

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # 02999

DATE SUBMITTED: <u>JULY 19TH, 2006</u>	<u>Informational Presentation</u>
UDC MEETING DATE: <u>JULY 26</u> AUGUST 9TH, 2006	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 1501 MONROE STREET, MADISON, WI 53711

ALDERMANIC DISTRICT: 13

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
BOB SIEGER SIEGER ARCHITECTURE
1501 MONROE STREET 1501 MONROE STREET

CONTACT PERSON: BOB SIEGER OR BRIAN REDDEMAN
Address: 1501 MONROE STREET
MADISON, WI 53711
Phone: 608.283.6100
Fax: 608.283.6101
E-mail address: siegerarchitects@sbcglobal.net

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

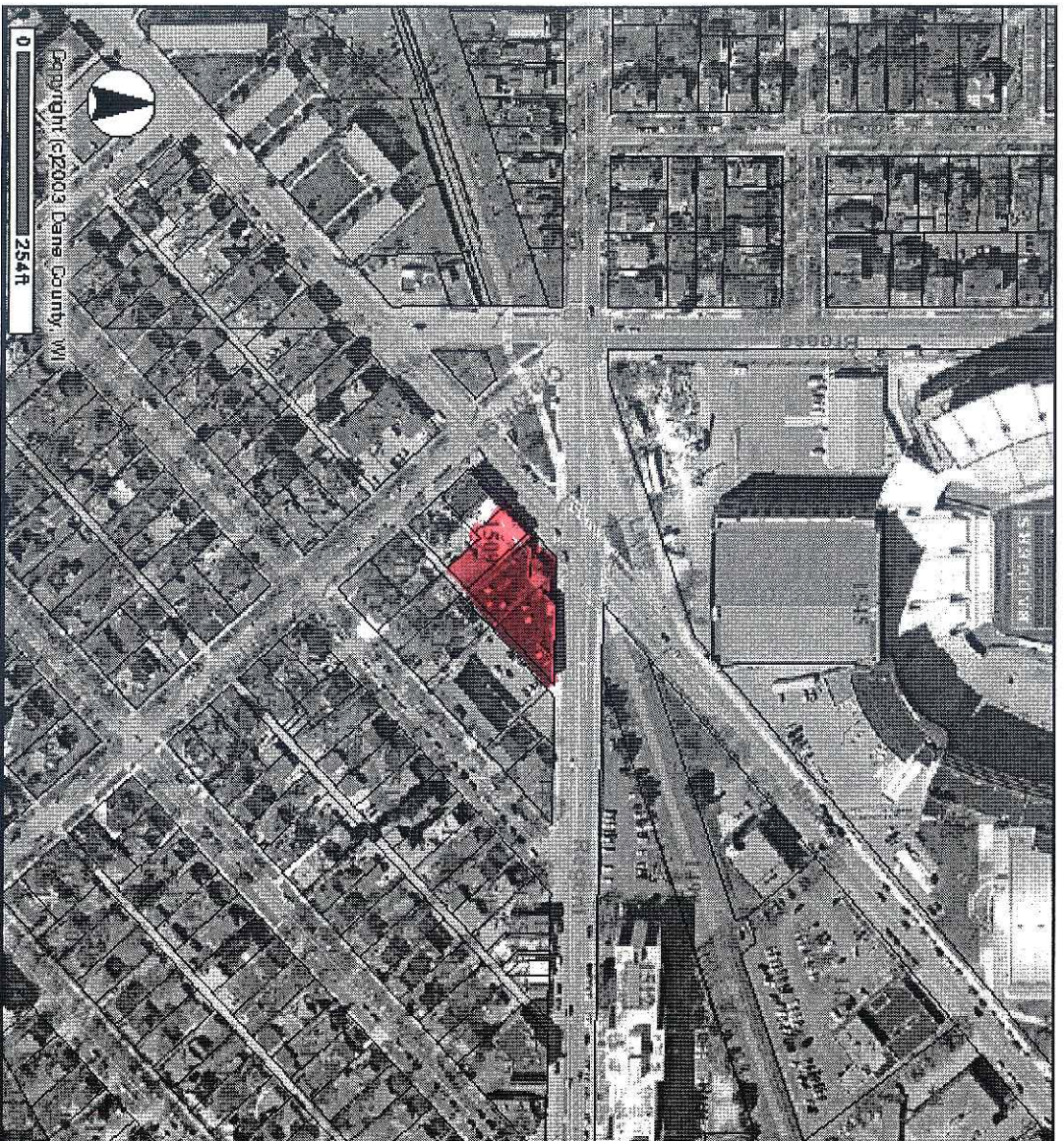
- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)

Other _____



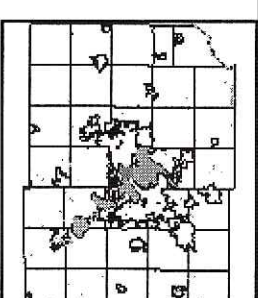
*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Dane County DCiMap



Print Close

- 2004 Roads
 - Local Roads
 - County Highways
 - State Highways
 - Interstate
 - US Highways
 - On/Off Ramps
- Parcels
- Ownership Boundaries
- Plat Text
- Acreeage Text
- Hydrology (lines)
- Lot Number Text
- Municipality Boundaries



DISCLAIMER
This map was prepared using the Dane County DCiMap online geographic information system. All information is believed accurate but is NOT guaranteed to be without error. This map and its underlying data is intended to be used as a general index to land related information and is not intended for detailed, site-specific analysis. Dane County GIS datasets used to produce this map are copyrighted.

BUILDING INFORMATION:

DESCRIPTION: 6 Story Mixed-Use Office/Retail/Residential

SITE AREA: 19,515 sq. ft.

BUILDING AREA: 15,484 sq. ft.

OCCUPANCY CLASSIFICATION: C4 , R4 - Mixed Use

CLASS OF CONSTRUCTION: Type 1B Sprinklered

BUILDING HEIGHT: 90' - 8" From Monroe Street

FIRE PROTECTION: Building shall have smoke detectors and fire alarms per governing code. Life safety per 2000 NFPA 101 life safety code. Sprinklers per NFPA 13.

RESIDENTIAL UNIT COUNT:

TOTAL DWELLING UNITS: 49

ONE BEDROOMS - 36

TWO BEDROOMS - 13

TOTAL NO. OF BEDROOMS: 62

RESIDENTIAL UNIT COUNT:

TOTAL PARKING SQ.FT : 52,175

SUB-ALLEY 2 = 17,790

SUB-ALLEY 1 = 17,960

ALLEY = 16,425

TOTAL PARKING SQ.FT : 52,175

FIRST FLOOR = 13,965

SECOND FLOOR = 14,585

THIRD FLOOR = 12,925

FOURTH FLOOR = 12,950

FIFTH FLOOR = 11,155

PENTHOUSE = 10,520

ADA NOTES

GRAB BARS:

MOUNT SIDE GRAB BAR 12" FROM REAR WALL. 42" LONG MIN. MOUNT REAR GRAB BAR 6" FROM SIDE WALL 36" LONG MIN. GRAB BARS SHALL PROVIDE 1 1/8" CLEARANCE FROM WALL, 1 1/4" - 1 1/2" DIA. AND SHALL BE MOUNTED 33" - 36" A.F.F. TO TOP.

TOILET PAPER DISPENSER:

MOUNT 19" MIN. A.F.F. TO CENTER.

TOWEL DISPENSER:

SLOT @ 40" A.F.F.

TOILET SEAT:

SHALL BE @ 17" - 19" ABOVE FLOOR.

MIRROR:

BOTTOM @ 40" A.F.F.

SINK:

RIM @ 34" MAX A.F.F. CLEAR SPACE OF 29" FLOOR TO APRON. EXPOSED PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

PROVIDE SOLID WOOD BLOCKING IN WALLS FOR MOUNTING OF ALL ACCESSORIES.

NOTE:

