

project summary

municipality

Madison, Dane County, Wisconsin

principal governing codes and ordinances

Wisconsin Uniform Dwelling Code
Madison Code of Ordinances

parcel data

Address: 5404 Lake Mendota Drive, Madison, Wisconsin, 53705
Zoning District: TR-C1 Traditional Residential - Consistent 1
Parcel Number: 0709-181-0409-6
Lot Area: 23,719 square feet (assessed), 0.54 acre

scope of work

- removal of the existing single family home and detached garage
- erection of a new single family home with attached garage

features of the new proposal include

- a new two-story home of unique design
- custom landscape design
- a comprehensive storm-water management strategy

the design team

- Bouril Design Studio, LLC - architectural design
- ZDA, Inc. - landscape design
- MSA Professional Services - civil engineering and storm-water management

zoning summary

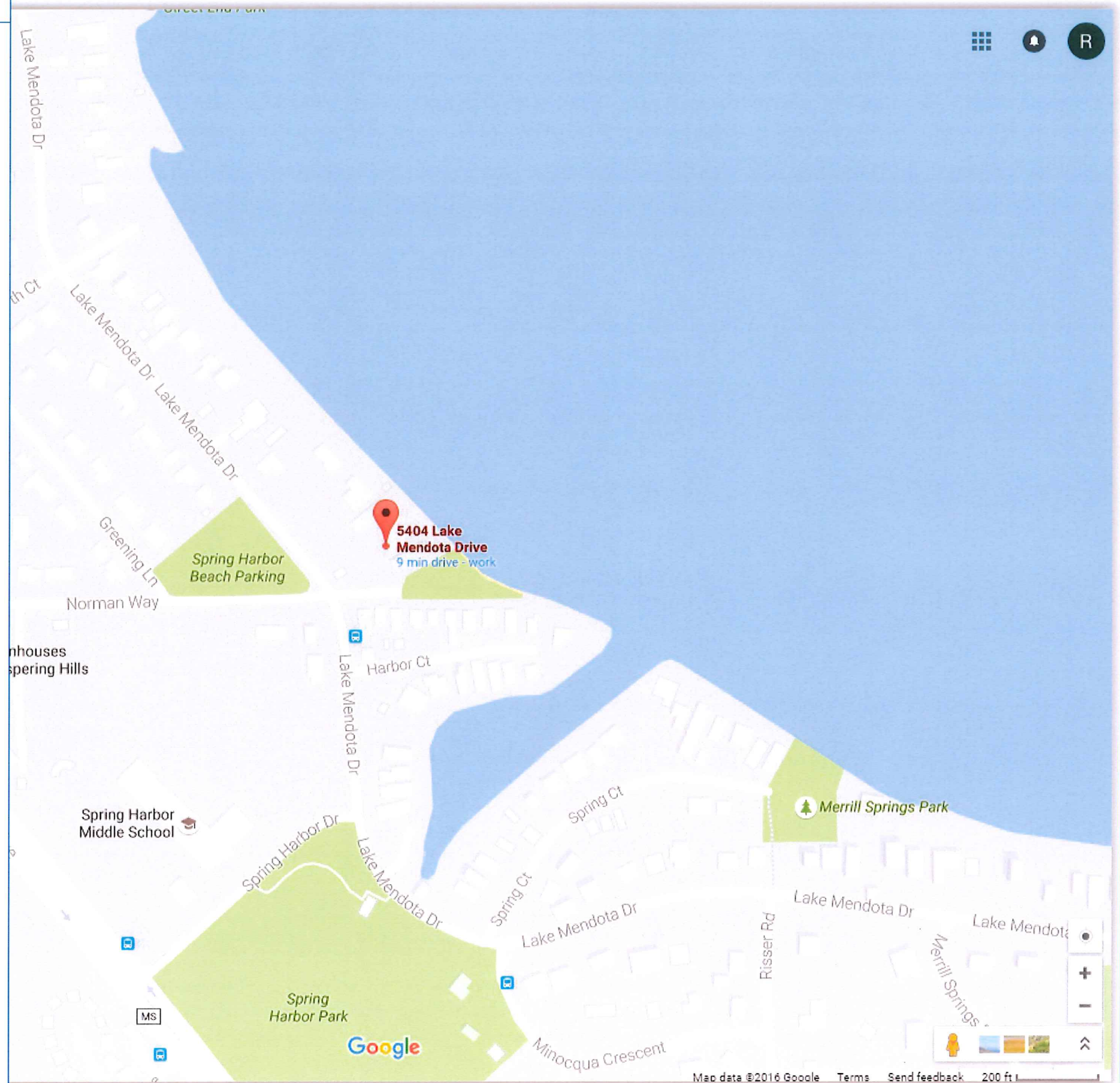
	<i>required</i>	<i>proposed</i>
lot area:	6,000 sf	23,719 sf
front yard setback:	20 ft	99 ft
side yard setback:	7 ft	7 ft
lake yard setback:	58 ft	74 ft
useable open space:	1,000 sf	13,507 sf
max lot coverage:	50%	15% (3,552 sf)
max building height:	2 stories / 35 ft	2 stories / 29.3 ft **

floor area summary

first floor:	4,403 sf (includes attached garage)
second floor:	2,565 sf
total:	6,968 sf
floor area ratio (FAR)*:	0.29

* of the closest ten lakefront properties, the FAR ranges from 0.50 to 0.12; the median is 0.22.

** as measured from the existing prevailing grade of approximately 854.00'.



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Land Use Application
Not for Construction

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608-433-3400 www.bourilstudio.com



New Residence for for Mary Morgan & David Sheriff
5404 Lake Mendota Drive, Madison, Wisconsin, 53705

revision index		
#	date	reference

project: 16026
date: 10/11/2016
drawn by: RLL

project summary and location map

T1.1

no scale

J:\2016 projects\16026 Sheriff, David & Morgan, MaryG - Design & Technical\16026 Layout\mapout_10/11/2016 - 8:30:53 AM



sun data:
June 21, 2016
1:00 PM

front entry and garage (south elevation)



sun data:
June 21, 2016
8:00 AM

lake view (north elevation)



sun data:
June 21, 2016
6:00 PM

side view from 5400 Lake Mendota Drive (east elevation)



sun data:
June 21, 2016
11:00 AM

side view from 5406 Lake Mendota Drive (west elevation)

exterior renderings

no scale

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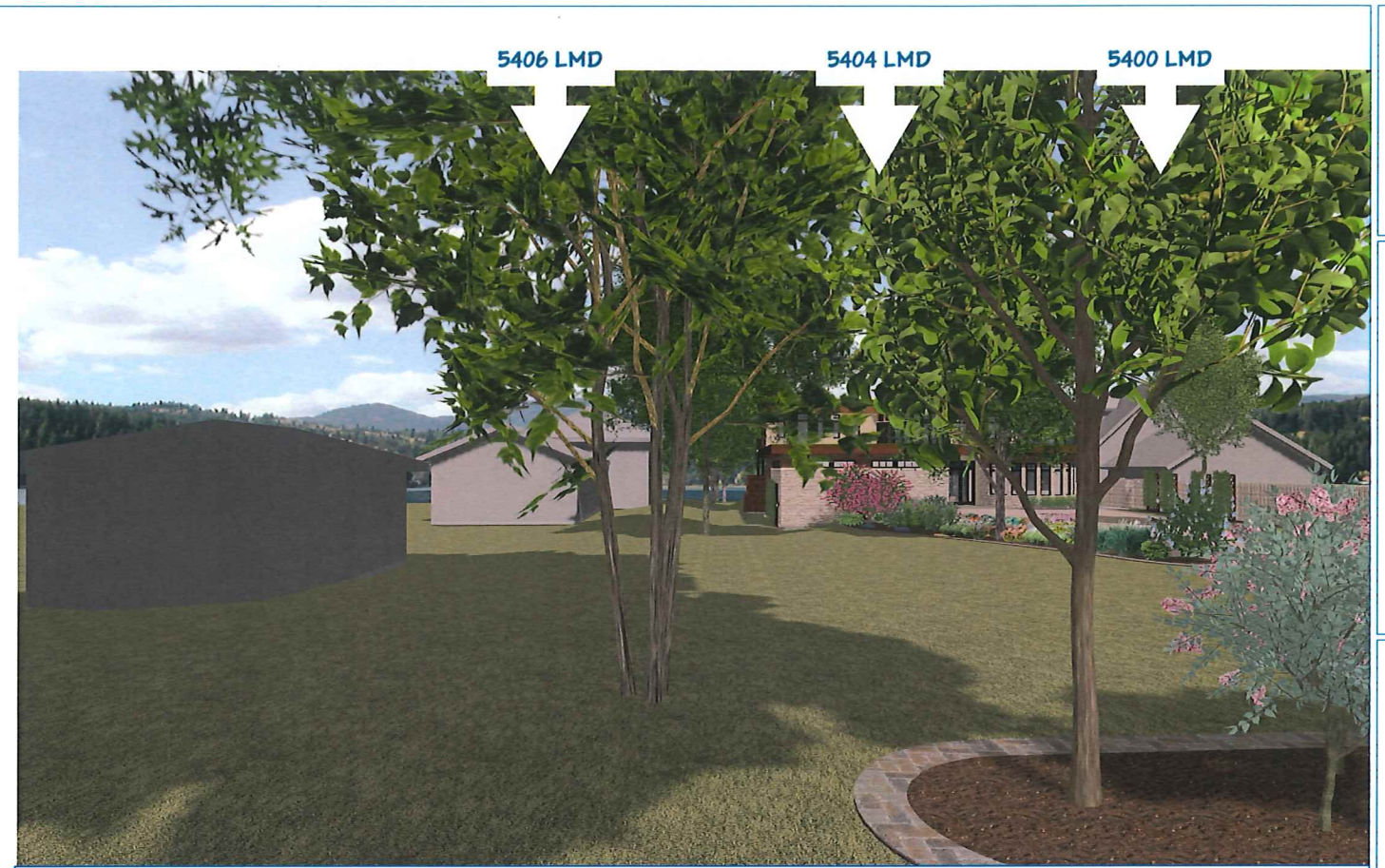
project: 16026
date: 10/11/2016
drawn by: RLL

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front view from Lake Mendota Drive



front view from Lake Mendota Drive



rear view from Lake Mendota



rear view from Lake Mendota

contextual massing: perspectives

no scale

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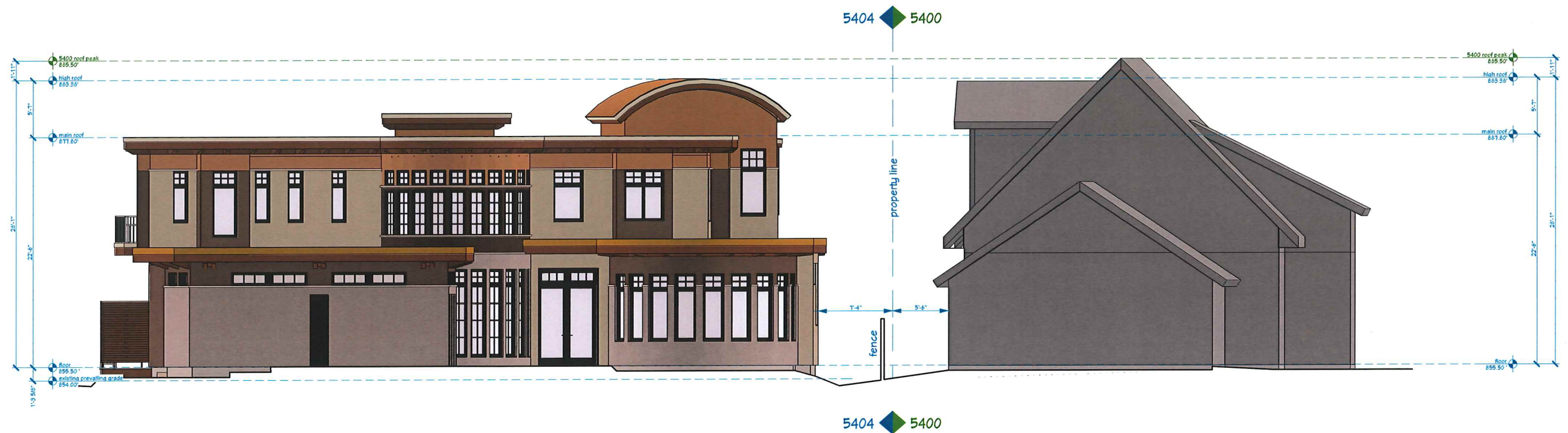
revision index		
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drawn by: RLL

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view from Lake Mendota Drive down the property line between 5406 & 5404



view from Lake Mendota Drive down the property line between 5404 & 5400

contextual massing: elevations

3/16" = 1'-0"

