

LEGEND

- EXISTING 5-FT CONTOUR
- EXISTING 1-FT CONTOUR
- LIMITS OF DISTURBANCE = 4.08 AC.
- SILT FENCE OR STRAW WATTLE
- STORM SEWER INLET PROTECTION
- UTILITY TO BE REMOVED
- EXISTING PAVEMENT OR GRAVEL SURFACE TO BE REMOVED
- OVERLAND FLOW PATH
- TREE TO BE REMOVED

- ### CONSTRUCTION SEQUENCE
- INSTALL SILT FENCE AND/OR STRAW WATTLES AS SHOWN ON PLAN. MAINTAIN AS NECESSARY DURING CONSTRUCTION.
 - INSTALL TRACKING PAD.
 - BEGIN CLEARING AND GRUBBING OF SITE.
 - STRIP ANY REMAINING TOPSOIL AND TEMPORARILY STOCKPILE ON SITE WHERE LOCALIZED DISTURBANCE ACTIVITIES OCCUR (EXCESS TO BE REMOVED FROM SITE ACCORDING TO GENERAL CONTRACTOR'S CONSTRUCTION PHASING PLAN)
 - INSTALL TEMPORARY SEDIMENT TRAPS IN LOCALIZED AREAS OF GRADING ACTIVITIES.
 - BEGIN CONSTRUCTION OF FOOTING AND FOUNDATION.
 - PROCEED WITH UTILITY CONSTRUCTION.
 - GRADE SITE AND PREPARE AGGREGATE BASE.
 - STABILIZE DISTURBED GROUND WITH TEMPORARY SEED AND MULCH.
 - INSTALL PAVEMENT SURFACE.
 - INSTALL LANDSCAPING.
 - CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL BMPs WHEN DISTURBED AREAS ARE PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.

- ### EROSION CONTROL NOTES
- EROSION CONTROL MEASURES MUST BE INSPECTED AND REPAIRED WEEKLY AND AFTER EACH RAIN TOTALING ONE-HALF INCH OR MORE.
 - ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD OR SIDEWALK SHALL BE REMOVED BY STREET CLEANING, OTHER THAN FLUSHING, IMMEDIATELY.
 - CONTRACTOR SHALL KEEP A COPY OF THE EROSION CONTROL PLANS AT THE PROJECT SITE AND PROVIDE COMPLETED EROSION CONTROL CHECK SHEETS TO THE CONSTRUCTION INSPECTOR. CITY OF MADISON AND WDNR MAY REQUEST INSPECTION REPORTS AT ANY TIME.
 - ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND CITY OF MADISON REQUIREMENTS AND STANDARDS.
 - ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS SHALL BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
 - COPIES OF THE INSPECTION REPORTS SHALL BE KEPT AT THE PROJECT SITE FOR CITY OR WDNR ACCESS.
 - SEDIMENT TRAPS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DEPENDING ON CONTRACTOR GRADING AND CONSTRUCTION SEQUENCE.
 - SEDIMENT TRAPS ARE TO BE DESIGNED, CONSTRUCTED, AND OPERATED ACCORDING TO WDNR STANDARD 1064.
 - TEMPORARY GRADING METHODS SHALL BE USED TO DIRECT WATER TO TEMPORARY SEDIMENT TRAPS.
 - DEWATERING AS NEEDED TO BE DONE ACCORDING TO WDNR STANDARD 1061
 - DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE (WINTER) OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
 - CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES AND PERFORMING MAINTENANCE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.

DATE	DESCRIPTION

R.A. Smith National
 Beyond Surveying and Engineering
 www.rasmithnational.com

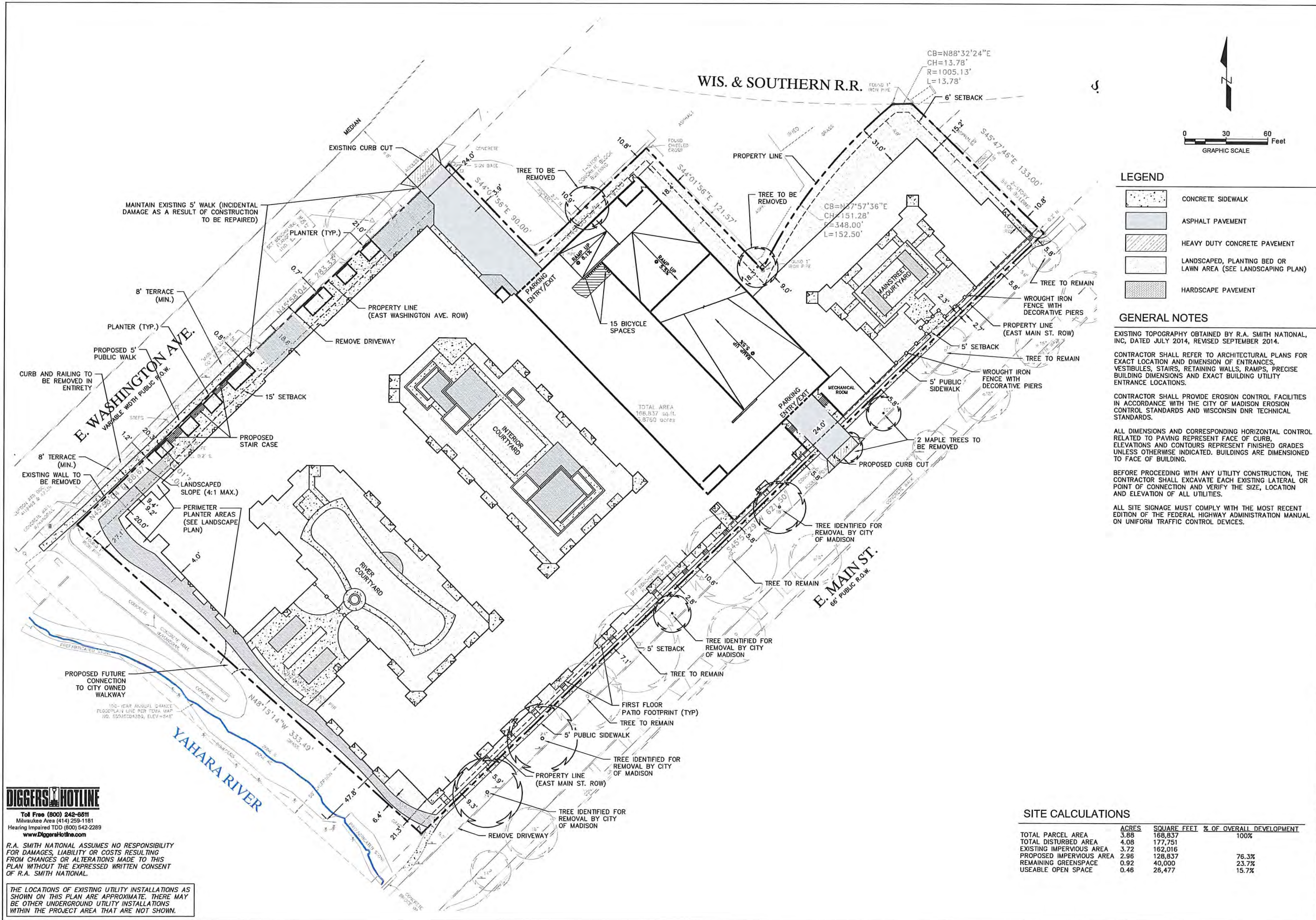
1801 WASHINGTON
 CITY OF MADISON, WI
 EROSION CONTROL &
 SITE DEMOLITION PLAN

© COPYRIGHT 2016
 R.A. Smith National, Inc.
 DATE: 02/10/16
 SCALE: 1" = 30'
 JOB NO. 3150290
 PROJECT MANAGER:
 MICHAEL A. BACH, P.E.
 DESIGNED BY: AJS
 CHECKED BY: CDH
 SHEET NUMBER
 C100

DIGGERS HOTLINE
 Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

R.A. SMITH NATIONAL ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH NATIONAL.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



LEGEND

- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LANDSCAPED, PLANTING BED OR LAWN AREA (SEE LANDSCAPE PLAN)
- HARDSCAPE PAVEMENT

GENERAL NOTES

EXISTING TOPOGRAPHY OBTAINED BY R.A. SMITH NATIONAL, INC, DATED JULY 2014, REVISED SEPTEMBER 2014.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB. ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

SITE CALCULATIONS

	ACRES	SQUARE FEET	% OF OVERALL DEVELOPMENT
TOTAL PARCEL AREA	3.98	168,837	100%
TOTAL DISTURBED AREA	4.08	177,751	
EXISTING IMPERVIOUS AREA	3.72	162,016	
PROPOSED IMPERVIOUS AREA	2.96	128,837	76.3%
REMAINING GREENSPACE	0.92	40,000	23.7%
USEABLE OPEN SPACE	0.46	26,477	15.7%

DIGGERS HOTLINE
 Toll Free (800) 242-9811
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

R.A. SMITH NATIONAL ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH NATIONAL.

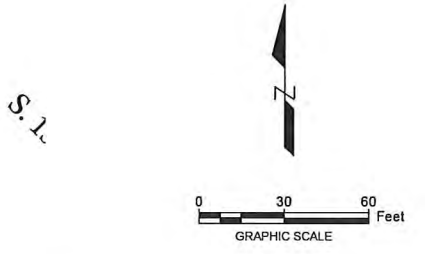
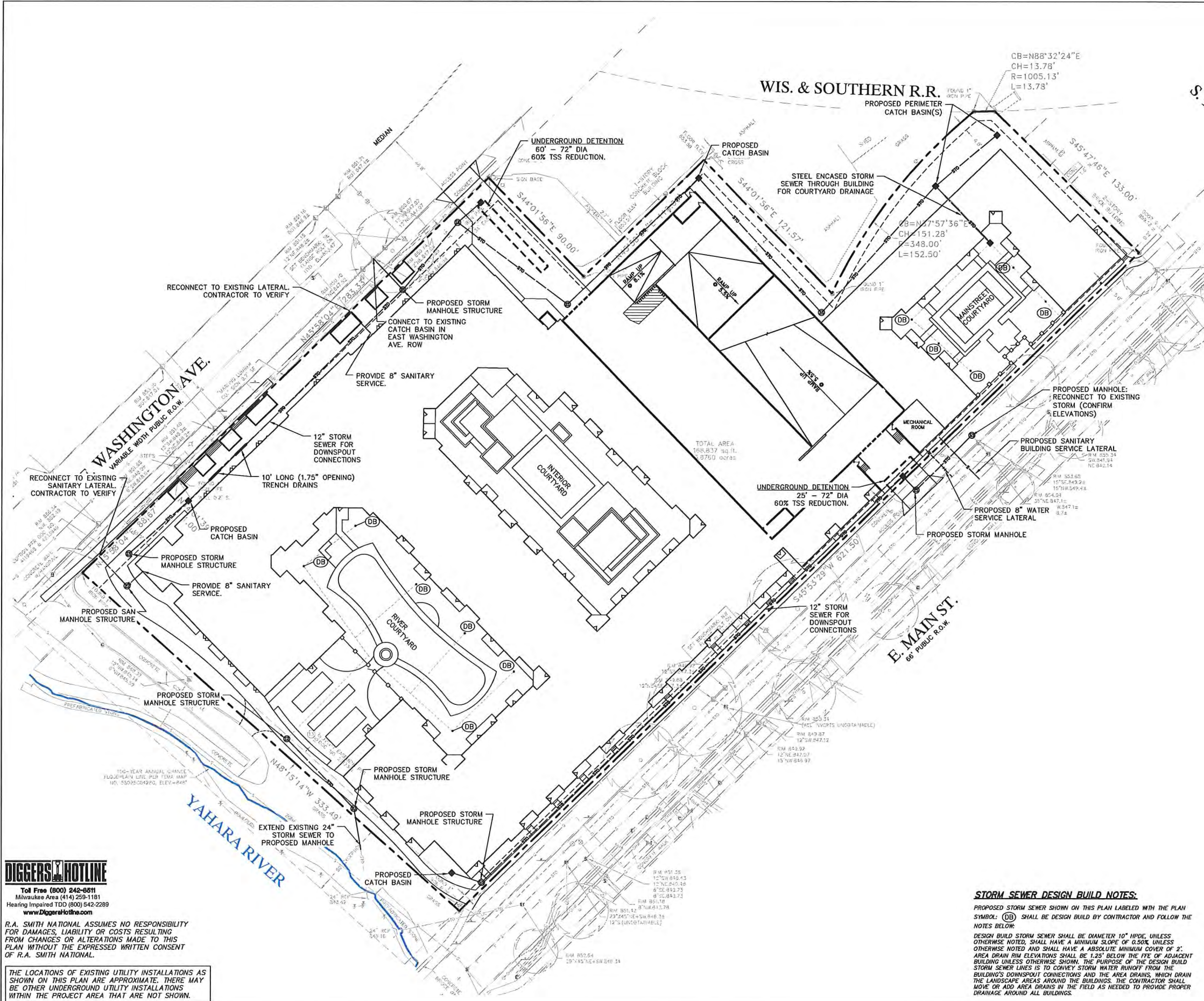
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESCRIPTION	DATE

R.A. Smith National
Beyond Surveying and Engineering
 www.rasmithnational.com

1801 WASHINGTON
 CITY OF MADISON, WI
 DIMENSIONED SITE PLAN

© COPYRIGHT 2016
 R.A. Smith National, Inc.
 DATE: 02/10/16
 SCALE: 1" = 30'
 JOB NO. 3150290
 PROJECT MANAGER:
 MICHAEL A. BACH, P.E.
 DESIGNED BY: MAB
 CHECKED BY: CDH
SHEET NUMBER
 C200



LEGEND

	EXISTING SANITARY MANHOLE
	EXISTING POWER POLES
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING STORM SEWER
	PROPOSED STORM SEWER

UTILITY NOTES

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL EXISTING UNUSED SANITARY AND WATER SERVICE LATERALS SERVING THE SITE SHALL BE ABANDONED.

PRIVATE SANITARY SEWER PROPOSED SHALL BE INSTALLED TO APPLICABLE CITY OF MADISON CONSTRUCTION STANDARDS.

STORM SEWER NOTES:

- CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER MAIN CROSSES ABOVE OR BELOW STORM SEWER.
- CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER SERVICE CROSSES ABOVE OR BELOW STORM SEWER.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH SPECIFIED STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY.
- RIM ELEVATIONS FOR CURB INLETS IS TO THE TOP OF THE CAST IRON INLET COVER.
- ALL STORM SEWER AREA DRAINS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL DESIGN-BUILD STORM BUILDING LATERALS AND ASSOCIATED AREA DRAINS. CONTRACTOR SHALL MATCH DESIGN-BUILD STORM SEWER PIPE TYPE, SIZE AND SLOPE AS SHOWN ON THIS PLAN.

STORM SEWER DESIGN BUILD NOTES:

PROPOSED STORM SEWER SHOWN ON THIS PLAN LABELED WITH THE PLAN SYMBOL: (DB) SHALL BE DESIGN BUILD BY CONTRACTOR AND FOLLOW THE NOTES BELOW:

DESIGN BUILD STORM SEWER SHALL BE DIAMETER 10" HPDE, UNLESS OTHERWISE NOTED, SHALL HAVE A MINIMUM SLOPE OF 0.50%, UNLESS OTHERWISE NOTED AND SHALL HAVE A ABSOLUTE MINIMUM COVER OF 2'. AREA DRAIN RIM ELEVATIONS SHALL BE 1.25' BELOW THE FTE OF ADJACENT BUILDING UNLESS OTHERWISE SHOWN. THE PURPOSE OF THE DESIGN BUILD STORM SEWER LINES IS TO CONVEY STORM WATER RUNOFF FROM THE BUILDING'S DOWNSPOUT CONNECTIONS AND THE AREA DRAINS, WHICH DRAIN THE LANDSCAPE AREAS AROUND THE BUILDINGS. THE CONTRACTOR SHALL MOVE OR ADD AREA DRAINS IN THE FIELD AS NEEDED TO PROVIDE PROPER DRAINAGE AROUND ALL BUILDINGS.

DIGGERS HOTLINE
 Toll Free (800) 242-9811
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

R.A. SMITH NATIONAL ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH NATIONAL.