INSTALL ALL HC GRAB BARS AND ACCESSORIES PER STATE AND LOCAL CODES - G.C. IS RESPONSIBLE FOR VERIFYING COMPLIANCE

**PROJECT
FIELDHOUSE STATION**

1501 MONROE STREET
MADISON, WI 53711

DEVELOPER/OWNER

BOB SIEGER
1501 MONROE ST
MADISON, WI 53711
Phone: 608.283.6100
Fax: 608.283.6101

CONTRACTOR

ARCHITECT

SIEGERARCHITECTS

1501 Monroe Street
Madison, WI 53711
Phone: 608.283.6100
Fax: 608.283.6101

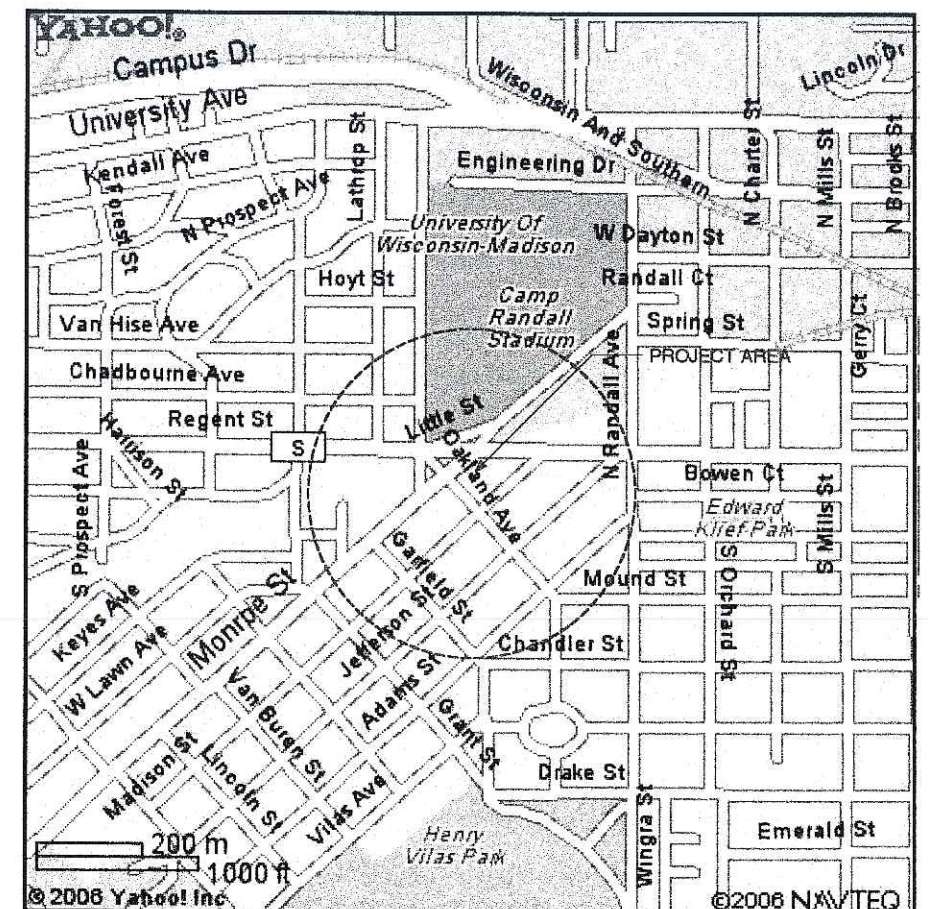
PROJECT #
0502

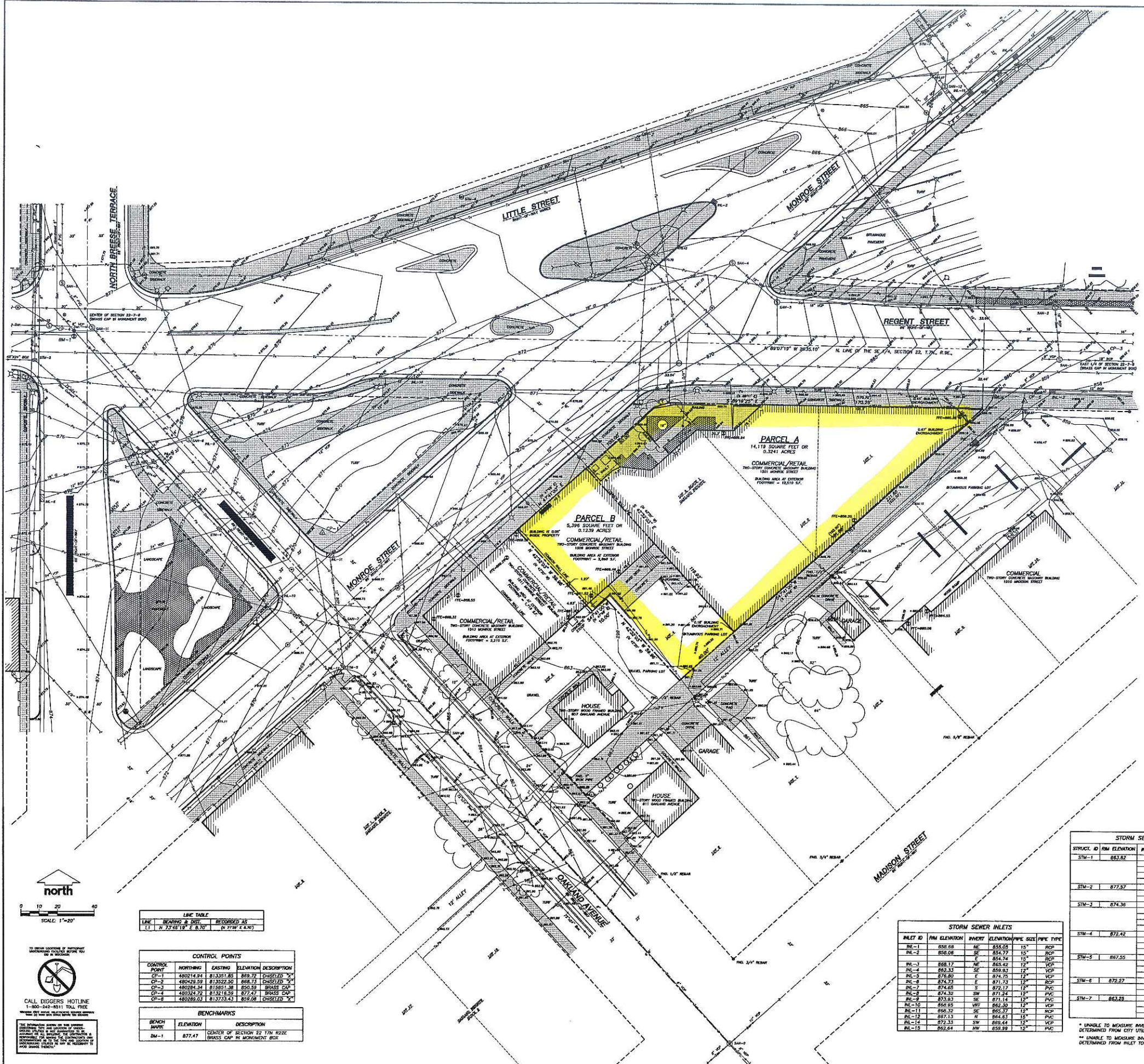
JULY 19TH, 2006

**URBAN DESIGN COMMISSION
GENERAL DEVELOPMENT PLAN
PLANNED UNIT DEVELOPMENT
INITIAL APPROVAL REQUEST**

SHEET INDEX

- C1.0 Existing Site Survey
- C1.1 Site plan & Grading/Utility concept
- C1.2 Landscaping and lighting plan
- A1.01 Sub-Alley 1
- A1.02 Sub-Alley 2
- A1.0 Alley Level
- A1.1 First Floor Plan
- A1.2 Second Floor Plan
- A1.3 Third Floor Plan
- A1.4 Fourth Floor Plan
- A1.5 Fifth Floor Plan
- A1.6 Penthouse Plan
- A4.1 Monroe St Regent St Elevation
- A4.2 Alley & South Elevation





LEGEND

- SECTION CORNER
- PROPERTY CORNER FOUND, TYPE NOTED
- BM-1 BENCHMARK
- CP-1 CONTROL POINT
- RECORD BEARING AND DISTANCE
- STREET SIGN
- WATER OR GAS VALVE
- FIRE HYDRANT
- UTILITY MANHOLE
- STORM SEWER INLET
- UTILITY POLE WITH GUY WIRE
- LIGHT POLE
- TRAFFIC LIGHT POLE
- UTILITY PEDESTAL
- SHRUB
- DECIDUOUS TREE
- CONIFEROUS TREE
- SPOT ELEVATION
- BUILDINGS
- PROPERTY LINE
- PLATED LINE
- SECTION LINE
- WATER LINE
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELECTRICAL POWER
- OVERHEAD ELECTRICAL POWER
- OVERHEAD ELECTRICAL POWER & TELEPHONE
- UNDERGROUND TELEPHONE
- GAS MAIN
- FENCE
- CONCRETE CURB & GUTTER
- PAVEMENT EDGE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- RETAINING WALL

- NOTES**
- HORIZONTAL LOCATION FOR THIS SURVEY AND MAP IS REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM.
 - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 22, T17N, R22E, RECORDED AS N 89°07'19" W.
 - ELEVATIONS FOR THIS SURVEY AND MAP ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). SITE BENCHMARK IS A BRASS CAP IN MONUMENT BOX BEING THE CENTER OF SECTION 22-7-22, ELEVATION 877.47.
 - EXISTING CONDITIONS SURVEY PERFORMED BY JENKINS SURVEY & DESIGN, INC. THE WEEK OF APRIL 21, 2006.
 - SPOT ELEVATIONS ALONG CURB DENOTES TOP OF CURB ELEVATION.
 - CONTOUR INTERVAL IS ONE FOOT.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPEARANCES. LOCATING DIGGER'S HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20061608448.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8511.
 - CONTOUR INTERVAL IS ONE FOOT.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPEARANCES. LOCATING DIGGER'S HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20061608448.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8511.
 - JENKINS SURVEY AND DESIGN DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ON SITE, WHETHER PUBLIC OR PRIVATE, HAVE BEEN LOCATED.
 - THE ACCURACY OF THE CONTROL POINTS AND BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JENKINS SURVEY AND DESIGN DOES NOT WARRANT THE ACCURACY OF THESE CONTROL POINTS AND BENCHMARKS.
 - ROOF-OF-WAY LINES SHOWN OUTSIDE OF SURVEYED SITE ARE APPROXIMATE AND FOR INFORMATIONAL PURPOSES ONLY.

LEGAL DESCRIPTION AS FURNISHED

PARCEL A
 LOTS ONE (1), TWO (2), AND THREE (3), BLOCK ONE (1), OAKLAND HEIGHTS, LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
 TAX KEY NUMBER: 07992406640

PARCEL B
 THE NORTHEAST FIFTY (50) FEET OF THE NORTHWEST 1/2, AND THE NORTHEAST FORTY (40) FEET OF THE SOUTHWEST 1/2 OF LOT FOUR (4), BLOCK ONE (1), OAKLAND HEIGHTS, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
 TAX KEY NUMBER: 07082240624

SURVEYOR'S CERTIFICATE

I, DAVE M. JENKINS, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

DAVE M. JENKINS, S-2255 REGISTERED LAND SURVEYOR DATE

STORM SEWER MANHOLES

STRUCT. ID	RM	ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	863.82	SW	858.82	12"	VCP	
STM-2	877.37	SW	870.87	12"	VCP	
STM-3	874.36	SW	870.36	12"	VCP	
STM-4	872.42	SW	864.42	12"	VCP	
STM-5	867.55	SW	860.55	12"	VCP	
STM-6	872.27	SW	866.27	12"	VCP	
STM-7	863.28	SW	856.28	12"	VCP	

STORM SEWER INLETS

INLET ID	RM	ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
RI-1	858.68	NE	858.68	15"	RCP	
RI-2	858.08	SE	854.77	15"	RCP	
RI-3	868.17	NE	863.42	12"	VCP	
RI-4	866.33	SE	860.83	12"	VCP	
RI-5	874.80	E	874.75	12"	VCP	
RI-6	874.73	E	871.73	12"	VCP	
RI-7	874.68	S	871.12	12"	PVC	
RI-8	874.32	SW	871.24	12"	PVC	
RI-9	873.83	SE	871.14	12"	PVC	
RI-10	866.85	WE	862.50	12"	VCP	
RI-11	868.32	SE	865.37	12"	VCP	
RI-12	867.13	N	864.83	15"	PVC	
RI-13	872.33	SW	869.44	12"	VCP	
RI-14	862.64	NW	859.92	12"	PVC	

SANITARY SEWER MANHOLES

STRUCT. ID	RM	ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SM-1	858.73	E	850.23	18"	RCP	
SM-2	859.11	S	850.09	18"	RCP	
SM-3	869.31	E	857.05	18"	VCP	
SM-4	870.74	NW	857.67	18"	VCP	
SM-5	877.83	SW	860.36	10"	VCP	
SM-6	874.85	SW	864.92	18"	CI	
SM-7	868.36	NE	863.82	10"	VCP	
SM-8	864.84	NW	858.81	8"	VCP	
SM-9	859.75	SE	850.28	8"	VCP	
SM-10	878.61	W	866.85	8"	RCP	
SM-11	877.83	W	866.63	8"	RCP	
SM-12	863.82	W	857.53	8"	VCP	