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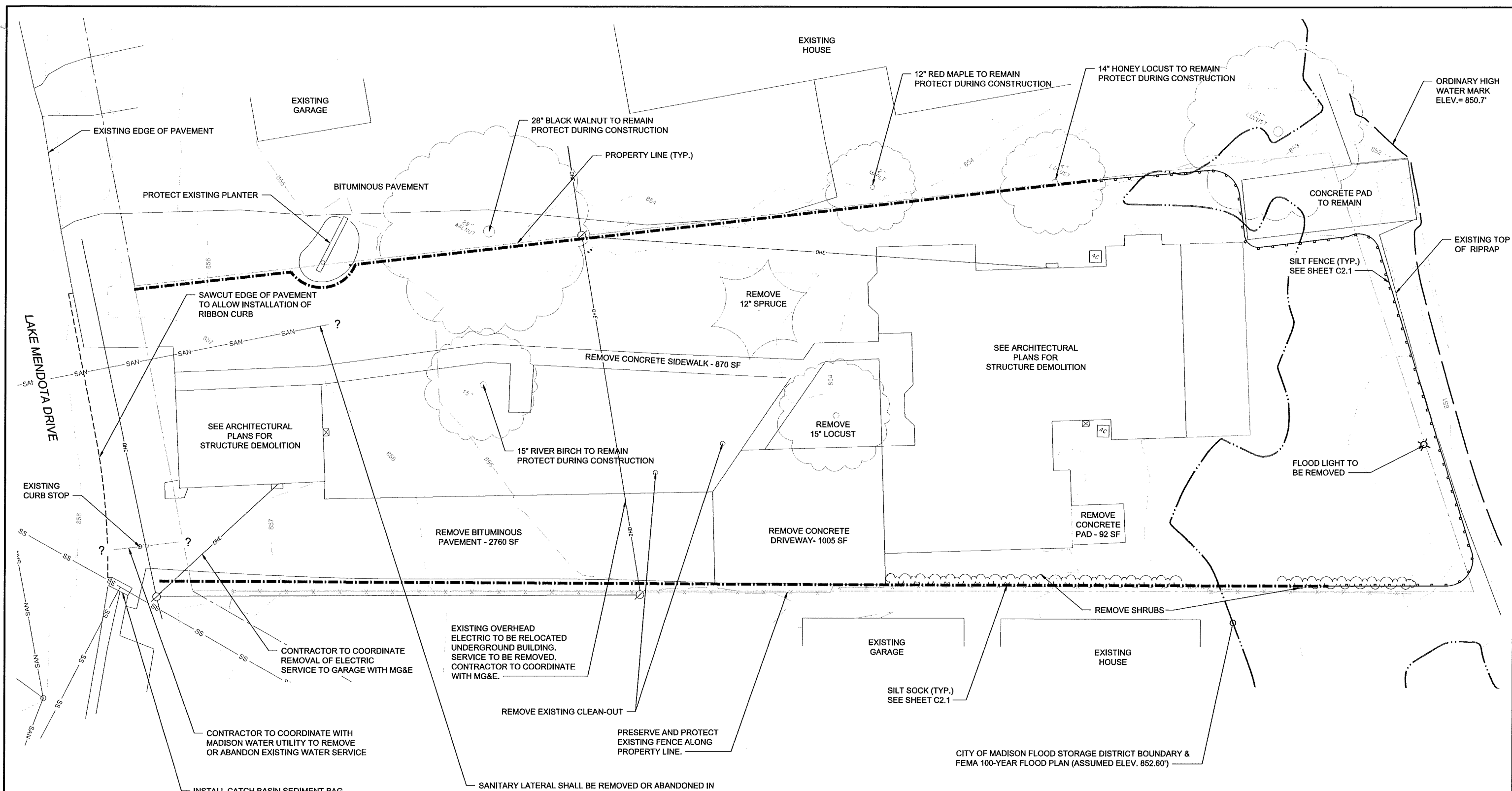


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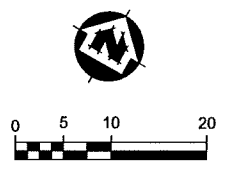
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#	reference

project: 16026
date: 10/11/2016
drawn by: RLL

E1.2



- NOTES:
1. PERIMETER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTHWORK DISTURBANCE FROM DEMOLITION.
 2. ALL PAVEMENT AND HARD SURFACE REMOVALS SHALL INCLUDE COMPLETE REMOVAL OF PAVEMENT BASE MATERIALS.
 3. CONTRACTOR SHALL OBTAIN SEWER PLUG PERMIT FROM THE CITY OF MADISON ENGINEERING PRIOR TO BEGINNING DEMOLITION WORK.
 4. CONTRACTOR SHALL OBTAIN CITY OF MADISON RIGHT OF WAY PERMIT PRIOR TO ANY REMOVALS ALONG LAKE MENDOTA DRIVE.
 5. CONTRACTOR TO REMOVE ALL SITE IRRIGATION EQUIPMENT AND PIPING.
 6. CONTRACTOR TO REMOVE ALL SITE ELECTRICAL FEATURES AND WIRING.
 7. TREE REMOVALS SHALL INCLUDE COMPLETE STUMP REMOVAL TO 2-FEET BELOW EXISTING GRADE.



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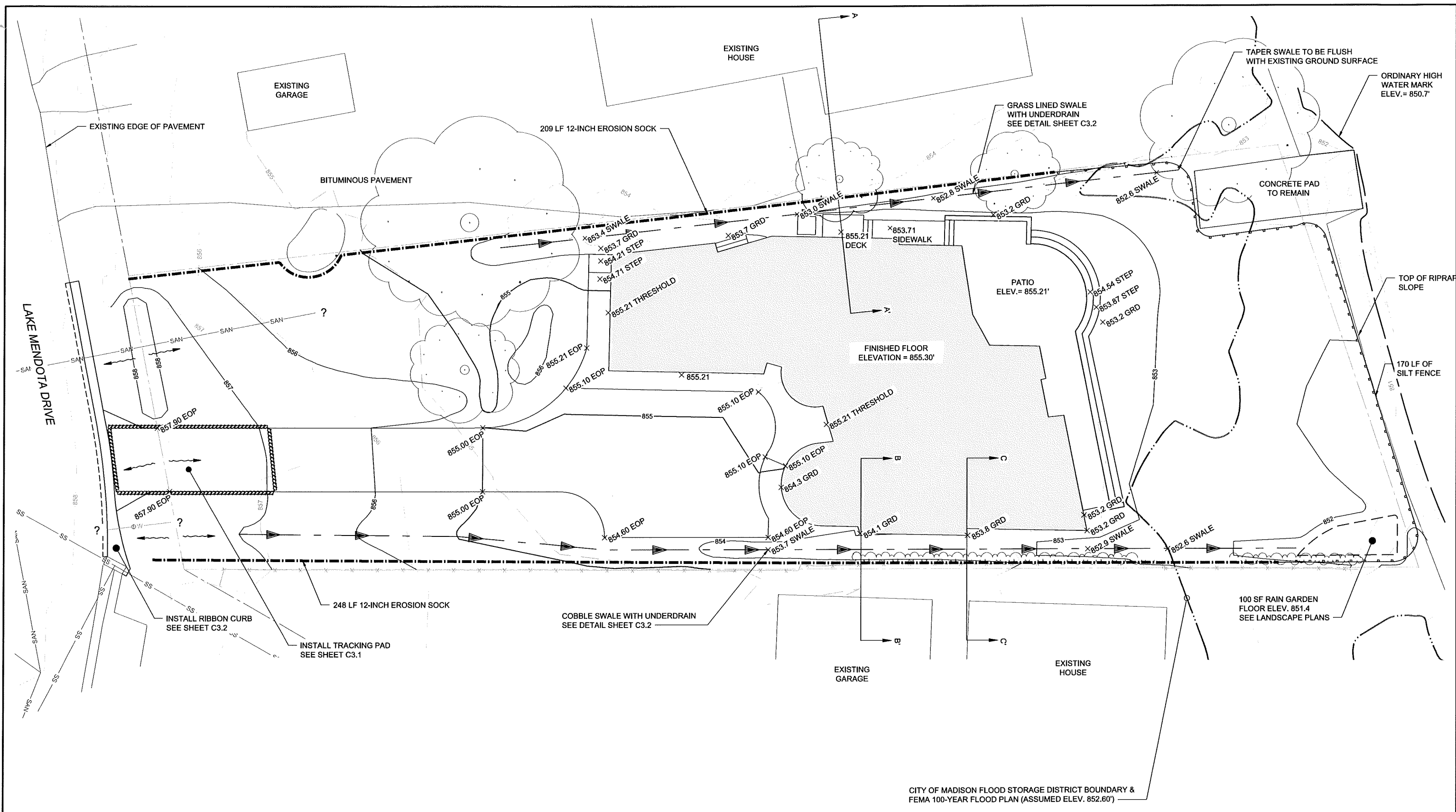
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NEW RESIDENCE FOR MARY MORGAN & DAVID SHERIFF
5404 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN

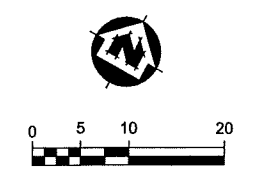
EXISTING SITE DEMOLITION PLAN

FILE NO. 18161000
SHEET C1.1



CITY OF MADISON FLOOD STORAGE DISTRICT BOUNDARY & FEMA 100-YEAR FLOOD PLAN (ASSUMED ELEV. 852.60')

- NOTES:
1. PERIMETER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTHWORK DISTURBANCE FROM DEMOLITION.
 2. SITE TRACKING PAD TO BE INSTALLED WHEN EXISTING DRIVEWAY PAVEMENTS ARE REMOVED.
 3. SEE SHEET CS1 FOR SIDE YARD SWALE CROSS SECTIONS.
 4. SEE LANDSCAPE PLANS FOR PAVEMENT CROSS-SECTIONS AND DETAILS.



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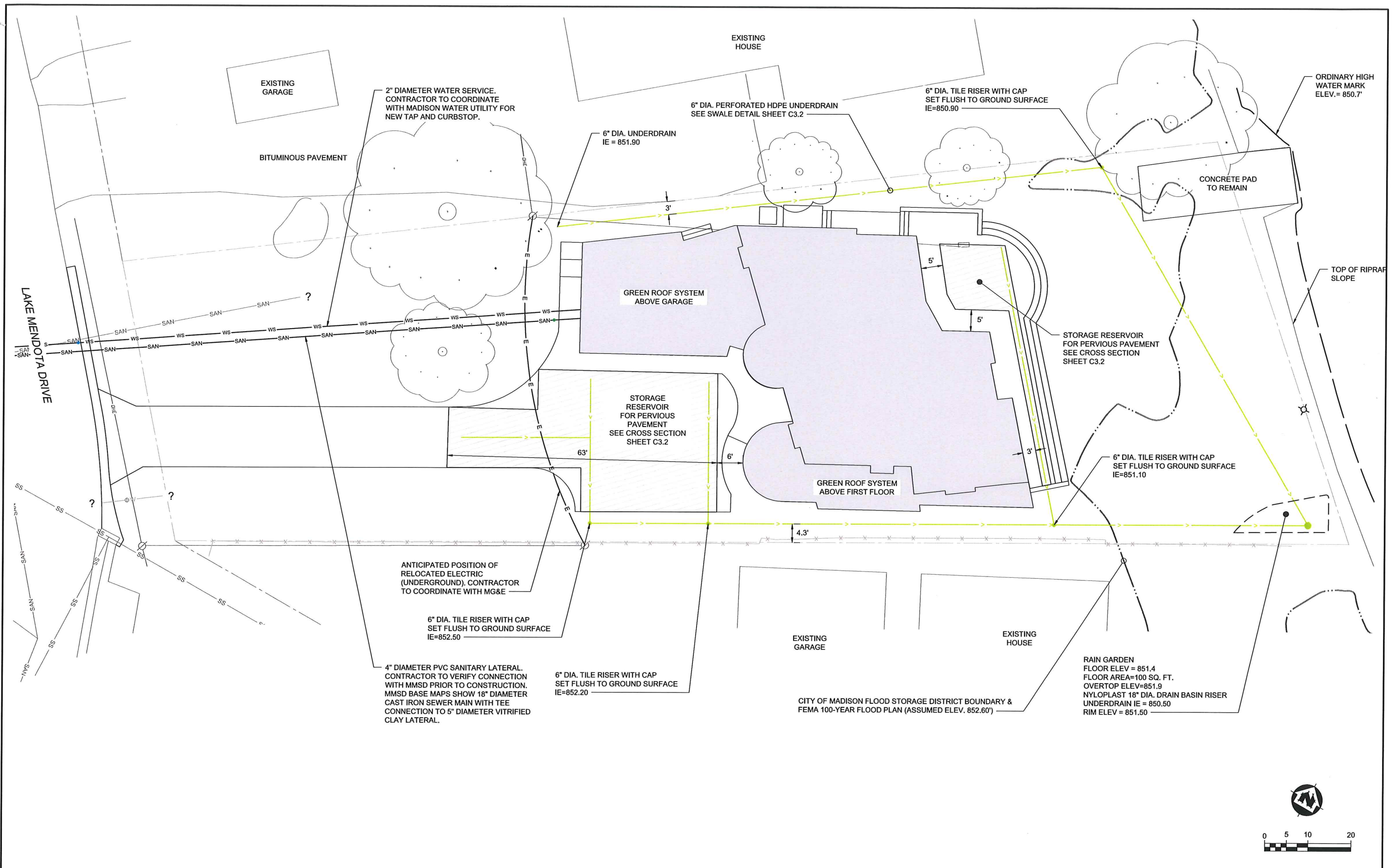
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SITE GRADING & EROSION CONTROL PLAN