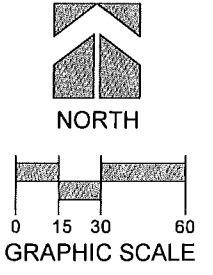
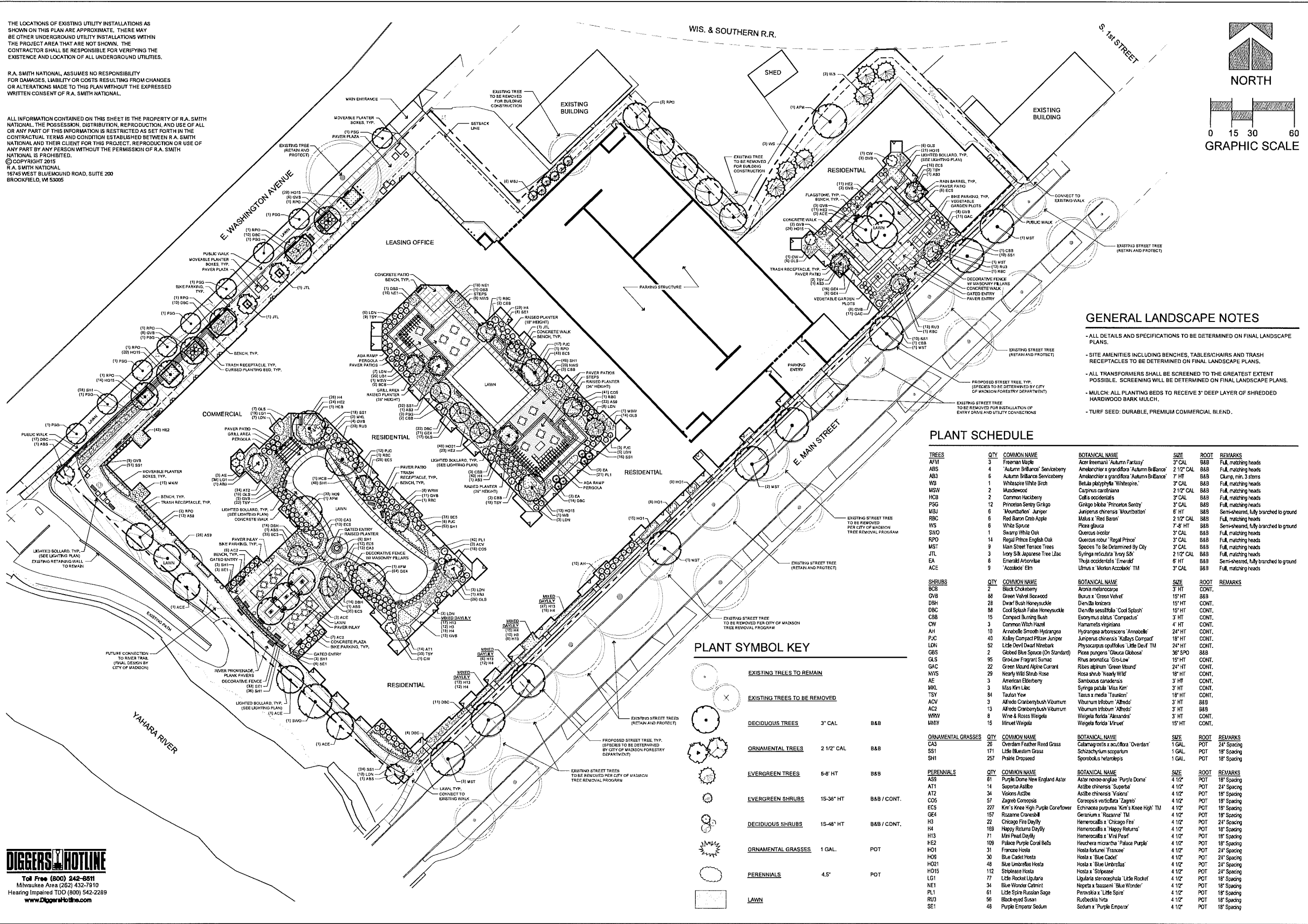
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESCRIPTION	
DATE	
R.A. Smith National <i>Beyond Surveying and Engineering</i> www.rasmithnational.com	
1801 WASHINGTON CITY OF MADISON, WI	UTILITY PLAN
© COPYRIGHT 2016 R.A. Smith National, Inc. DATE: 02/10/16 SCALE: 1" = 30' JOB NO. 3150290 PROJECT MANAGER: MICHAEL A. BACH, P.E. DESIGNED BY: MAB CHECKED BY: CDH SHEET NUMBER C400	

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

R.A. SMITH NATIONAL ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH NATIONAL.

ALL INFORMATION CONTAINED ON THIS SHEET IS THE PROPERTY OF R.A. SMITH NATIONAL. THE POSSESSION, DISTRIBUTION, REPRODUCTION, AND USE OF ALL OR ANY PART OF THIS INFORMATION IS RESTRICTED AS SET FORTH IN THE CONTRACTUAL TERMS AND CONDITIONS ESTABLISHED BETWEEN R.A. SMITH NATIONAL AND THEIR CLIENT FOR THIS PROJECT. REPRODUCTION OR USE OF ANY PART BY ANY PERSON WITHOUT THE PERMISSION OF R.A. SMITH NATIONAL IS PROHIBITED.
 © COPYRIGHT 2015
 R.A. SMITH NATIONAL
 16745 WEST BLUEMOUND ROAD, SUITE 200
 BROOKFIELD, WI 53005



- ### GENERAL LANDSCAPE NOTES
- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
 - SITE AMENITIES INCLUDING BENCHES, TABLES/CHAIRS AND TRASH RECEPTACLES TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
 - ALL TRANSFORMERS SHALL BE SCREENED TO THE GREATEST EXTENT POSSIBLE. SCREENING WILL BE DETERMINED ON FINAL LANDSCAPE PLANS.
 - MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
 - TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.

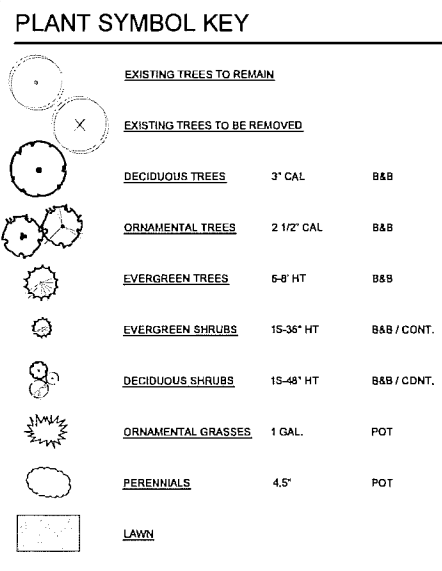
PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AFM	4	Freeman Maple	Acer freemanii 'Autumn Fantasy'	3" CAL	B&B	F&L, matching heads
ABS	3	'Autumn Brilliance' Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	2 1/2" CAL	B&B	F&L, matching heads
AB3	6	'Autumn Brilliance' Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	7" HT	B&B	Clump, min. 3 stems
WB	1	Whitespire White Birch	Betula papyrifera 'Whitespire'	3" CAL	B&B	F&L, matching heads
MSW	2	Muscadine	Cornus canadensis	2 1/2" CAL	B&B	F&L, matching heads
HCB	2	Common Hackberry	Celtis occidentalis	3" CAL	B&B	F&L, matching heads
PSG	12	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	3" CAL	B&B	F&L, matching heads
MSJ	6	'Mountain' Juniper	Juniperus chinensis 'Mountain'	6" HT	B&B	Semi-sheared, fully branched to ground
RBC	6	Red Baron Crab Apple	Malus x 'Red Baron'	2 1/2" CAL	B&B	F&L, matching heads
WS	6	White Spire	Picea glauca	7-8" HT	B&B	Semi-sheared, fully branched to ground
SNO	1	Swamp White Oak	Quercus bicolor	3" CAL	B&B	F&L, matching heads
RPO	4	Regal Pines English Oak	Quercus robur 'Regal Pines'	3" CAL	B&B	F&L, matching heads
MST	9	Man Street Terrace Trees	Species To Be Determined By City	3" CAL	B&B	F&L, matching heads
JTL	3	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	2 1/2" CAL	B&B	F&L, matching heads
EA	6	Emerald Anemone	Thalictrum occidentale 'Emerald'	6" HT	B&B	Semi-sheared, fully branched to ground
ACE	9	'Accolade' Elm	Ulmus x 'Morton Accolade' TM	3" CAL	B&B	F&L, matching heads

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
BCE	2	Black Chokeberry	Aronia melanocarpa	3" HT	CONT.	
GVB	28	Green Velvet Boronod	Buxus x 'Green Velvet'	15" HT	B&B	
DBH	28	Dwarf Bush Honeysuckle	Diervilla lonicera	15" HT	CONT.	
DBC	88	Cool Splash False Honeysuckle	Diervilla sessilifolia 'Cool Splash'	15" HT	CONT.	
CBB	15	Compact Burning Bush	Eonymus alatus 'Compactus'	3" HT	CONT.	
CW	3	Common Witch Hazel	Hamamelis virginiana	4" HT	CONT.	
AH	10	Arnicaelle Smooth Hydrangea	Hydrangea arborescens 'Arnicaelle'	24" HT	CONT.	
RJC	42	Red Jewel Pines Juniper	Juniperus chinensis 'Red Jewel'	18" HT	CONT.	
LDN	52	Little Dwarf Dwarf Nenebark	Physocarpus opulifolius 'Little Dwarf TM'	24" HT	CONT.	
CBS	2	Globed Blue Spruce (On Standard)	Picea pungens 'Gloeba Globosa'	36" SPO	B&B	
GLS	95	Go-Low Fragrant Sumac	Rhus aromatica 'Go-Low'	15" HT	CONT.	
GAC	22	Green Mound Alpine Currant	Ribes alpinum 'Green Mound'	24" HT	CONT.	
NYS	29	Nearly Wild Shrub Rose	Rosa shrub 'Nearly Wild'	18" HT	CONT.	
AE	3	American Elderberry	Sambucus canadensis	3" HT	CONT.	
MKL	3	Miss Kim Lilac	Syringa patula 'Miss Kim'	3" HT	CONT.	
TSY	84	Taunton Yew	Taxus x media 'Taunton'	18" HT	CONT.	
ACV	3	Alfredo Cranberrybush Viburnum	Viburnum trilobum 'Alfredo'	3" HT	B&B	
AC2	13	Alfredo Cranberrybush Viburnum	Viburnum trilobum 'Alfredo'	3" HT	B&B	
WRW	8	Wine & Roses Weigela	Weigela florida 'Alexandra'	3" HT	CONT.	
MNY	15	Minuet Weigela	Weigela florida 'Minuet'	15" HT	CONT.	

ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA3	26	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 GAL	POT	24" Spacing
SS1	171	Little Bluestem Grass	Schizachyrium scoparium	1 GAL	POT	18" Spacing
SH1	257	Prairie Dropseed	Sporobolus heterolepis	1 GAL	POT	18" Spacing

PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AS5	61	Purple Dome New England Aster	Aster novae-angliae 'Purple Dome'	4 1/2"	POT	18" Spacing
AT1	14	Superba Astilbe	Astilbe chinensis 'Superba'	4 1/2"	POT	24" Spacing
AT2	34	Visions Astilbe	Astilbe chinensis 'Visions'	4 1/2"	POT	18" Spacing
CO6	57	Zagreb Coreopsis	Coreopsis verticillata 'Zagreb'	4 1/2"	POT	18" Spacing
ECS	227	Kim's Knee High Purple Coneflower	Echinacea purpurea 'Kim's Knee High TM'	4 1/2"	POT	18" Spacing
GE4	157	Rozanne Cranesbill	Geranium x 'Rozanne' TM	4 1/2"	POT	18" Spacing
H3	72	Chicago Fire Daylily	Hemerocallis x 'Chicago Fire'	4 1/2"	POT	24" Spacing
H4	169	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	4 1/2"	POT	18" Spacing
H13	71	Mini Pearl Daylily	Hemerocallis x 'Mini Pearl'	4 1/2"	POT	18" Spacing
HE2	109	Palace Purple Coral Bells	Heuchera micrantha 'Palace Purple'	4 1/2"	POT	18" Spacing
HO1	31	Francee Hosta	Hosta fortunei 'Francee'	4 1/2"	POT	24" Spacing
HO9	30	Blue Cadet Hosta	Hosta x 'Blue Cadet'	4 1/2"	POT	24" Spacing
HO21	48	Blue Umbrellas Hosta	Hosta x 'Blue Umbrellas'	4 1/2"	POT	24" Spacing
HO15	112	Striped Hosta	Hosta x 'Striped'	4 1/2"	POT	24" Spacing
LG1	77	Little Rocker Lilyanna	Lilyanna stenosepalata 'Little Rocker'	4 1/2"	POT	18" Spacing
NE1	34	Blue Wonder Columbine	Negundo x 'Assassini' 'Blue Wonder'	4 1/2"	POT	18" Spacing
PL1	61	Little Spire Russian Sage	Perovskia x 'Little Spire'	4 1/2"	POT	18" Spacing
RU3	56	Black-eyed Susan	Rudbeckia hirta	4 1/2"	POT	18" Spacing
SE1	48	Purple Emperor Sedum	Sedum x 'Purple Emperor'	4 1/2"	POT	18" Spacing



DESCRIPTION	
DATE	
R.A. Smith National <i>Beyond Surveying and Engineering</i> www.rasmithnational.com	
1801 WASHINGTON CITY OF MADISON, WI	LANDSCAPE PLAN
© COPYRIGHT 2016 R.A. Smith National, Inc. DATE: 02/17/18 SCALE: 1" = 30' JOB NO. 3150290 PROJECT MANAGER: MICHAEL A. BACH, P.E. DESIGNED BY: LIJ/TM CHECKED BY: TM SHEET NUMBER L100	

DIGGERS HOTLINE
 Toll Free (800) 242-8511
 Milwaukee Area (262) 432-7910
 Hearing Impaired TDD (800) 542-2269
www.Diggerstothe.com



1 East Washington Perspective
Not To Scale: Illustrative

Perspective





1 East Washington Perspective
Not To Scale: Illustrative

Perspective





1 East Washington Perspective
Not To Scale: Illustrative

Perspective





1 East Main Street Perspective
Not To Scale: Illustrative

Perspective



1 East Main Street Perspective
Not To Scale: Illustrative

Perspective





1 East Main Street Perspective
Not To Scale: Illustrative

Perspective





1 East Main Street Courtyard Perspective
Not To Scale: Illustrative

Perspective



1 East Main Street Courtyard Perspective
Not To Scale: Illustrative

Perspective





1 East Main Street Courtyard Perspective
Not To Scale: Illustrative

Perspective



1 River Courtyard Perspective
Not To Scale: Illustrative

Perspective





1 River Courtyard Perspective
Not To Scale: Illustrative

Perspective



1 River Courtyard Perspective
Not To Scale: Illustrative







Perspective





1 Sky Lounge Perspective
Not To Scale: Illustrative

Perspective

-  Brick Kensington
-  Brick Tan
-  Brick Boston Red
-  Panel / Trim Attitude Gray (SW7060)
-  Panel / Trim Accessible Beige (SW7036)
-  Panel / Trim Black Fox (SW7020)



2 River Elevation
Scale: 1/16" = 1'-0"

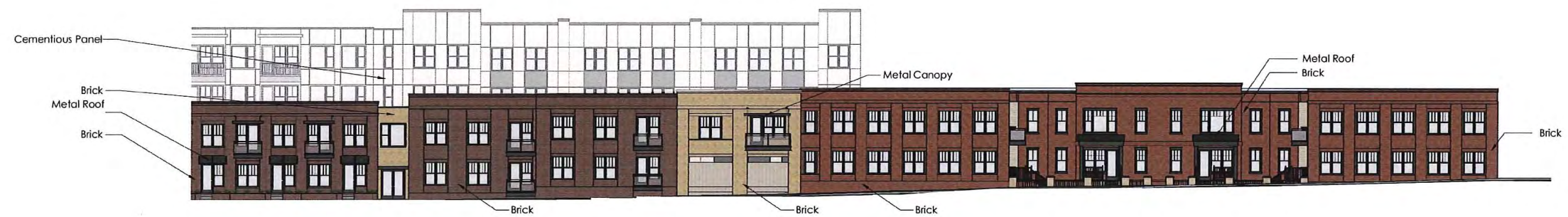
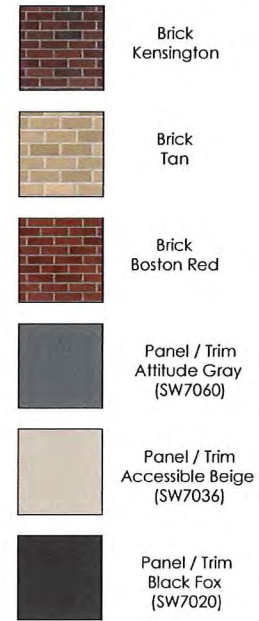
Elevation



