



# MADISON CHILDREN'S MUSEUM

100 NORTH HAMILTON STREET  
MADISON, WISCONSIN 53703

UDC AND LAND-USE CITY SUBMITTAL  
NOVEMBER 18, 2020

NOT FOR CONSTRUCTION



OWNER:  
**MADISON CHILDREN'S MUSEUM**  
100 NORTH HAMILTON STREET  
MADISON, WISCONSIN 53703  
CONTACT: BRENDA BAKER  
EMAIL: bbaker@madisonchildrensmuseum.org

ARCHITECT:  
**GARY BRINK AND ASSOCIATES, INC**  
2248 DEMING WAY, SUITE 120  
MIDDLETON, WISCONSIN 53762  
PHONE: (608) 829-1750  
CONTACT: JEFF BRENKUS  
EMAIL: jeff.brenkus@garybrink.com

LANDSCAPE ARCHITECT:  
**SAIKI DESIGN**  
1110 SOUTH PARK STREET  
MADISON, WISCONSIN 53715  
PHONE: (608) 405-8149  
CONTACT: ABBIE MOILIEN  
EMAIL: amoilien@ksd-la.com

CIVIL ENGINEER:  
**BURSE SURVEYING AND ENGINEERING, INC.** 222  
2801 INTERNATIONAL LANE, SUITE 101  
MADISON, WISCONSIN 53704  
PHONE: (608) 250-9263  
CONTACT: MICHELLE BURSE  
EMAIL: mburse@bse-inc.net

STRUCTURAL ENGINEER:  
**PE ENGINEERING**  
222 WEST WASHINGTON AVENUE, SUITE 650  
MADISON, WISCONSIN 53703  
PHONE: (608) 729-1414  
CONTACT: LUCAS MARSHALL  
EMAIL: lbm@pierceengineers.com

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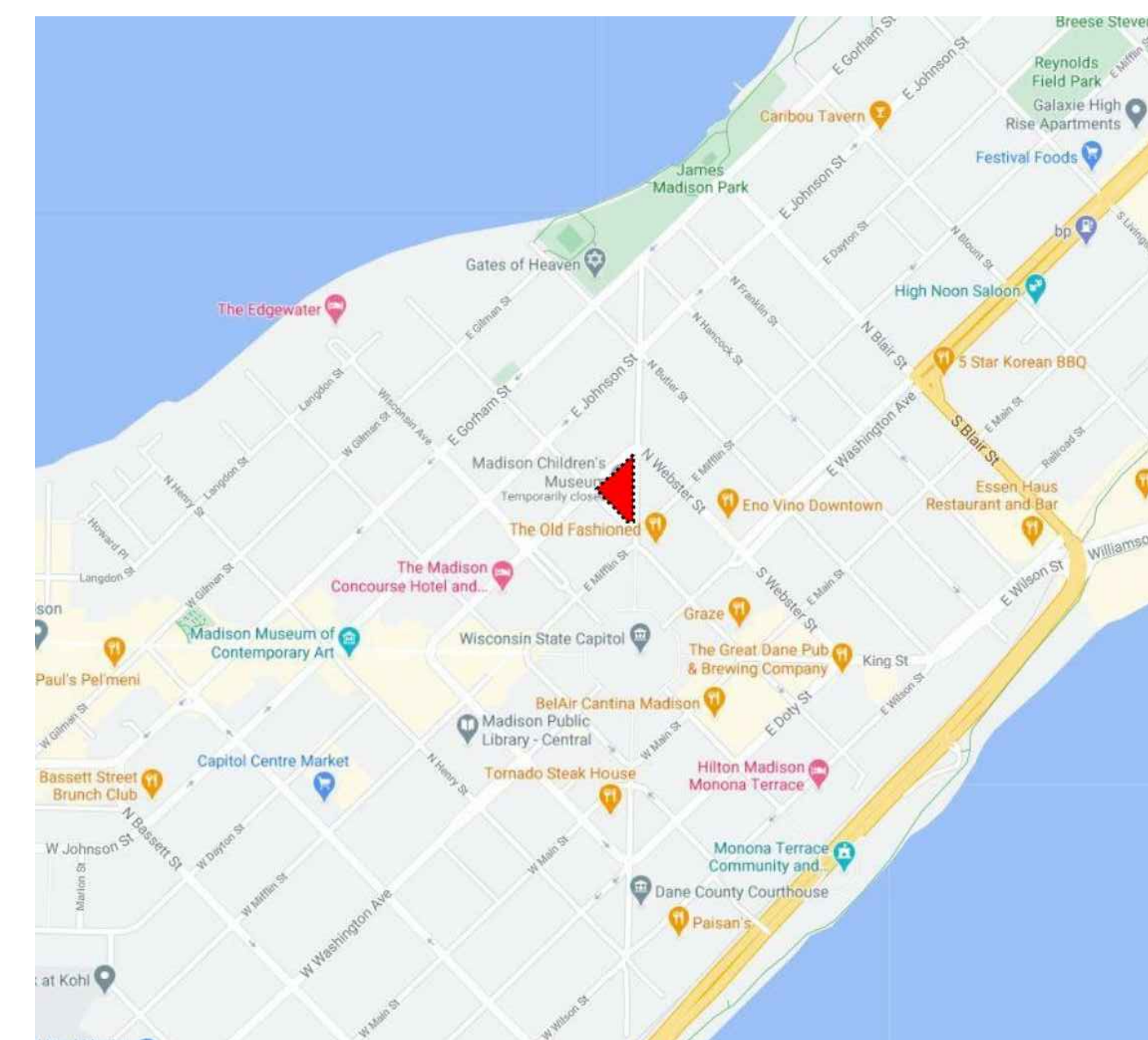
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## PROJECT LOCATION:



PROJECT: Madison Children's Museum Renovation  
100 North Hamilton Street  
Madison, Wisconsin 53703  
CLIENT: Madison Children's Museum  
100 North Hamilton Street  
Madison, Wisconsin 53703

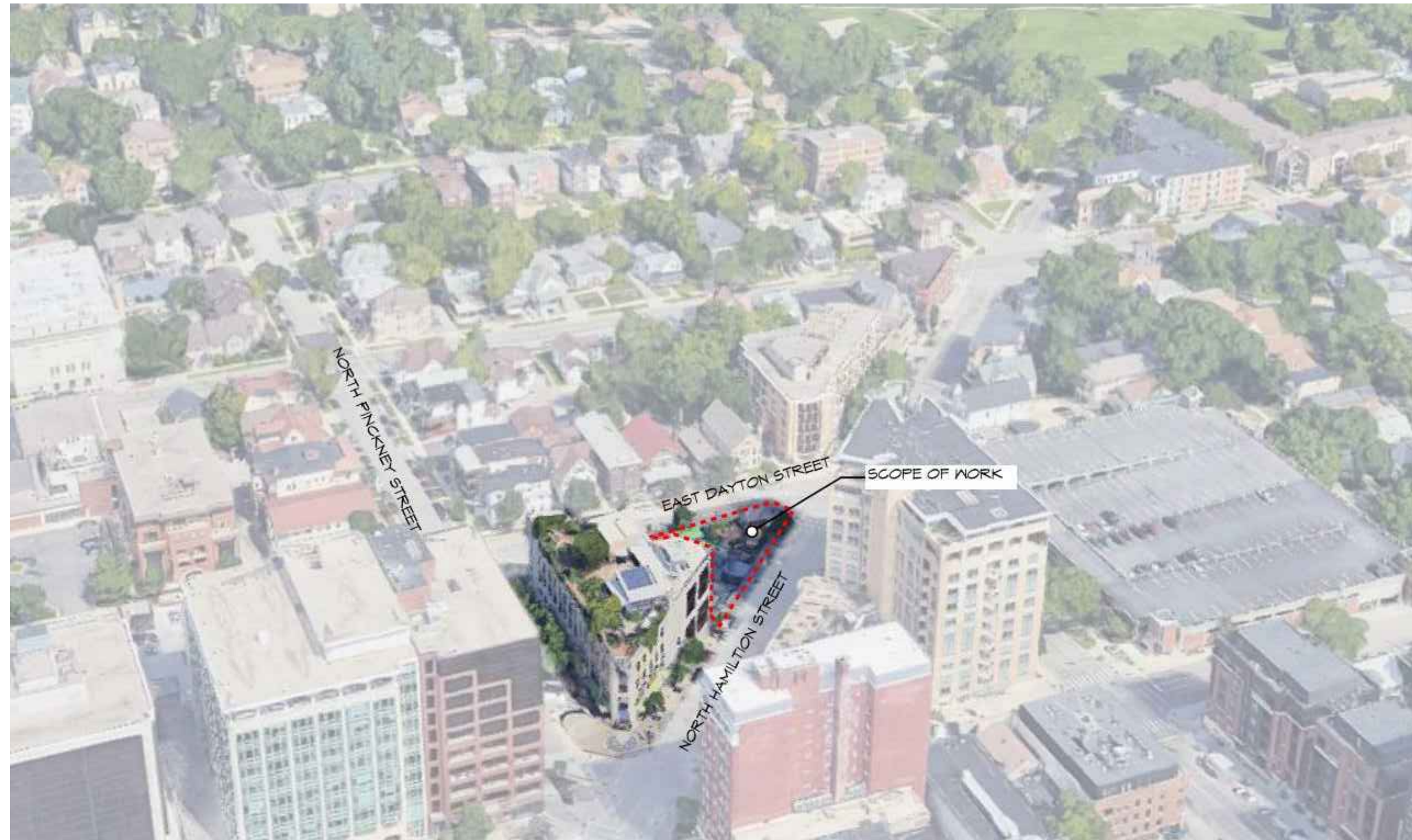
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PROJECT: 202042  
DRAWN BY: GJA  
DATE:  
SCALE: A& NOTED