FILE NO. 18161000
SHEET C2.1



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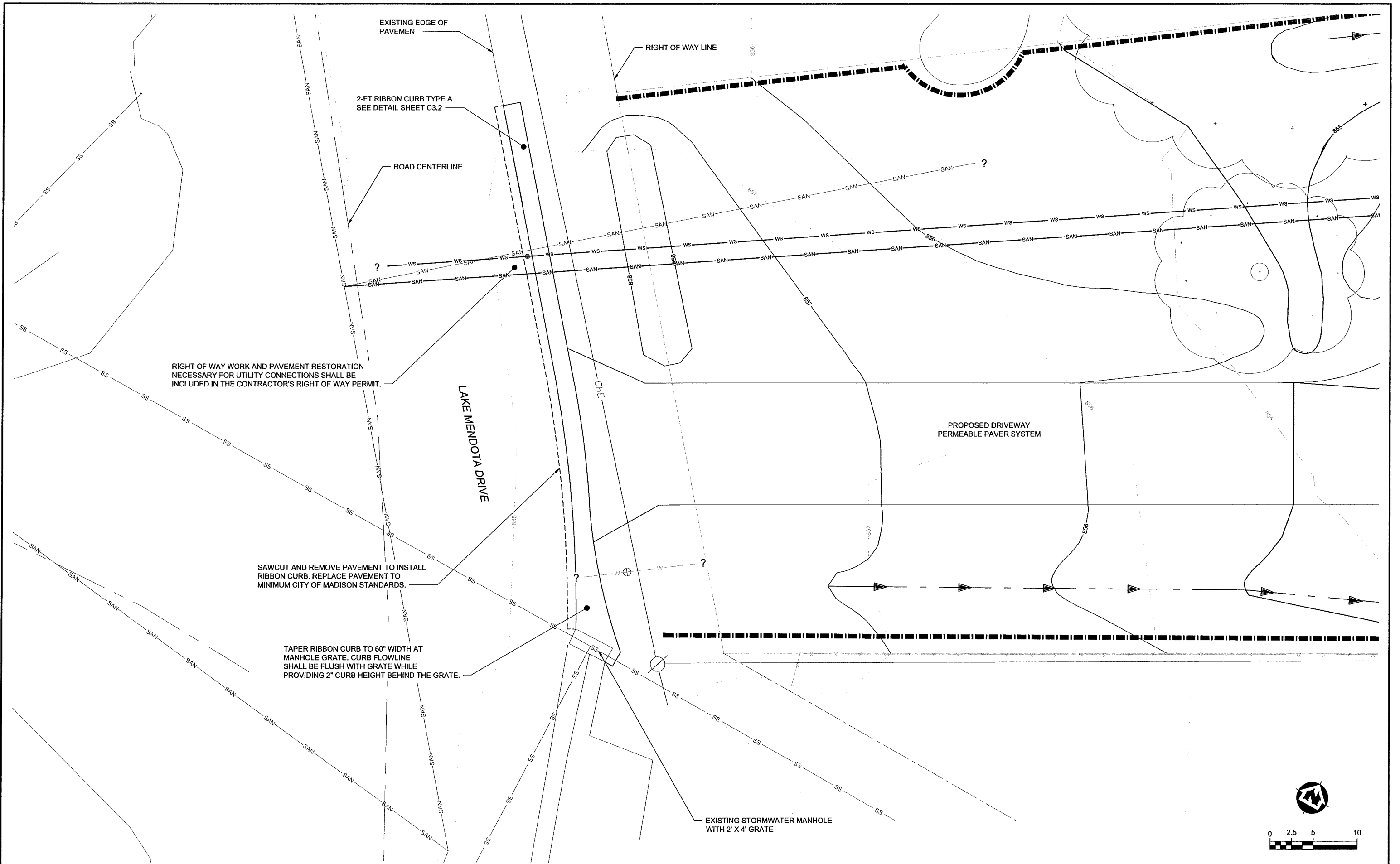
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SITE UTILITY PLAN

FILE NO. 18161000
SHEET C2.2



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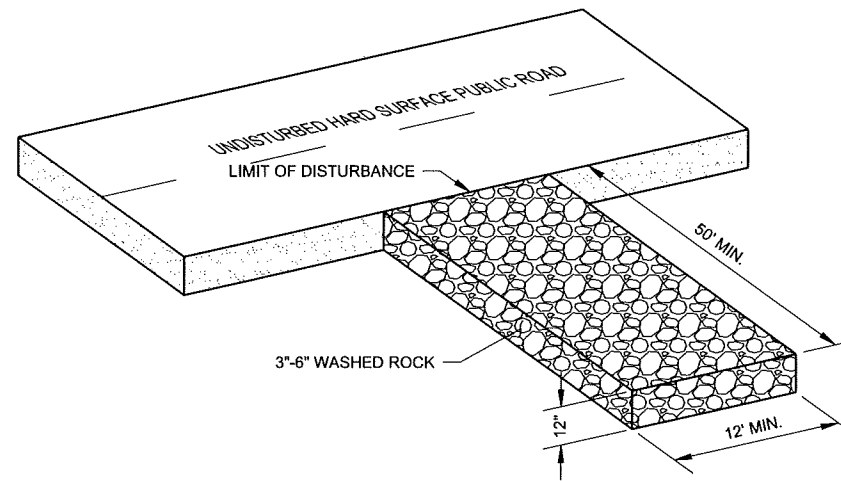
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WORK IN RIGHT OF WAY DETAIL

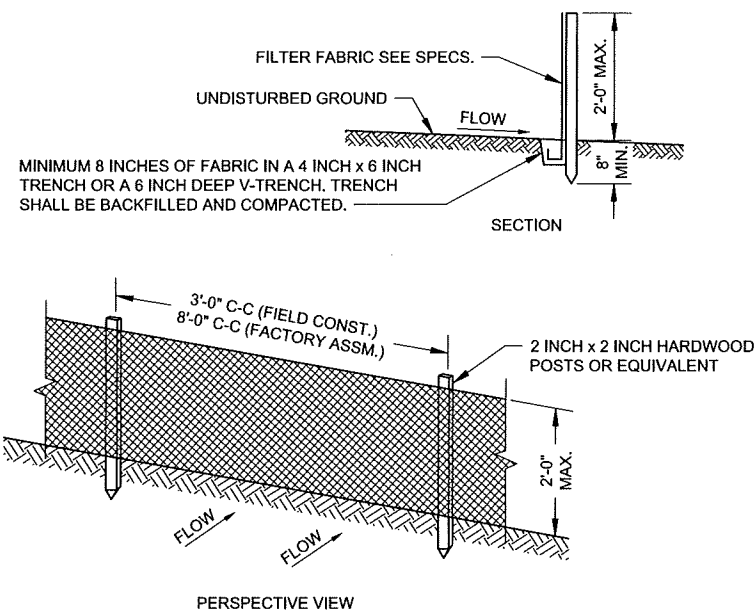
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**CONSTRUCTION SITE
EROSION CONTROL REQUIREMENTS**

- 1.) SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
- 2.) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- 3.) THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
- 4.) ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- 5.) THE AREA OF EROSION LAND EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- 6.) ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
- 7.) ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- 8.) ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- 9.) ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
- 10.) ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 11.) WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- 12.) CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
- 13.) THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
- 14.) EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
- 15.) ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
 - a. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - b. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - c. DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- 16.) ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED WDNR CONSERVATION PRACTICE STANDARDS.
- 17.) ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- 18.) DURING THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION OF A DISTURBED AREA WATERING OF ALL NEWLY SEEDED AND MULCHED AREAS SHALL BE PROVIDED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- 19.) WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- 20.) ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- 21.) ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.



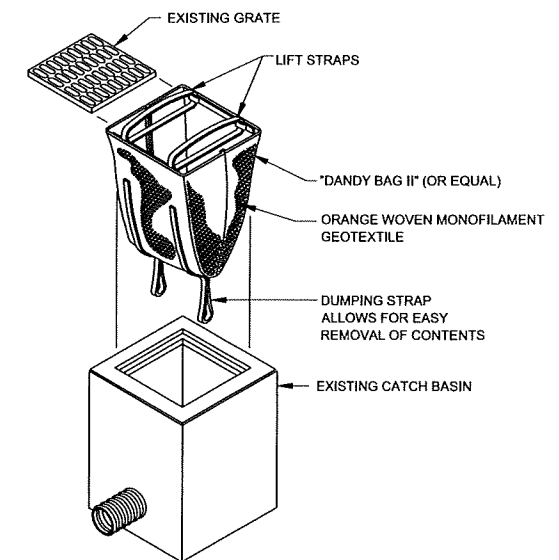
VEHICLE TRACKING PAD
NO SCALE



GENERAL NOTES:

1. ENDS OF FENCE SHALL BE TURNED UPSLOPE 1 TO 2 FEET IN ELEVATION TO PREVENT FLANKING.
2. STAPLE FABRIC WITH 1/2 INCH (MINIMUM) STAPLES TO THE UPSLOPE SIDE OF THE POSTS.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

TYPICAL SILT FENCE INSTALLATION AT SITE PERIMETER DETAIL
NO SCALE



MAINTENANCE REQUIREMENT:
FOLLOWING EACH RUNOFF EVENT, MONITOR AND, IF NECESSARY, REMOVE ALL ACCUMULATED SEDIMENT & DEBRIS FROM THE UNIT AFTER THE HEIGHT OF THE ACCUMULATED MATERIAL REACHES 1/3 OF THE HEIGHT OF THE SEDIMENT BAG.