1 East Washington Elevation
Scale: 1/16" = 1'-0"

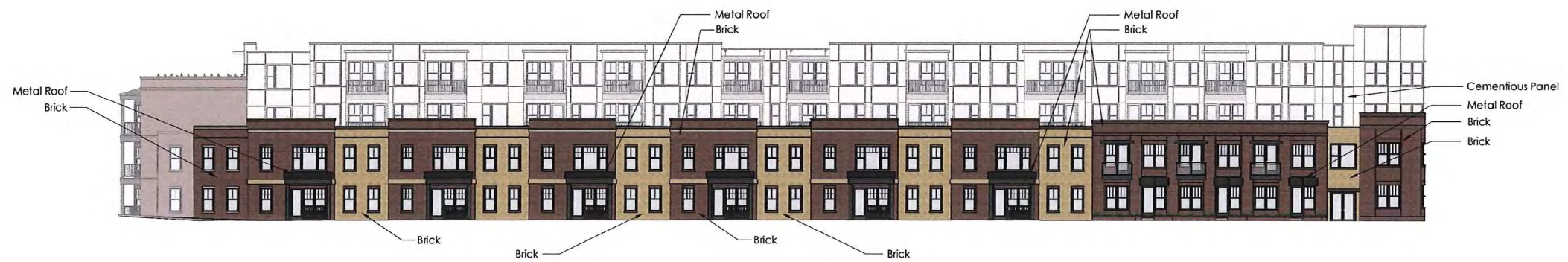
Elevation





2 East Main St. Enlarged Elevation
Scale: 1/16" = 1'-0"

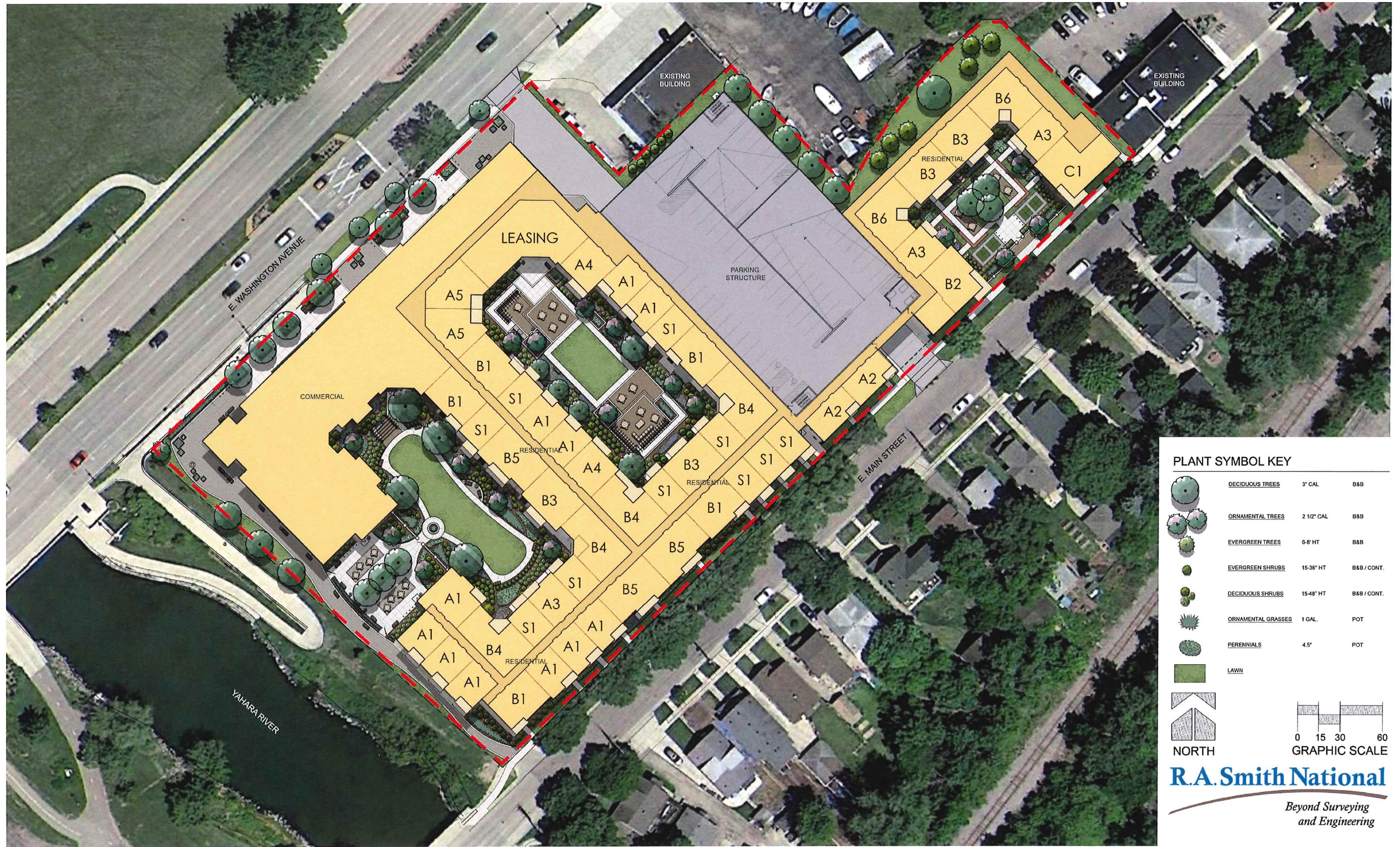
Elevation



1 East Main St. Enlarged Elevation
Scale: 1/16" = 1'-0"

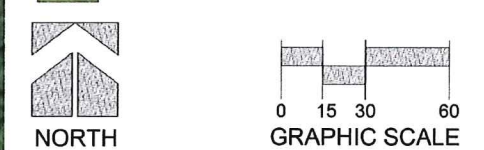
Elevation





PLANT SYMBOL KEY

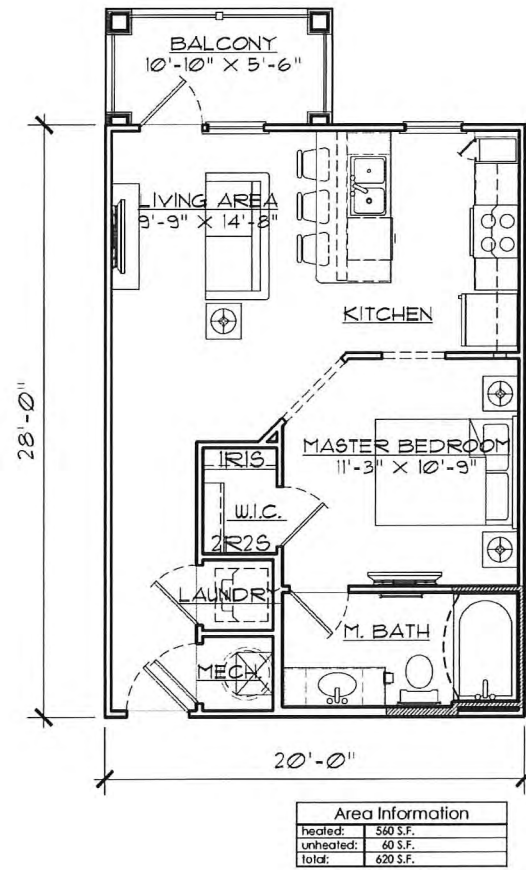
	DECIDUOUS TREES	3" CAL	B&B
	ORNAMENTAL TREES	2 1/2" CAL	B&B
	EVERGREEN TREES	6-8' HT	B&B
	EVERGREEN SHRUBS	15-36" HT	B&B / CONT.
	DECIDUOUS SHRUBS	15-48" HT	B&B / CONT.
	ORNAMENTAL GRASSES	1 GAL.	POT
	PERENNIALS	4.5"	POT
	LAWN		



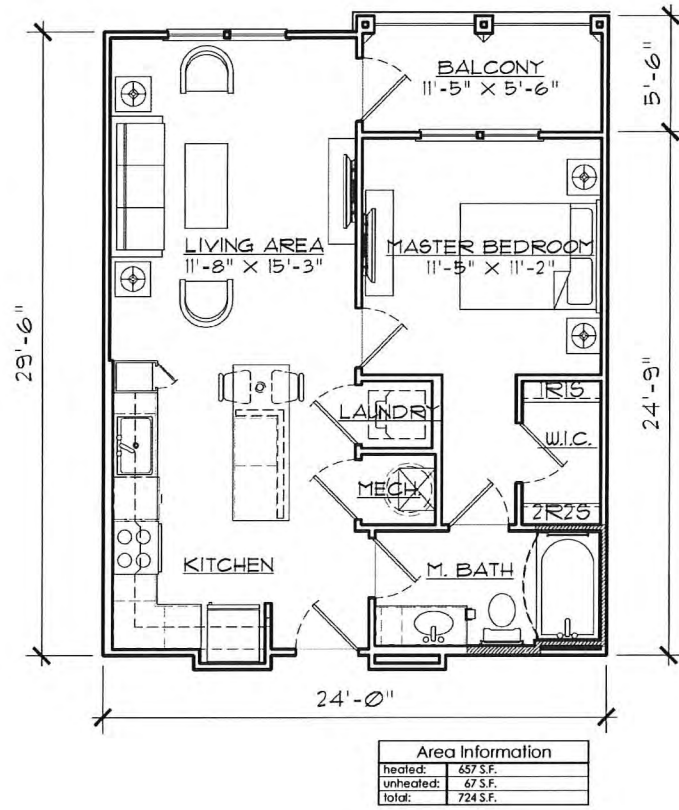
R.A. Smith National

*Beyond Surveying
and Engineering*

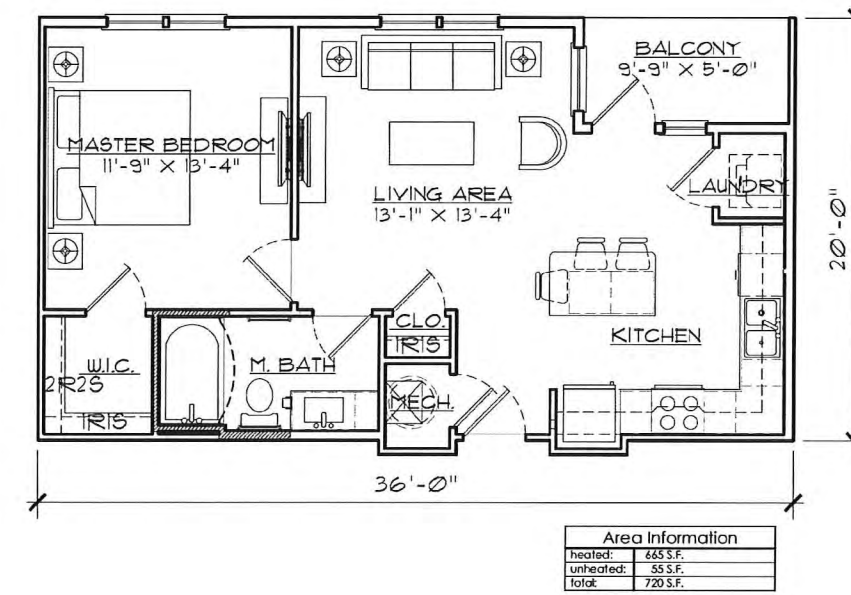
Project Data		Marling Lumber Property, Madison Wisconsin								Unit Totals			
Unit Description										02/10/16			
Name	Description	Heated S.F.	Unheated S.F.	Gross S.F.	Building 1					Total	Unit %	Net S.F.	Gross S.F.
Number of Residential Stories					1	2	3	4	4a				
S1	1BR/1BA	560	60	620	10	10	13	12	1	46	20.18%	25,760	28,520
A1	1BR/1BA	657	67	724	11	11	13	10	5	50	21.93%	32,850	36,200
A2	1BR/1BA	665	55	720	2	3	0	0	0	5	2.19%	3,325	3,600
A3	1BR/1BA	730	69	799	5	3	4	4	3	19	8.33%	13,870	15,181
A4	1BR/1BA	788	76	864	2	2	5	5	0	14	6.14%	11,032	12,096
A5	1BR/1BA/ DEN	960	76	1036	2	0	6	6	6	20	8.77%	19,200	20,720
One Bedroom Totals					32	29	41	37	15	154	67.54%		
B1	2BR/1BA	941	61	1002	3	5	3	3	0	14	6.14%	13,174	14,028
B2	2BR/1BA	955	135	1090	1	0	2	2	2	7	3.07%	6,685	7,630
B3	2BR/2BA	1013	86	1099	4	4	5	5	3	21	9.21%	21,273	23,079
B4	2BR/2BA	1131	139	1270	4	4	0	0	0	8	3.51%	9,048	10,160
BX	2BR/2BA	1148	134	1282	0	0	0	0	0	0	0.00%	0	0
B5	2BR/2BA	1194	67	1261	3	3	3	3	2	14	6.14%	16,716	17,654
B6	2BR/2BA	1125	99	1224	2	2	1	1	1	7	3.07%	7,875	8,568
Two Bedroom Totals					17	18	14	14	8	71	31.14%		
C1	3BR/3BA	1451	139	1590	1	2	0	0	0	3	1.32%	4,353	4,770
Three Bedroom Totals					1	2	0	0	0	3	1.32%		
					Grand Totals								
Average Unit					50	49	55	51	23	228	100.00%	185,161	202,206