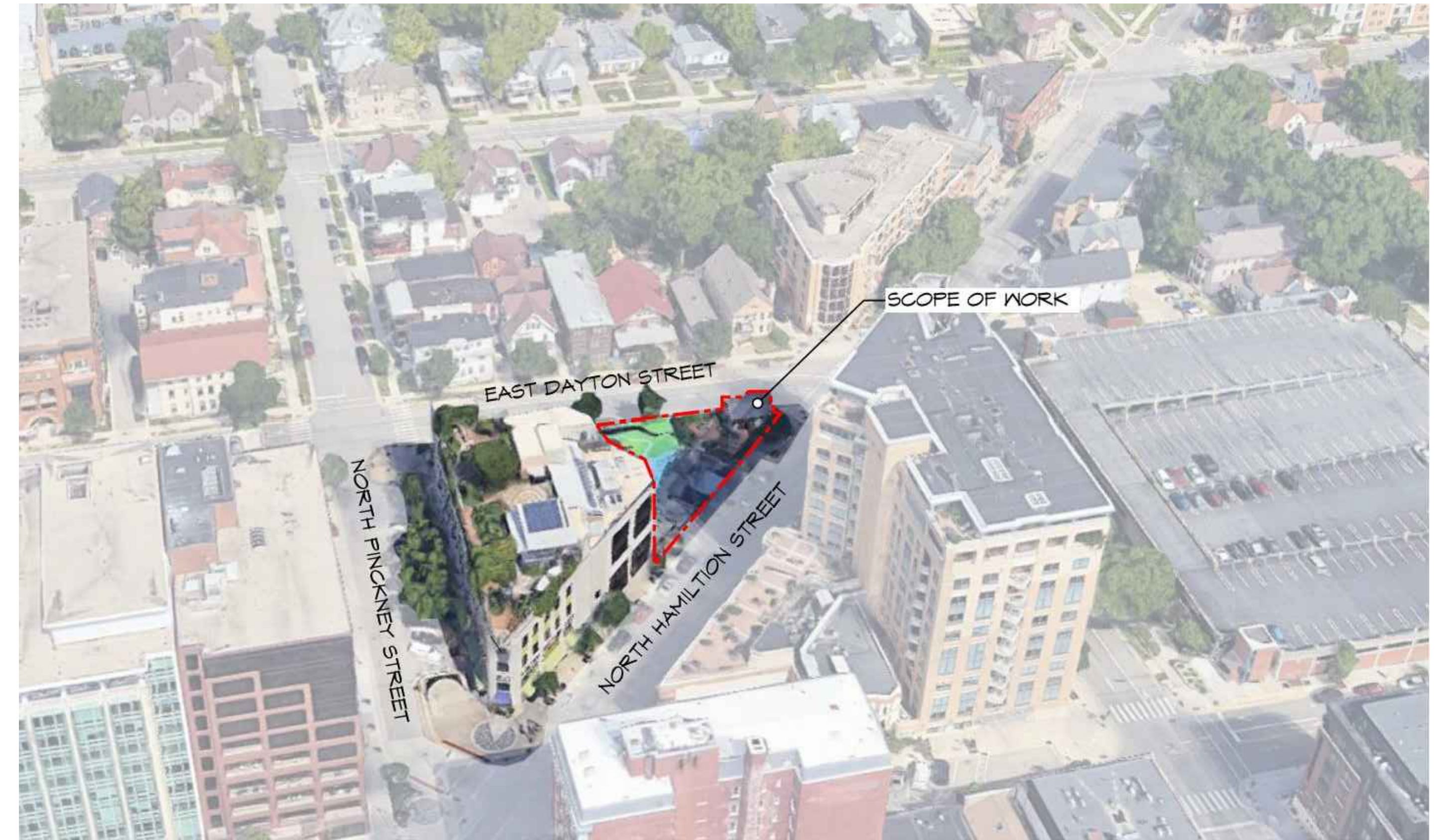
AERIAL VIEW 1



AERIAL VIEW 2



AERIAL VIEW 3



AERIAL VIEW 4