**CATCH BASIN SEDIMENT
BAG INSERT TYPE DETAIL**
NTS

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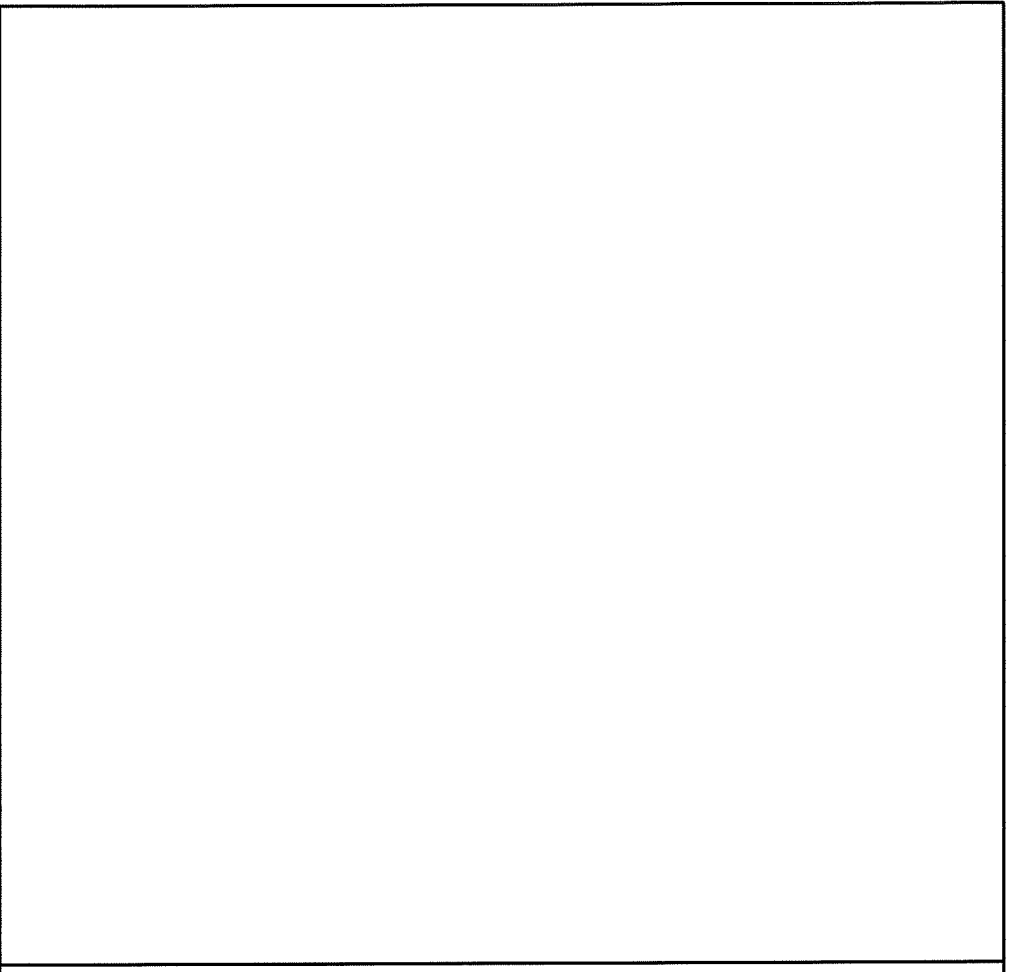
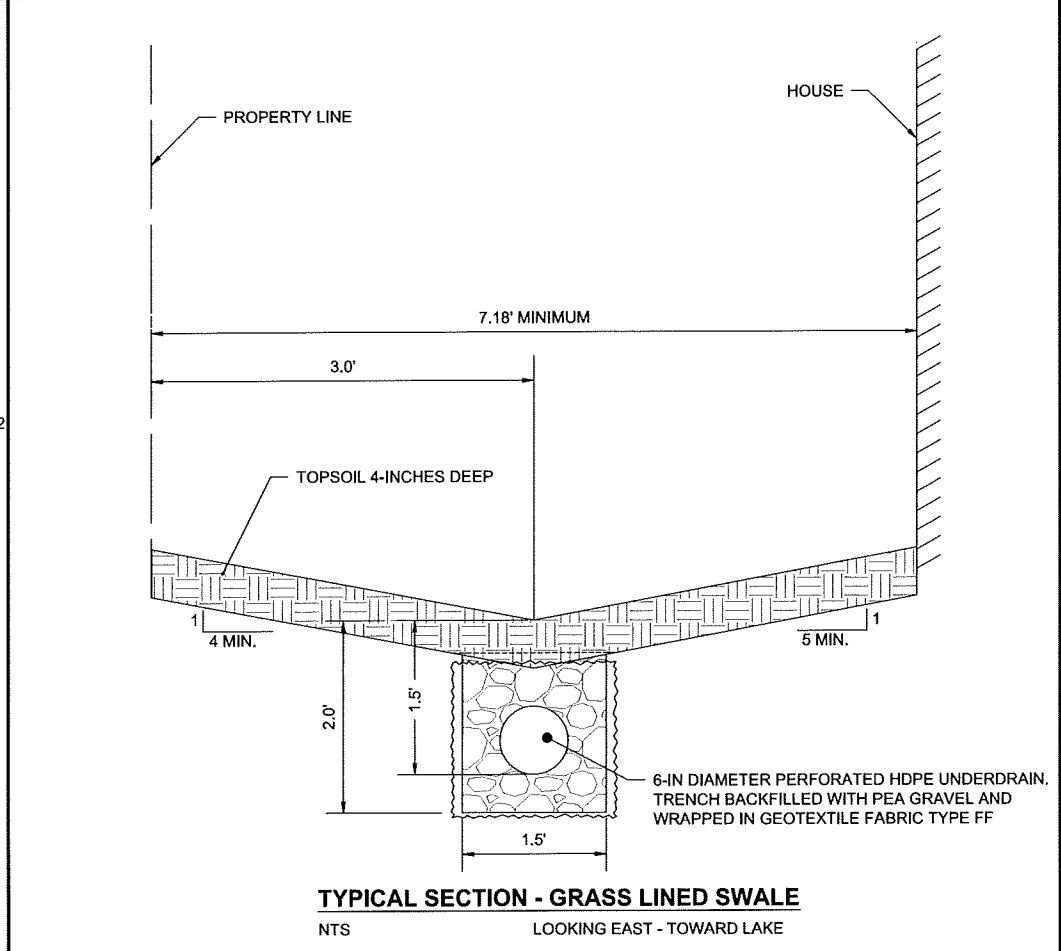
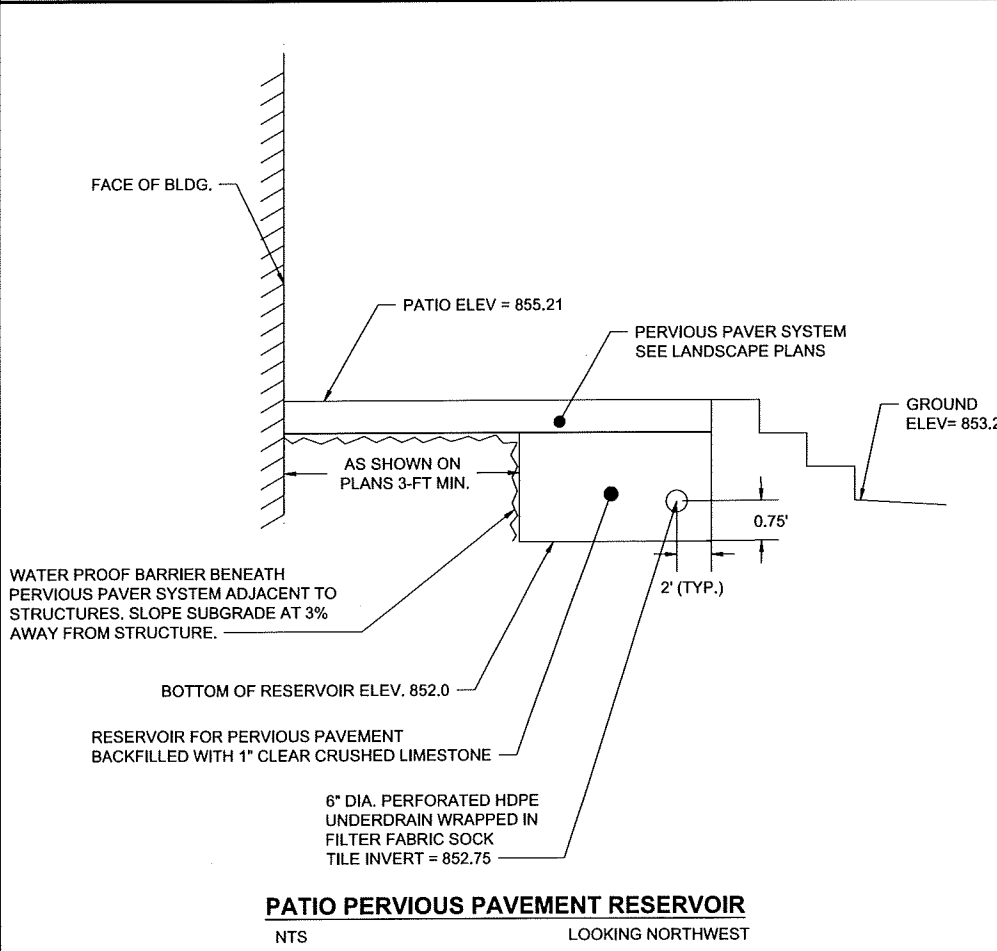
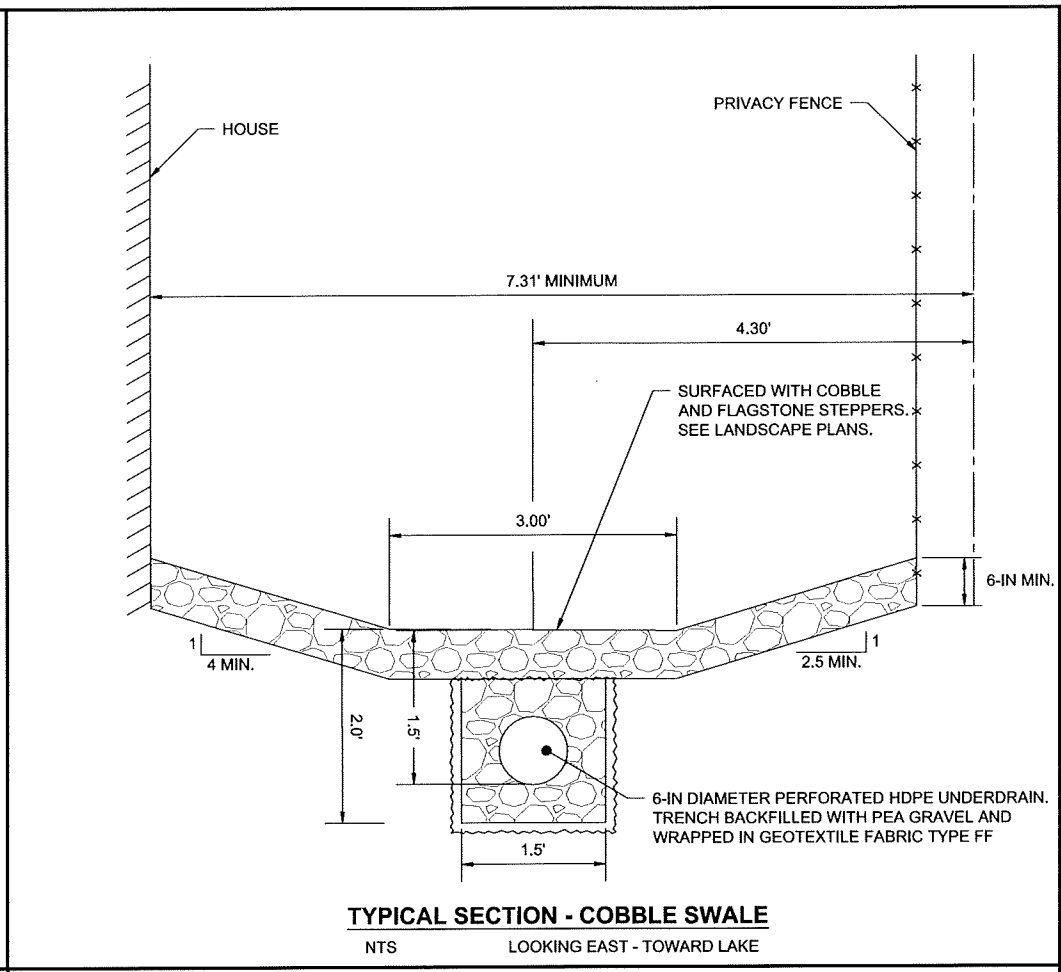
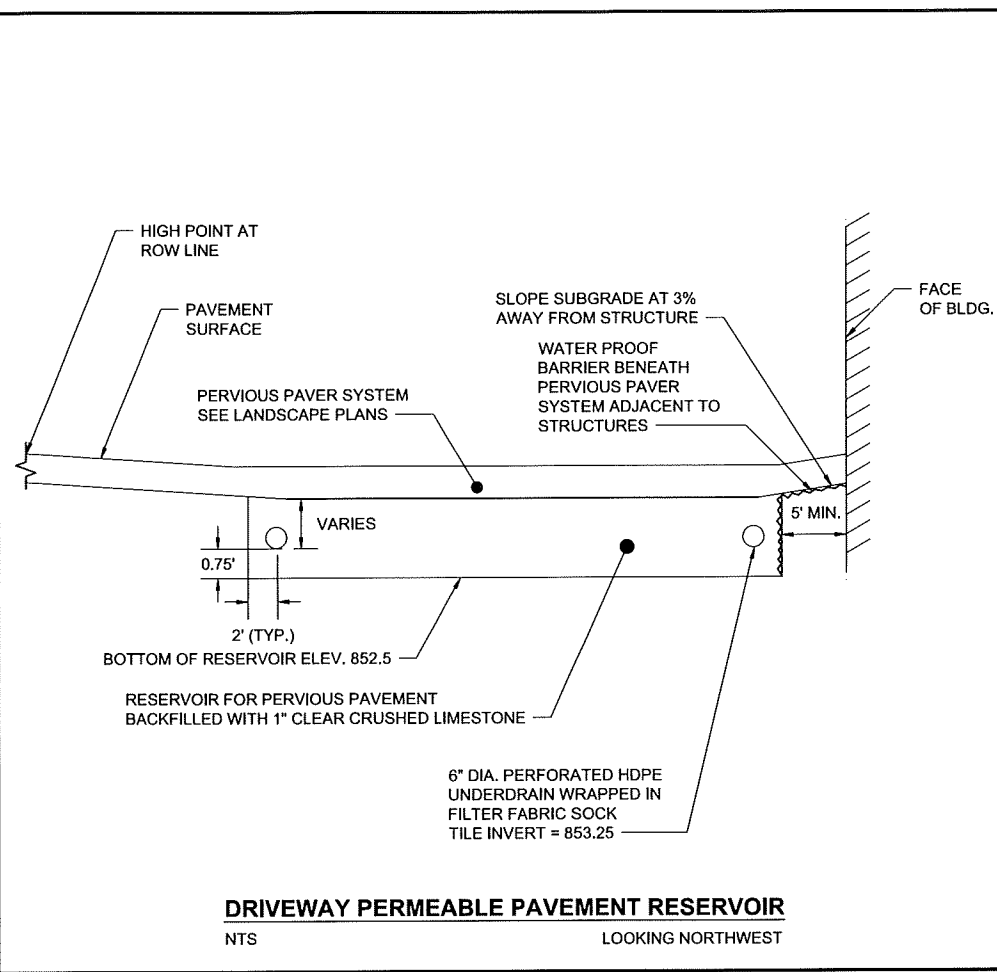
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CITY OF MADISON, DANE COUNTY, WISCONSIN