1 Unit S1
Scale: 1/4"=1'-0"
Plan

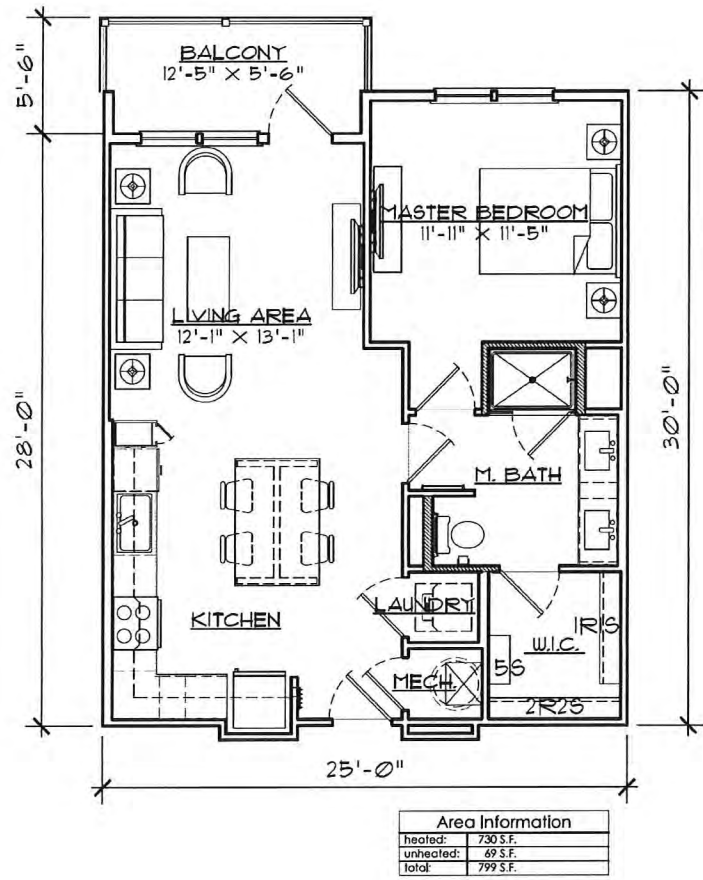


2 Unit A1
Scale: 1/4"=1'-0"
Plan

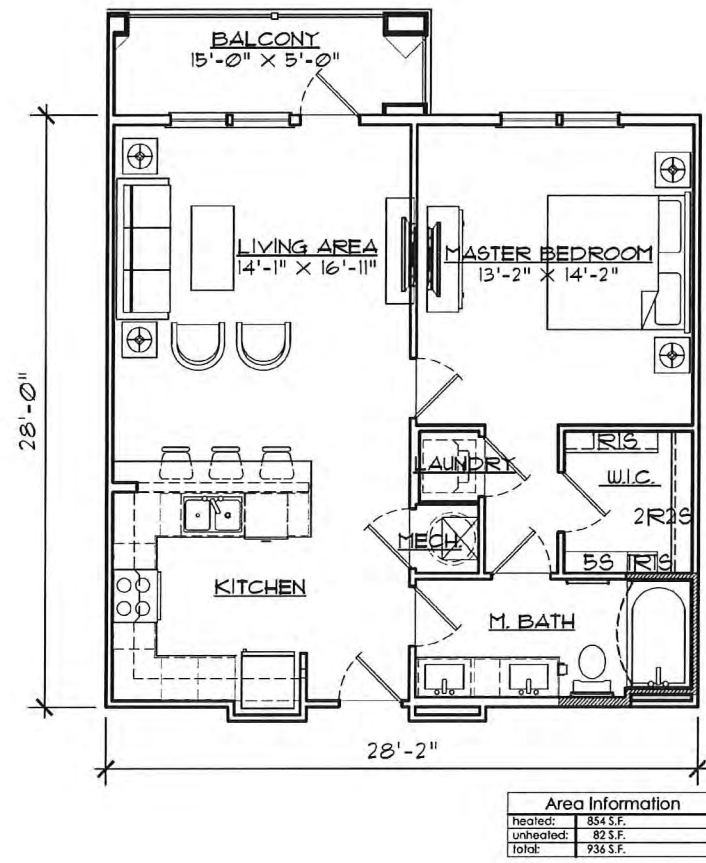


3 Unit A2
Scale: 1/4"=1'-0"
Plan

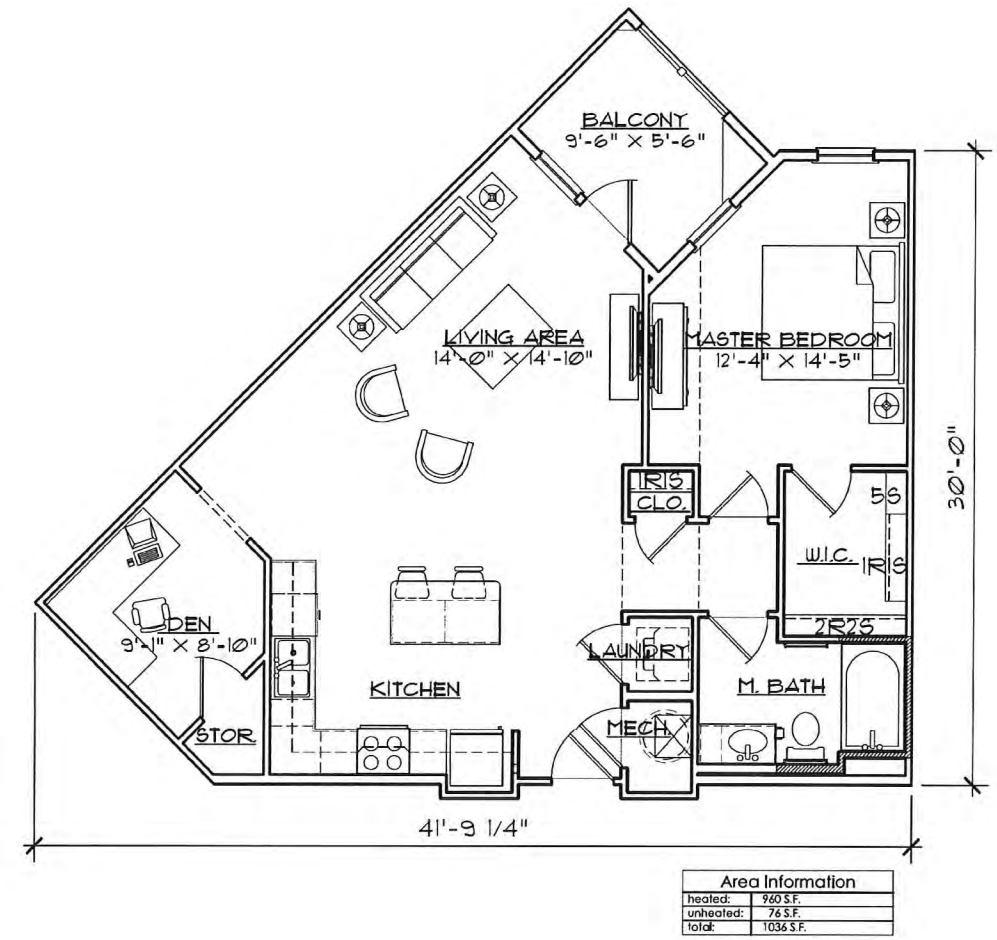




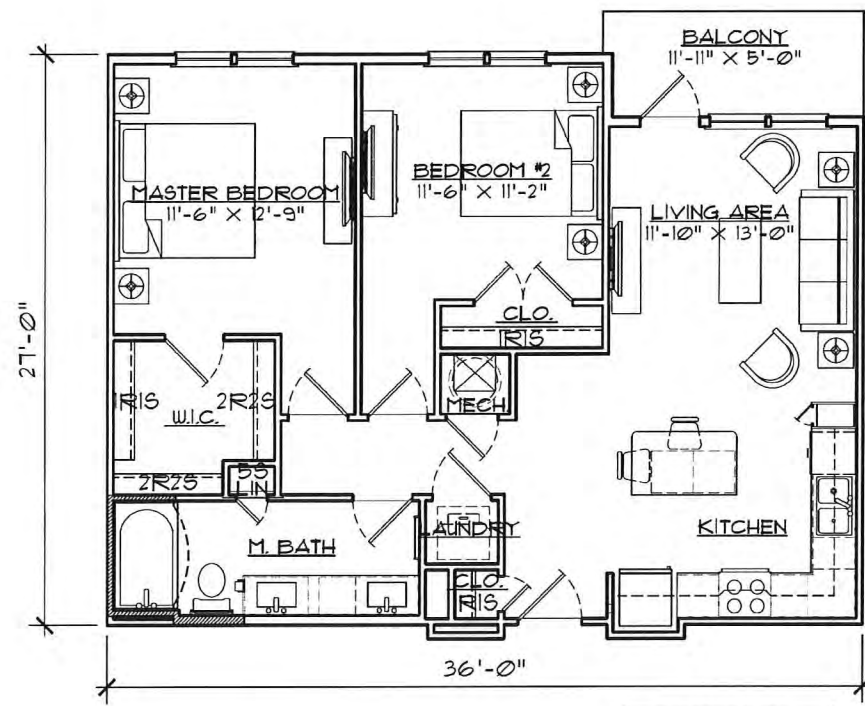
1 Unit A3
Scale: 1/4"=1'-0"
Plan



2 Unit A4
Scale: 1/4"=1'-0"
Plan



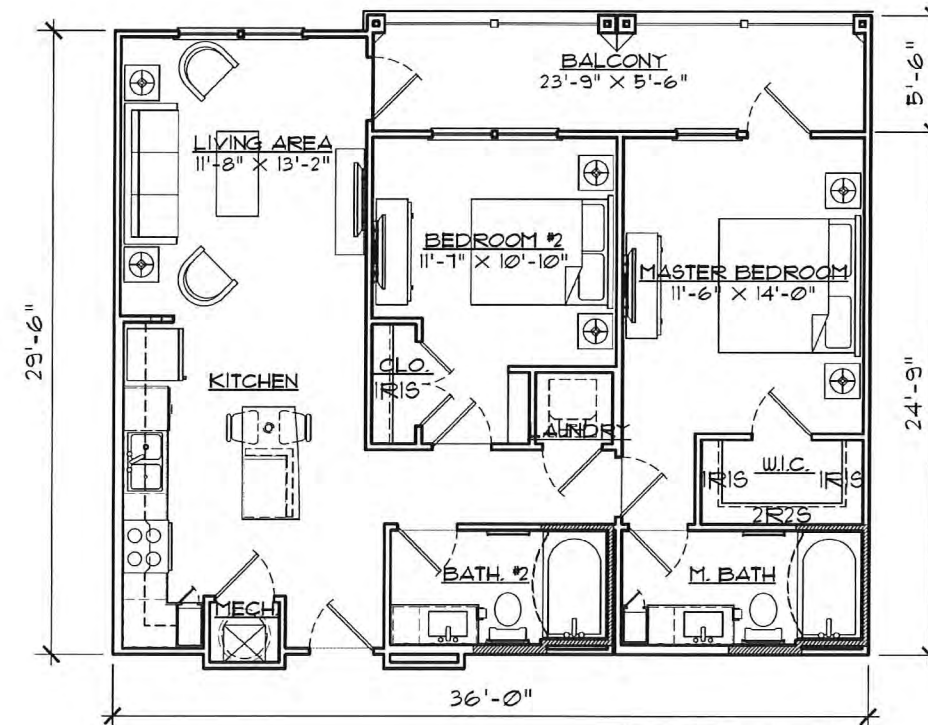
3 Unit A5
Scale: 1/4"=1'-0"
Plan



Area Information	
heated:	941 S.F.
unheated:	61 S.F.
Total:	1002 S.F.

1 Unit B1
Scale: 1/4"=1'-0"

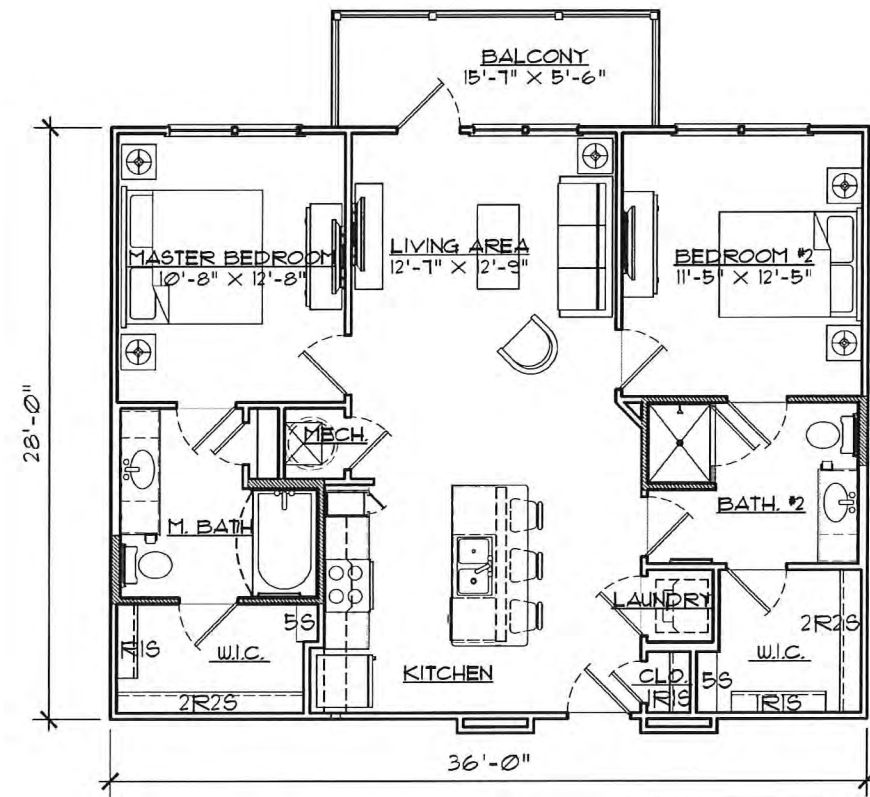
Plan



Area Information	
heated:	955 S.F.
unheated:	135 S.F.
Total:	1090 S.F.

2 Unit B2
Scale: 1/4"=1'-0"

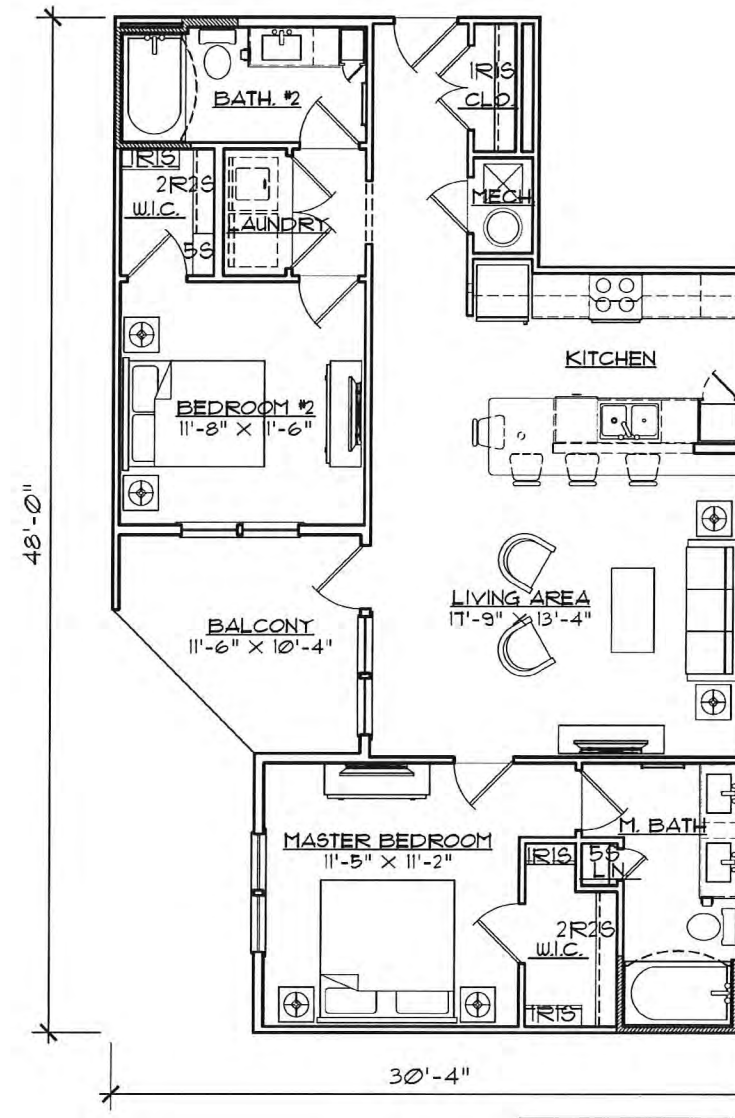
Plan



Area Information	
heated:	1013 S.F.
unheated:	86 S.F.
total:	1099 S.F.

1 Unit B3
Scale: 1/4"=1'-0"

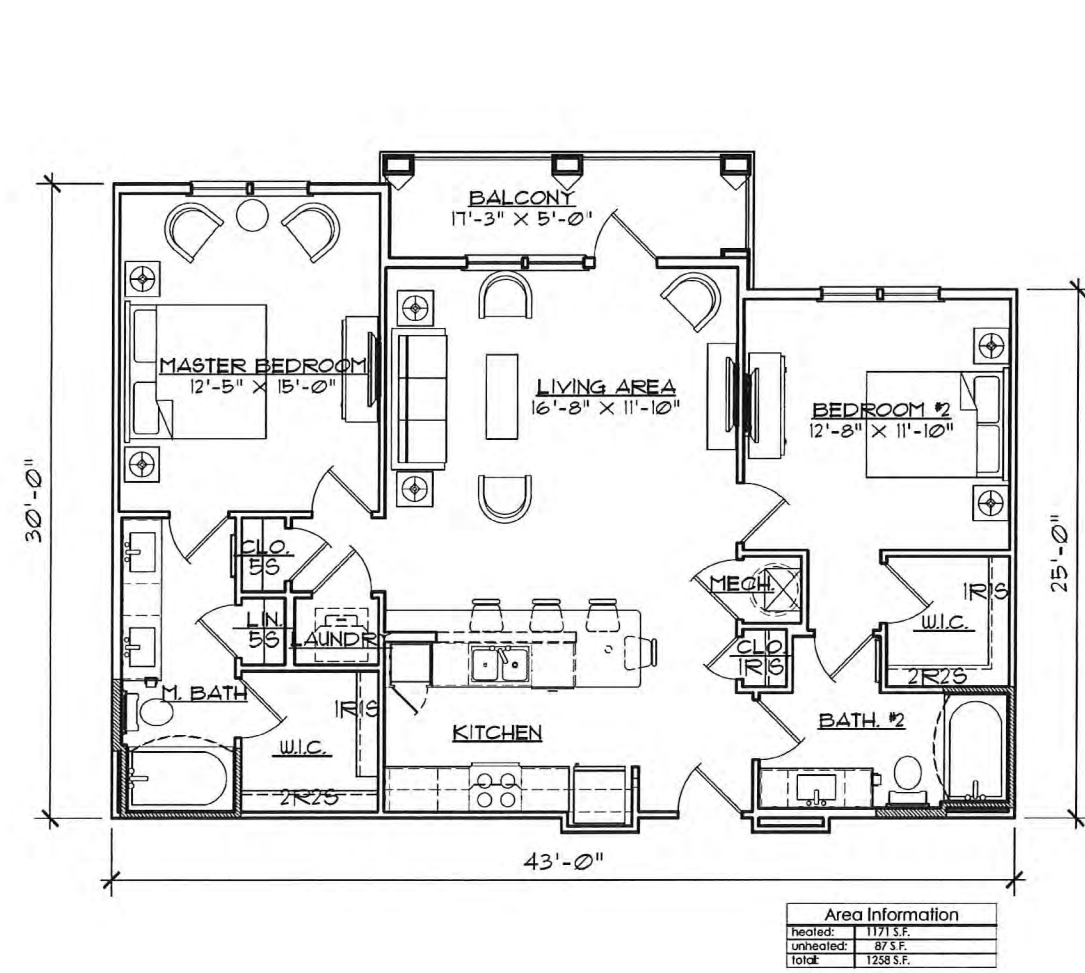
Plan



Area Information	
heated:	1125 S.F.
unheated:	99 S.F.
total:	1224 S.F.

