



**CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION**

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 140 IOTA COURT

Name of Owner: JCH PROPERTIES (CHRIS HOUDEN)

Address of Owner (if different than above): 6417 NORMANDY LANE
MADISON WI 53719

Daytime Phone: 608.271.8864 Evening Phone: _____

Email Address: CHRISH@SELECTPUB.COM

Name of Applicant (Owner's Representative): RANDY BRUCE (KNOTHE & BRUCE)

Address of Applicant: 2601 UNIVERSITY AVE
MIDDLETON WI 53562

Daytime Phone: 608.836.3690 Evening Phone: _____

Email Address: RBRUCE@KNOTHBRUCE.COM

Description of Requested Variance: THE VARIANCE REQUESTED WILL
ALLOW THE EXPANSION OF LAKEFRONT EXTERIOR
BALCONIES TO EXTEND 4' PAST THE EXISTING
BUILDING FACADE.

(See reverse side for more instructions)

FOR OFFICE USE ONLY

Amount Paid: 300-
Receipt: 147367
Filing Date: _____
Received By: _____
Parcel Number: 0709-144-1002-5
Zoning District: PD
Alder District: 2-Zellers

Hearing Date: 10-10-13
Published Date: 10-3-13
Appeal Number: 100313-
GQ: _____
Code Section(s): 28.158(S)(1)(1.)

Application Requirements

Please provide the following Information (Please note any boxes left unchecked below could result in a processing delay or the Board's denial of your application):

<input type="checkbox"/>	Pre-application meeting with staff: Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. Incomplete applications could result in referral or denial by the Zoning Board of Appeals.
<input checked="" type="checkbox"/>	Site plan , drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"): <input type="checkbox"/> Lot lines <input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines <input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance <input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features <input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred) <input type="checkbox"/> North arrow
<input checked="" type="checkbox"/>	Elevations from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17")
<input checked="" type="checkbox"/>	Interior floor plan of existing and proposed structure , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	Front yard variance requests only. Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input checked="" type="checkbox"/>	Lakefront setback variance requests only. Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	Variance requests specifically involving slope, grade, or trees. Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	CHECK HERE. I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	CHECK HERE. I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

Owner's Signature: _____ *[Signature]* _____ **Date:** 9/23/13

----- (Do not write below this line/For Office Use Only) -----

<u>DECISION</u>			
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ (is) (is not) in compliance with all of the standards for a variance.			
Further findings of fact are stated in the minutes of this public hearing.			
The Zoning Board of Appeals:	Approved	Denied	Conditionally Approved
Zoning Board of Appeals Chair:			
Date:			

September 23, 2013

Matt Tucker
Zoning Administrator
City of Madison
Madison, WI 53709

Re: 140 Iota Court
Zoning Board of Appeals Application

Dear Mr. Tucker,

Enclosed is our application to the Zoning Board of Appeals. We are requesting a variance as permitted under 28.12(9)(d) to allow the renovation and modernization of an existing 38-unit apartment building. The variance requested will allow the expansion of the exterior balconies from one foot passed the building façade to four feet.

We believe that the proposed addition meets the standards for a variance:

1. *There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.*

The building is an existing non-conforming building. The waterfront setback is already established. The building is of masonry bearing wall construction that restricts the renovation plans.

2. *The variance is not contrary to the spirit, purpose, and intent of the regulation in the zoning district and is not contrary to the public interest.*

This is a unique condition applicable to this building. The applicant is unaware of any other buildings with a similar condition.

3. *For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.*

The variance will allow for the improvement of an existing structure that is currently described as "non-contributing " to the neighborhood. The improvement of this building will benefit the entire neighborhood with a visually appealing façade and add life to the waterfront. The encroachment into the waterfront setback is at the upper levels of the façade only.

4. *The alleged difficulty or hardship is caused by this ordinance and has not been created by any person presently having an interest in the property.*

The existing building is non-conforming. The creation of the waterfront setback after the building construction creates a condition where changes to the floor area within the setback area require a variance.

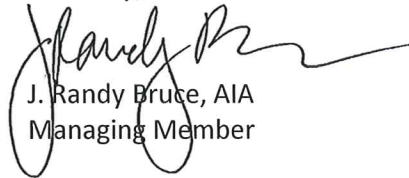
5. *The proposed variance shall not create substantial detriment to adjacent property.*

The variance will allow a reasonable renovation of the property that will not change the size of the building or the impact of the building on the waterfront. The proposed redevelopment will benefit the neighborhood by allowing for reinvestment in the property.

6. *The proposed variance shall be compatible with the character of the immediate neighborhood.*

The proposed variance will not increase building envelope and will not increase the resident population. The renovation plans will meet the required state and city building and fire codes.