EROSION CONTROL NOTES & DETAILS

FILE NO.	18161000
SHEET	C3.1



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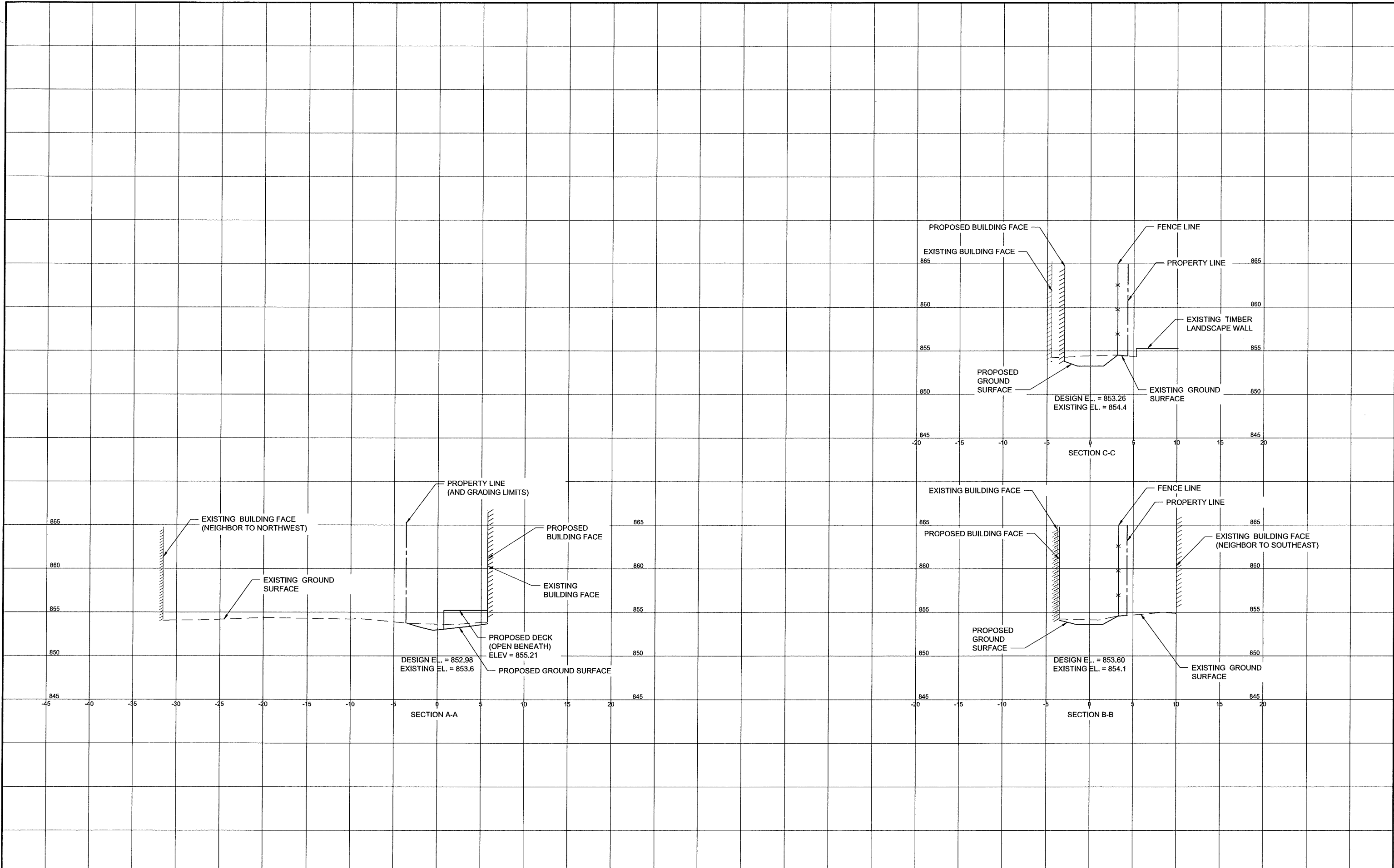
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SITework DETAILS

FILE NO. 18161000
SHEET C3.2



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 CITY OF MADISON, DANE COUNTY, WISCONSIN

SIDE YARD SWALE CROSS SECTIONS

FILE NO.	18161000
SHEET	C3.3

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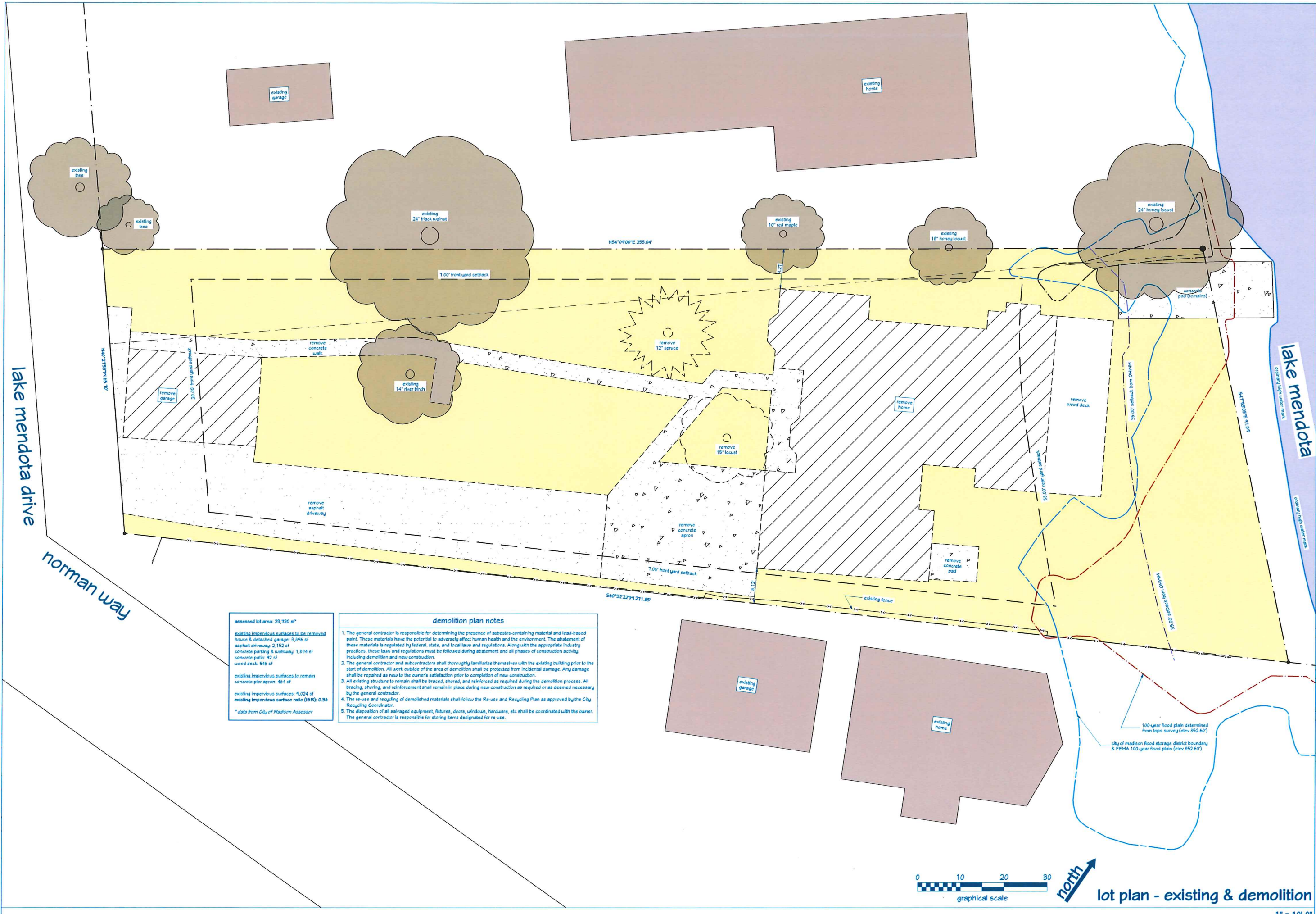
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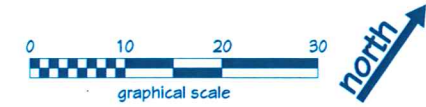
project: 16026
 date: 10/11/2016
 drawn by: RLL

L1.0



assessed lot area: 29,720 sf
 existing impervious surfaces to be removed
 house & detached garage: 3,048 sf
 asphalt driveway: 2,152 sf
 concrete parking & walkway: 1,874 sf
 concrete patio: 42 sf
 wood deck: 546 sf
 existing impervious surfaces to remain
 concrete pier apron: 464 sf
 existing impervious surfaces: 4,024 sf
 existing impervious surface ratio (ISR): 0.38
 * data from City of Madison Assessor

- #### demolition plan notes
- The general contractor is responsible for determining the presence of asbestos-containing material and lead-based paint. These materials have the potential to adversely affect human health and the environment. The abatement of these materials is regulated by federal, state, and local laws and regulations. Along with the appropriate industry practices, these laws and regulations must be followed during abatement and all phases of construction activity including demolition and new construction.
 - The general contractor and subcontractors shall thoroughly familiarize themselves with the existing building prior to the start of demolition. All work outside of the area of demolition shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to completion of new construction.
 - All existing structure to remain shall be braced, shored, and reinforced as required during the demolition process. All bracing, shoring, and reinforcement shall remain in place during new construction as required or as deemed necessary by the general contractor.
 - The re-use and recycling of demolished materials shall follow the Re-use and Recycling Plan as approved by the City Recycling Coordinator.
 - The disposition of all salvaged equipment, fixtures, doors, windows, hardware, etc shall be coordinated with the owner. The general contractor is responsible for storing items designated for re-use.

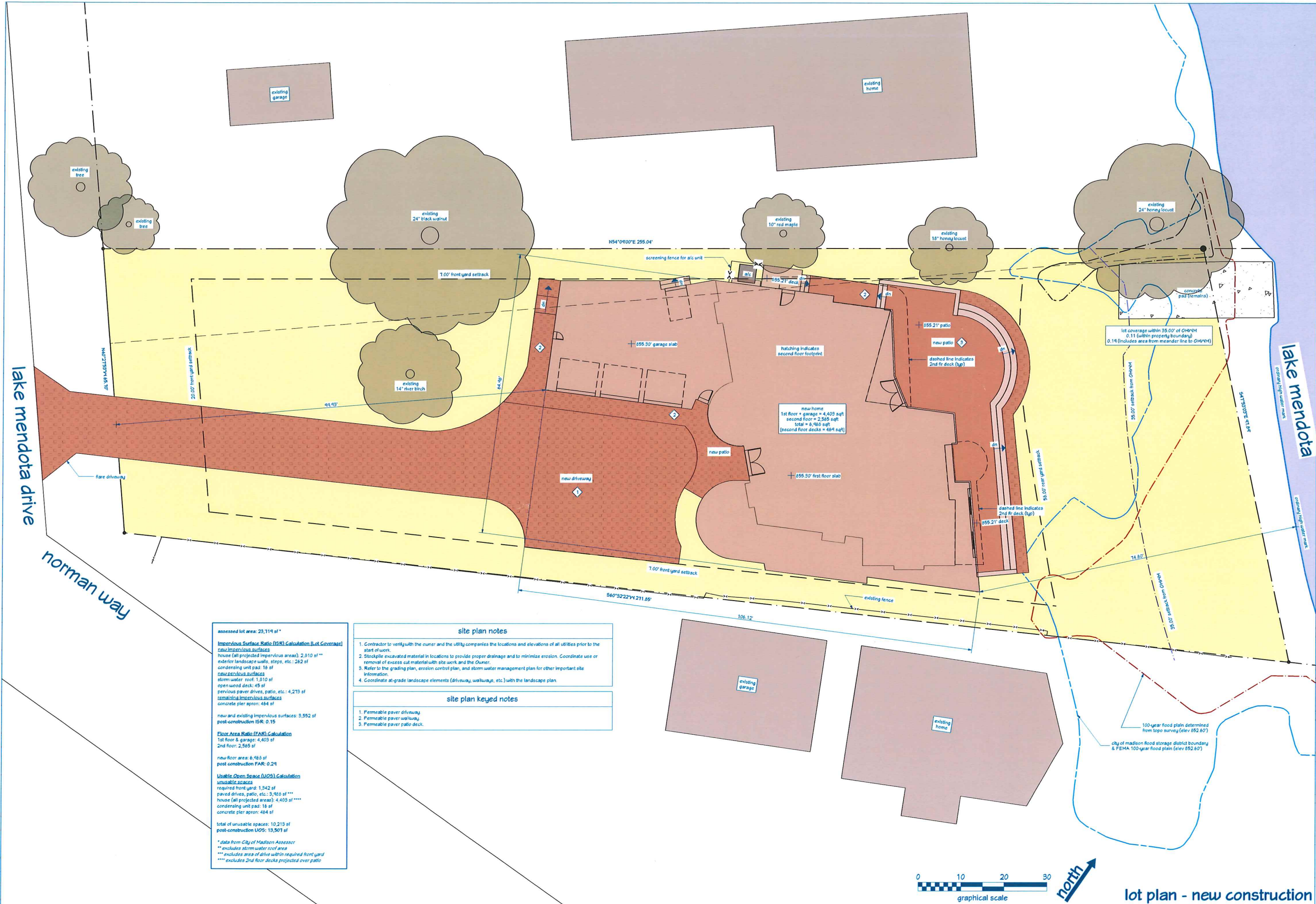


lot plan - existing & demolition

1" = 10'-0"