LINE TABLE

LINE	BEARING & DIST.	RECORDED AS
L1	N 73°48'18" E, 8.30'	(N 77°30' E, 8.10')

CONTROL POINTS

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	480014.94	813351.85	869.72	CHISELED "S"
CP-2	480429.59	812822.50	868.73	CHISELED "S"
CP-3	480384.14	812681.38	855.89	BRASS CAP
CP-4	480324.72	812616.59	877.47	BRASS CAP
CP-5	480289.03	812723.43	859.08	CHISELED "S"

BENCHMARKS

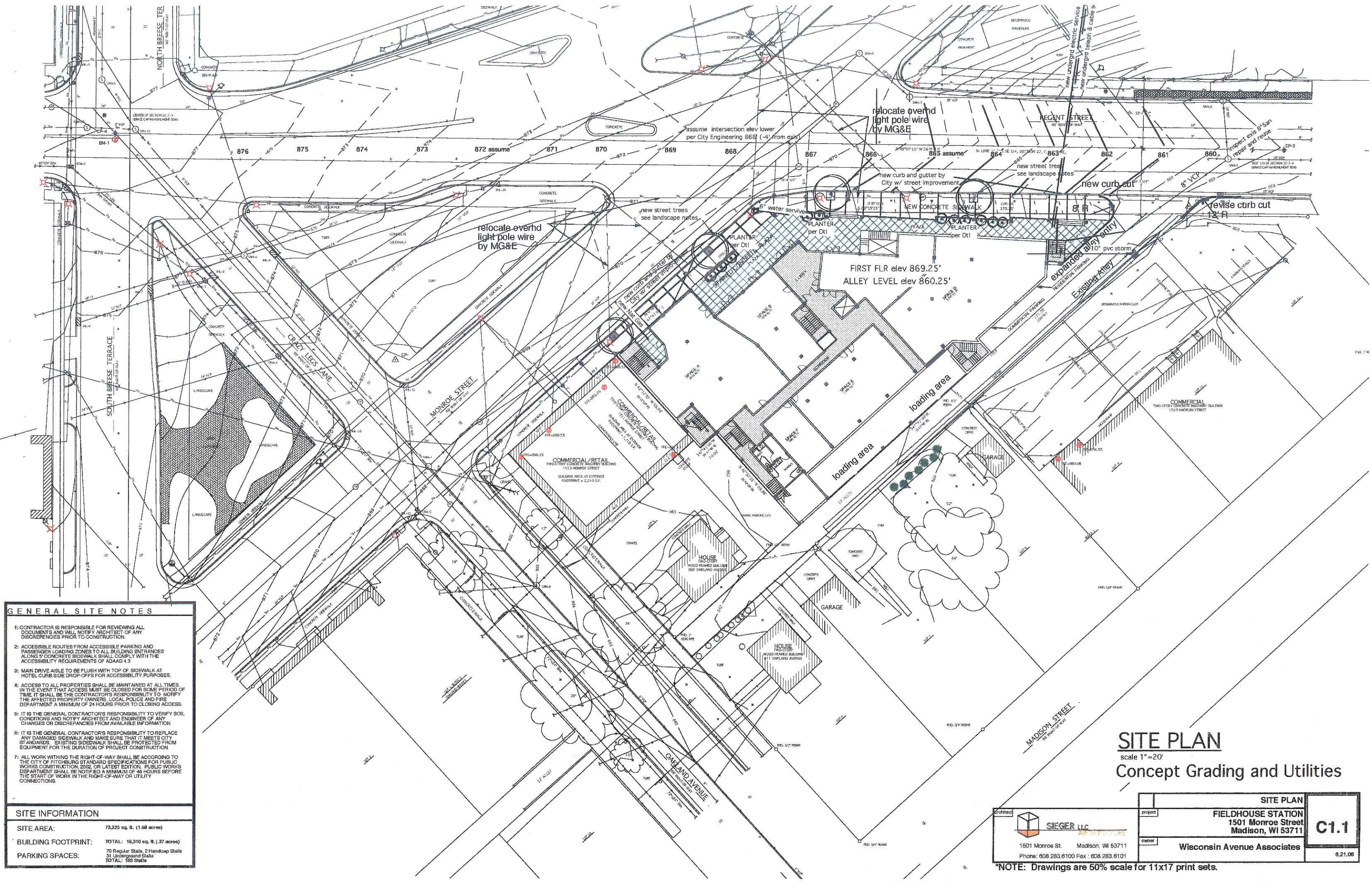
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	877.47	CENTER OF SECTION 22 T17N R22E BRASS CAP IN MONUMENT BOX

EXISTING CONDITIONS SURVEY

LOTS ONE (1), TWO (2), THREE (3) AND A PORTION OF LOT FOUR (4), BLOCK ONE (1), OAKLAND HEIGHTS, LOCATED IN THE SOUTHWEST QUARTER (SE 1/4) OF SECTION TWENTY-TWO (22), TOWN 7 NORTH (T7N), RANGE 22 EAST (R22E), CITY OF MADISON, DANE COUNTY, WISCONSIN.

JSD Engineers & Surveyors
 Jenkins Survey & Design, Inc.
 181 HORSBURG DRIVE, SUITE 101
 MADISON, WISCONSIN 53703
 PHONE: (608) 264-8000

PROJECT NO: 06-2287
 FILE NO: E-229
 SURVEYED: DSS
 F.B. NO/PD: 165/46-47
 SHEET NO: 1 OF 1



GENERAL SITE NOTES

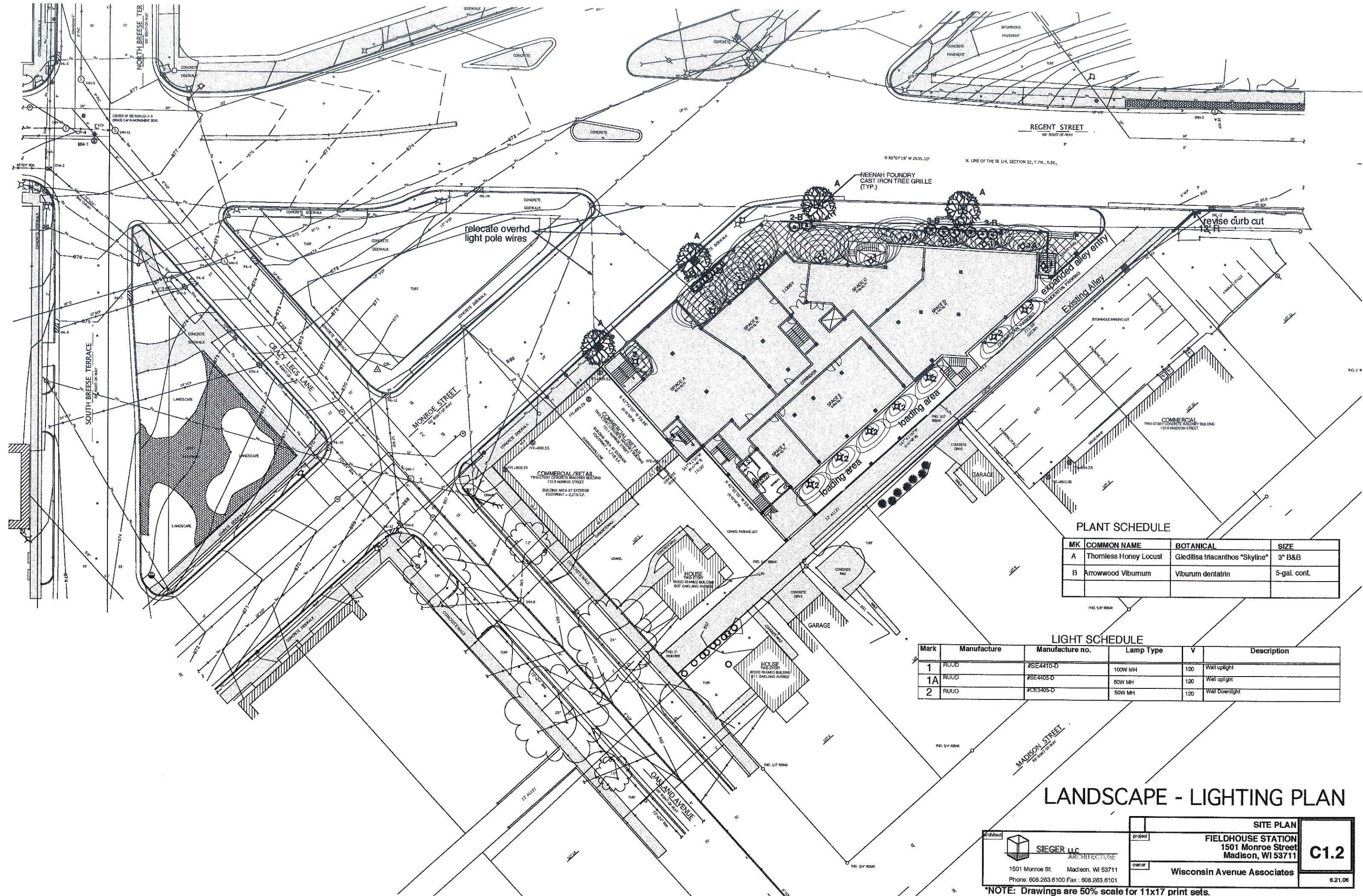
- 1: CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 2: ACCESSIBLE ROUTES FROM ACCESSIBLE PARKING AND PASSENGER LOADING ZONES TO ALL BUILDING ENTRANCES ALONG 5' CONCRETE SIDEWALK SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS OF ADAAG 4.3
- 3: MAIN DRIVE AISLE TO BE FLUSH WITH TOP OF SIDEWALK AT HOTEL CURB SIDE DROPOFFS FOR ACCESSIBILITY PURPOSES.
- 4: ACCESS TO ALL PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. IN THE EVENT THAT ACCESS MUST BE CLOSED FOR SOME PERIOD OF TIME, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE AFFECTED PROPERTY OWNERS, LOCAL POLICE AND FIRE DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO CLOSING ACCESS.
- 5: IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL CONDITIONS AND NOTIFY ARCHITECT AND ENGINEER OF ANY CHANGES OR DISCREPANCIES FROM AVAILABLE INFORMATION
- 6: IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY DAMAGED SIDEWALK AND MAKE SURE THAT IT MEETS CITY STANDARDS. EXISTING SIDEWALK SHALL BE PROTECTED FROM EQUIPMENT FOR THE DURATION OF PROJECT CONSTRUCTION
- 7: ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE ACCORDING TO THE CITY OF FITCHBURG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2002, OR LATEST EDITION. PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS BEFORE THE START OF WORK IN THE RIGHT-OF-WAY OR UTILITY CONNECTIONS.

