85.61	S09°32'36"W	013°11'08"W
29-30	273	372.00	15.00	15.00	S44°16'12"E	009°49'22"W
30-31	273	372.00	20.16	22.11	N44°27'51"E	084°26'06"W
31-32	273	372.00	115.89	116.36	S24°05'50"W	017°59'20"W
32-33	273	372.00	85.42	85.61	S09°32'36"W	013°11'08"W
33-34	273	372.00	15.00	15.00	S44°16'12"E	009°49'22"W
34-35	285	436.39	177.69	178.94	N76°38'15"E	023°29'40"W
35-36	285	436.39	55.99	56.03	N84°42'24"E	007°21'22"W
36-37	286	436.39	66.29	66.05	N76°40'36"E	007°42'14"W
37-38	287	436.39	56.58	56.62	N68°36'27"E	007°26'04"W
38-39	287	436.39	56.58	56.62	N68°36'27"E	007°26'04"W
39-40	295	278.00	85.53	85.67	N09°17'09"W	017°39'24"W
40-41	296	278.00	15.00	15.00	N01°04'52"W	001°14'50"W
41-42	296	278.00	79.35	79.62	N09°54'34"W	016°24'34"W
42-43	296	278.00	50.36	50.36	N09°54'34"W	016°24'34"W
43-44	296	278.00	122.87	123.44	N80°02'11"E	019°00'43"W
44-45	296	278.00	60.53	60.53	N75°11'30"E	009°49'22"W
45-46	297	372.00	62.83	62.91	N64°41'52"E	009°49'22"W
46-47	316	372.00	21.62	24.14	S45°39'30"W	002°11'55"W
47-48	316	372.00	14.31	14.31	N68°21'50"W	002°11'55"W
48-49	316	372.00	150.31	152.29	S15°34'55"W	032°04'44"W
49-50	317	372.00	76.54	76.54	S07°36'14"W	015°05'20"W
50-51	317	372.00	75.50	75.75	S23°39'36"W	015°57'22"W
51-52	317	372.00	24.46	24.46	S26°19'53"W	005°26'12"W
52-53	317	372.00	132.28	132.39	N65°10'21"W	025°22'40"W
53-54	317	372.00	39.15	39.17	N67°08'01"W	006°01'00"W
54-55	317	372.00	36.13	36.18	N65°17'28"W	005°37'43"W
55-56	304	372.00	37.62	37.64	N72°29'45"W	005°46'52"W
56-57	304	372.00	18.25	19.62	N37°55'19"W	074°55'44"W

# FIRST ADDITION TO LINDEN PARK

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LOCATION MAP  
NOT TO SCALE



### LEGEND

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### NOTES

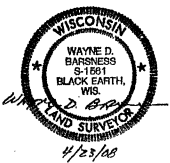
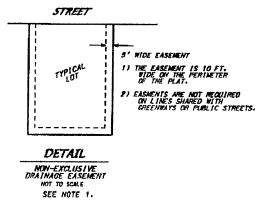
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Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration



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This instrument was drafted by D'Onofrio, Kottke & Associates, Inc. FN: 08-07-109