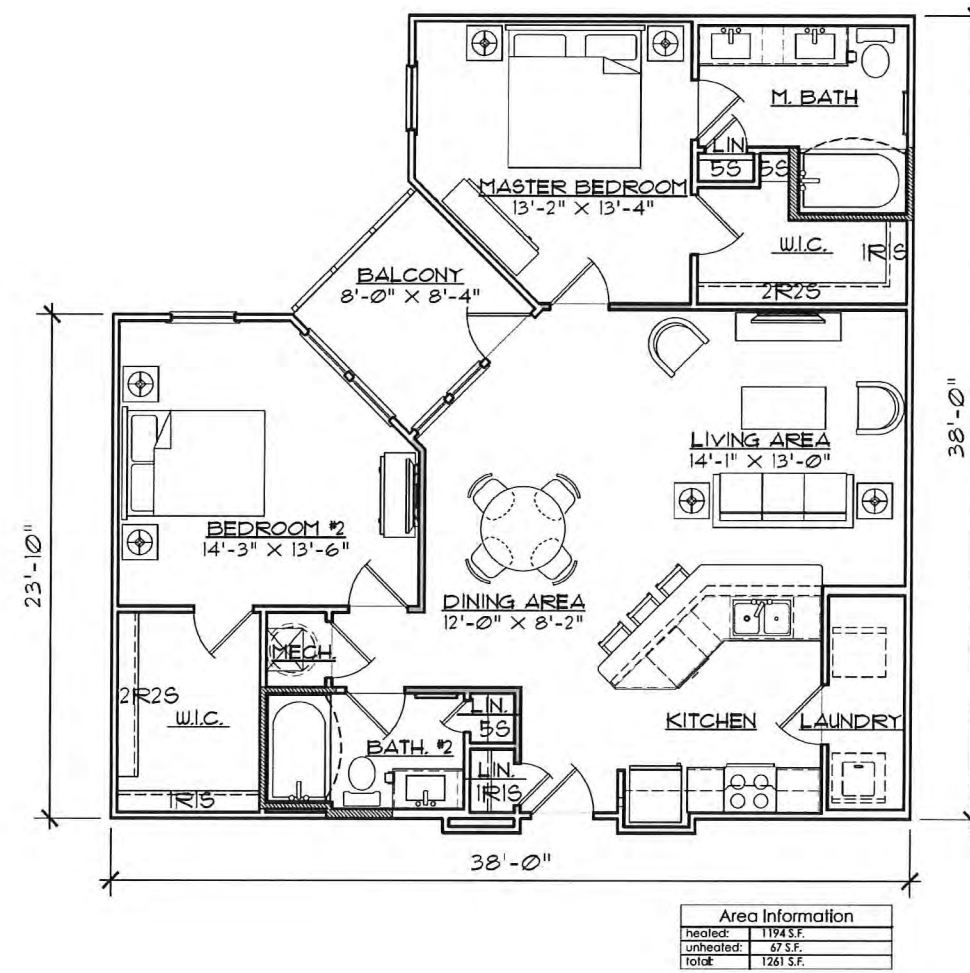
2 Unit B4
Scale: 1/4"=1'-0"

Plan



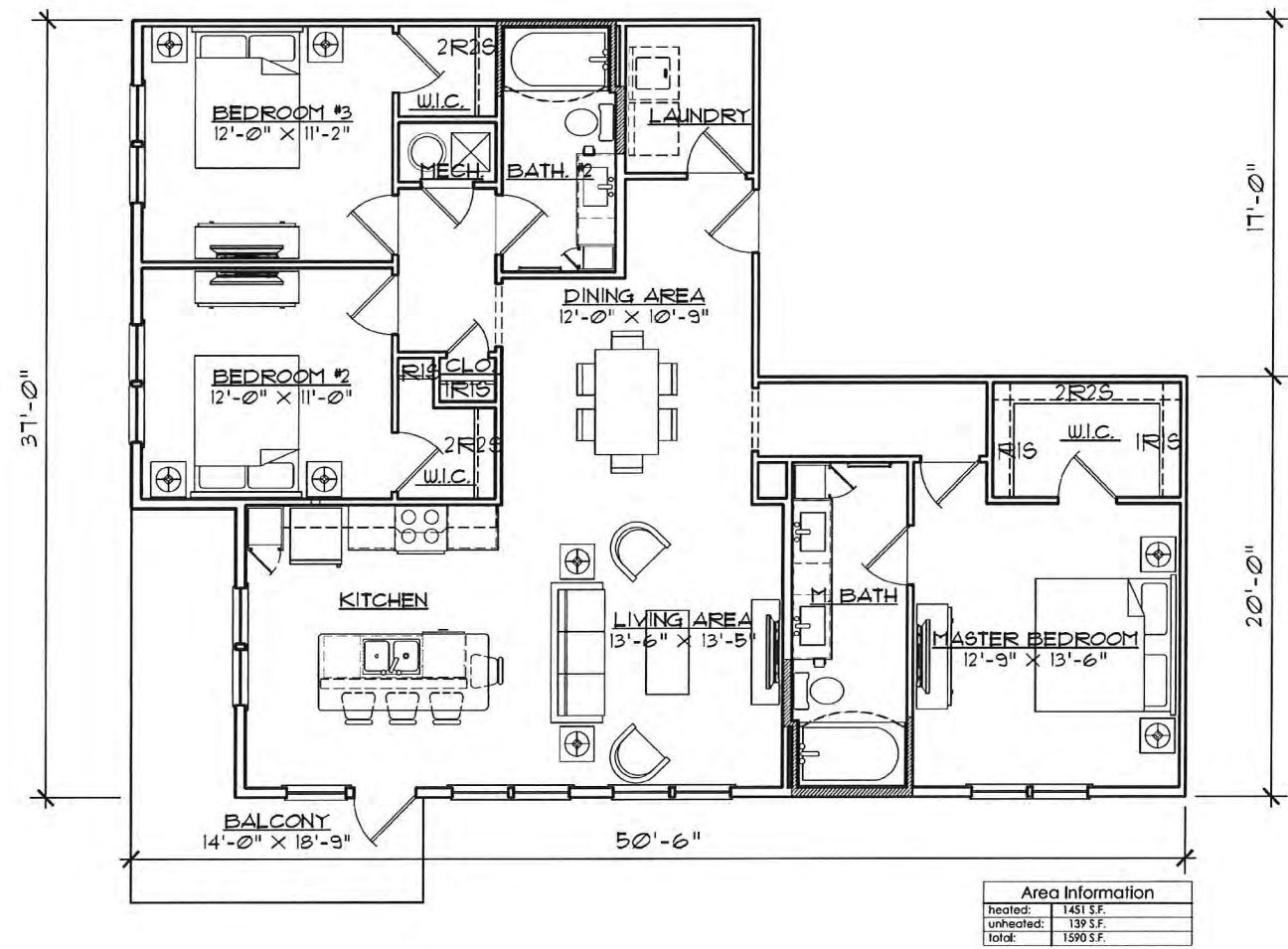
1 Unit B5
Scale: 1/4"=1'-0"

Plan



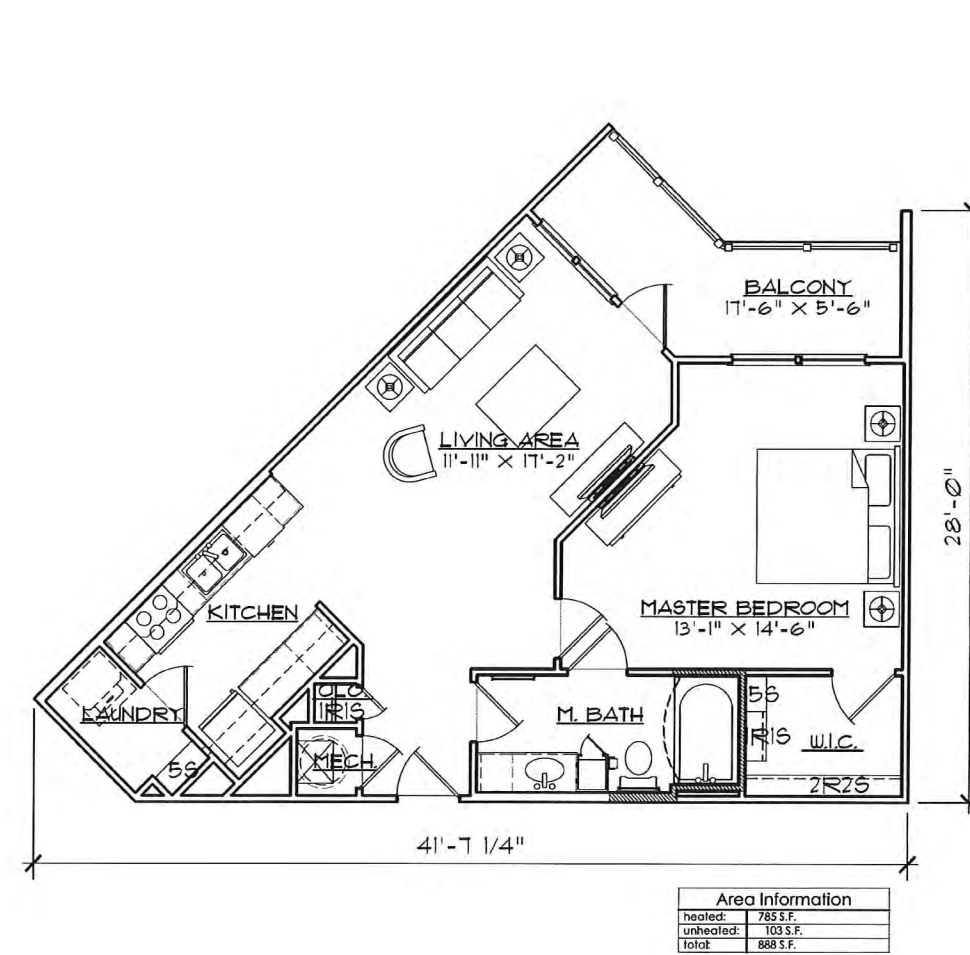
2 Unit B6
Scale: 1/4"=1'-0"

Plan



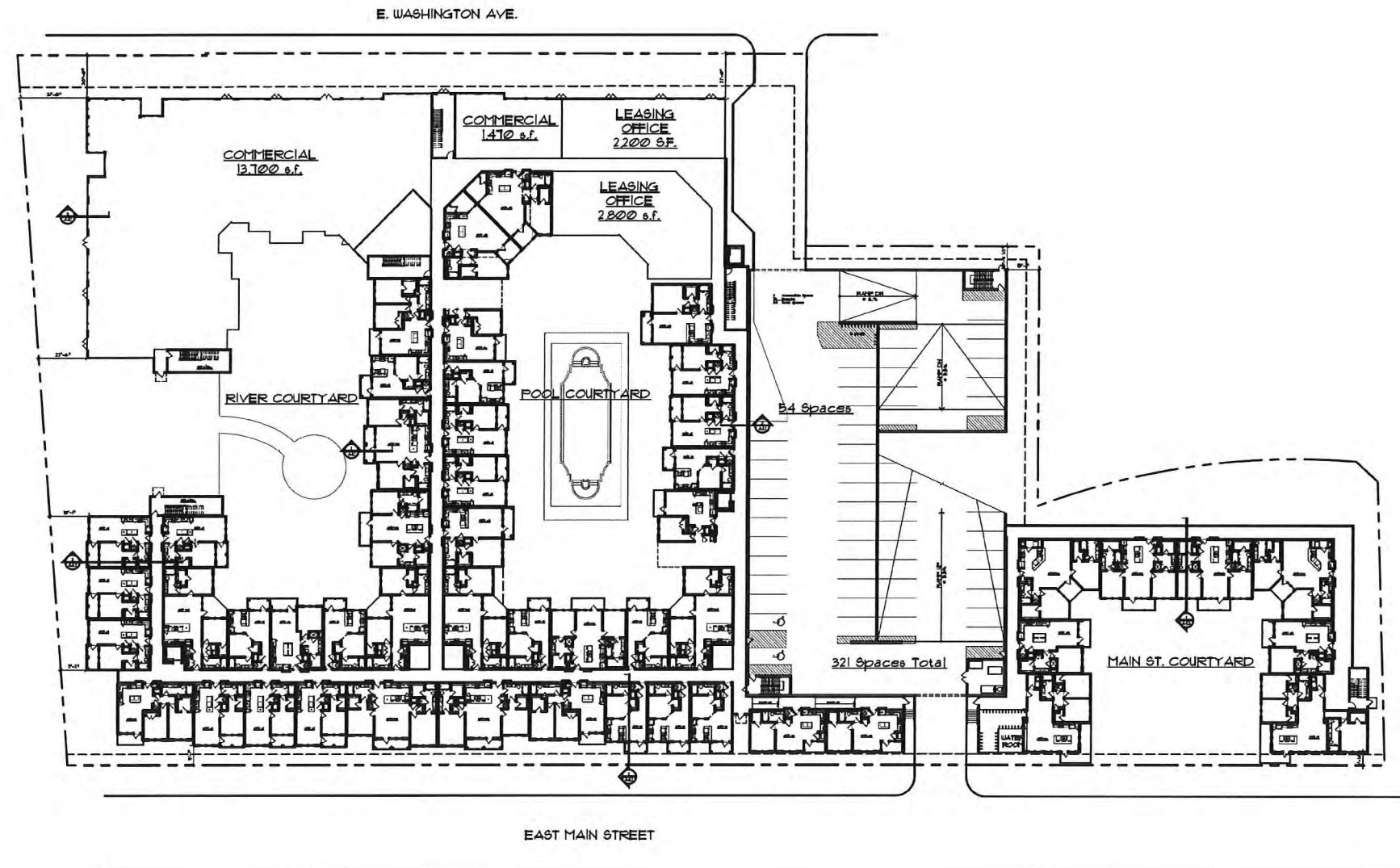
1 Unit C1
Scale: 1/4"=1'-0"