SITE INFORMATION

SITE AREA:	73,225 sq. ft. (1.68 acres)
BUILDING FOOTPRINT:	TOTAL: 16,310 sq. ft. (.37 acres)
PARKING SPACES:	70 Regular Stalls, 2 Handicap Stalls 31 Underground Stalls TOTAL: 103 Stalls

SITE PLAN
 scale 1"=20'
 Concept Grading and Utilities

 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101	SITE PLAN project FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711	C1.1 owner Wisconsin Avenue Associates 6.21.06
	<p>*NOTE: Drawings are 50% scale for 11x17 print sets.</p>	



PLANT SCHEDULE

MK	COMMON NAME	BOTANICAL	SIZE
A	Thornless Honey Locust	Gleditsia triacanthos "Skyline"	3" B&B
B	Arrowwood Viburnum	Viburnum dentatrin	5-gal. cont.

LIGHT SCHEDULE

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
1	RUUD	#SE4410-D	100W MH	120	Wall uplight
1A	RUUD	#SE4405-D	60W MH	120	Wall uplight
2	RUUD	#CE3405-D	60W MH	120	Wall Downlight

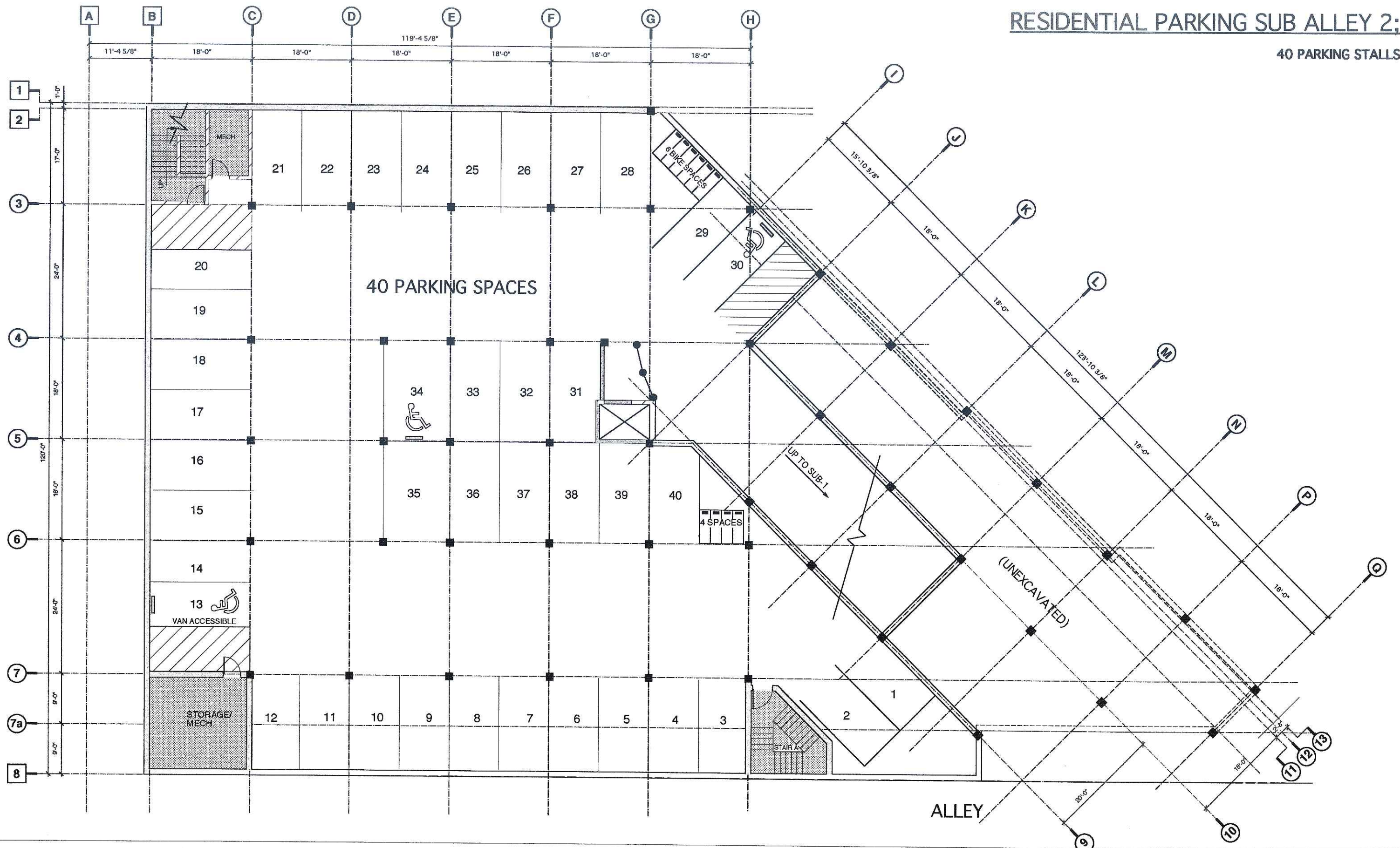
LANDSCAPE - LIGHTING PLAN

<p>SIEGER LLC ARCHITECTURE</p> <p>1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101</p>	<p>SITE PLAN</p> <p>project FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711</p>	<p>C1.2</p> <p>6.21.06</p>
	<p>owner Wisconsin Avenue Associates</p>	

*NOTE: Drawings are 50% scale for 11x17 print sets.

RESIDENTIAL PARKING SUB ALLEY 2;

40 PARKING STALLS

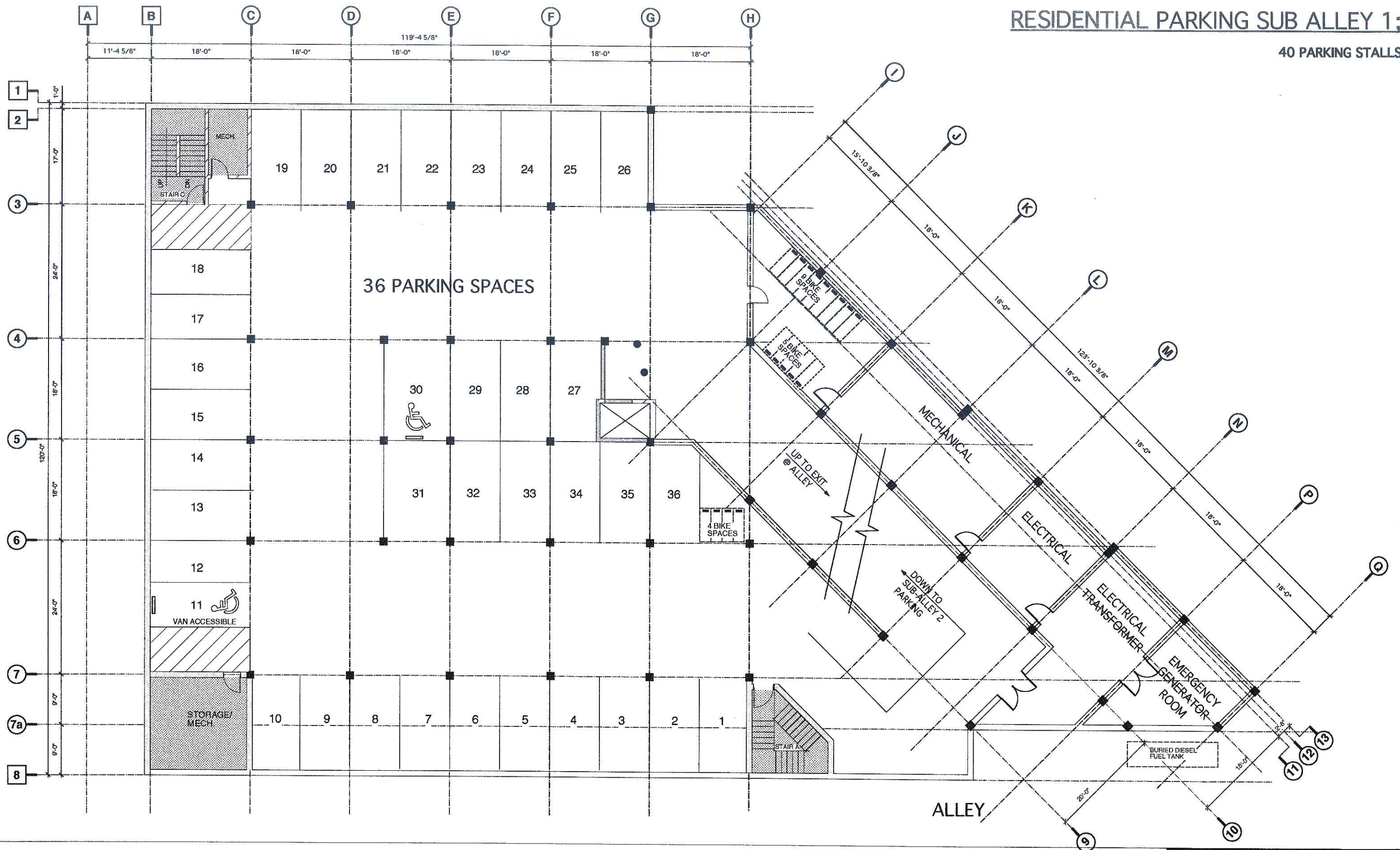


SUB ALLEY LEVEL 2 PLAN

SCALE: 1/8" = 1' - 0"

architect SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101	FLOOR PLANS SCALE: 1/8" = 1'-0"		A1.02 06.21.06
	project FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711	owner Wisconsin Avenue Associates	

*NOTE: Drawings are 50% scale for 11x17 print sets.