Sincerely,



J. Randy Bruce, AIA
Managing Member

140 Iota Court



NORTHWEST ELEVATION

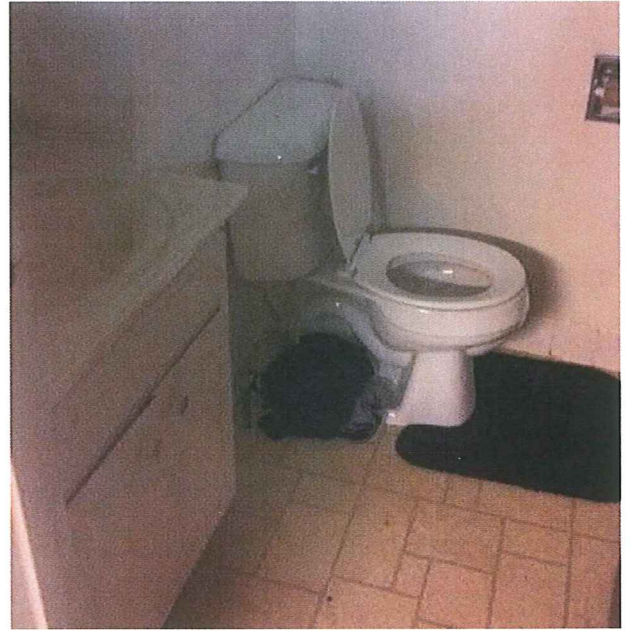


SOUTHEAST ELEVATION

140 Iota Court



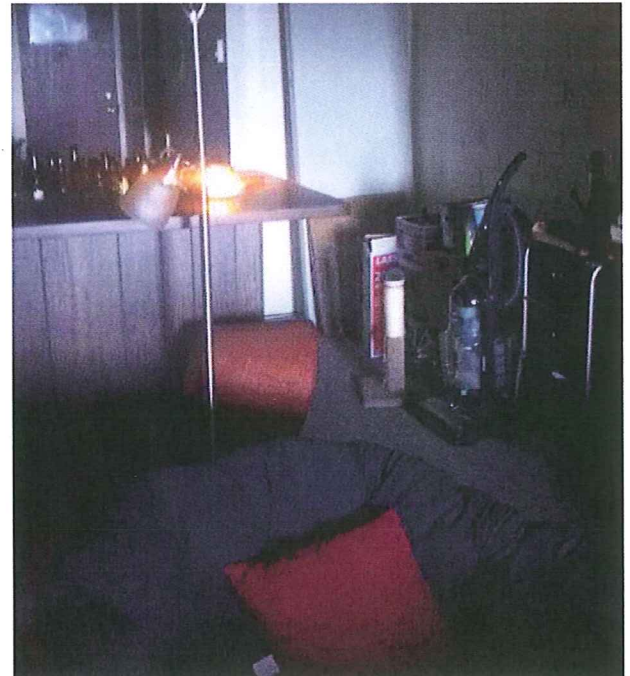
TYPICAL CORRIDOR



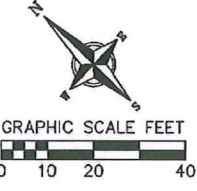
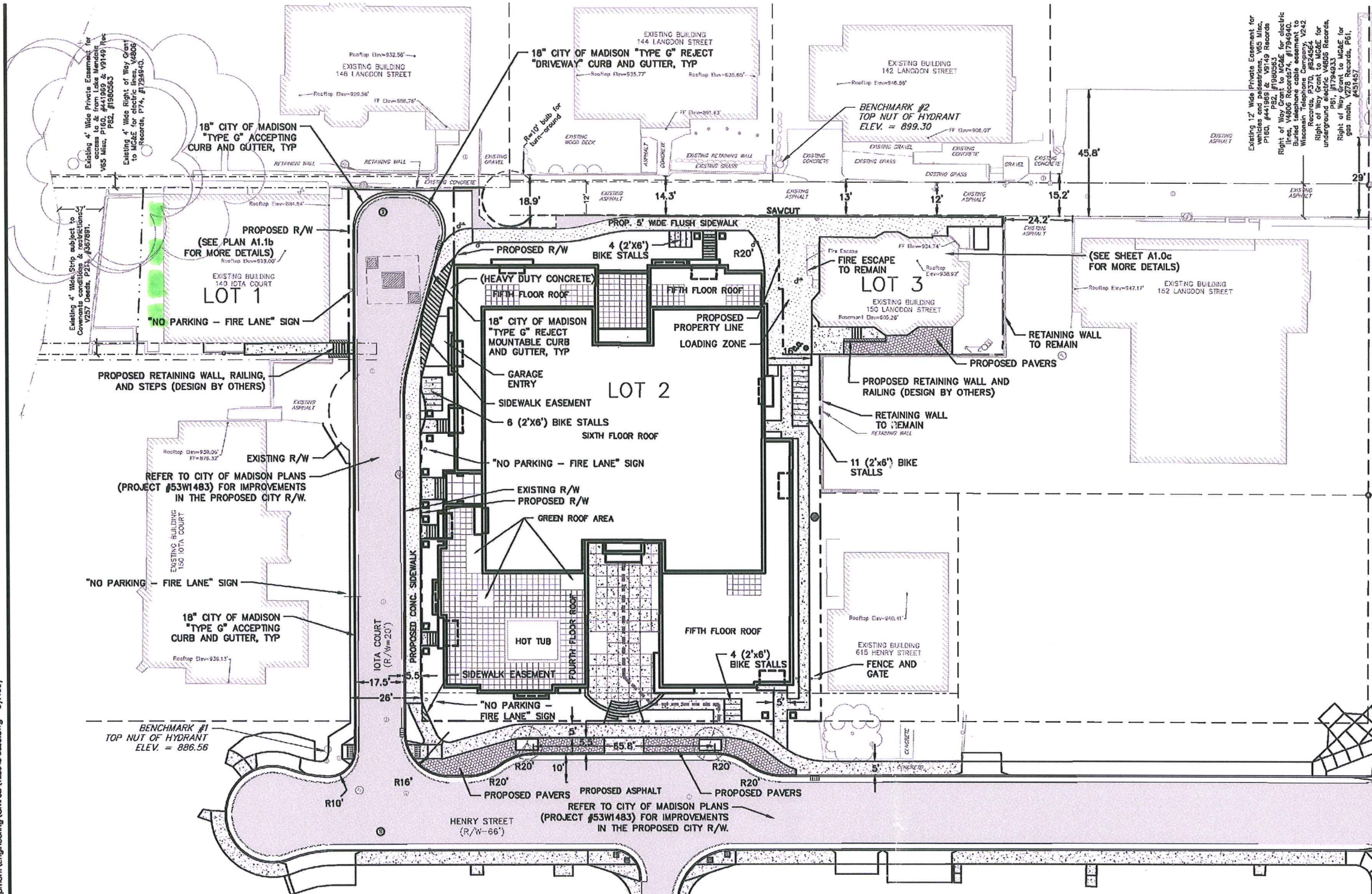
TYPICAL UNIT BATH



TYPICAL UNIT KITCHEN



TYPICAL UNIT



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX: 1-800-338-3660
TOD (FOR HEARING IMPAIRED)
1-800-543-2288
WIS. STATUTE 182.019 (1879)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

vierbicher
engineers | advisors
planners

REEDSBURG - MADISON - WAUNAKEE
999 Foster Drive, Suite 200
Madison, Wisconsin 53717
Phone: (608) 839-0303 Fax: (608) 839-0308

SITE PLAN
THE WATERFRONT
625 N. Henry Street
City of Madison, Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

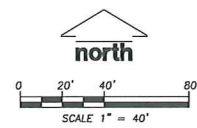
SCALE: AS SHOWN
DATE: 8-13-13
DRAFTER: TCOY
CHECKED: JOY
PROJECT NO.: 128045
SHEET: 3 OF 7
DWG. NO.: C 12

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED SIGN
- SAWCUT
- ▨ PROPOSED CONCRETE SIDEWALK
- ▩ PROPOSED HEAVY DUTY CONCRETE
- PROPOSED ASPHALT PAVEMENT
- ⊙ STORM SEWER MANHOLE
- ⊞ STORM SEWER CURB INLET
- ⊕ STORM SEWER FIELD INLET
- ⊗ SANITARY SEWER MANHOLE
- ☆ PROPOSED LIGHT POLE
- ⊕ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE

New 'Balconies' on Cliff Dweller Building, Late Court Yard setback
45.7' Required
33.4' Provided
12.3' Variance

PLOT DATE: 5/13/2010 10:55:12 AM



- LEGEND**
- PARCEL BOUNDARY
 - - - RIGHT-OF-WAY LINE
 - CENTERLINE
 - - - PLATTED LOT LINE
 - ORDINARY HIGH WATER MARK (OHWM) ELEVATION = 850.7
 - /// BUILDING

- NOTES**
1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON APRIL 21, 2010 AND MAY 8, 2010.
 2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY.
 3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE SOUTH 1/4 CORNER OF SECTION 14, T. 7 N., R. 9 E., ELEVATION = 870.32'

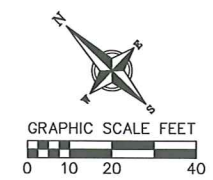
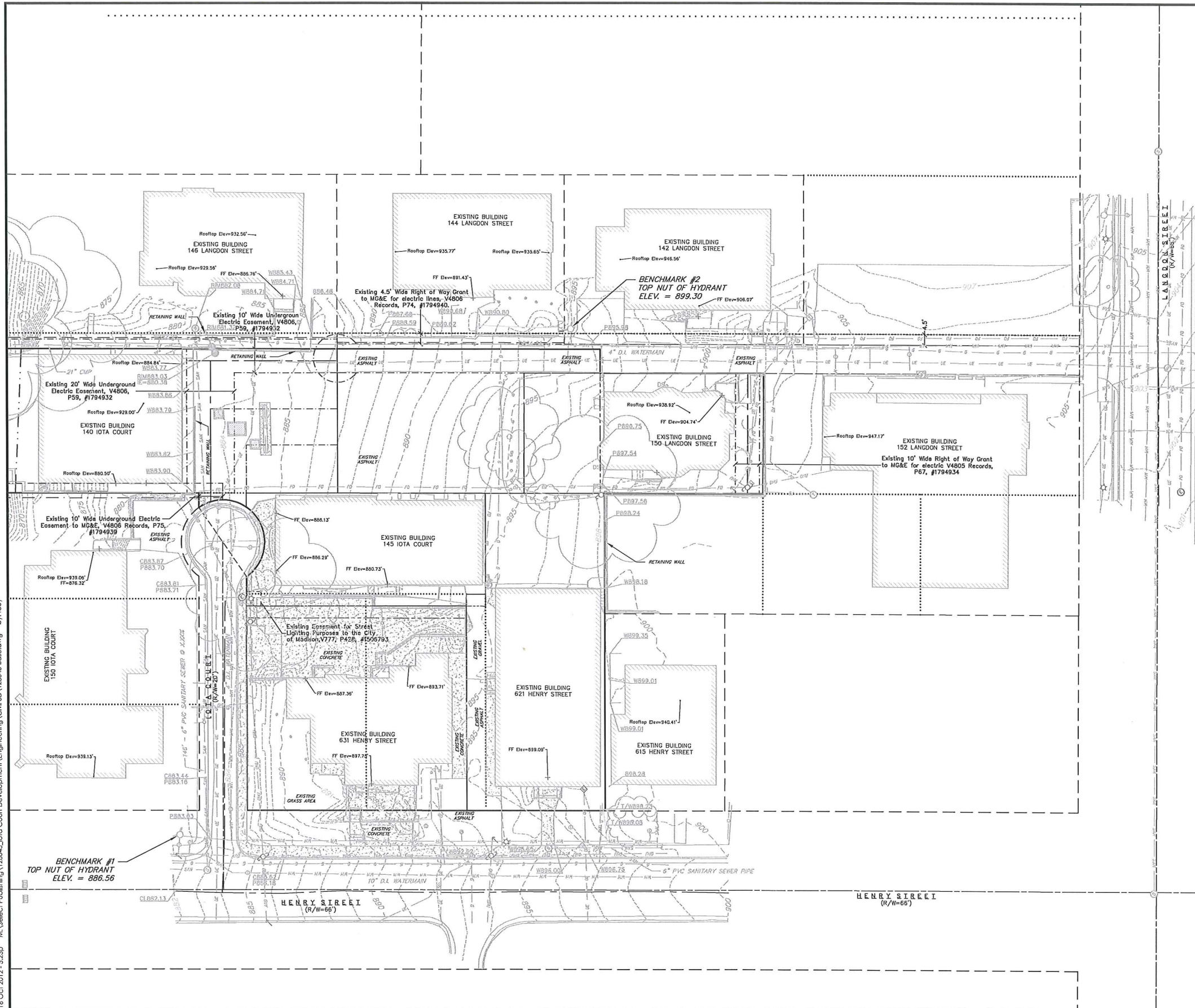
Sec. 28.138(5)(b)(1)

52.6 - width 20' of arch
38.8 - other

↓

Average = 45.7'