Plan



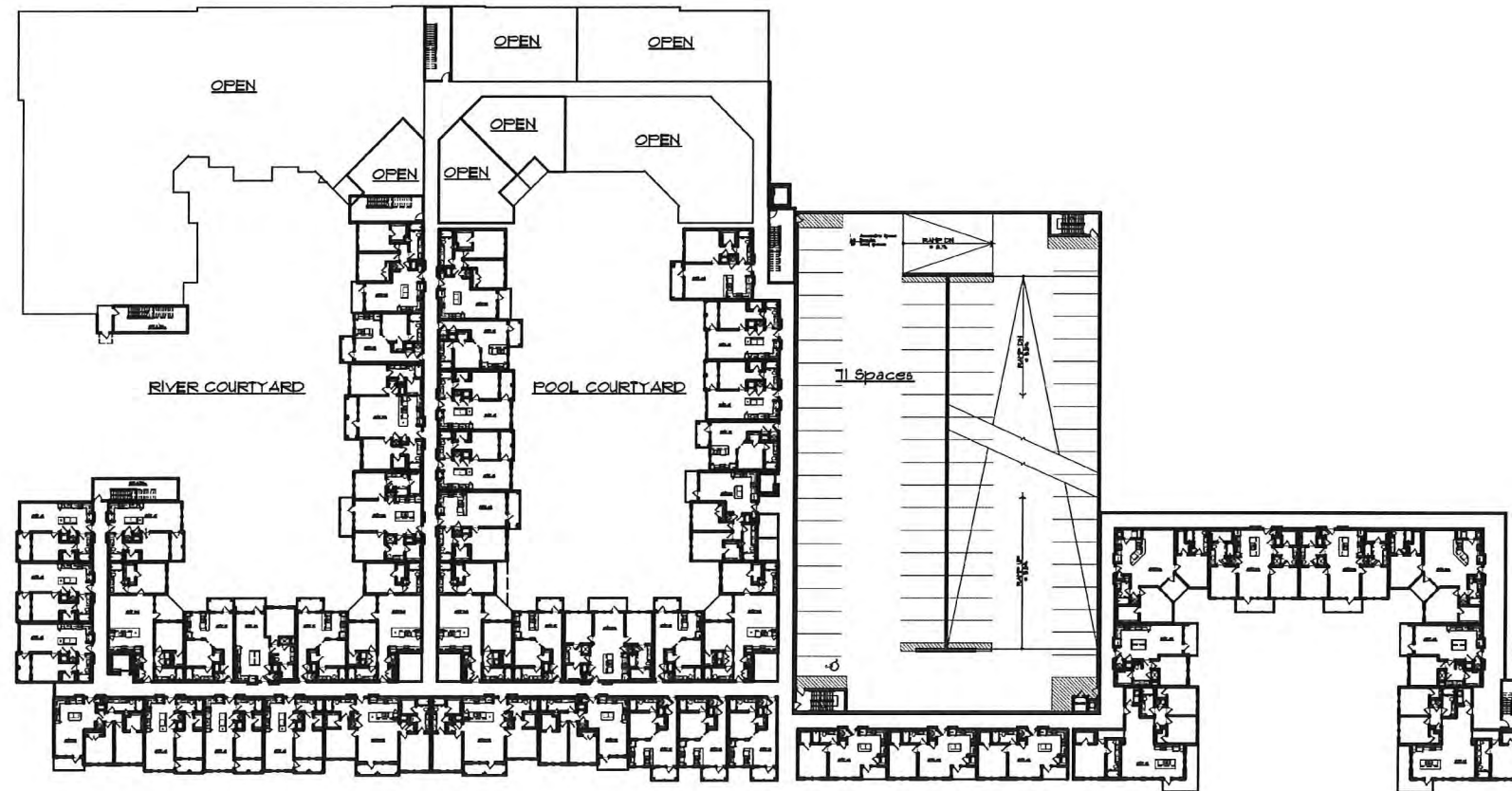
2 Unit A5-ALTERNATE
Scale: 1/4"=1'-0"

Plan



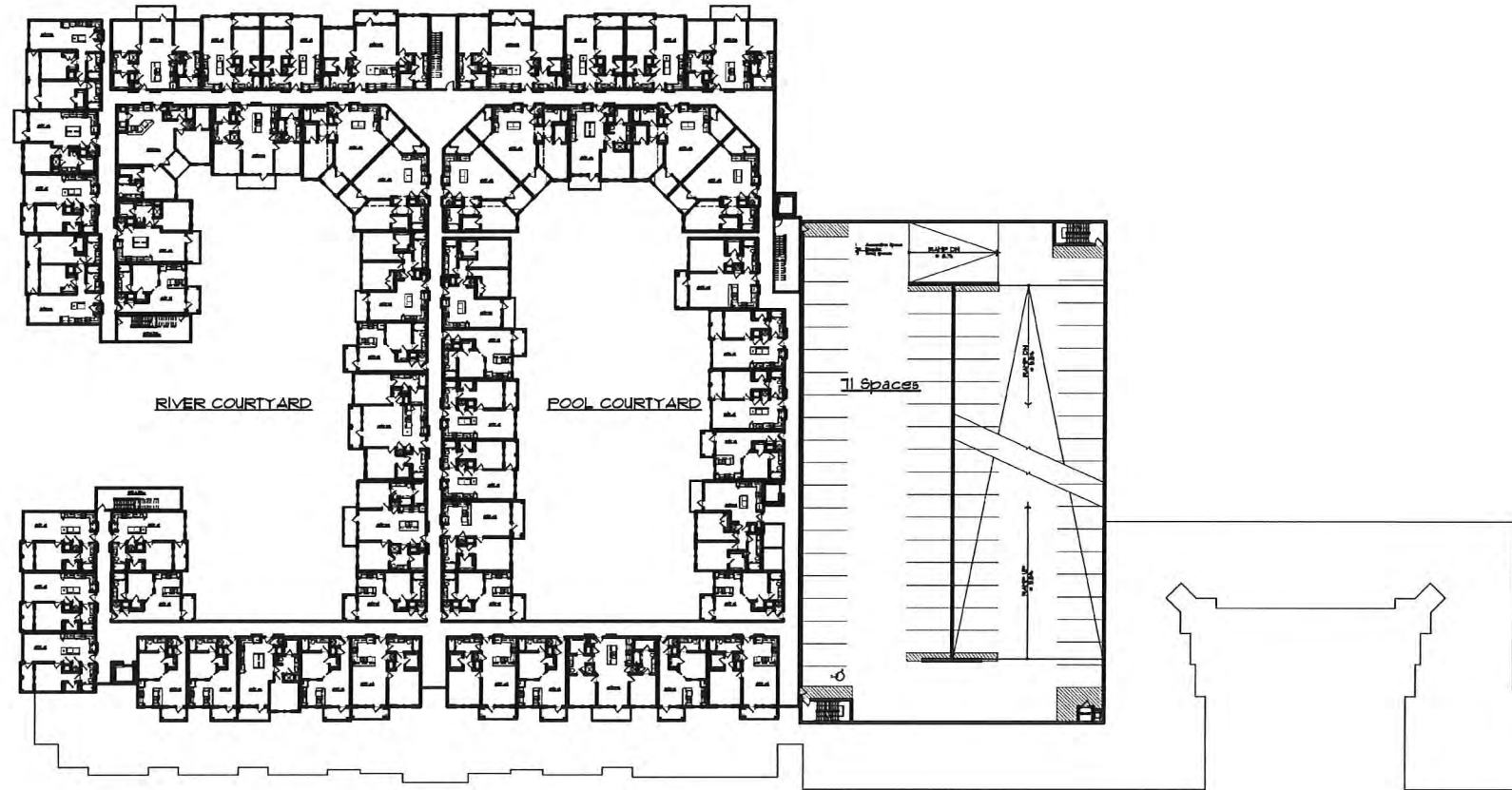
1 Building Plan - Level 1
Scale: 1/32"=1'-0"

Plan



1 Building Plan - Level 2
Scale: 1/32"=1'-0"

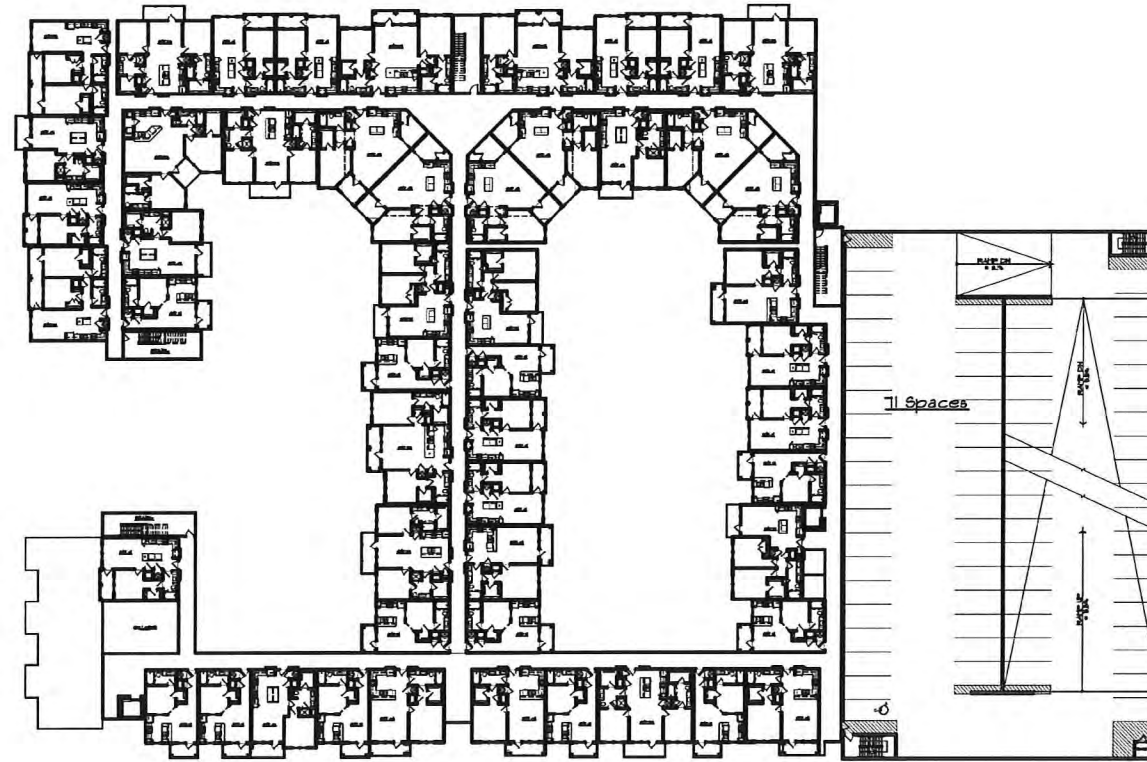
Plan



1 Building Plan - Level 3
Scale: 1/32" = 1'-0"

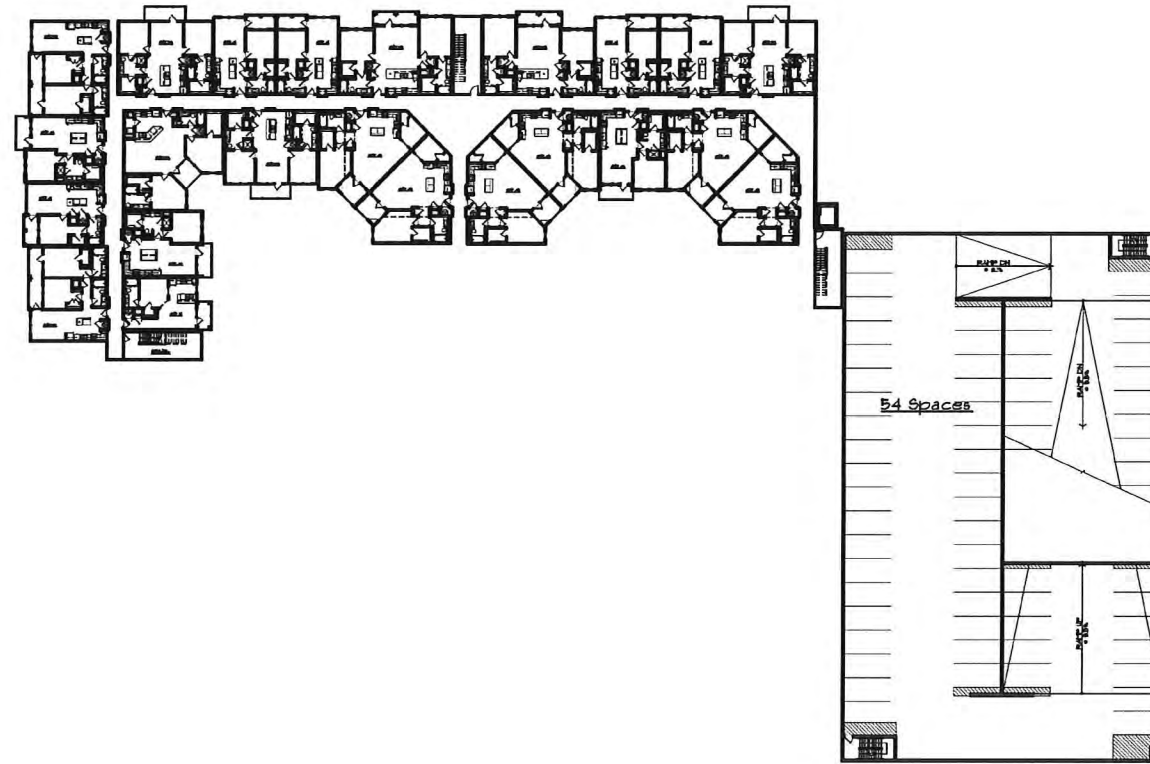
Plan





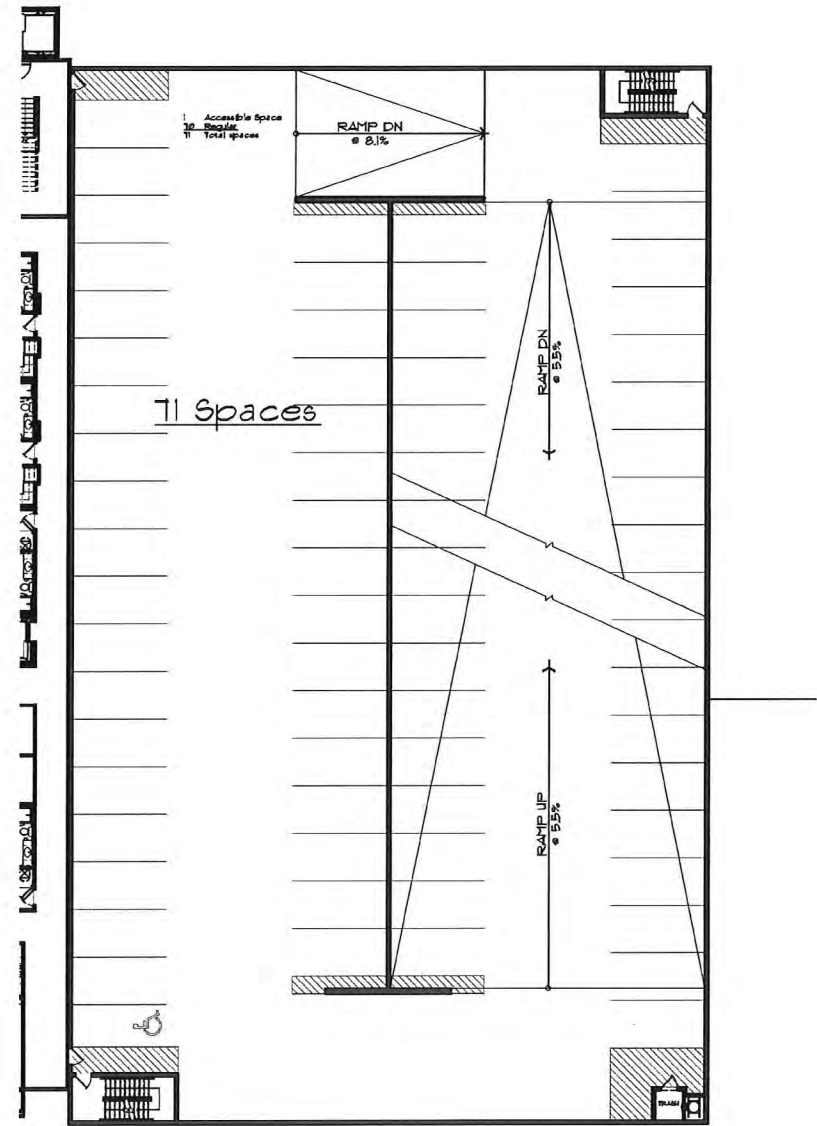
1 Building Plan - Level 4
Scale: 1/32" = 1'-0"