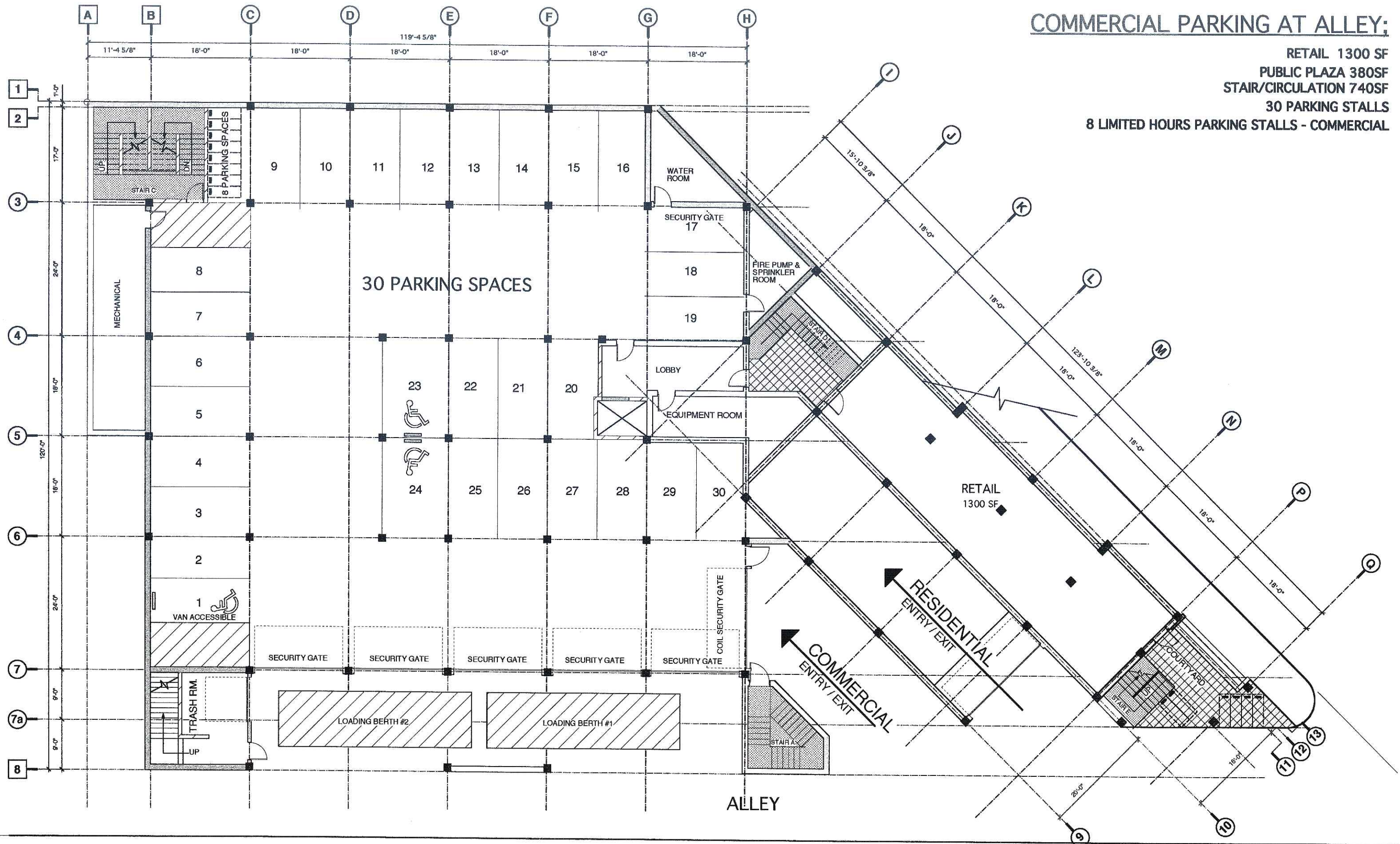


SUB ALLEY LEVEL 1 PLAN
 SCALE: 1/8" = 1' - 0"

architect		FLOOR PLANS		SCALE: 1/8" = 1'-0"	A1.01
project		FIELDHOUSE STATION		1501 Monroe Street	
owner		Wisconsin Avenue Associates		Madison, WI 53711	
1501 Monroe St. Madison, WI 53711		SIEGER LLC ARCHITECTURE		06.21.06	
Phone: 608.283.6100 Fax: 608.283.6101		*NOTE: Drawings are 50% scale for 11x17 print sets.			

COMMERCIAL PARKING AT ALLEY:

RETAIL 1300 SF
 PUBLIC PLAZA 380SF
 STAIR/CIRCULATION 740SF
 30 PARKING STALLS
 8 LIMITED HOURS PARKING STALLS - COMMERCIAL



ALLEY LEVEL PLAN

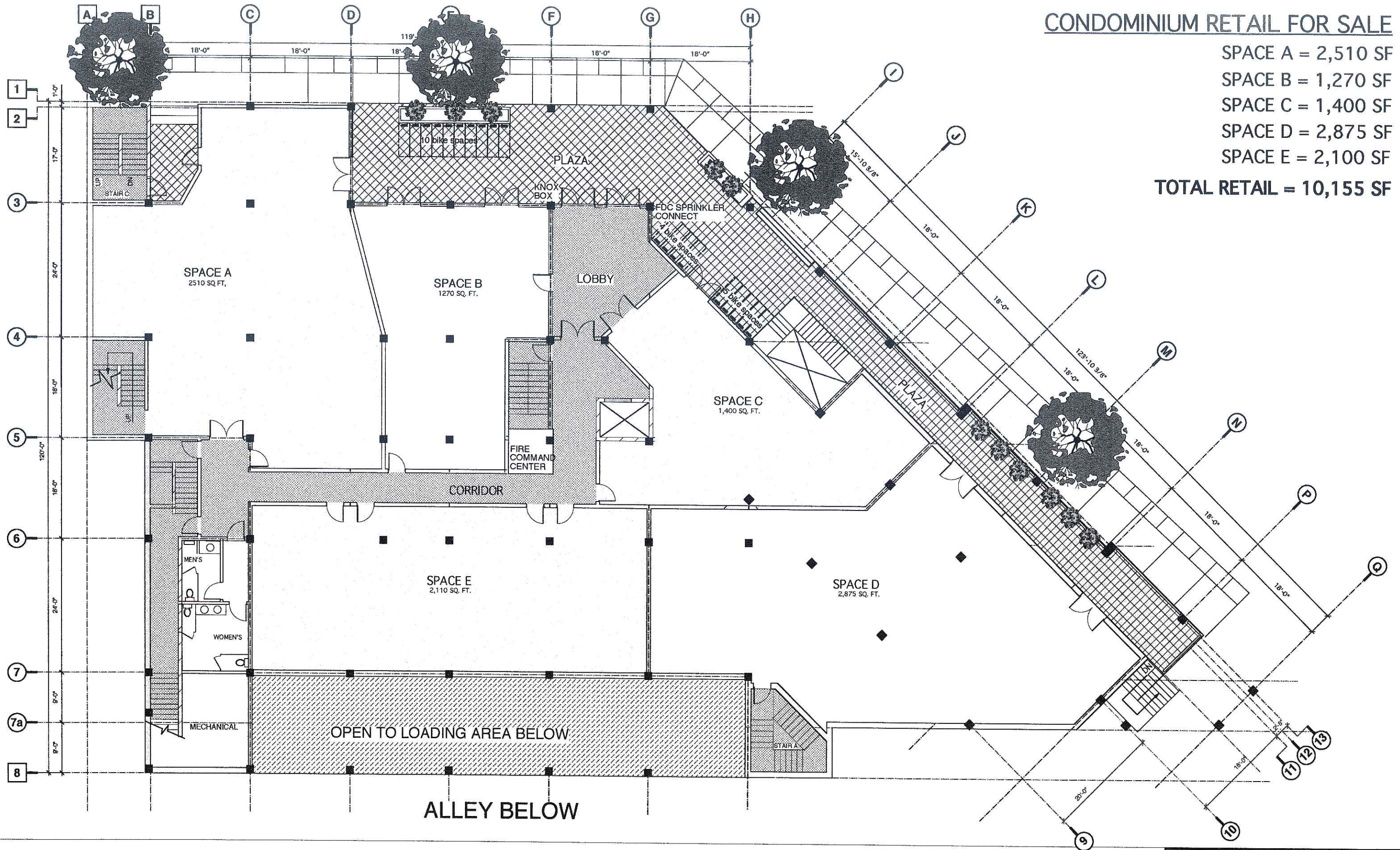
SCALE: 1/8" = 1' - 0"

architect	SIEGER LLC ARCHITECTURE	FLOOR PLANS	SCALE: 1/8" = 1'-0"	A1.0
project	1501 Monroe St. Madison, WI 53711	FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711		
owner	Phone: 608.263.6100 Fax: 608.263.6101	Wisconsin Avenue Associates		
*NOTE: Drawings are 50% scale for 11x17 print sets.				06.21.06