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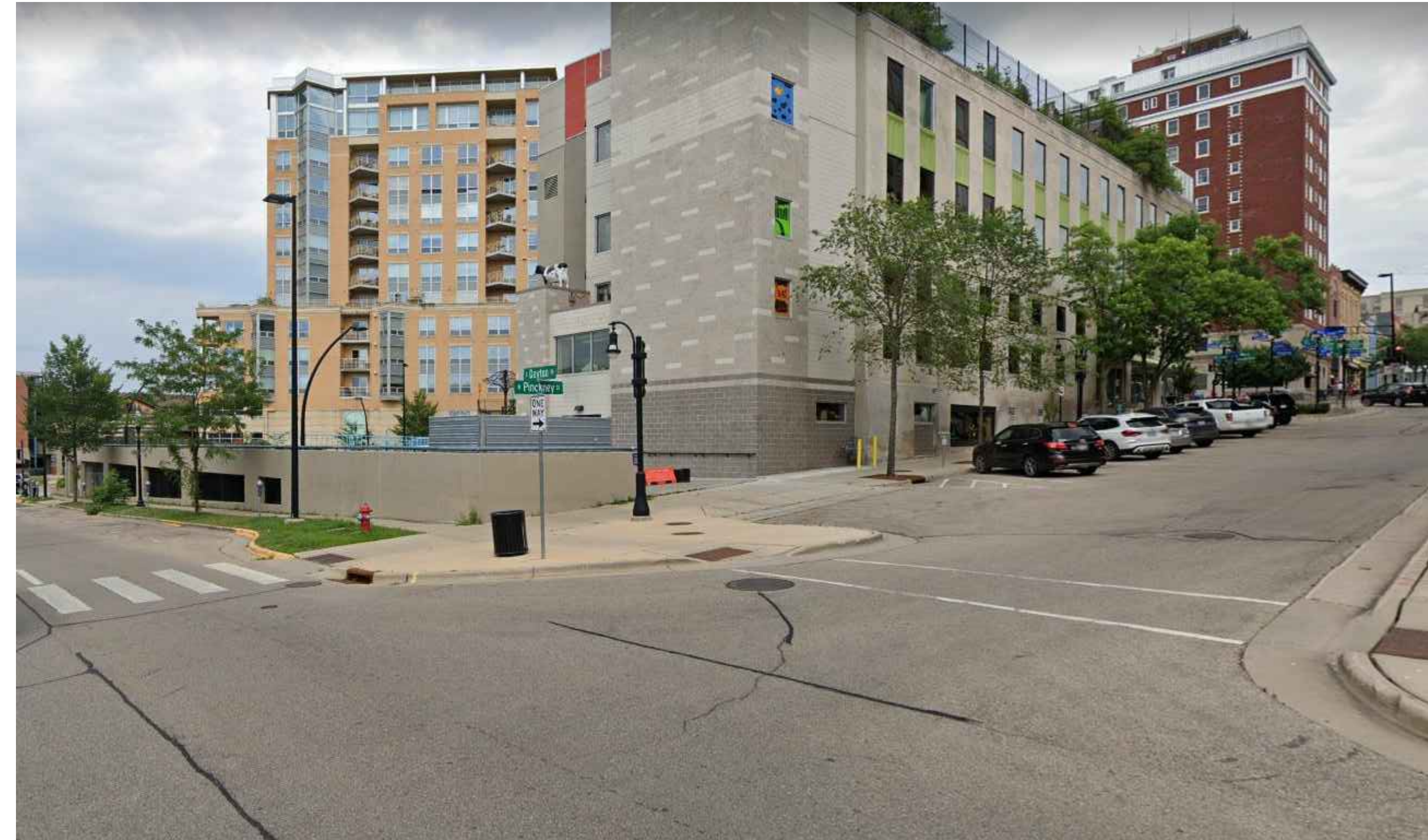
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