DRAWN BY: JK		DATE: 4-23-2010	REGISTRATION NO.		
CHECKED BY: DRS	DATE: 4-26-2010				
APPROVED BY: DJU	DATE: 4-26-2010				
ENGINEER: J:\2009\093986\dwg\093986-Exhibit.dwg					
SHORELINE SETBACK EXHIBIT					
PART OF BLOCK 4 AND BLOCK 60, ORIGINAL PLAT, BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER AND PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWN 7 NORTH, RANGE 9 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.					
PROJECT NO: 09-3986 FILE NO: D-148 SURVEYED: JK F.B. NO/PG: 240/40 SHEET NO: 1 OF 1					
PREPARED FOR STANDING ROCK, LLC 3330 SKOKIE VALLEY ROAD, SUITE 300 HIGHLAND PARK, IL 60035					
			DESCRIPTION	DATE	BY



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- ▤ EXISTING ENDWALL
- ⊙ EXISTING FIELD INLET
- ⊕ EXISTING ROOF DRAIN CLEANOUT
- ⊖ EXISTING STORM MANHOLE
- ⊗ EXISTING SANITARY CLEANOUT
- ⊘ EXISTING SANITARY MANHOLE
- ⊙ EXISTING SEPTIC VENT
- ⊕ EXISTING FIRE HYDRANT
- ⊖ EXISTING WATER MAIN VALVE
- ⊗ EXISTING CURB STOP
- ⊘ EXISTING WATER MANHOLE
- ⊙ EXISTING GAS VALVE
- ▣ EXISTING AIR CONDITIONING PEDESTAL
- ↑ EXISTING DOWN GUY
- ⊖ EXISTING ELECTRIC MANHOLE
- ▣ EXISTING ELECTRIC PEDESTAL
- ⊕ EXISTING TRANSFORMER
- ⊙ EXISTING GUY POLE
- ☆ EXISTING LIGHT POLE
- ⊕ EXISTING UTILITY POLE
- ▣ EXISTING TV PEDESTAL
- ⊖ EXISTING TELEPHONE MANHOLE
- ▣ EXISTING TELEPHONE PEDESTAL
- ⊖ EXISTING UNIDENTIFIED MANHOLE
- ⊕ EXISTING HANDICAP PARKING
- ⊙ EXISTING SHRUB
- ⊕ EXISTING CONIFEROUS TREE
- ⊖ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- UTY — UTY — EXISTING UNDERGROUND CABLE TV
- OTY — OTY — EXISTING OVERHEAD CABLE TV
- FO — FO — EXISTING FIBER OPTIC LINE
- OHT — OHT — EXISTING OVERHEAD TELEPHONE LINE
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- RW — RW — EXISTING RETAINING WALL
- CLF — CLF — EXISTING CHAIN LINK FENCE
- GF — GF — EXISTING GENERAL FENCE
- WF — WF — EXISTING WIRE FENCE
- WF — WF — EXISTING WOOD FENCE
- GL — GL — EXISTING GAS LINE
- UEL — UEL — EXISTING UNDERGROUND ELECTRIC LINE
- OEL — OEL — EXISTING OVERHEAD ELECTRIC LINE
- OGU — OGU — EXISTING OVERHEAD GENERAL UTILITIES
- SFM — SFM — EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- SSW — SSW — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- SS — SS — EXISTING STORM SEWER LINE (SIZE NOTED)
- ET — ET — EXISTING EDGE OF TREES
- WM — WM — EXISTING WATER MAIN (SIZE NOTED)
- WDL — WDL — EXISTING WETLAND DELINEATION
- B20 — B20 — EXISTING MAJOR CONTOUR
- B10 — B10 — EXISTING MINOR CONTOUR
- WSB.01 — WSB.01 — EXISTING SPOT ELEVATION

BENCHMARKS

- BENCHMARK #1:
TOP NUT OF FIRE HYDRANT
ELEV. = 886.56'
- BENCHMARK #2:
TOP NUT OF FIRE HYDRANT
ELEV. = 899.30'



EXISTING CONDITIONS

Houden Iota Court
625 N. Henry Street
City of Madison, Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	10-17-12		

SCALE: AS SHOWN

DATE: 10-17-12

DRAFTER: ACAR

CHECKED: JOY

PROJECT NO.: 128045

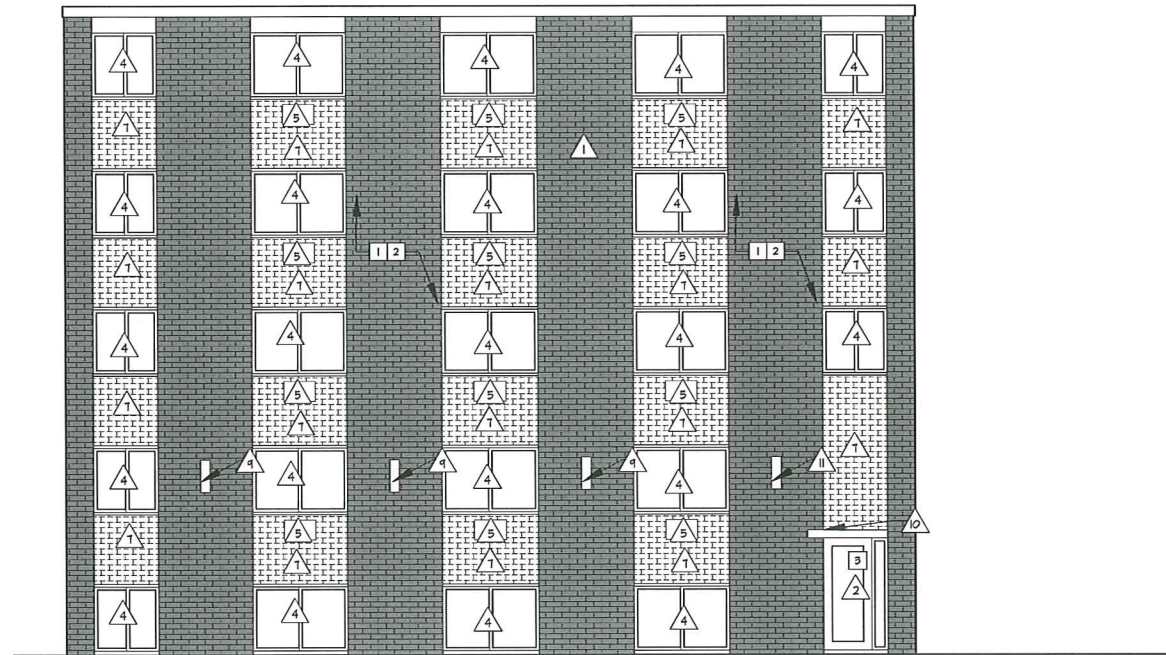
SHEET: 1 OF 5

DWG. NO.: C2.0

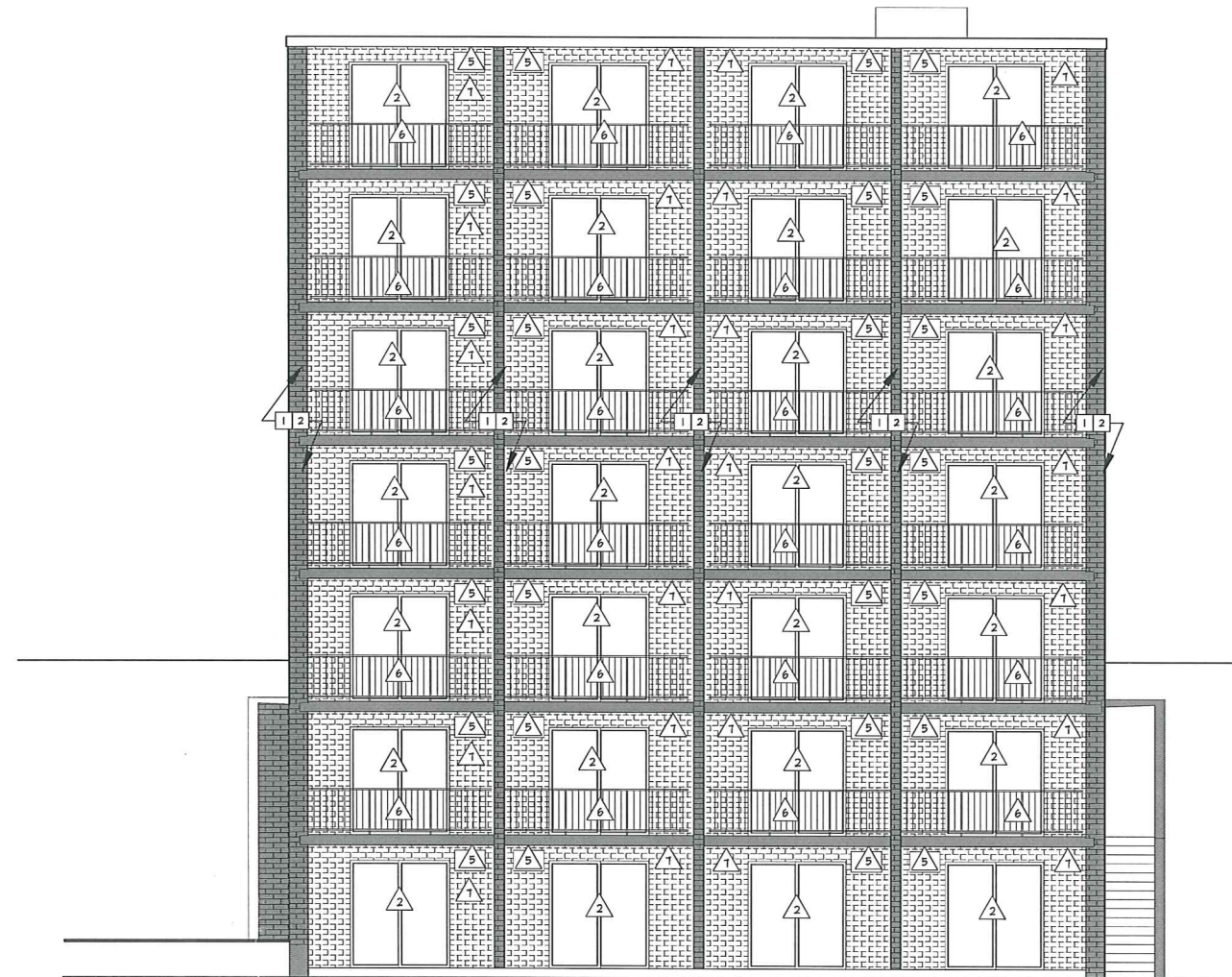
- EXTERIOR KEY NOTES** x
1. CLEAN MASONRY AND REPOINT.
 2. REPLACE DAMAGED OR MISSING BRICK WITH SALVAGED BRICK OR APPROVED EQUAL.
 3. PROVIDE AND INSTALL NEW 3'-0" EXTERIOR DOOR. SEE SCHEDULE.
 4. INSPECT AND REPAIR THE EPDM ROOFING.