CONDOMINIUM RETAIL FOR SALE

SPACE A = 2,510 SF
 SPACE B = 1,270 SF
 SPACE C = 1,400 SF
 SPACE D = 2,875 SF
 SPACE E = 2,100 SF

TOTAL RETAIL = 10,155 SF



FIRST FLOOR PLAN

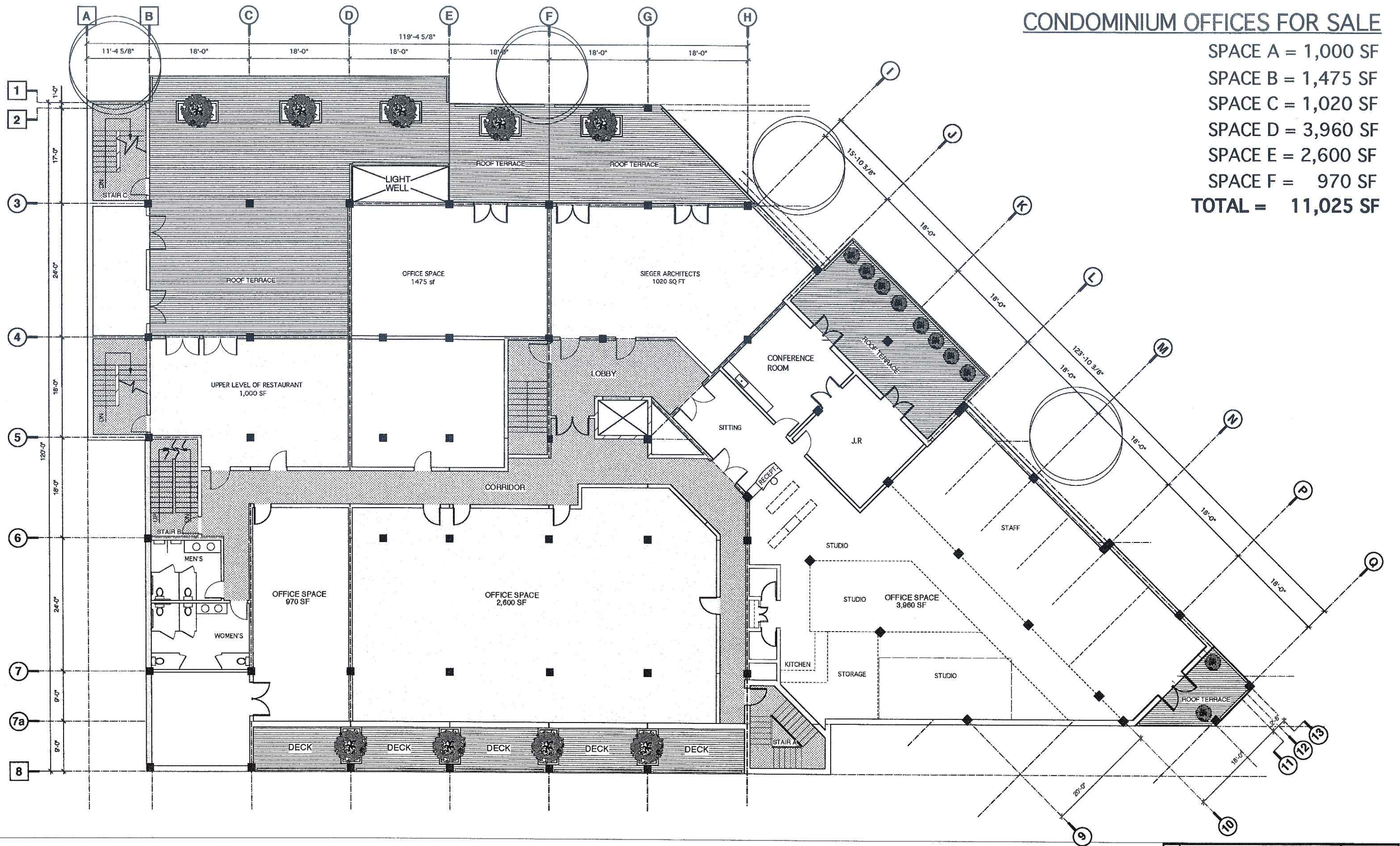
SCALE: 1/8" = 1' - 0"

architect SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101	project FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711	A1.1 06.21.06
	owner Wisconsin Avenue Associates	

*NOTE: Drawings are 50% scale for 11x17 print sets.

CONDOMINIUM OFFICES FOR SALE

SPACE A = 1,000 SF
 SPACE B = 1,475 SF
 SPACE C = 1,020 SF
 SPACE D = 3,960 SF
 SPACE E = 2,600 SF
 SPACE F = 970 SF
TOTAL = 11,025 SF

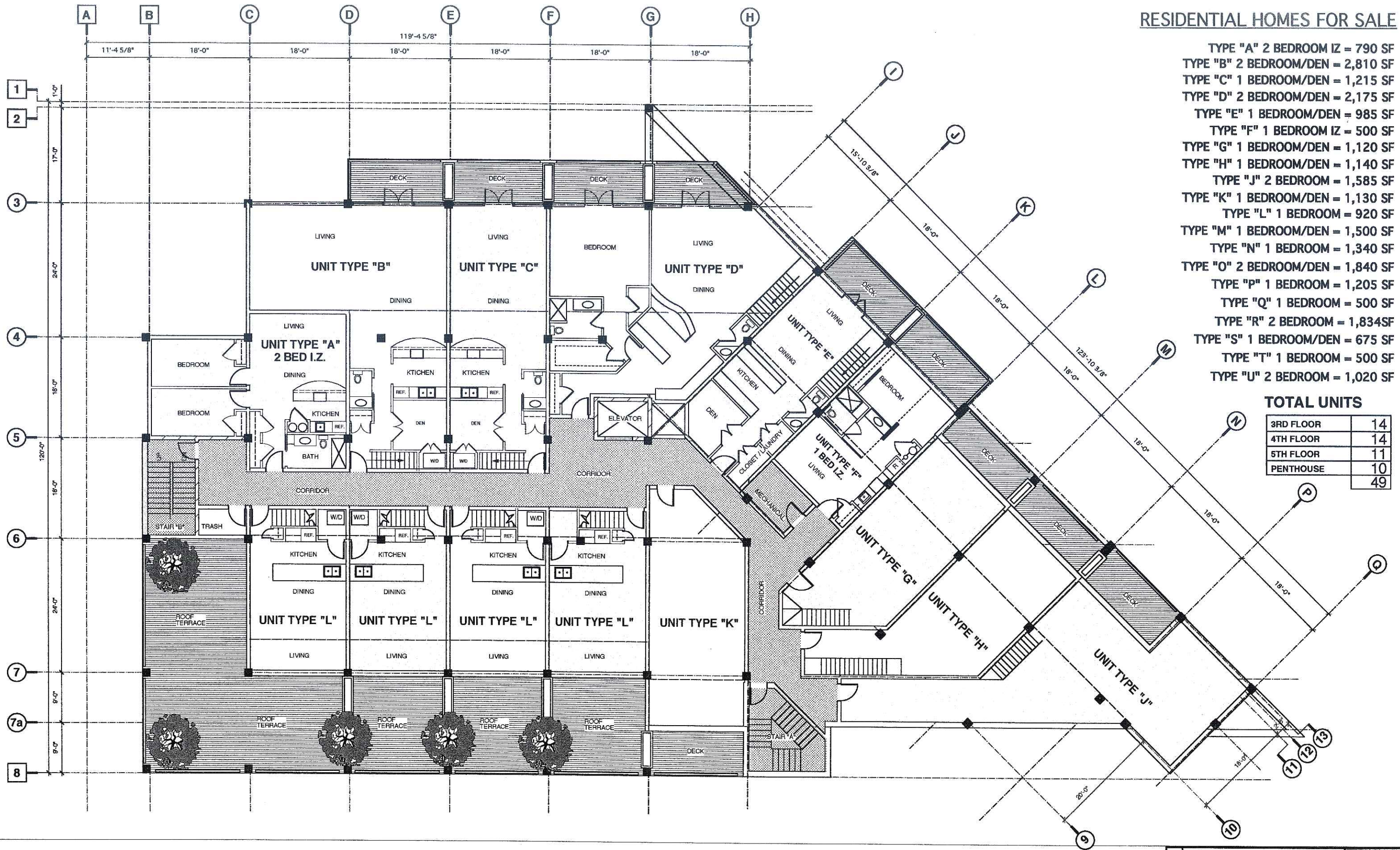


SECOND FLOOR PLAN

SCALE: 1/8" = 1' - 0"

architect SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101	project FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711	SCALE: 1/8" = 1'-0" A1.2 08.21.08
	owner Wisconsin Avenue Associates	
	FLOOR PLANS	

*NOTE: Drawings are 50% scale for 11x17 print sets.



- TYPE "A" 2 BEDROOM IZ = 790 SF
- TYPE "B" 2 BEDROOM/DEN = 2,810 SF
- TYPE "C" 1 BEDROOM/DEN = 1,215 SF
- TYPE "D" 2 BEDROOM/DEN = 2,175 SF
- TYPE "E" 1 BEDROOM/DEN = 985 SF
- TYPE "F" 1 BEDROOM IZ = 500 SF
- TYPE "G" 1 BEDROOM/DEN = 1,120 SF
- TYPE "H" 1 BEDROOM/DEN = 1,140 SF
- TYPE "J" 2 BEDROOM = 1,585 SF
- TYPE "K" 1 BEDROOM/DEN = 1,130 SF
- TYPE "L" 1 BEDROOM = 920 SF
- TYPE "M" 1 BEDROOM/DEN = 1,500 SF
- TYPE "N" 1 BEDROOM = 1,340 SF
- TYPE "O" 2 BEDROOM/DEN = 1,840 SF
- TYPE "P" 1 BEDROOM = 1,205 SF
- TYPE "Q" 1 BEDROOM = 500 SF
- TYPE "R" 2 BEDROOM = 1,834 SF
- TYPE "S" 1 BEDROOM/DEN = 675 SF
- TYPE "T" 1 BEDROOM = 500 SF
- TYPE "U" 2 BEDROOM = 1,020 SF

TOTAL UNITS

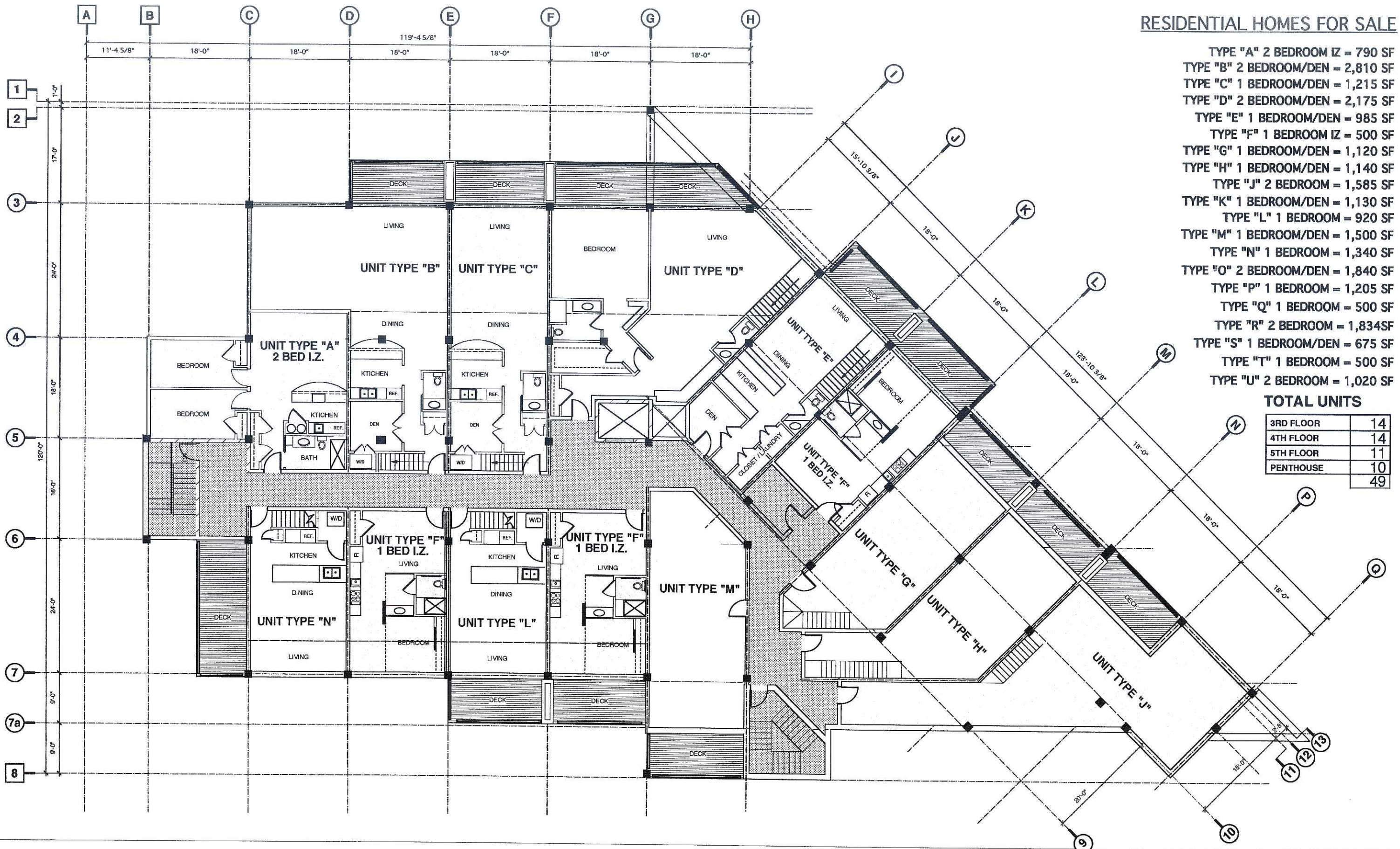
3RD FLOOR	14
4TH FLOOR	14
5TH FLOOR	11
PENTHOUSE	10
TOTAL	49