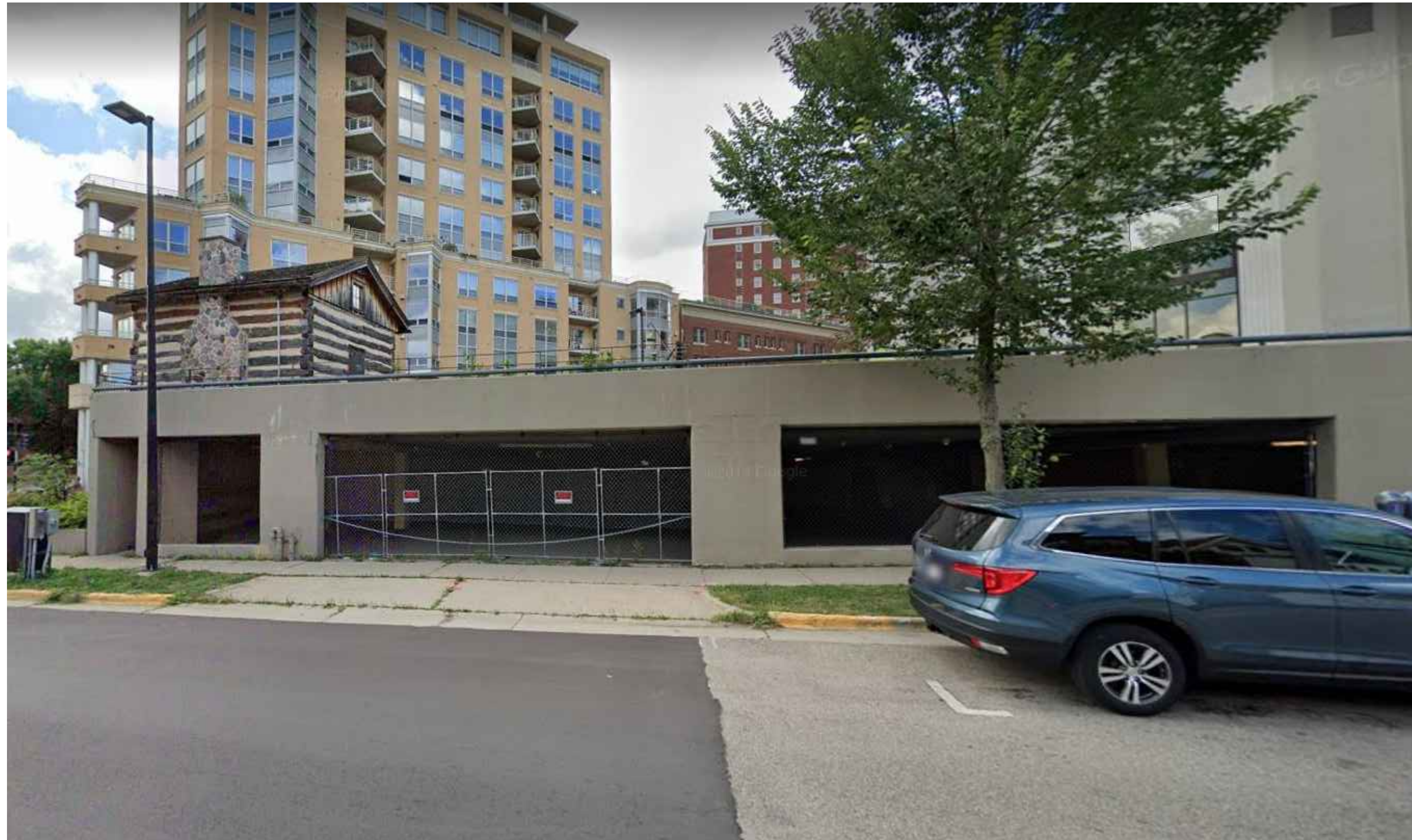
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 DRAWN BY: GJA  
 DATE:  
 SCALE: AS NOTED