- EXTERIOR REMOVAL NOTES** x
1. CAREFULLY REMOVE DETEIORATED OR DAMAGED BRICK MASONRY.
 2. CAREFULLY REMOVE EXISTING DOOR, FRAME, AND STEEL LINTEL. NIBEN MASONRY OPENING TO ACCOMMODATE NEW DOOR. PROVIDE NEW STEEL LINTEL.
 3. REMOVE AND REPLACE FLASHING.
 4. CAREFULLY REMOVE EXISTING WINDOW FRAME AND STEEL LINTEL. NIBEN MASONRY OPENING TO ACCOMMODATE NEW WINDOW FIELD VERIFY. PROVIDE NEW STEEL LINTEL.
 5. CAREFULLY REMOVE EXISTING H/HAG THRU WALL UNITS.
 6. CAREFULLY REMOVE RAILING.
 7. REMOVE EXISTING FACE BRICK AS NECESSARY FOR NEW OPENING.
 8. CAREFULLY REMOVE AND REPLACE VENT CAP.
 9. CAREFULLY REMOVE AND REPLACE SCOTCH.
 10. CAREFULLY REMOVE GANDRY.
 11. CAREFULLY REMOVE SCOTCH.

Revisions
 Land Use Application - October 11, 2012
 Site Plan Submittal - April 18, 2013
 Building Plan Review - August 5, 2013



EXISTING SOUTHEAST ELEVATION
 3/16" = 1'-0"



EXISTING NORTHWEST ELEVATION
 3/16" = 1'-0"

Project Title
 H20

140 IOTA COURT, MADISON WI
Drawing Title
DEMO ELEVATIONS

Project No. 0804 **Drawing No.** A-2.1b

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Consultant

Notes

EXTERIOR KEY NOTES

1. CLEAN MASONRY AND REPOINT.
2. REPLACE DAMAGED OR MISSING BRICK WITH SALVAGED BRICK OR APPROVED EQUAL.
3. PROVIDE AND INSTALL NEW 5'-0" EXTERIOR DOOR. SEE SCHEDULE.
4. INSPECT AND REPAIR THE EPDM ROOFING.

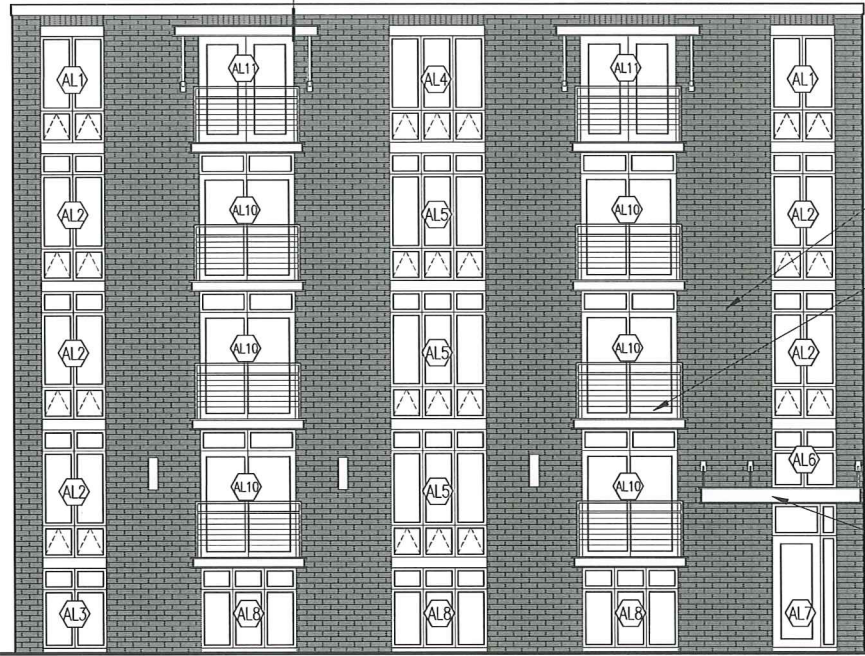
- Revisions
- Land Use Application - October 11, 2012
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ROOFTOP ELEVATION
(929.00')

4
A-3.1 TYP.

ROOFTOP ELEVATION
(929.00')

ENTRY
(888.3')



PAINT EXISTING BRICK WITH KEIM MINERAL COATING, TYP.

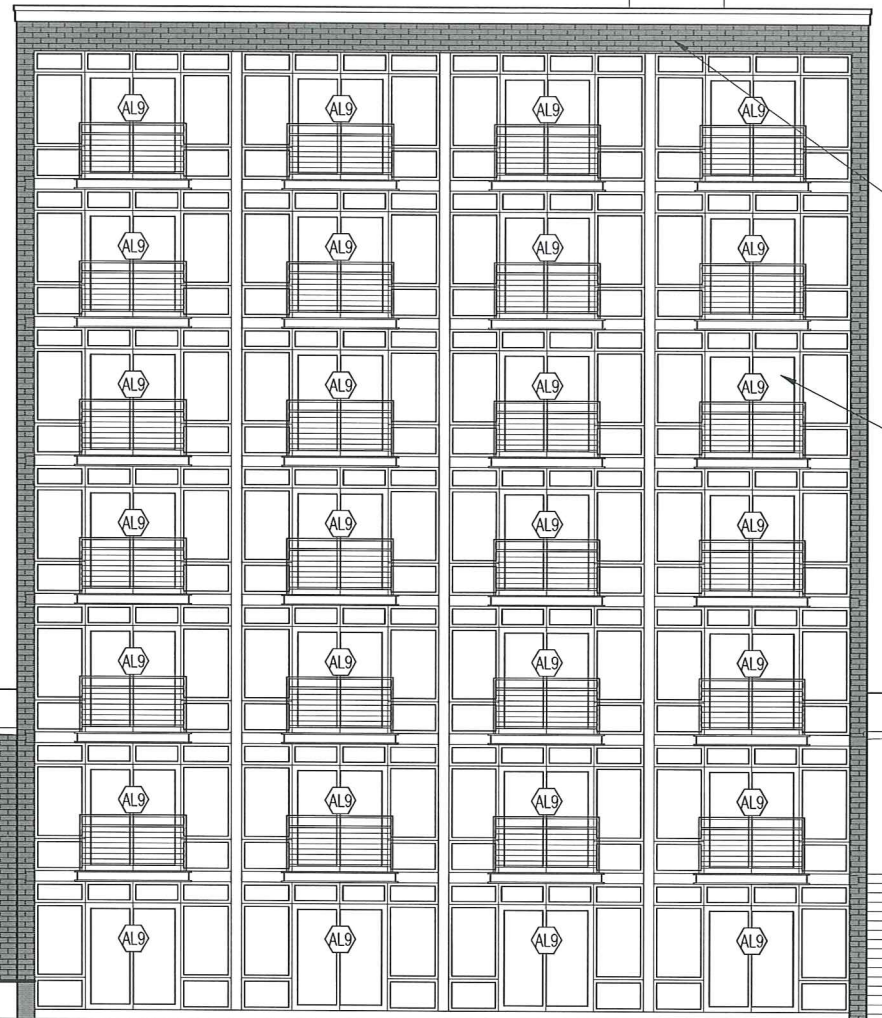
CHANNEL STEEL BALCONY ADDITION W/ ALUMINUM AND CABLE RAILING

STEEL ENTRY CANOPY

NEW SOUTHEAST ELEVATION
3/16" = 1'-0"

PAINT EXISTING BRICK WITH KEIM MINERAL COATING, TYP.