THIRD FLOOR PLAN

SCALE: 1/8" = 1' - 0"

<p>SIEGER LLC ARCHITECTURE</p> <p>1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101</p>	<p>FLOOR PLANS SCALE: 1/8" = 1'-0"</p>		<p>A1.3</p> <p>06.21.06</p>	
	<p>Project</p>	<p>FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711</p>		
	<p>Owner</p>	<p>Wisconsin Avenue Associates</p>		
	<p>*NOTE: Drawings are 50% scale for 11x17 print sets.</p>			

RESIDENTIAL HOMES FOR SALE



- TYPE "A" 2 BEDROOM I.Z. = 790 SF
- TYPE "B" 2 BEDROOM/DEN = 2,810 SF
- TYPE "C" 1 BEDROOM/DEN = 1,215 SF
- TYPE "D" 2 BEDROOM/DEN = 2,175 SF
- TYPE "E" 1 BEDROOM/DEN = 985 SF
- TYPE "F" 1 BEDROOM I.Z. = 500 SF
- TYPE "G" 1 BEDROOM/DEN = 1,120 SF
- TYPE "H" 1 BEDROOM/DEN = 1,140 SF
- TYPE "J" 2 BEDROOM = 1,585 SF
- TYPE "K" 1 BEDROOM/DEN = 1,130 SF
- TYPE "L" 1 BEDROOM = 920 SF
- TYPE "M" 1 BEDROOM/DEN = 1,500 SF
- TYPE "N" 1 BEDROOM = 1,340 SF
- TYPE "O" 2 BEDROOM/DEN = 1,840 SF
- TYPE "P" 1 BEDROOM = 1,205 SF
- TYPE "Q" 1 BEDROOM = 500 SF
- TYPE "R" 2 BEDROOM = 1,834 SF
- TYPE "S" 1 BEDROOM/DEN = 675 SF
- TYPE "T" 1 BEDROOM = 500 SF
- TYPE "U" 2 BEDROOM = 1,020 SF

TOTAL UNITS

3RD FLOOR	14
4TH FLOOR	14
5TH FLOOR	11
PENTHOUSE	10
TOTAL	49

FOURTH FLOOR PLAN
SCALE: 1/8" = 1' - 0"

<p>SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101</p>	<p>FLOOR PLANS SCALE: 1/8" = 1'-0"</p>	<p>A1.4</p> <p>06.21.06</p>
	<p>project: FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711</p>	
	<p>owner: Wisconsin Avenue Associates</p>	

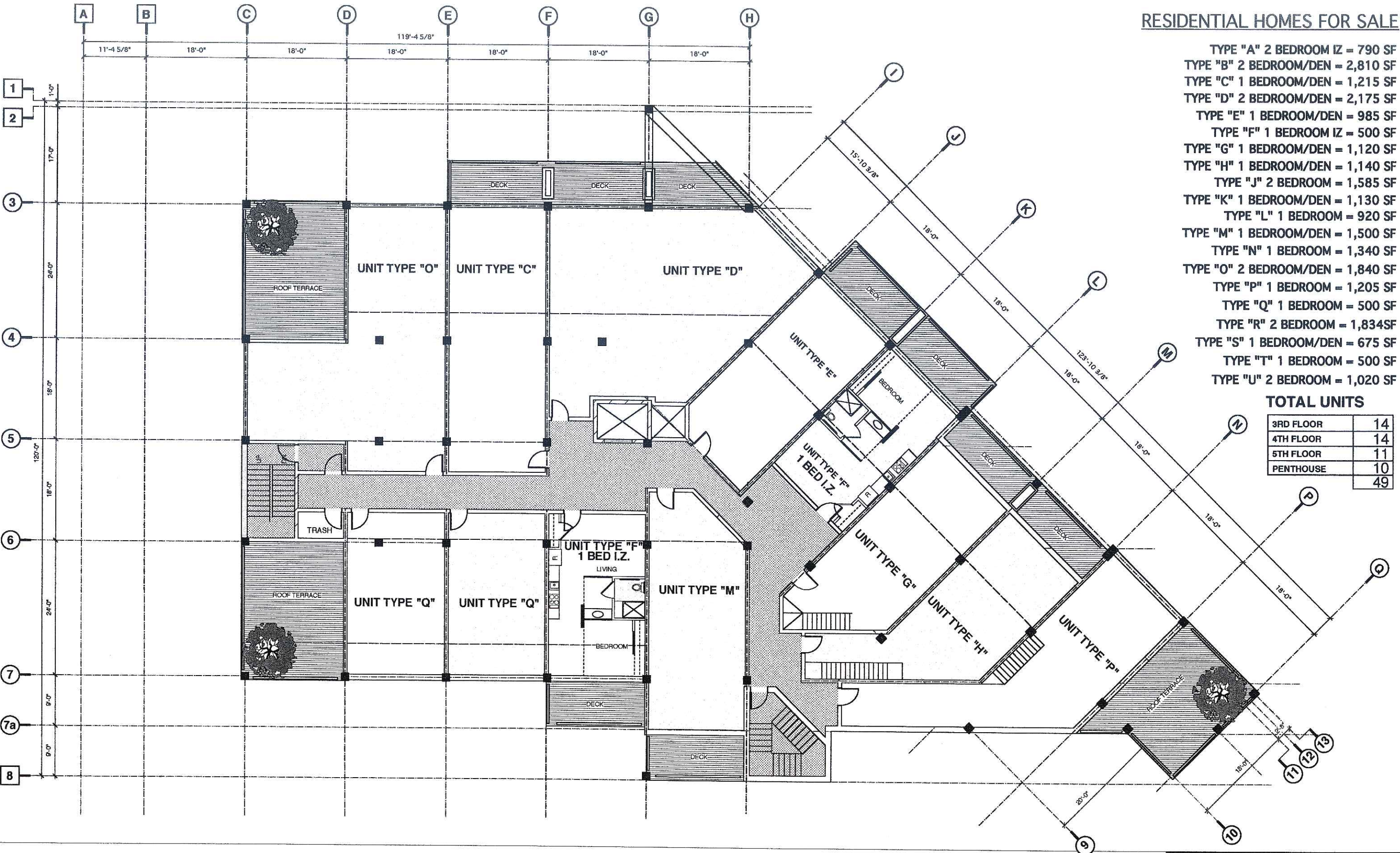
*NOTE: Drawings are 50% scale for 11x17 print sets.

RESIDENTIAL HOMES FOR SALE

- TYPE "A" 2 BEDROOM IZ = 790 SF
- TYPE "B" 2 BEDROOM/DEN = 2,810 SF
- TYPE "C" 1 BEDROOM/DEN = 1,215 SF
- TYPE "D" 2 BEDROOM/DEN = 2,175 SF
- TYPE "E" 1 BEDROOM/DEN = 985 SF
- TYPE "F" 1 BEDROOM IZ = 500 SF
- TYPE "G" 1 BEDROOM/DEN = 1,120 SF
- TYPE "H" 1 BEDROOM/DEN = 1,140 SF
- TYPE "J" 2 BEDROOM = 1,585 SF
- TYPE "K" 1 BEDROOM/DEN = 1,130 SF
- TYPE "L" 1 BEDROOM = 920 SF
- TYPE "M" 1 BEDROOM/DEN = 1,500 SF
- TYPE "N" 1 BEDROOM = 1,340 SF
- TYPE "O" 2 BEDROOM/DEN = 1,840 SF
- TYPE "P" 1 BEDROOM = 1,205 SF
- TYPE "Q" 1 BEDROOM = 500 SF
- TYPE "R" 2 BEDROOM = 1,834SF
- TYPE "S" 1 BEDROOM/DEN = 675 SF
- TYPE "T" 1 BEDROOM = 500 SF
- TYPE "U" 2 BEDROOM = 1,020 SF