EXTERIOR VIEW 1



EXTERIOR VIEW 2



EXTERIOR VIEW 3



EXTERIOR VIEW 4

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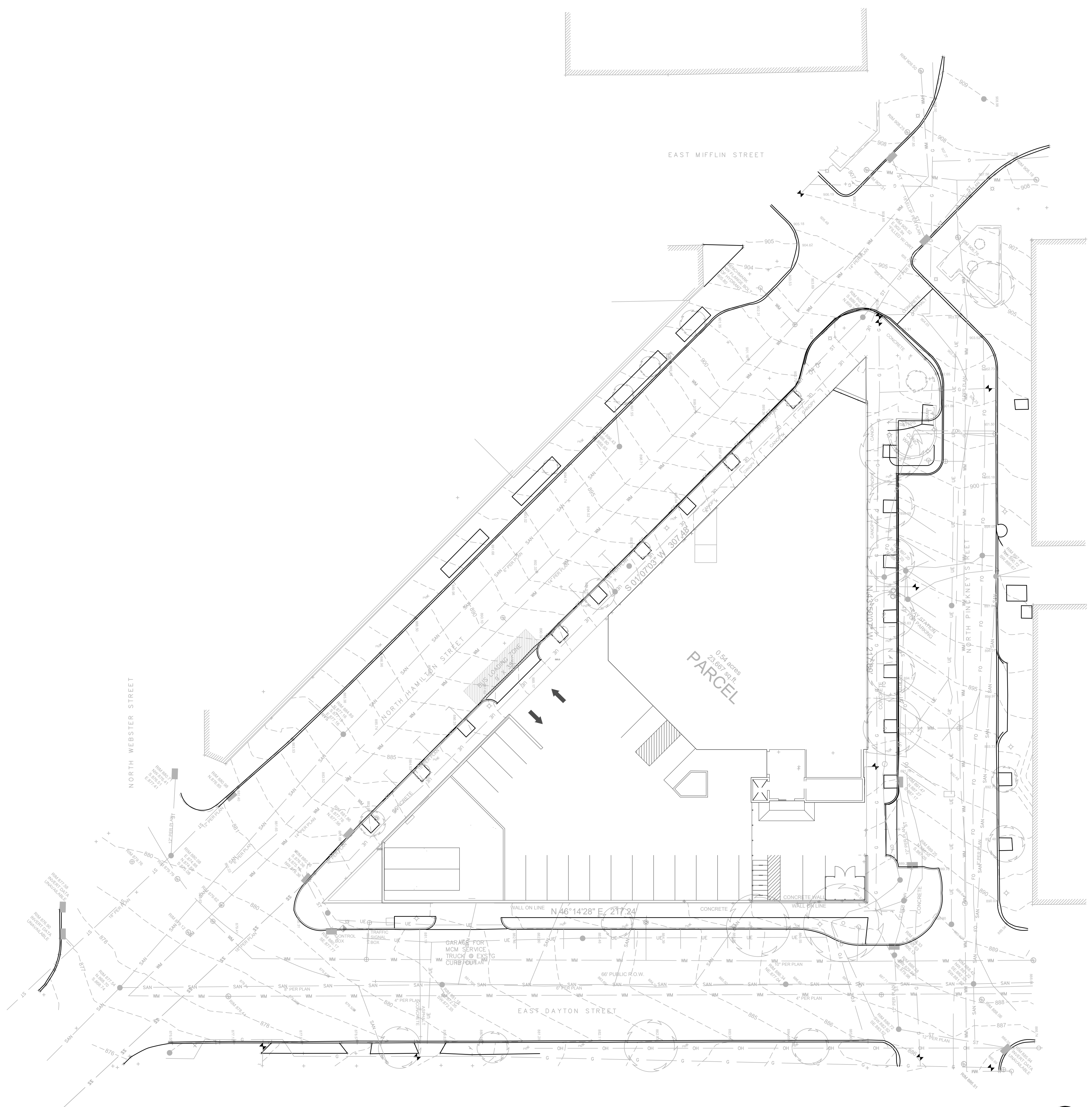
**NOT FOR CONSTRUCTION**

**NOTES**

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL PROTECT BENCHMARKS.
4. ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEED AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.

EXISTING			PROPOSED		
Feature	Area	Percentage	Feature	Area	Percentage
Buildings	10939	46%	Buildings	10939	46%
Parking Deck	12383	52%	Loading Dock	2833	12%
Concrete	99	0%	Asphalt	3894	16%
<b>Total Impervious</b>	<b>23421</b>		<b>Concrete</b>	<b>99</b>	<b>0%</b>
<b>Total Pervious</b>	<b>246</b>	<b>1%</b>	<b>Total Impervious</b>	<b>17765</b>	
			<b>Planting</b>	<b>2625</b>	<b>11%</b>
			<b>Play Area - Mulch</b>	<b>3277</b>	<b>14%</b>
			<b>Total Pervious</b>	<b>5902</b>	
<b>Lot Total</b>	<b>23667</b>		<b>Lot Total</b>	<b>23667</b>	

SITE DEVELOPMENT DENSITIES	
Lot Area	23667 SF
Open Space	9895 SF
Lot Coverage	58%