DUAL SLIDING ALUMINUM STOREFRONT DOOR WITH NO CENTER MULLION



NEW NORTHWEST ELEVATION
3/16" = 1'-0"

Project Title

H2O

140 IOTA COURT, MADISON WI

Drawing Title
Elevations

Project No.

0804

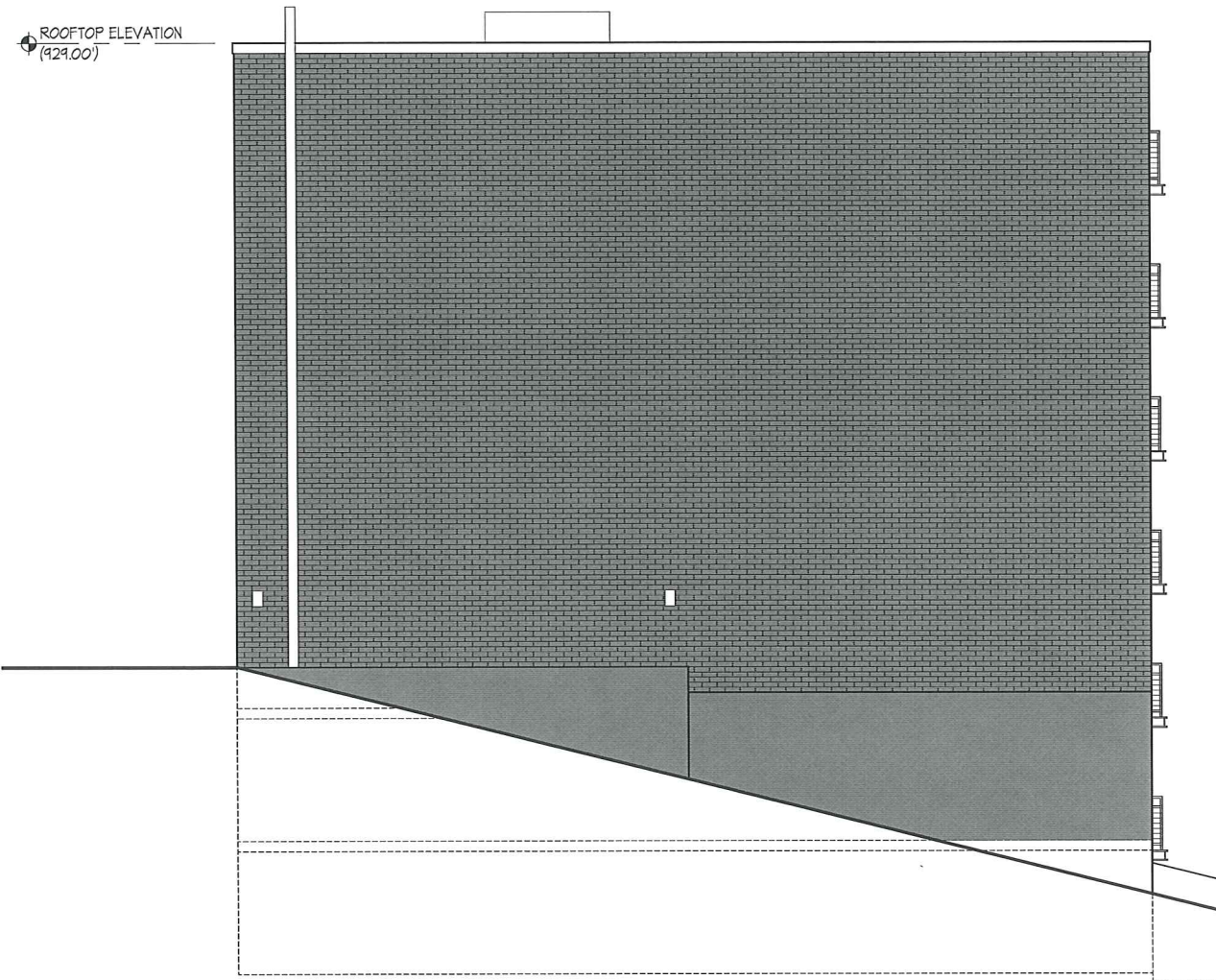
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A-2.3b

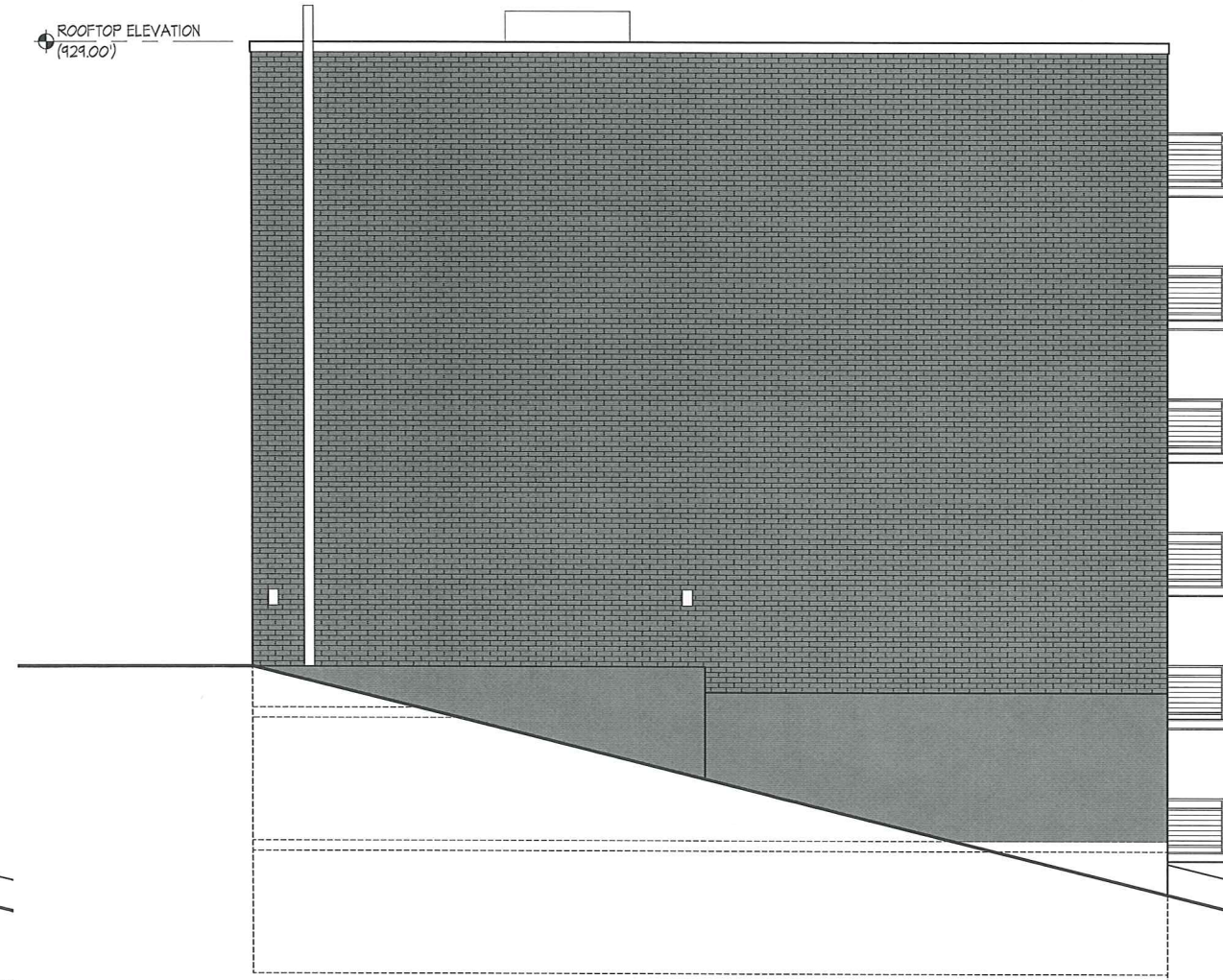
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Notes



○ APPROVED NORTHEAST ELEVATION
3/16" = 1'-0"



○ NORTHEAST ELEVATION
3/16" = 1'-0"