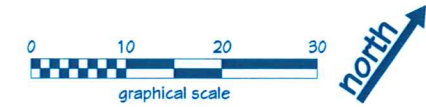
J:\2016 projects\16026 Sheriff, David & Morgan, Many, LLC - Design & Technical\16026 Layout\16026.dwg 10/11/2016 - 10:52:14 AM

J:\2016 projects\16026 Sheriff David & Morgan Morgan - Design & Technical\16026 Layout\16026 L1.1.dwg 10/11/2016 10:52:14 AM



assessed lot area: 23,114 sf
Impervious Surface Ratio (ISR) Calculation (Lot Coverage)
 new impervious surfaces
 house (all projected impervious areas): 2,510 sf
 exterior landscape walls, steps, etc.: 262 sf
 condensing unit pad: 16 sf
 new pervious surfaces
 storm water roof: 1,810 sf
 open wood deck: 45 sf
 pervious paver drives, patio, etc.: 4,279 sf
 remaining impervious surfaces
 concrete pier apron: 484 sf
 new and existing impervious surfaces: 9,552 sf
 post-construction ISR: 0.15
Floor Area Ratio (FAR) Calculation
 1st floor & garage: 4,403 sf
 2nd floor: 2,565 sf
 new floor area: 6,968 sf
 post-construction FAR: 0.29
Usable Open Space (UOS) Calculation
 unusable spaces
 required front yard: 1,342 sf
 paved drives, patio, etc.: 3,486 sf
 house (all projected areas): 4,403 sf
 condensing unit pad: 16 sf
 concrete pier apron: 484 sf
 total of unusable spaces: 10,219 sf
 post-construction UOS: 13,501 sf
 * data from City of Madison Assessor
 ** excludes storm water roof area
 *** excludes area of drive within required front yard
 **** excludes 2nd floor decks projected over patio

- site plan notes**
1. Contractor to verify with the owner and the utility companies the locations and elevations of all utilities prior to the start of work.
 2. Stockpile excavated material in locations to provide proper drainage and to minimize erosion. Coordinate use or removal of excess cut material with site work and the Owner.
 3. Refer to the grading plan, erosion control plan, and storm water management plan for other important site information.
 4. Coordinate at-grade landscape elements (driveway, walkways, etc.) with the landscape plan.
- site plan keyed notes**
1. Permeable paver driveway
 2. Permeable paver walkway
 3. Permeable paver patio deck



lot plan - new construction

1" = 10'-0"

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Land Use Application
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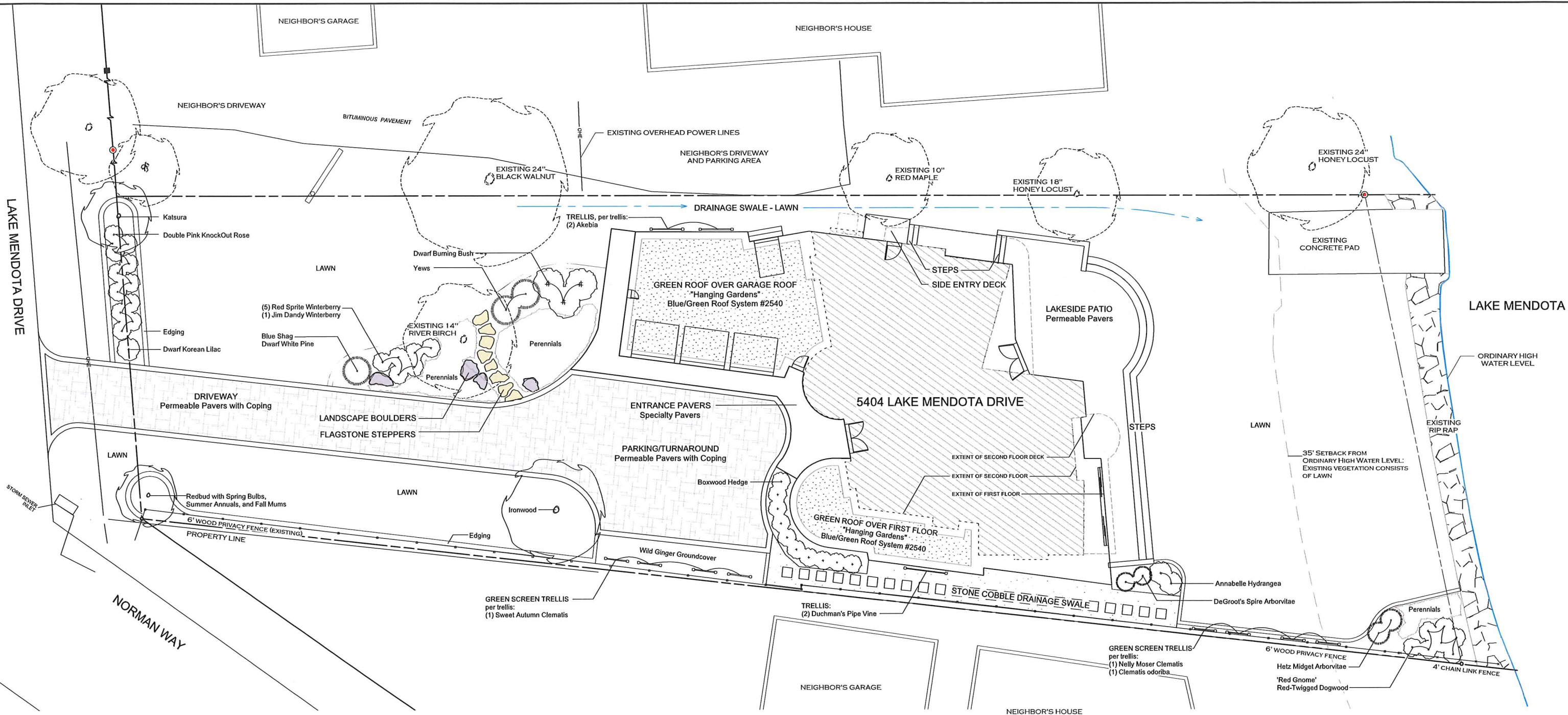


New Residence for for
Many Morgan & David Sheriff
 5404 Lake Mendota Drive, Madison, Wisconsin, 53705

revision	index
#	date reference

project: 16026
 date: 10/11/2016
 drawn by: RLL

L1.1



Quantity	Size, Root Condition	Latin Name	Common Name	Comments
Deciduous Trees				
1	3" caliper, B&B	<i>Cercidiphyllum japonicum</i>	Katsura	Single stem specimen
1	3" caliper, B&B	<i>Cercis canadensis</i>	Redbud	Single stem specimen
1	3" caliper, B&B	<i>Ostrya virginiana</i>	Ironwood	Single stem specimen
Evergreen Shrubs				
1	30", container	<i>Pinus strobus</i> 'Nana'	Blue Shag Dwarf White Pine	
2	24", container	<i>Taxus densiformis</i>	Spreading Yew	Plant 5' on center
2	6", B&B	<i>Thuja occidentalis</i> 'Degroot's Spire'	Degroot's Spire Arborvitae	
2	18", container	<i>Thuja occidentalis</i> 'Hetz Midget'	Hetz Midget Arborvitae	
Deciduous Shrubs				
10	15-18", B&B	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen Boxwood	
6	24", container	<i>Cornus alba</i> 'Red Gnome'	Red Gnome Red Twigged Dogwood	
3	4", B&B	<i>Euonymus alatus</i> 'Compactus'	Dwarf Burning Bush	
2	5 gallon	<i>Hydrangea arborescens</i>	Annabelle Hydrangea	
1	18-24", container	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Holly	male winterberry, required for pollination
5	18-24", container	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	
11	5 gallon	<i>Rosa x</i> 'Radtkepink'	Double Pink Knock Out Rose	
1	24", container	<i>Syringa meyeri</i> 'Palibin'	Dwarf Korean Lilac	Standard w/24-30" head on 4" trunk

Quantity	Size, Root Condition	Latin Name	Common Name	Comments
Vines				
4	2 gallon	<i>Akebia quinata</i>	Akebia vine	
2	2 gallon	<i>Aristolochia durior</i>	Dutchman's Pipe Vine	
4	2 gallon	<i>Clematis odoriba</i>	Clematis odoriba	pair with C. 'Nelly Moser' on trellis adjacent to lakeside lawn
4	2 gallon	<i>Clematis terniflora</i>	Sweet Autumn Clematis	plant one plant per trellis adjacent to parking area
4	2 gallon	<i>Clematis x</i> 'Nelly Moser'	Nelly Moser Clematis	pair with C. 'Odoriba' on trellis adjacent to lakeside lawn
Groundcover				
150	quart	<i>Asarum canadense</i>	Wild Ginger	
Green Roof				
1200 sf	pre-grown mat	Sedum	Sedum varieties	"Hanging Gardens" Sedum Tile #6400
Perennial Garden Areas				
Perennial plant selection to be completed by garden designer. All perennials to be installed in quart or gallon sizes, planted 12" - 18" on center.				

LAND USE SUBMITTAL

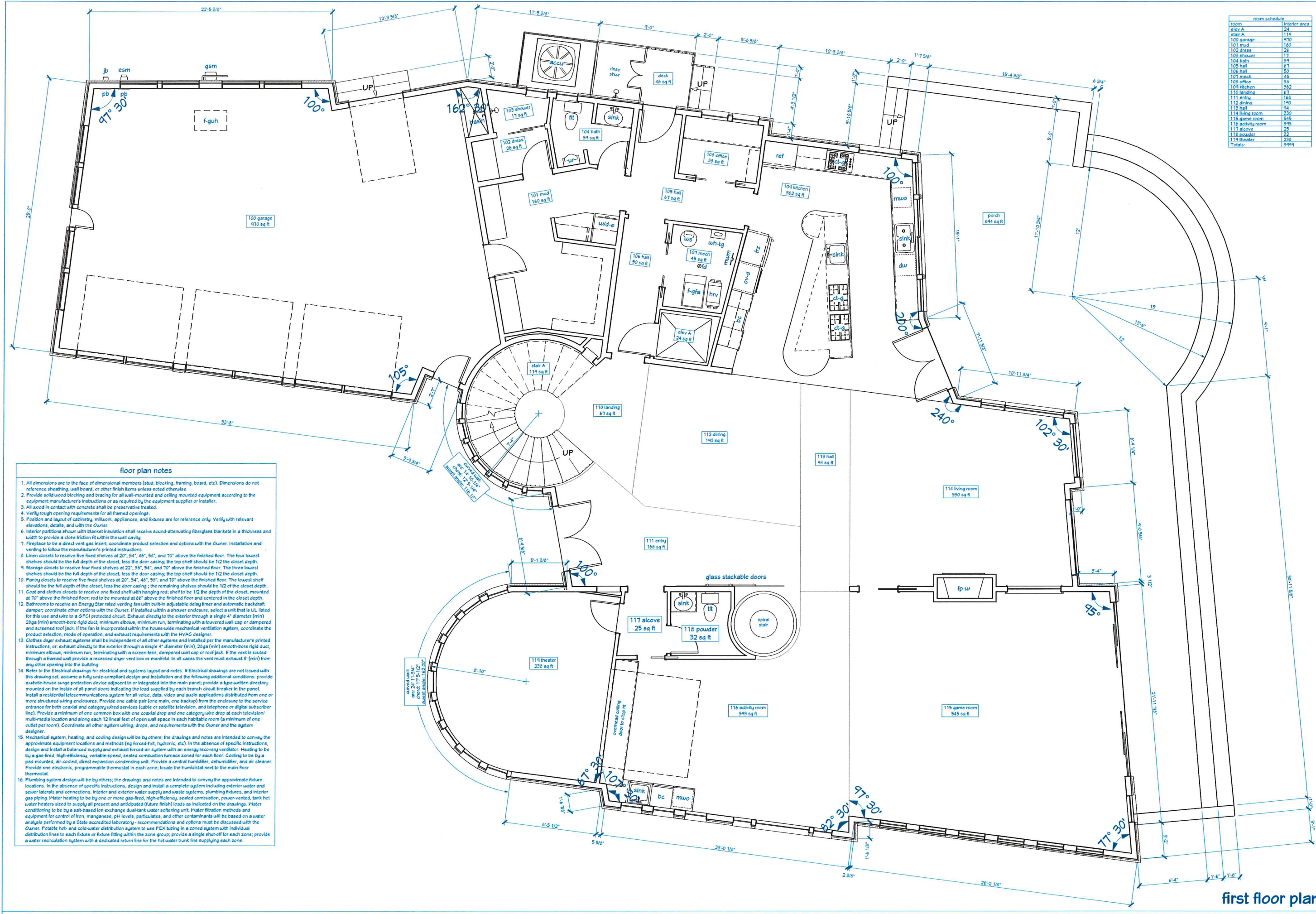
SHERIFF/MORGAN RESIDENCE
5404 LAKE MENDOTA DR., MADISON 53705
LANDSCAPE PLAN

4797 Capitol View Rd
Middleton, WI 53562
608.831.5098 fax
608.831.9071 fax

DWN BY: SGZ/MGW
DATE: 10/12/16
REV(S):