**1** EXISTING SITE PLAN  
SCALE: 1" = 20'

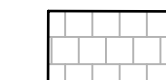
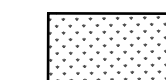
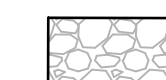
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PROJECT: 202042  
DRAWN BY: DA, AM  
DATE: 2020-11-18  
SCALE: SEE PLAN

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**LEGEND**

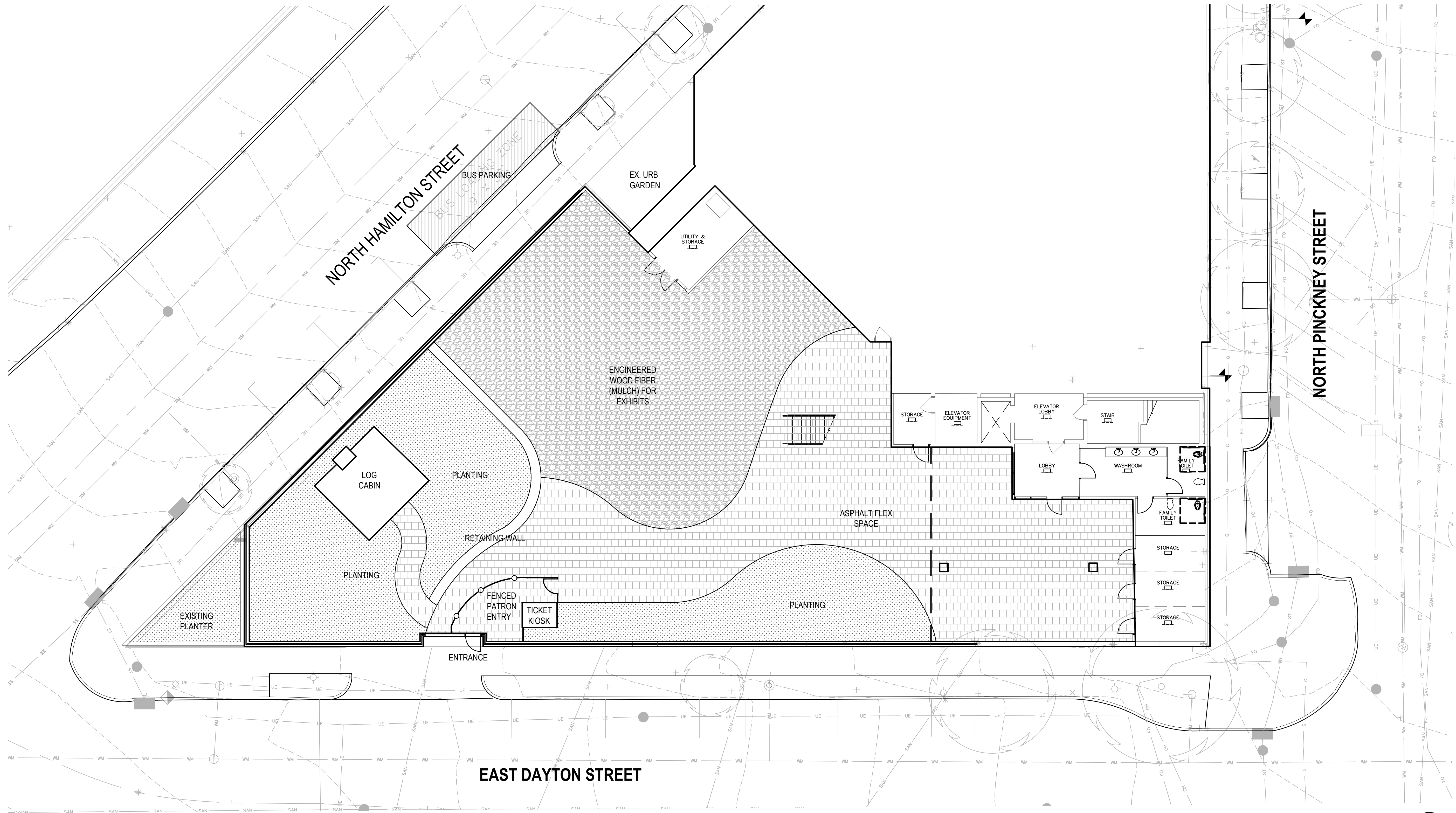
-  ASPHALT
-  PLANTING AREAS
-  MULCHED AREAS