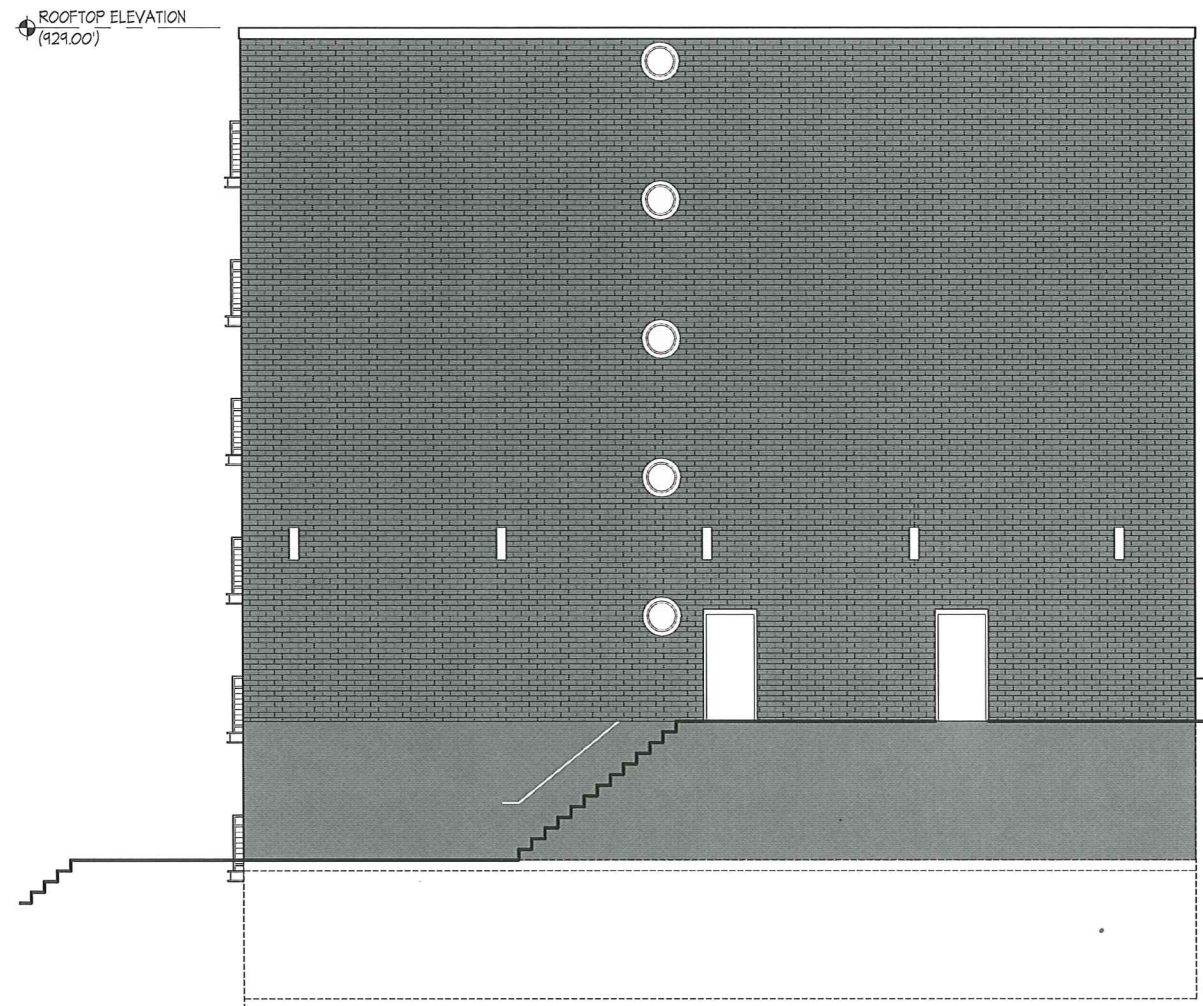
Revisions
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Project Title
H2O

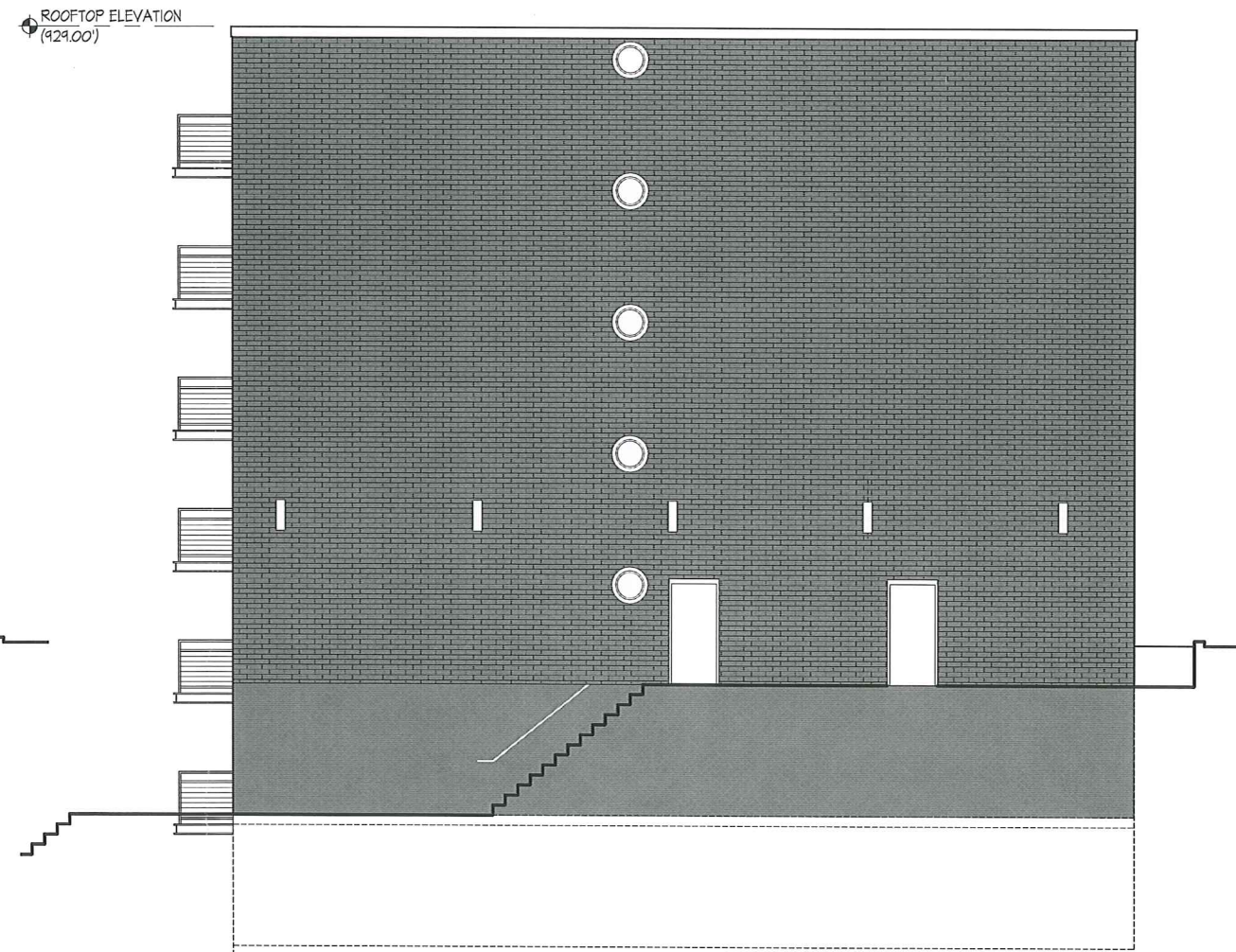
140 IOTA COURT, MADISON WI
Drawing Title
ELEVATIONS

Project No. Drawing No.
0804 A-2.2b

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○ APPROVED SOUTHWEST ELEVATION
3/16" = 1'-0"



○ SOUTHWEST ELEVATION
3/16" = 1'-0"

Revisions
Land Use Application - October 11, 2012
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Project Title
H20