Plan

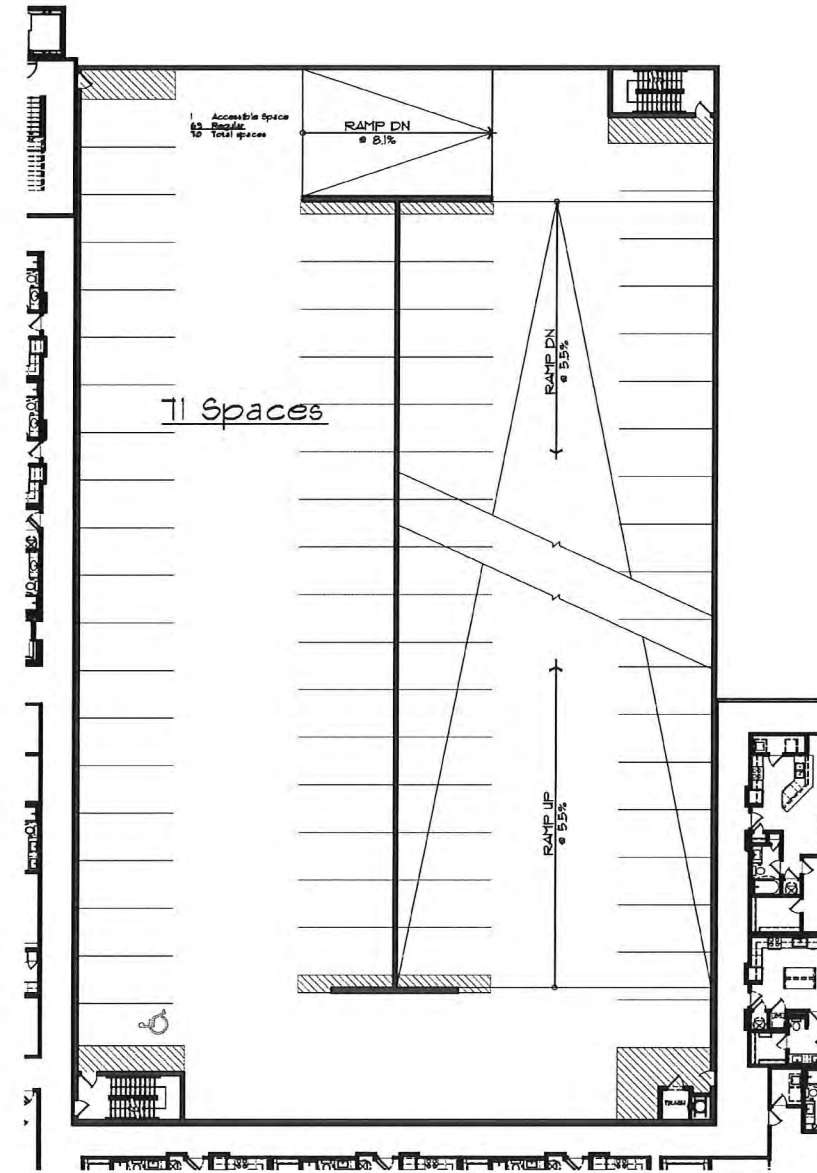


1 Building Plan - Level 4A
Scale: 1/32"=1'-0"

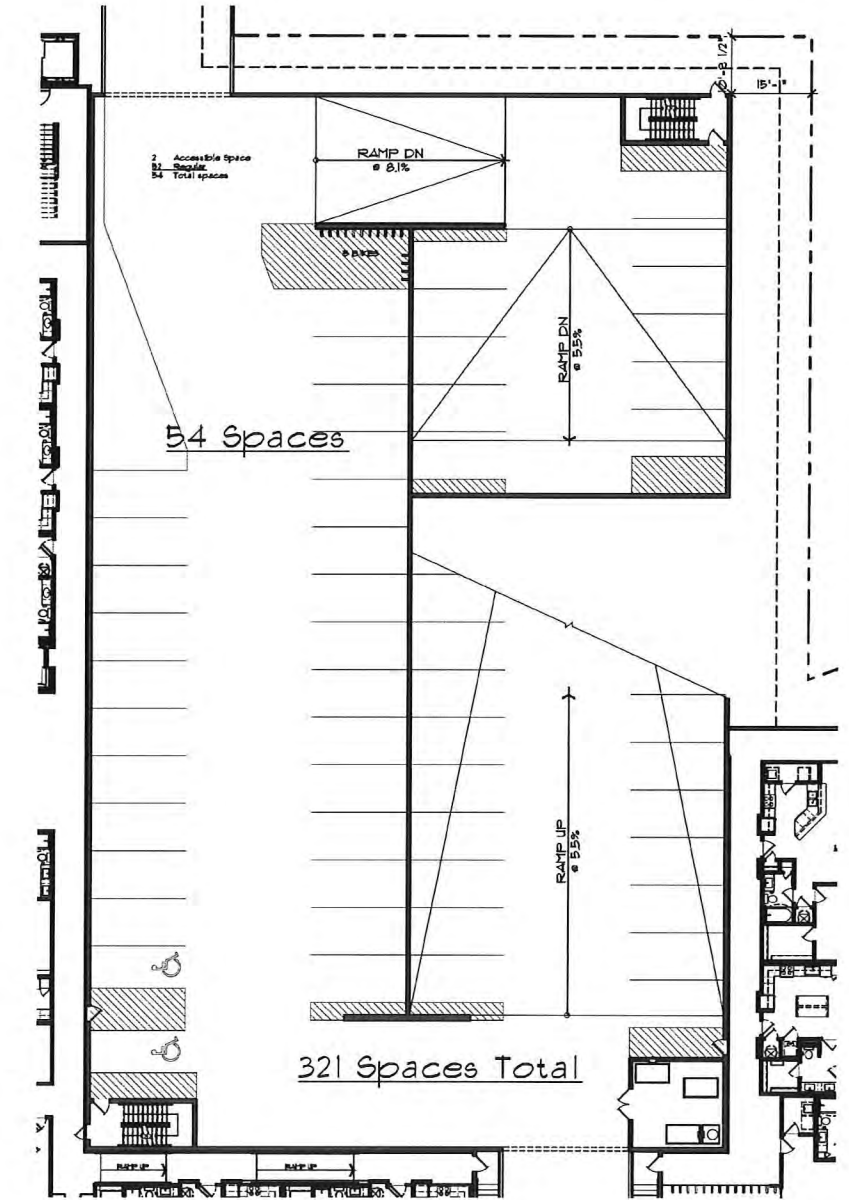
Plan



3 Parking Garage - Level 3
Scale: 1/16"=1'-0"
Plan



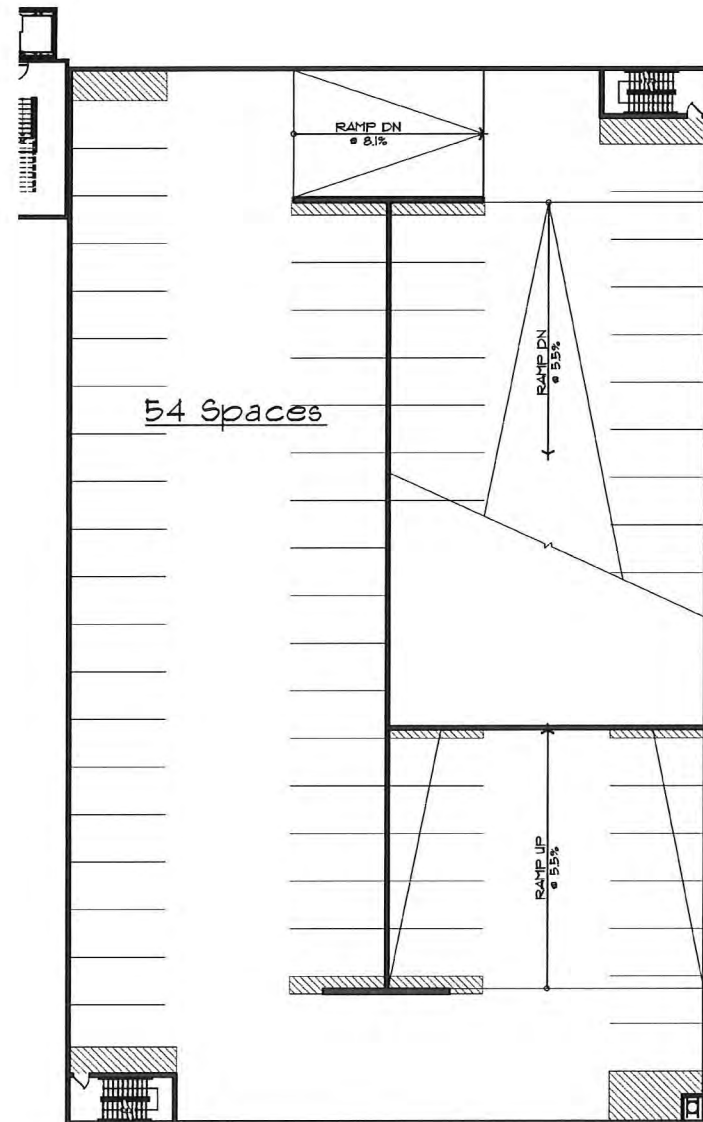
2 Parking Garage - Level 2
Scale: 1/16"=1'-0"
Plan



1 Parking Garage - Level 1
Scale: 1/16"=1'-0"
Plan

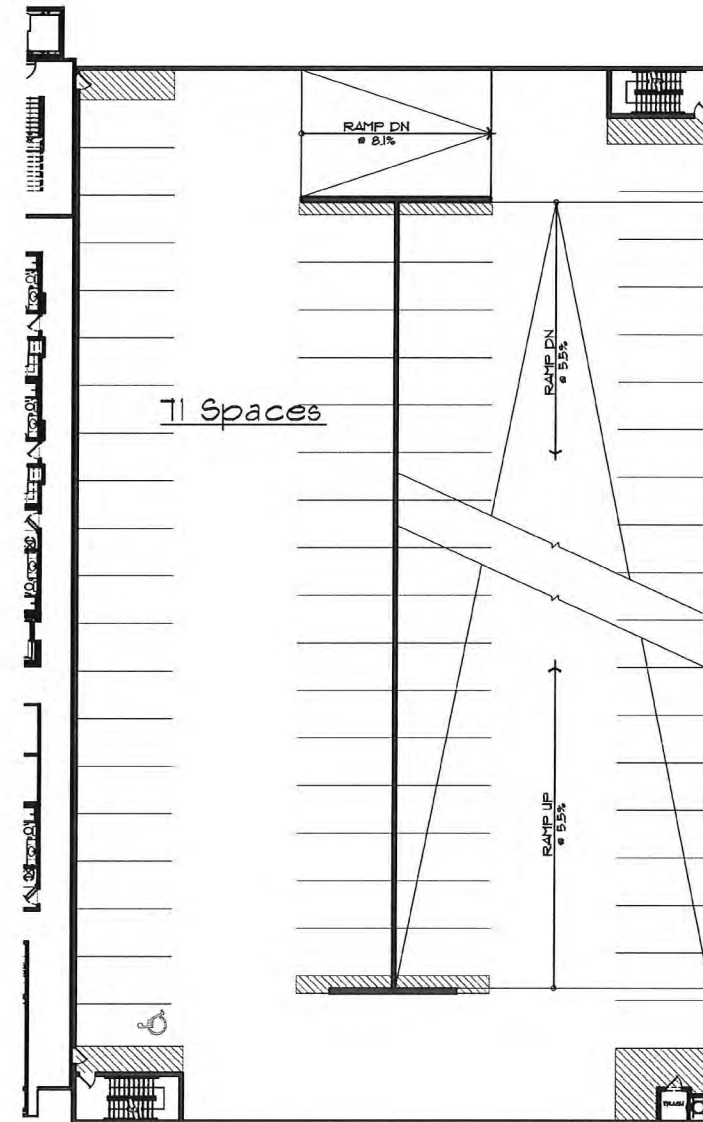
PARKING DATA	
Restricted Parking:	
Level 1	54 SPACES
Level 2	71 SPACES
Level 3	71 SPACES
Level 4	71 SPACES
Level 5	54 SPACES
TOTAL	321 SPACES





② Parking Garage - Level 5
Scale: 1/16"=1'-0"

Plan

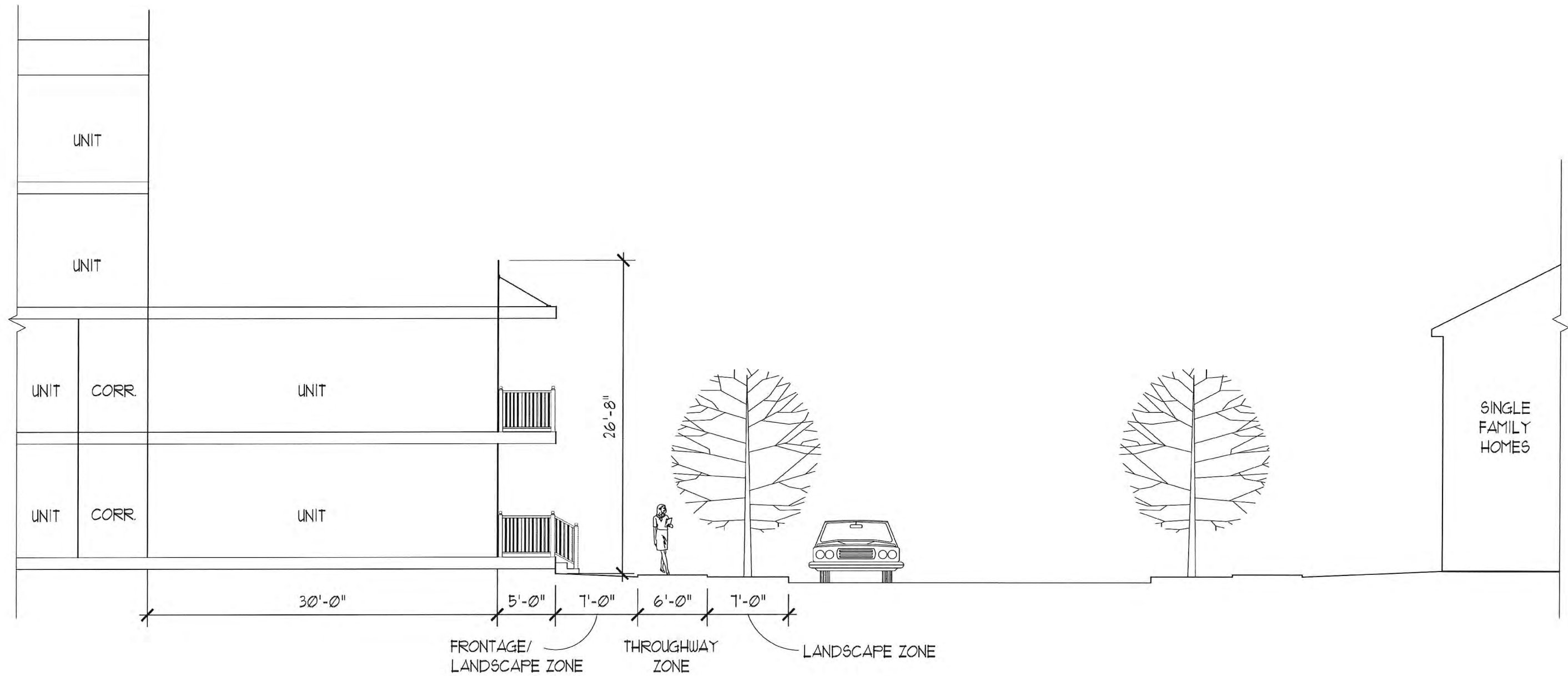


① Parking Garage - Level 4
Scale: 1/16"=1'-0"