SCALE: 1"=10'-0"
0' 5' 10'

SHEET 1 OF 1
L-2.1



room	interior area
elev A	24
stair A	114
100 garage	470
101 mud	160
102 dress	26
103 shower	17
104 bath	34
105 hall	67
106 office	45
107 kitchen	35
108 dining	35
109 living room	350
110 landing	67
111 entry	160
112 dining	190
113 hall	94
114 living room	350
115 game room	545
116 activity room	545
117 alcove	25
118 powder	32
119 theater	238
120 shower	32
Totals:	3994

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Land Use Application

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New Residence for for
Many Morgan & David Sheriff
 5404 Lake Mendota Drive, Madison, Wisconsin, 53705

revision index	
#	reference

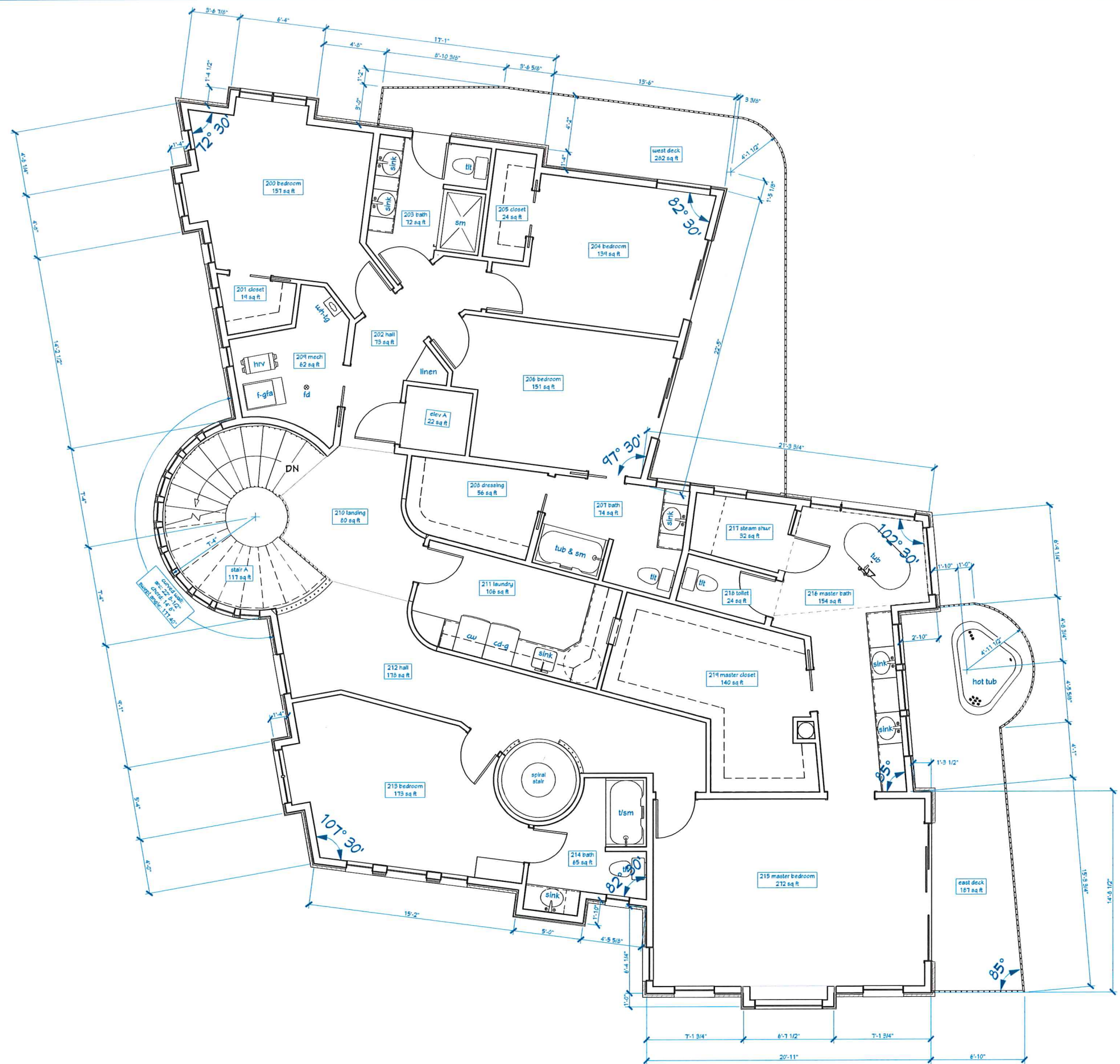
project: 16026
 date: 10/11/2016
 drawn by: RLL

A1.0

- ### floor plan notes
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
 - Provide solid wood blocking and bracing for all wall-mounted and ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.
 - All wood in contact with concrete shall be preservative treated.
 - Verify rough opening requirements for all framed openings.
 - Position and layout of cabinetry, millwork, appliances, and fixtures are for reference only. Verify with relevant elevations, details, and with the Owner.
 - Interior partitions shown with blanket insulation shall receive sound-attenuating fiberglass blankets in a thickness and width to provide a close friction fit within the wall cavity.
 - Fireplaces to be a direct vent gas insert; coordinate product selection and options with the Owner. Installation and venting to follow the manufacturer's printed instructions.
 - Linen closets to receive five fixed shelves at 20", 34", 46", 58", and 70" above the finished floor. The four lowest shelves should be the full depth of the closet, less the door casing; the top shelf should be 1/2 the closet depth.
 - Storage closets to receive four fixed shelves at 22", 35", 54", and 70" above the finished floor. The three lowest shelves should be the full depth of the closet, less the door casing; the top shelf should be 1/2 the closet depth.
 - Planting closets to receive five fixed shelves at 20", 34", 46", 58", and 70" above the finished floor. The lowest shelf should be the full depth of the closet, less the door casing; the remaining shelves should be 1/2 of the closet depth.
 - Coat and clothes closets to receive one fixed shelf with hanging rod; shelf to be 1/2 of the closet depth, mounted at 70" above the finished floor; rod to be mounted at 66" above the finished floor and centered in the closet depth.
 - Bathrooms to receive an Energy Star rated venting fan with built-in adjustable delay timer and automatic backdraft damper; coordinate other options with the Owner. If installed within a shower enclosure, select a unit that is UL listed for this use and wire to a GFCI protected circuit. Exhaust directly to the exterior through a single 4" diameter (min) 28ga (min) smooth-bore rigid duct, minimum elbows, minimum run, terminating with a louvered wall cap or dampered and screened roof jack. If the fan is incorporated within the house-wide mechanical ventilation system, coordinate the product selection, mode of operation, and exhaust requirements with the HVAC designer.
 - Clothes dryer exhaust systems shall be independent of all other systems and installed per the manufacturer's printed instructions, or exhaust directly to the exterior through a single 4" diameter (min) 28ga (min) smooth-bore rigid duct, minimum elbows, minimum run, terminating with a screen-less, dampered wall cap or roof jack. If the vent is routed through a framed wall provide a recessed dryer vent box or manifold. In all cases the vent must exhaust 3' (min) from any other opening into the building.
 - Refer to the Electrical drawings for electrical and systems layout and notes. If Electrical drawings are not issued with this drawing set, assume a fully code-compliant design and installation and the following additional conditions: provide a whole-house surge protection device adjacent to or integrated into the main panel; provide a type-written directory mounted on the inside of all panel doors indicating the load supplied by each branch circuit breaker in the panel. Install a residential telecommunications system for all voice, data, video and audio applications distributed from one or more structured wiring enclosures. Provide one cable pair (one main, one backup) from the enclosure to the service entrance for both coaxial and category wired services (cable or satellite television, and telephone or digital subscriber line). Provide a minimum of one common box with one coaxial drop and one category wire drop at each television/multi-media location and along each 12 lineal feet of open wall space in each habitable room (a minimum of one outlet per room). Coordinate all other system wiring, drops, and requirements with the Owner and the system designer.
 - Mechanical system, heating, and cooling design will be by others; the drawings and notes are intended to convey the approximate equipment locations and methods (eg forced-hot, hydronic, etc). In the absence of specific instructions, design and install a balanced supply and exhaust forced-air system with an energy recovering ventilator. Heating to be by a gas-fired, high-efficiency, variable-speed, sealed combustion furnace zoned for each floor. Cooling to be by a gas-mounted, air-cooled, direct expansion condensing unit. Provide a central humidifier, dehumidifier, and air cleaner. Provide one electronic, programmable thermostat in each zone; locate the humidistat next to the main floor thermostat.
 - Plumbing system design will be by others; the drawings and notes are intended to convey the approximate fixture locations. In the absence of specific instructions, design and install a complete system including exterior water and sewer laterals and connections, interior and exterior water supply and waste systems, plumbing fixtures, and interior gas piping. Water heating to be by one or more gas-fired, high-efficiency, sealed combustion, power-vented, tank hot water heaters sized to supply all present and anticipated (future finish) loads as indicated on the drawings. Water conditioning to be by a salt-based ion exchange dual tank water softening unit. Water filtration methods and equipment for control of iron, manganese, pH levels, particulates, and other contaminants will be based on a water analysis performed by a State accredited laboratory - recommendations and options must be discussed with the Owner. Potable hot- and cold-water distribution system to use PEX tubing in a zoned system with individual distribution lines to each fixture or fixture fitting within the zone group; provide a single shut-off for each zone; provide a water recirculation system with a dedicated return line for the hot water trunk line supplying each zone.

first floor plan
 1/4" = 1'-0"

10/27/16 project:16026 Sheriff, David & Morgan, Many D., Design & Technical:RLL, Lagni:Ragn, 10/11/2016 - 4:52:46 AM



room	interior area
200 bedroom	157
201 closet	14
202 hall	75
203 bath	72
204 bedroom	154
205 closet	24
206 bedroom	151
207 bath	74
208 dressing	56
209 mech	62
210 landing	60
211 laundry	106
212 hall	178
213 bedroom	173
214 bath	65
215 master bedroom	212
216 master bath	154
217 steam shower	32
218 toilet	24
219 master closet	140
Total:	2051

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New Residence for for
Many Morgan & David Sheriff
5404 Lake Mendota Drive, Madison, Wisconsin, 53705

revision index	
#	reference

project: 16026
date: 10/11/2016
drawn by: RLL

second floor plan
A1.1

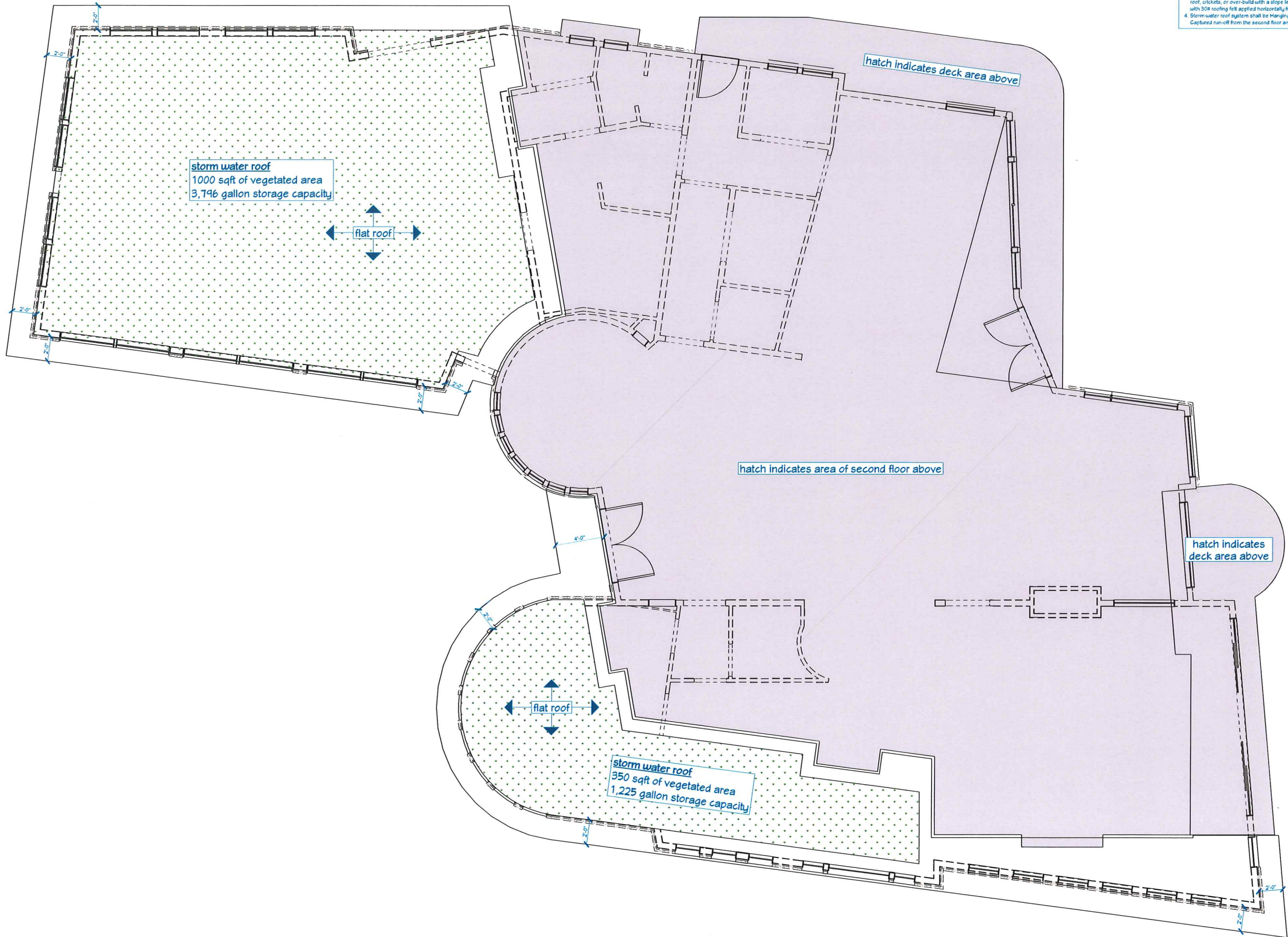
1/4" = 1'-0"