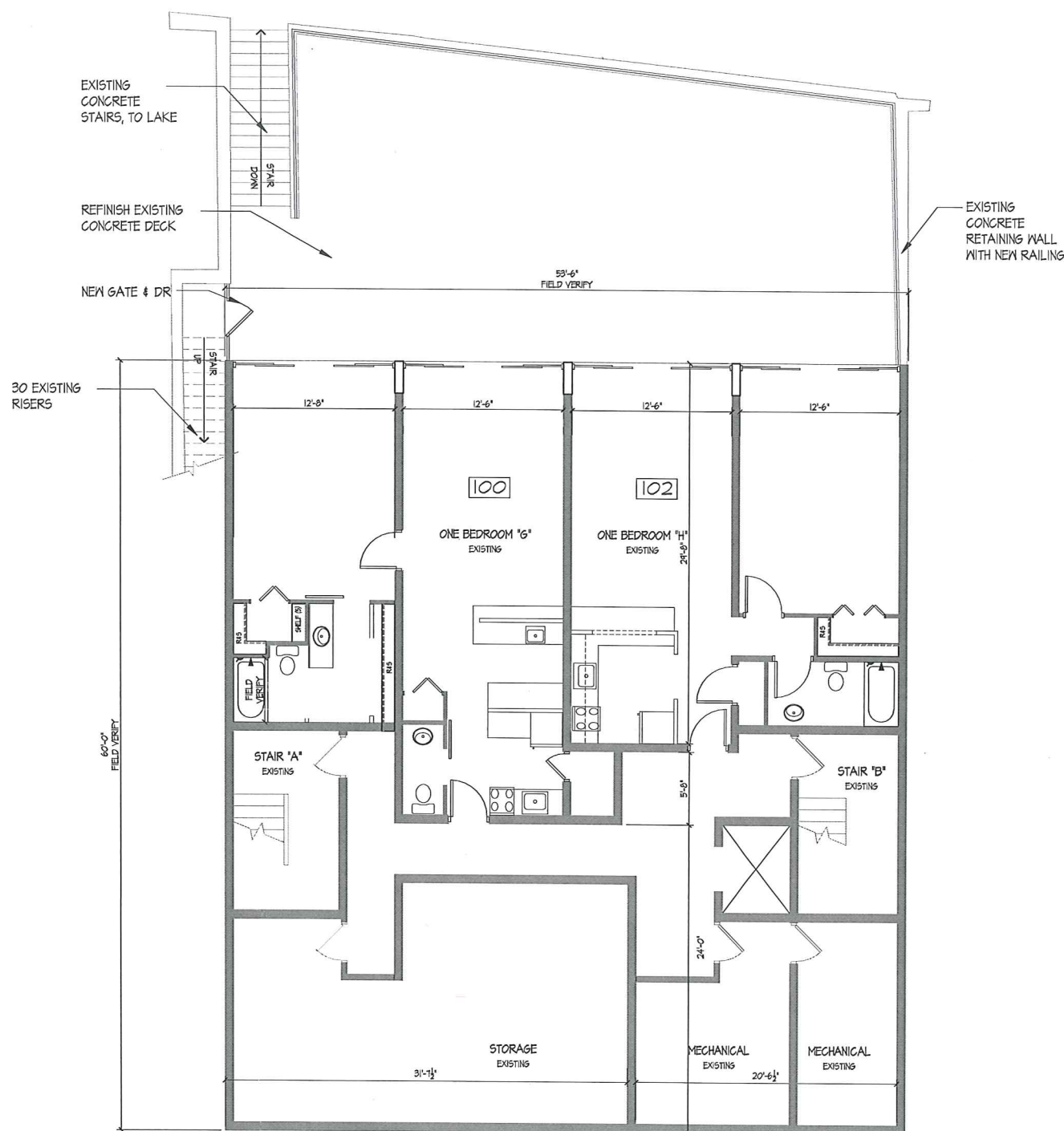
140 IOTA COURT, MADISON WI
Drawing Title
ELEVATIONS

Project No. Drawing No.
0804 A-2.2b

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Notes



FIRST FLOOR APPROVED PLAN
 3/16" = 1'-0"



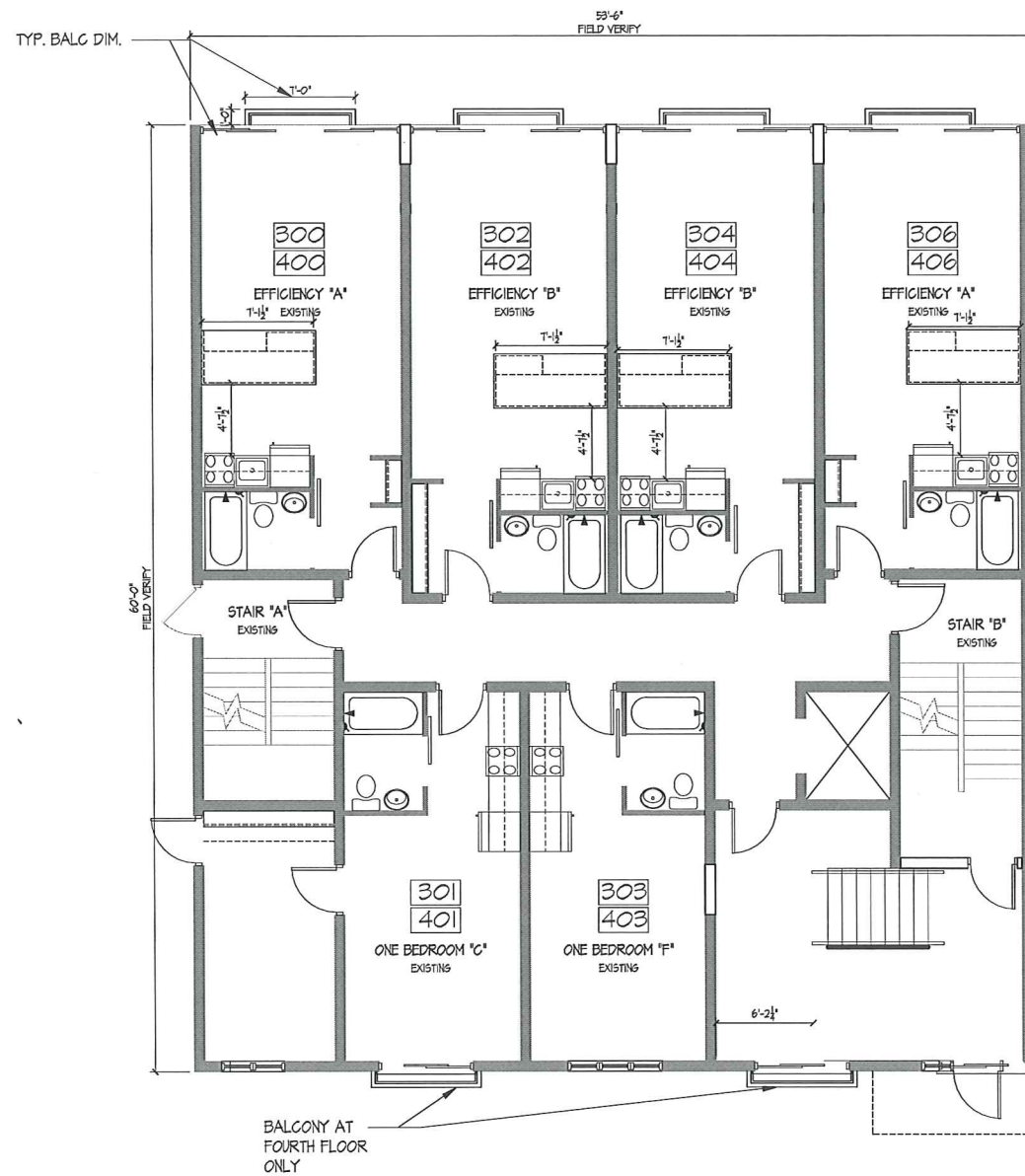
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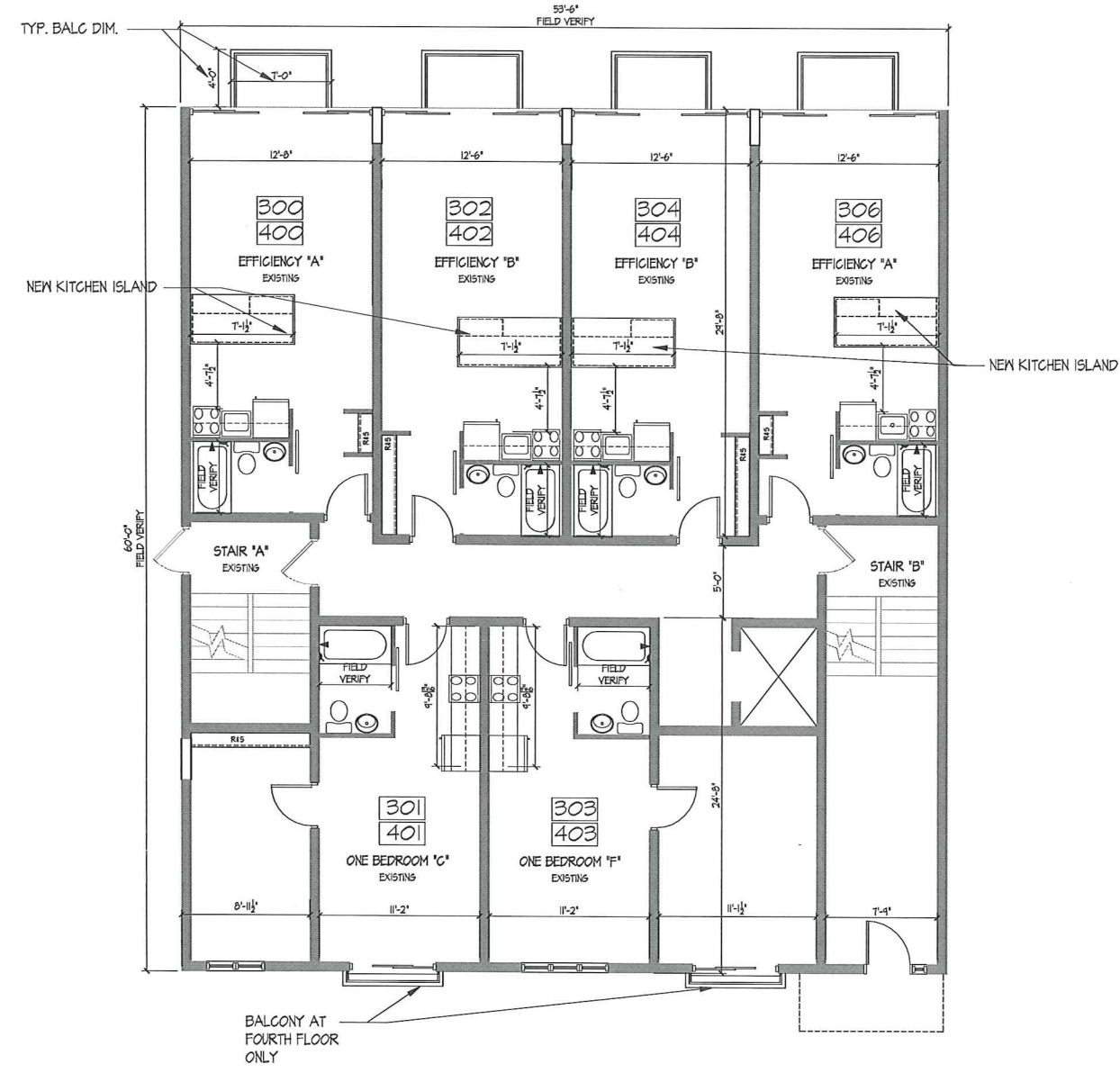
140 IOTA COURT, MADISON WI
 Drawing Title
FIRST FLOOR PLAN