TOTAL UNITS

3RD FLOOR	14
4TH FLOOR	14
5TH FLOOR	11
PENTHOUSE	10
TOTAL	49

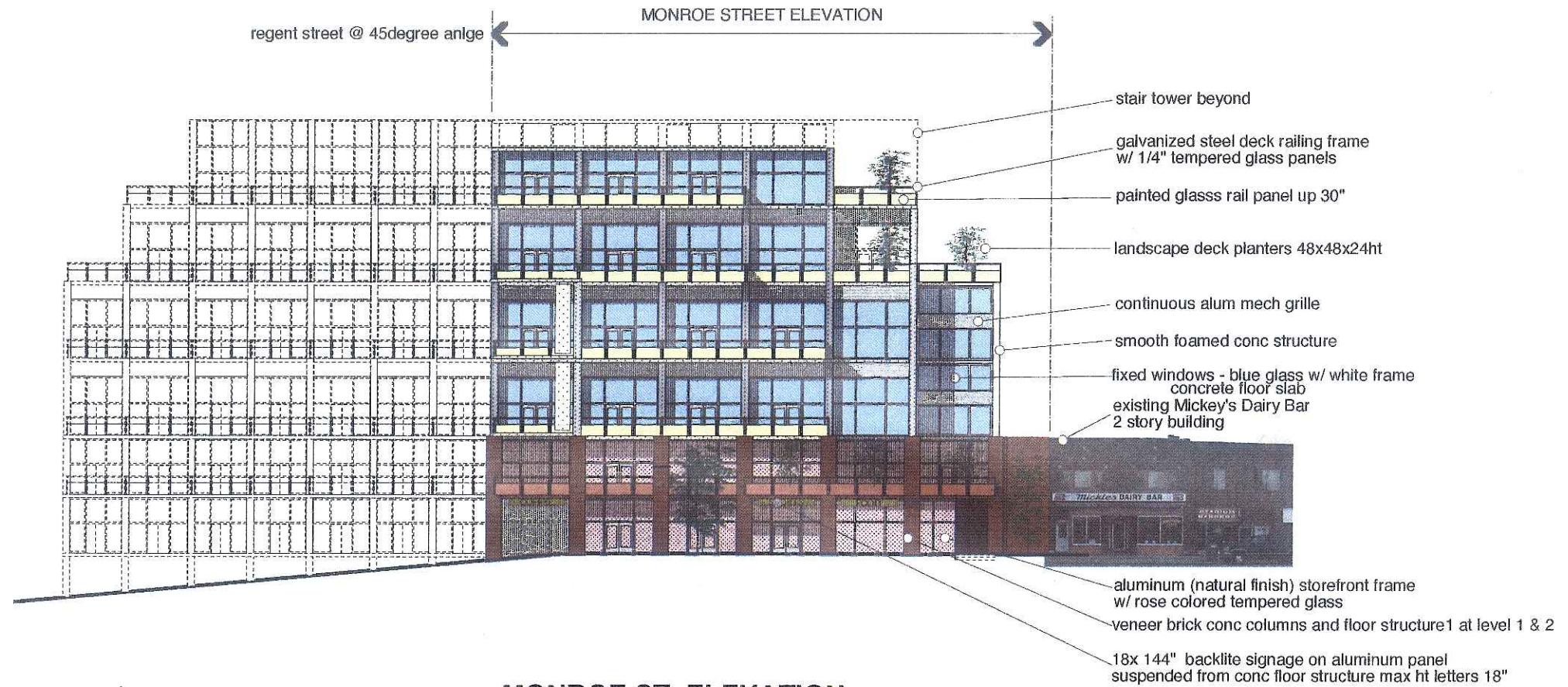


FIFTH FLOOR PLAN

SCALE: 1/8" = 1' - 0"

architect SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101	project FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711	A1.5 06.21.06
	owner Wisconsin Avenue Associates	

*NOTE: Drawings are 50% scale for 11x17 print sets.



MONROE ST. ELEVATION

SCALE: 1/16"=1'-0"

← MONROE STREET ELEVATION → monroe street elevation - @ 45 degree angle


- galvanized steel railing frame w/ 1/4" tempered glass panels
- painted glass rail panel up 30"
- landscape deck planters 48x48x24ht
- concrete floor slab
- continuous alum mech grille
- smooth formed conc structure
- fixed windows - blue glass w/ white frame
- translucent fiberglas light panel free stand in aluminum frame fit to conc slab (colors red green yellow)
- aluminum (natural finish) storefront frame w/ rose colored tempered glass
- vener brick conc columns and floor structure1 at level 1 & 2
- 18x 144" backlite signage on aluminum panel suspended from conc floor structure max ht letters 18"



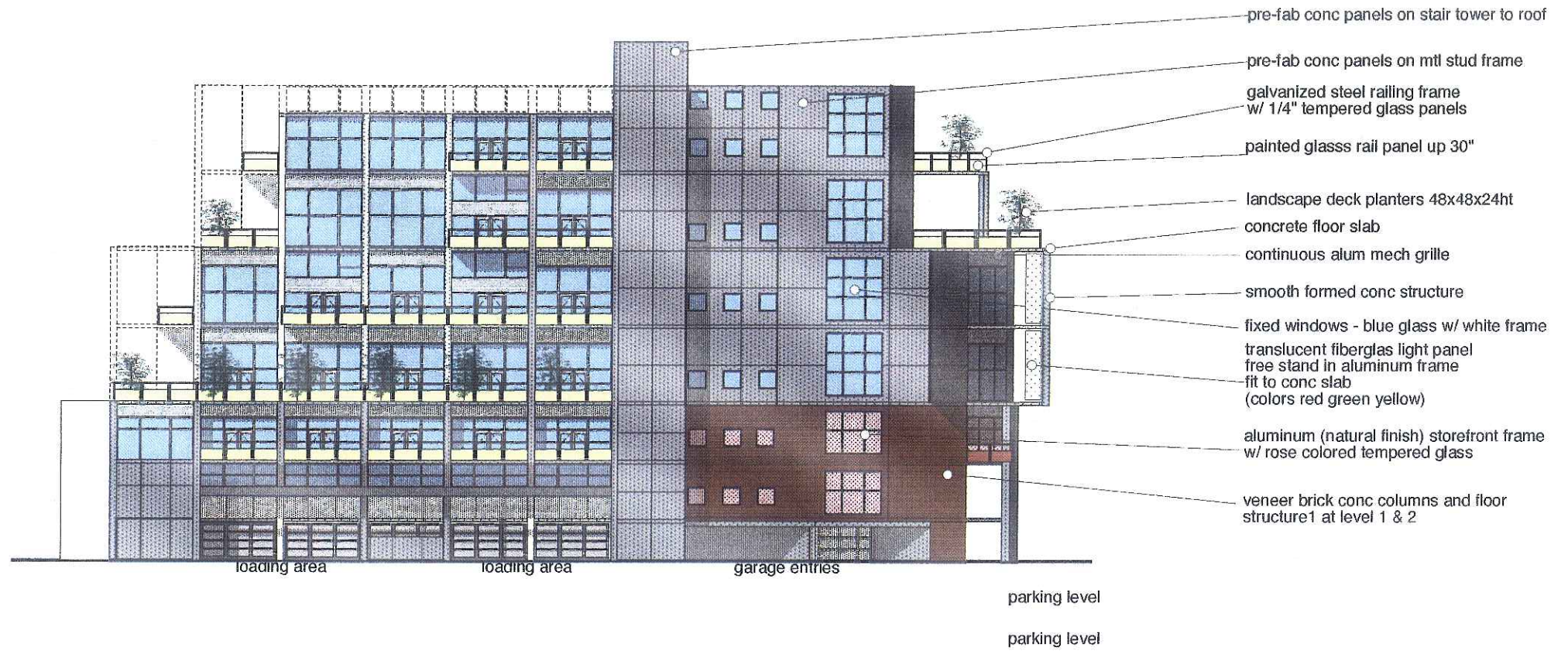
REGENT ST. ELEVATION

SCALE: 1/16"=1'-0"

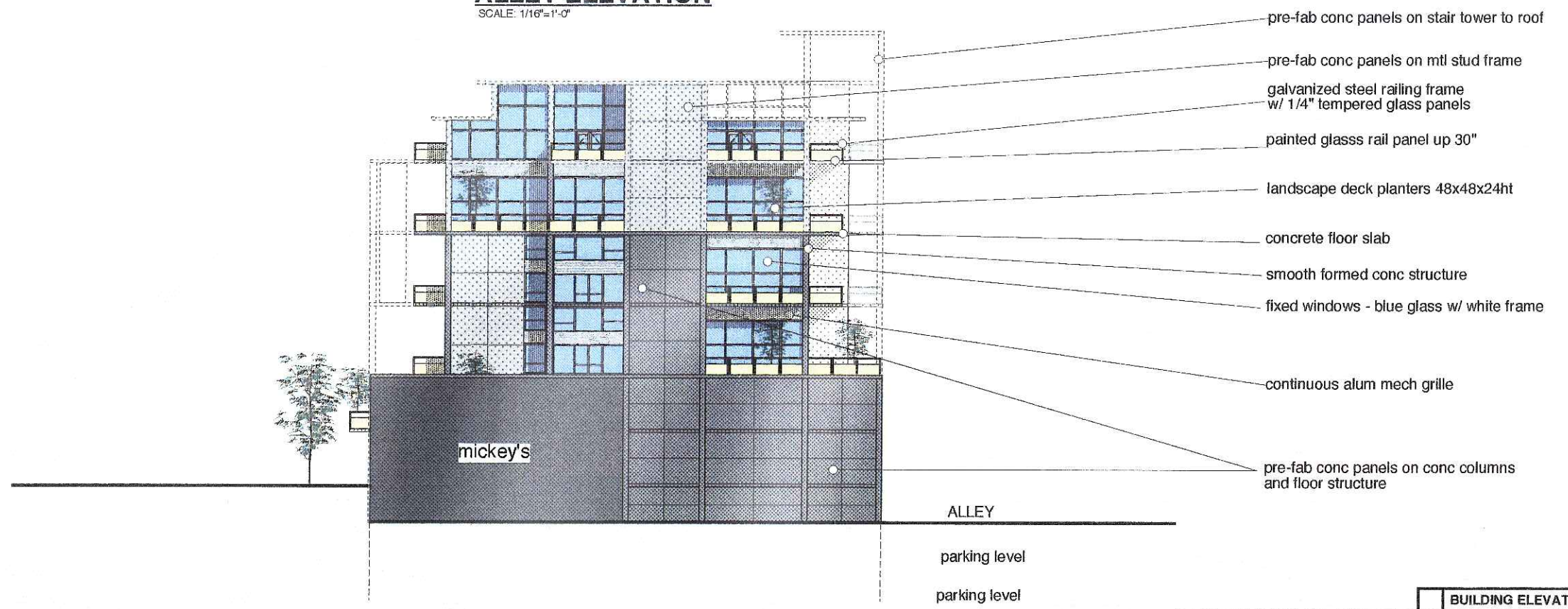
parking level
parking level

Architect  SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.263.6100 Fax: 608.263.6101	BUILDING ELEVATIONS		A4.1	
	Project	FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711		
	Owner	Wisconsin Avenue Associates		
			7.19.06	


*NOTE: Drawings are 50% scale for 11x17 print sets.



ALLEY ELEVATION
SCALE: 1/16"=1'-0"



SOUTH ELEVATION
SCALE: 1/16"=1'-0"

 <p>1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101</p>		<p>BUILDING ELEVATIONS.</p> <p>project: FIELDHOUSE STATION 1501 Monroe Street Madison, WI 53711</p> <p>owner: Wisconsin Avenue Associates</p>		<p>A4.2</p> <p>07.19.06</p>
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*NOTE: Drawings are 50% scale for 11x17 print sets.