Plan

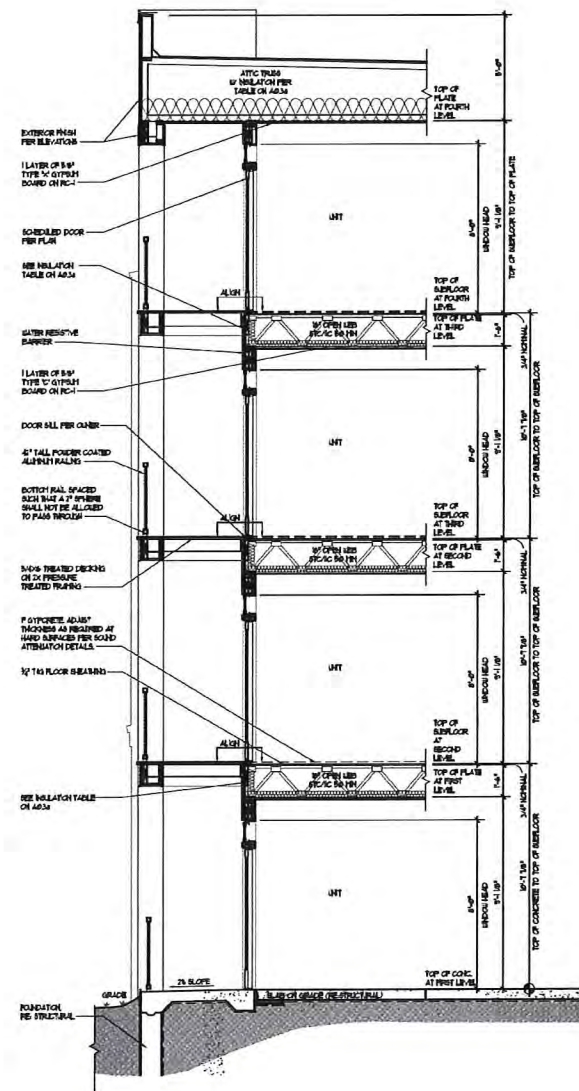
PARKING DATA	
Seasonal Parking:	
Level 1	54 SPACES
Level 2	71 SPACES
Level 3	71 SPACES
Level 4	71 SPACES
Level 5	54 SPACES
TOTAL	321 SPACES



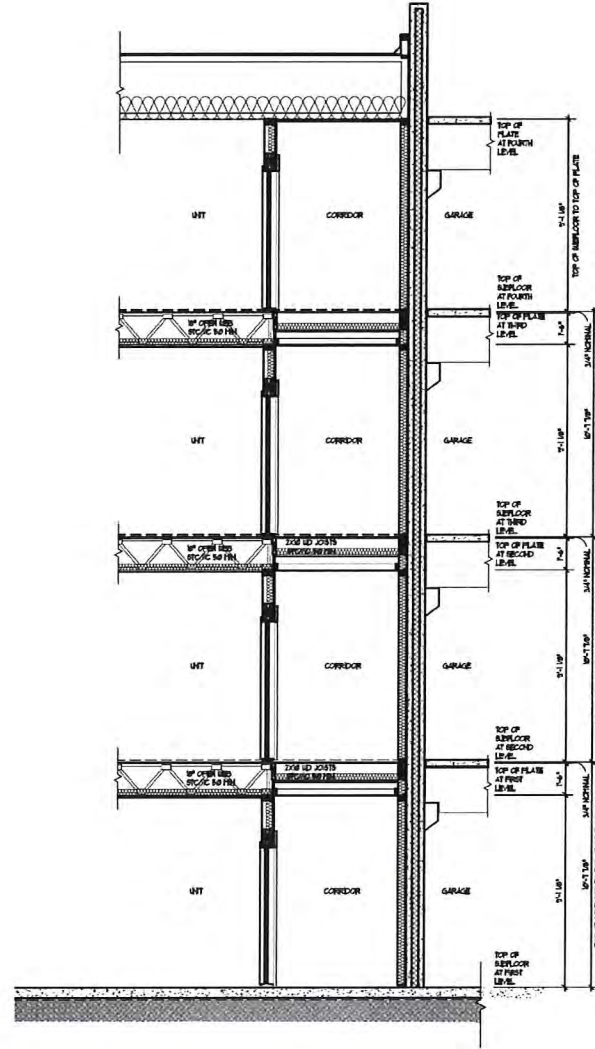


1 Street Section - Main Street
Scale: 1/4"=1'-0"

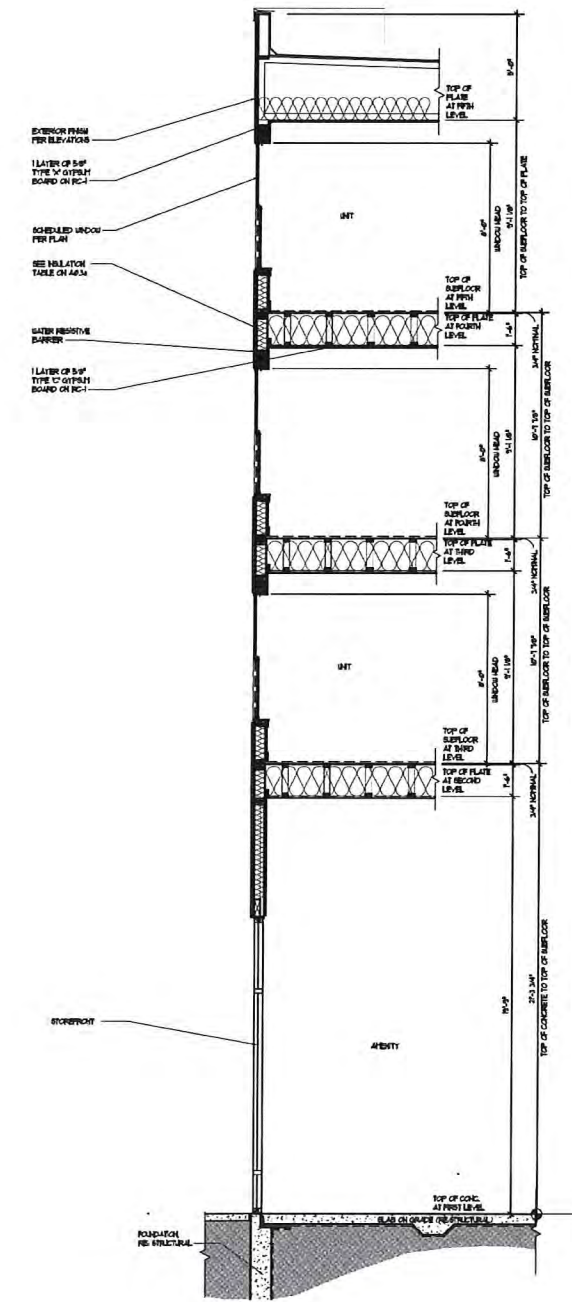
Section



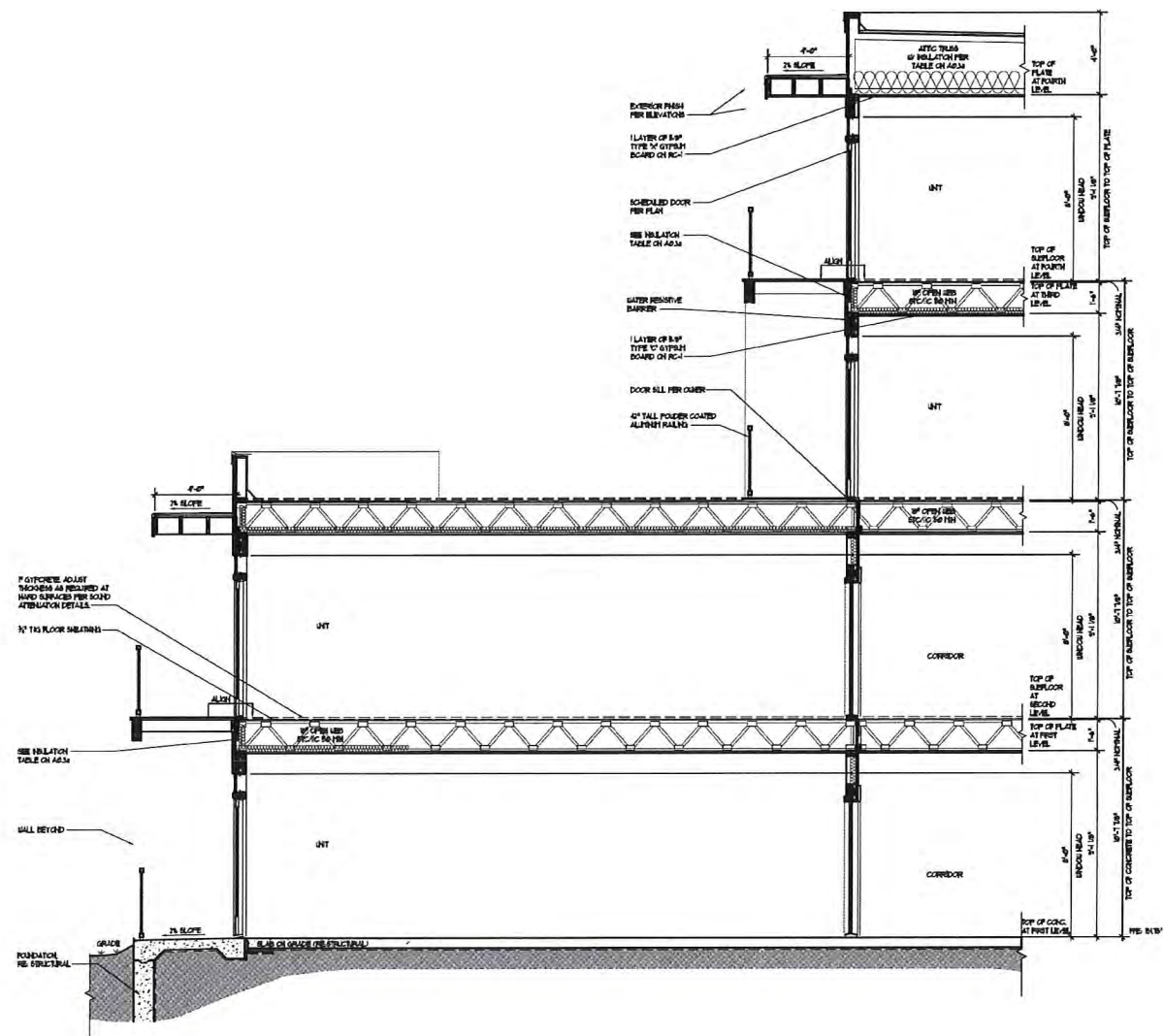
1 Typical Balcony Section
Scale: 1/4"=1'-0"
Section



2 Typical Corridor at Garage Section
Scale: 1/4"=1'-0"
Section

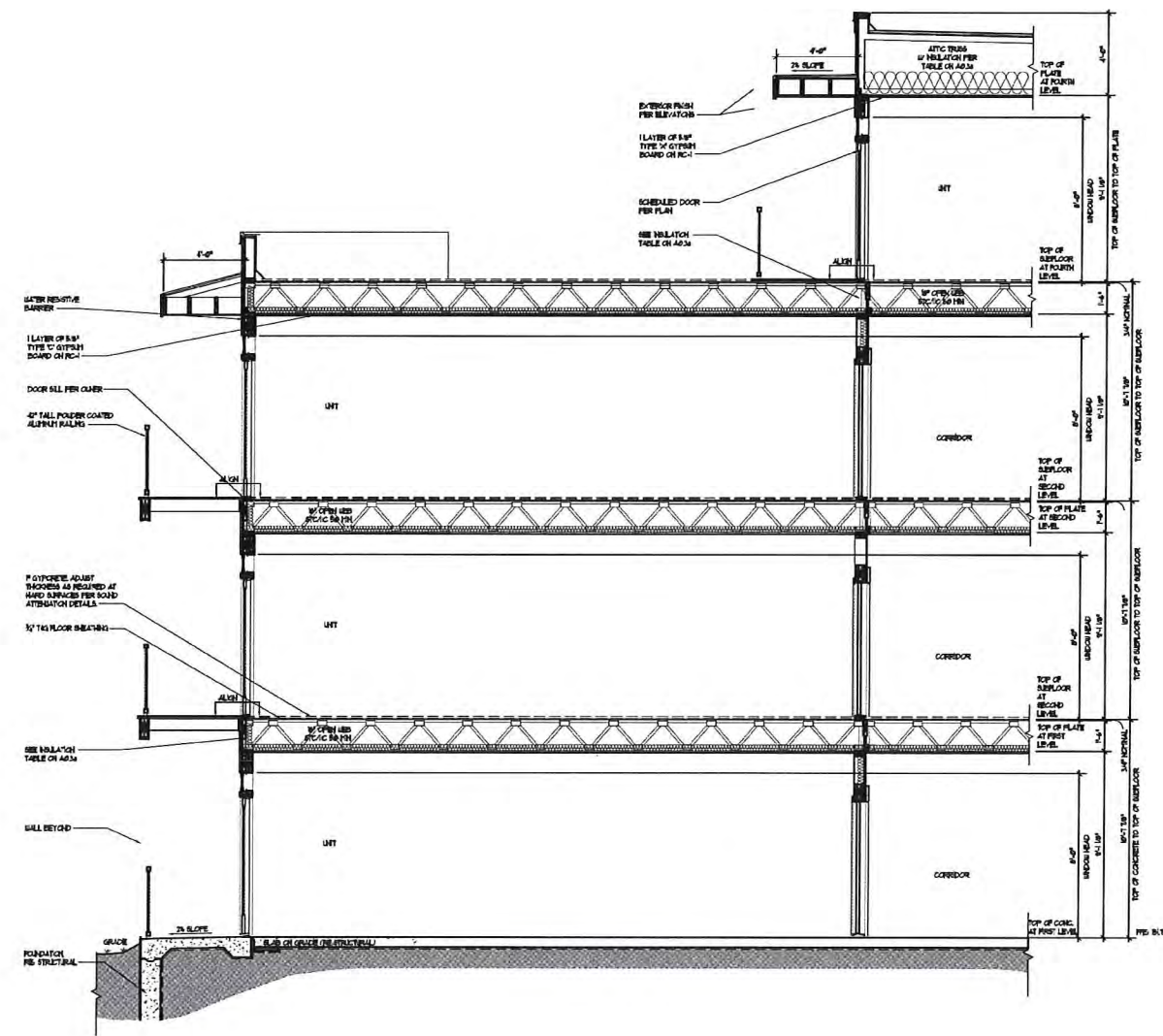


3 Typical Storefront at Amenity Section
Scale: 1/4"=1'-0"
Section



1 Typical Section at Main Street
Scale: 1/4"=1'-0"

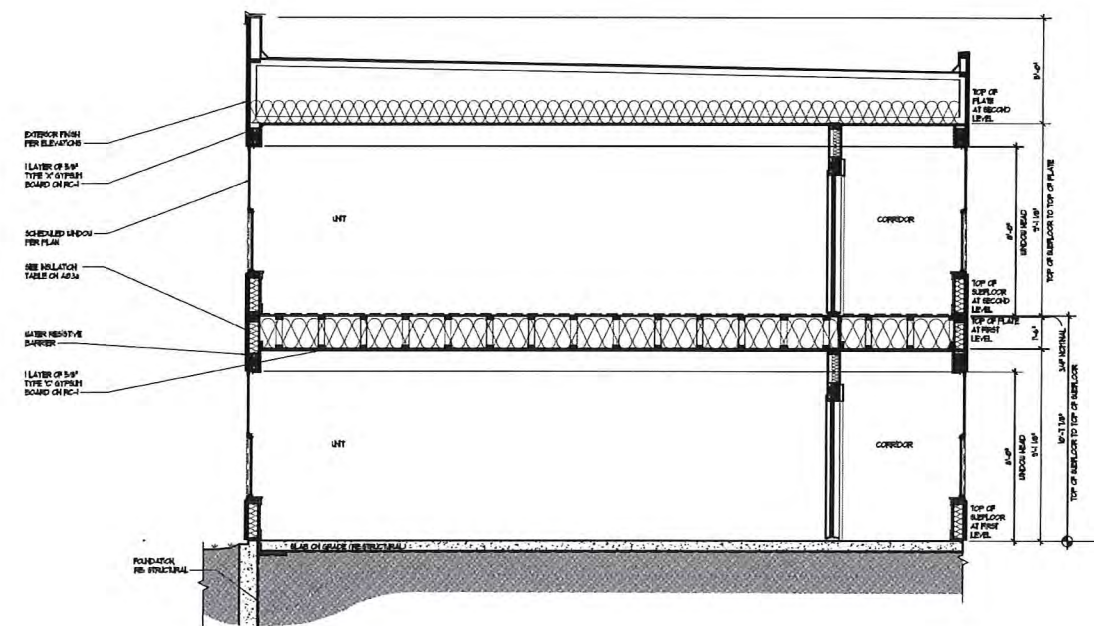
Section



2 Typical Section at River Elevation
Scale: 1/4"=1'-0"

Section





2 Typical Section at East Main St. Courtyard
Scale: 1/4"=1'-0"

Section