Project No. Drawing No.
0804 A-1.XX

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TYPICAL APPROVED FLOOR PLAN (FLRS 2-1)
 3/16" = 1'-0"



TYPICAL PROPOSED FLOOR PLAN (FLRS 2-1)
 3/16" = 1'-0"



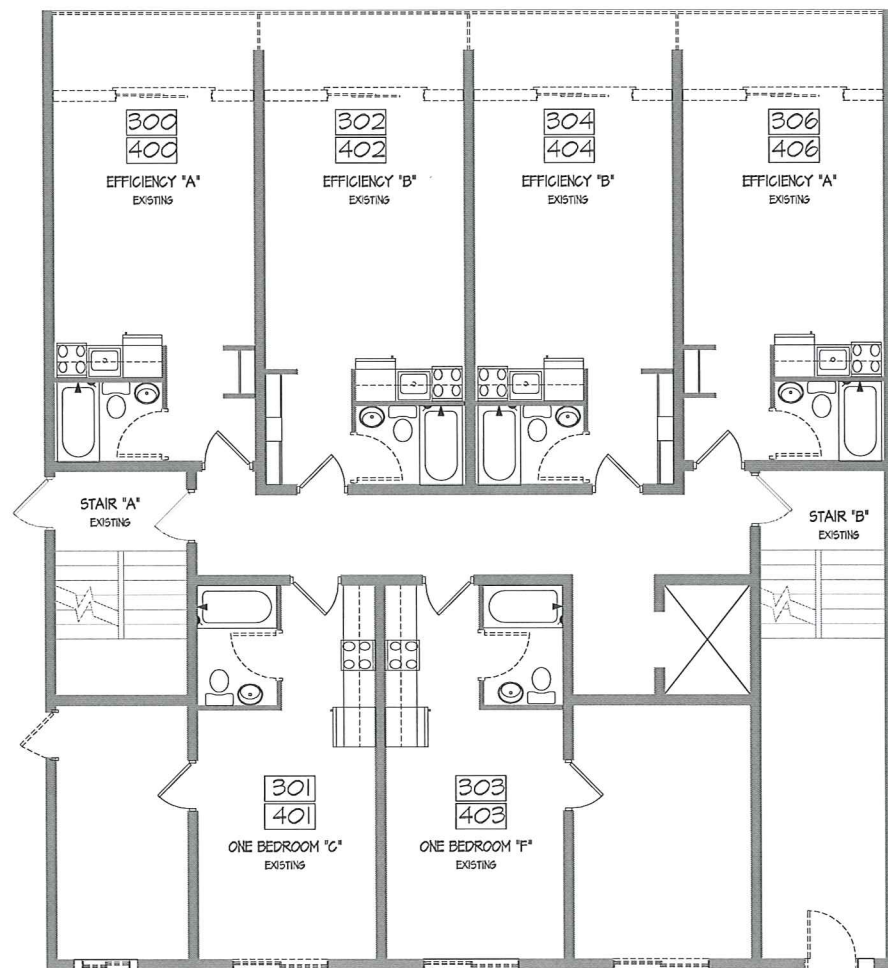
Revisions
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 Site Plan Submittal - April 18, 2013
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Project Title
H20

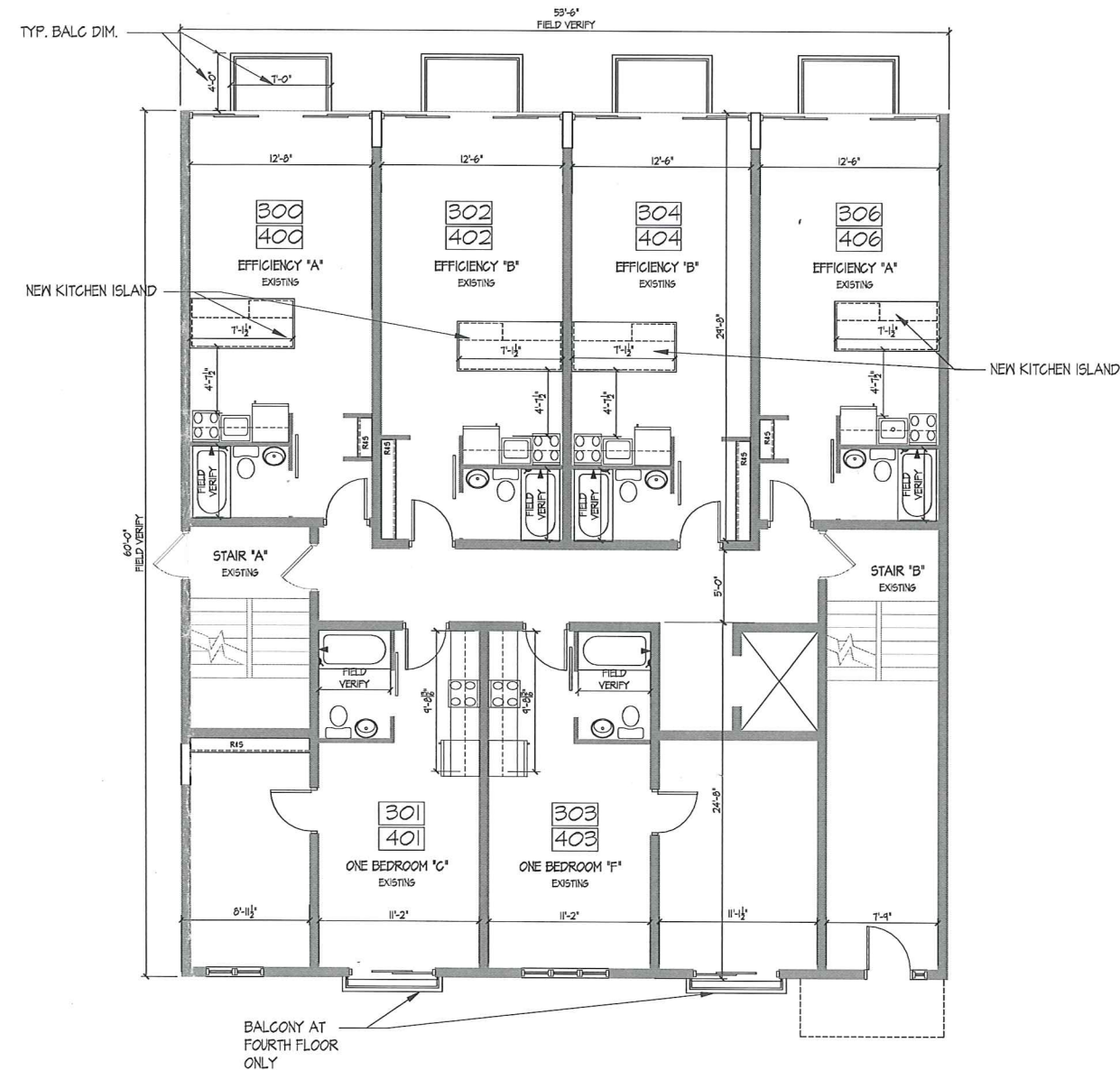
140 IOTA COURT, MADISON WI
 Drawing Title
TYPICAL FLOOR PLAN

Project No. Drawing No.
0804 A-1.XX

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TYPICAL DEMO FLOOR PLAN
3/16" = 1'-0"



TYPICAL PROPOSED FLOOR PLAN
3/16" = 1'-0"



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Project Title
H20

140 IOTA COURT, MADISON WI
Drawing Title
TYPICAL FLOOR PLAN

Project No. 0804
Drawing No. A-1.XX

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