floor plan notes

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- Pantry closets to receive five fixed shelves at 20", 34", 46", 55", and 70" above the finished floor. The lowest shelf should be the full depth of the closet, less the door casing; the remaining shelves should be 1/2 of the closet depth.
- Cost and clothes closets to receive one fixed shelf with hanging rod; shelf to be 1/2 the depth of the closet, mounted at 70" above the finished floor; rod to be mounted at 66" above the finished floor and centered in the closet depth.
- Bathrooms to receive an Energy Star rated venting fan with built-in adjustable delay timer and automatic backdraft damper; coordinate other options with the Owner. If installed within a shower enclosure, select a unit that is UL listed for this use and wire to a GFCI protected circuit. Exhaust directly to the exterior through a single 4" diameter (min) 28ga (min) smooth-bore rigid duct, minimum elbows, minimum run, terminating with a lowered well cap or dampened and screened roof jack. If the fan is incorporated within the house-wide mechanical ventilation system, coordinate the product selection, mode of operation, and exhaust requirements with the HVAC designer.
- Clothes dryer exhaust systems shall be independent of all other systems and installed per the manufacturer's printed instructions, or exhaust directly to the exterior through a single 4" diameter (min), 28ga (min) smooth-bore rigid duct, minimum elbows, minimum run, terminating with a screened, dampened well cap or roof jack. If the vent is routed through a framed wall provide a recessed dryer vent box or manifold. In all cases the vent must exhaust 3' (min) from any other opening into the building.
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- roof plan notes
1. All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
 2. Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
 3. Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents, and stacks, along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch, and other vertical surfaces; over the entire surface of any roof, crickets, or over-build with a slope less than 3:12. All areas not covered by waterproof membrane will be covered with 30# roofing felt applied horizontally from eave to ridge.
 4. Storm water roof system shall be Hanging Gardens System #2547, modified as illustrated in the relevant details. Captured run-off from the second floor and High roofs will be routed to the garage roof for use as irrigation.

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New Residence for for
Mary Morgan & David Sheriff
5404 Lake Mendota Drive, Madison, Wisconsin, 53705

revision index		
#	date	reference

project: 16026
date: 10/11/2016
drawn by: RLL

first floor roof plan

A1.2

1/4" = 1'-0"

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second floor roof plan

1/4" = 1'-0"

roof plan notes

1. All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
2. Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
3. Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents, and stacks; along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch, and other vertical surfaces; over the entire surface of any roof, crickets, or over-build with a slope less than 3:12. All areas not covered by waterproof membrane will be covered with 30# roofing felt applied horizontally from eave to ridge.
4. Storm water roof system shall be Hanging Gardens System #2540, modified as illustrated in the relevant details. Captured run-off from the second floor and high roofs will be routed to the garage roof for use as irrigation.

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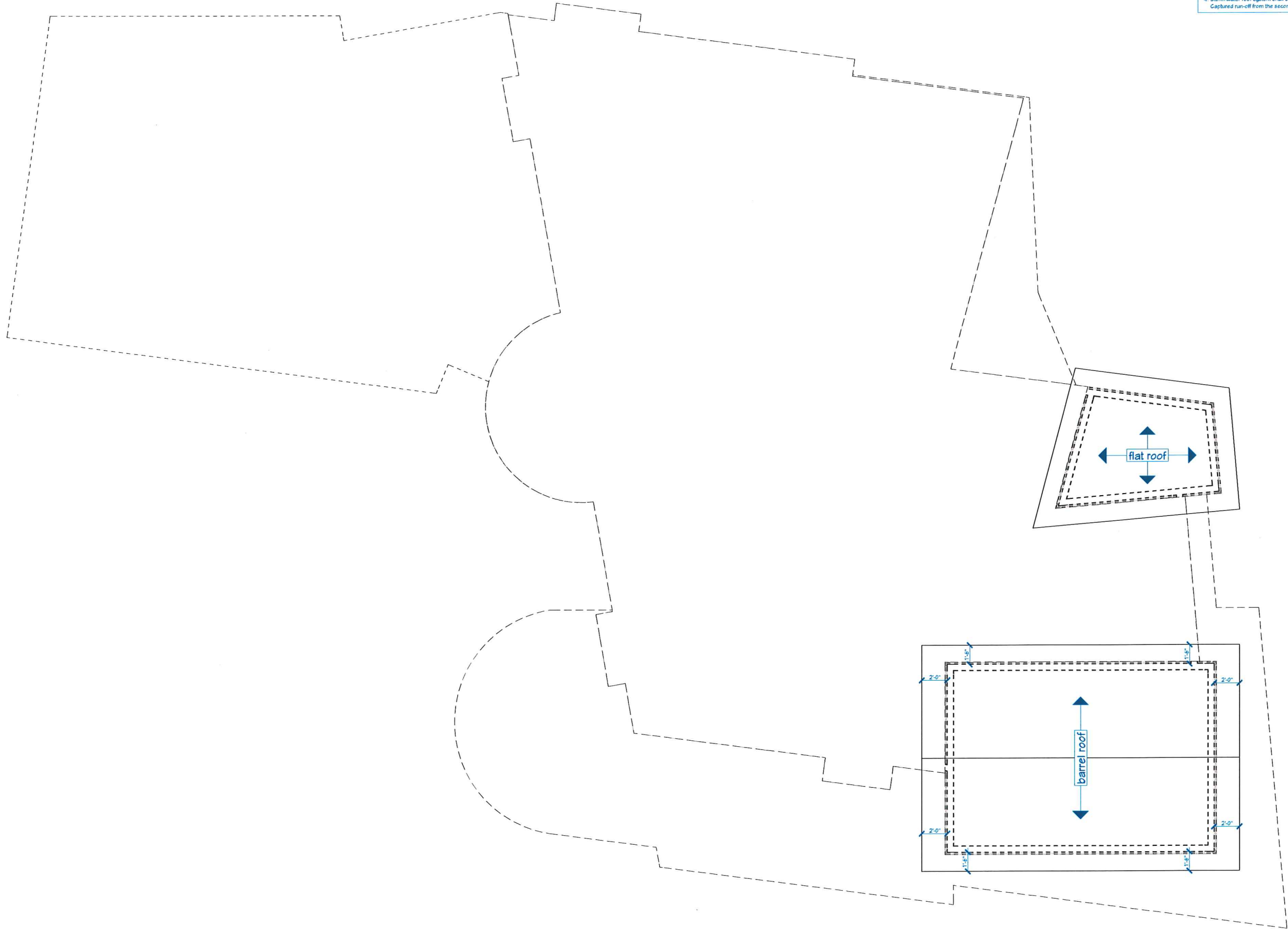
New Residence for for
Mary Morgan & David Sheriff
5404 Lake Mendota Drive, Madison, Wisconsin, 53705

revision index		
#	date	reference

project: 16026
date: 10/11/2016
drawn by: RLL

A1.3

J:\2016 projects\16026 Sheriff, David & Morgan, Mary2 - Design & Technical\16026 Layout\layout 10/11/2016 - 09:47 AM



- roof plan notes
1. All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
 2. Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
 3. Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents, and stacks, along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch, and other vertical surfaces; over the entire surface of any roof, crickets, or over-build with a slope less than 3:12. All areas not covered by waterproof membrane will be covered with 50# roofing felt applied horizontally from eave to ridge.
 4. Storm water roof system shall be Hanging Gardens System #2540, modified as illustrated in the relevant details. Captured run-off from the second floor and high roofs will be routed to the garage roof for use as irrigation.

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New Residence for for
Mary Morgan & David Sheriff
5404 Lake Mendota Drive, Madison, Wisconsin, 53705

revision index		
#	date	reference

project: 16026
date: 10/11/2016
drawn by: RLL

high roof plan
1/4" = 1'-0"

A1.4

exterior elevation notes	
1. All final material selections, colors, finishes, and other options to be coordinated with the Owner.	

exterior feature and material key	
1.	Metal panel roofing.
2.	Natural stone veneer: pattern #1.
3.	Natural stone veneer: pattern #2.
4.	Horizontal lap siding: composite wood, color #1.
5.	Horizontal lap siding: composite wood, color #2.
6.	Stone tile.
7.	Metal railing.
8.	Privacy screen: cedar.
9.	Vertical siding: steel, flush panel.
10.	Equipment screen: cedar.

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608-433-3400 www.bourilstudio.com



New Residence for for
Many Morgan & David Sheriff
5404 Lake Mendota Drive, Madison, Wisconsin, 53705

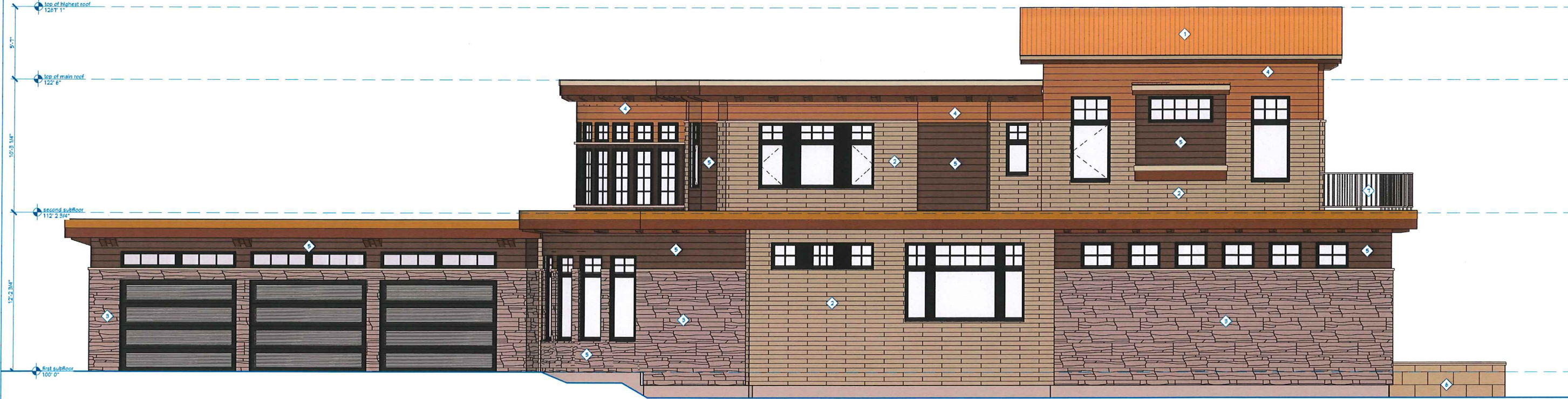
#	revision	index
#	date	reference

project: 16026
date: 10/11/2016
drawn by: RLL

A2.0



north elevation
1/4" = 1'-0"



south elevation
1/4" = 1'-0"

J:\2016 projects\16026 Sheriff, David & Morgan, Many, Design & Technical\16026 Layout\10112016 - 16026.rvt AM

- exterior elevation notes**
- All final material selections, colors, finishes, and other options to be coordinated with the Owner.
- exterior feature and material key**
- Metal panel roofing.
 - Natural stone veneer; pattern #1.
 - Natural stone veneer; pattern #2.
 - Horizontal lap siding; composite wood, color #1.
 - Horizontal lap siding; composite wood, color #2.
 - Stone tile.
 - Metal railing.
 - Privacy screen; cedar.
 - Vertical siding; steel, flush panel.
 - Equipment screen; cedar.

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east elevation
1/4" = 1'-0"



west elevation
1/4" = 1'-0"

Land Use Application
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New Residence for for
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A2.1