**GBA**  
architecture | design

7780 ELMWOOD AVE. STE. 204  
MIDDLETON, WI 53562  
608-829-1750  
608-829-3056 (FAX)

Landscape Architect

**saiki**  
DESIGN



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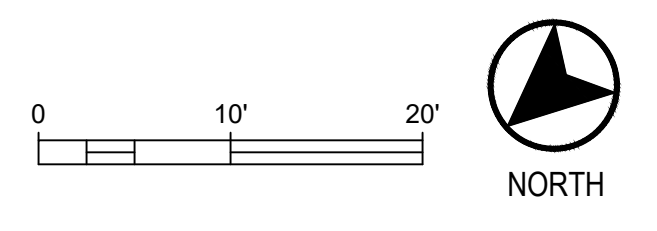
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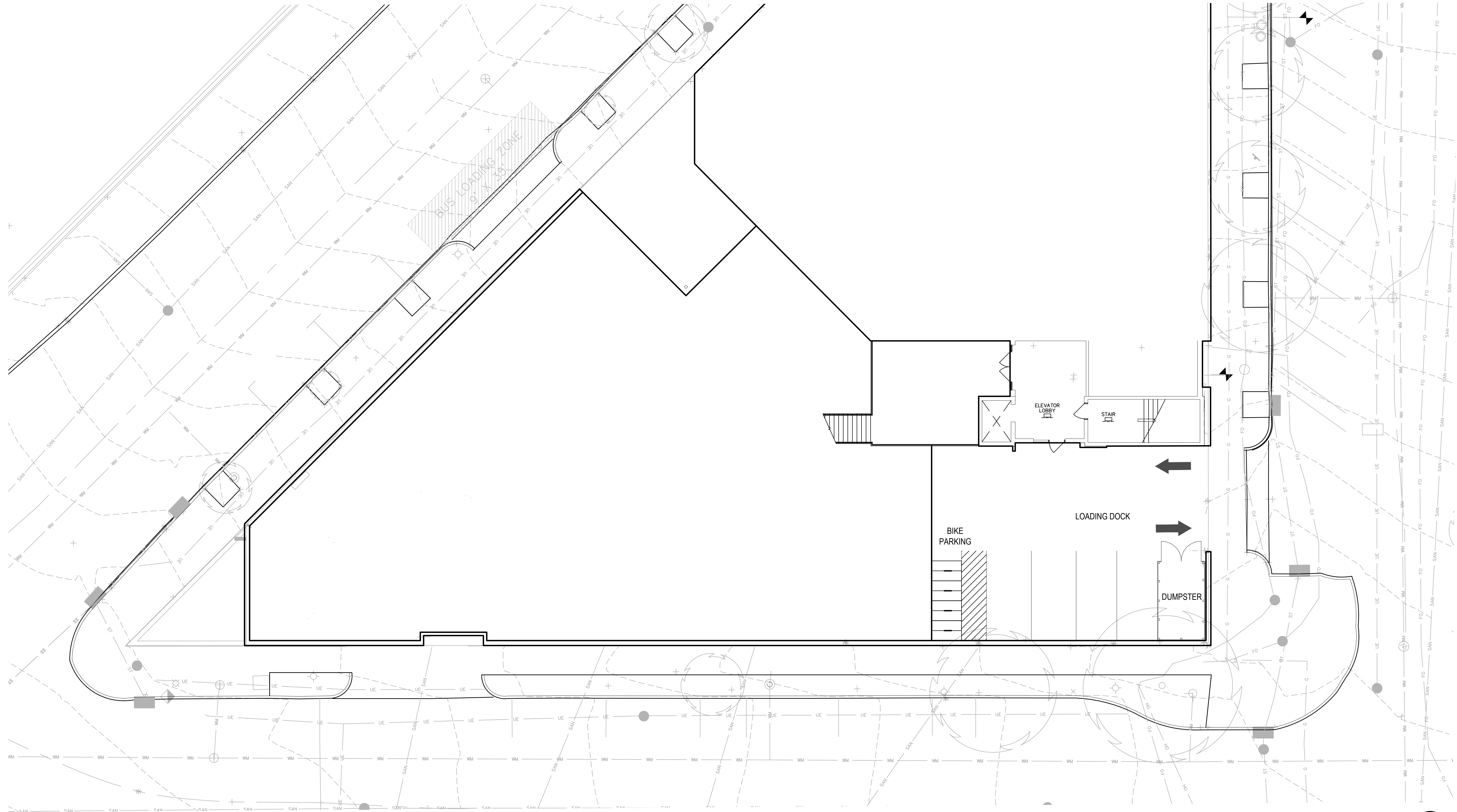
**1 SITE PLAN - BASEMENT**  
SCALE: 1" = 10'



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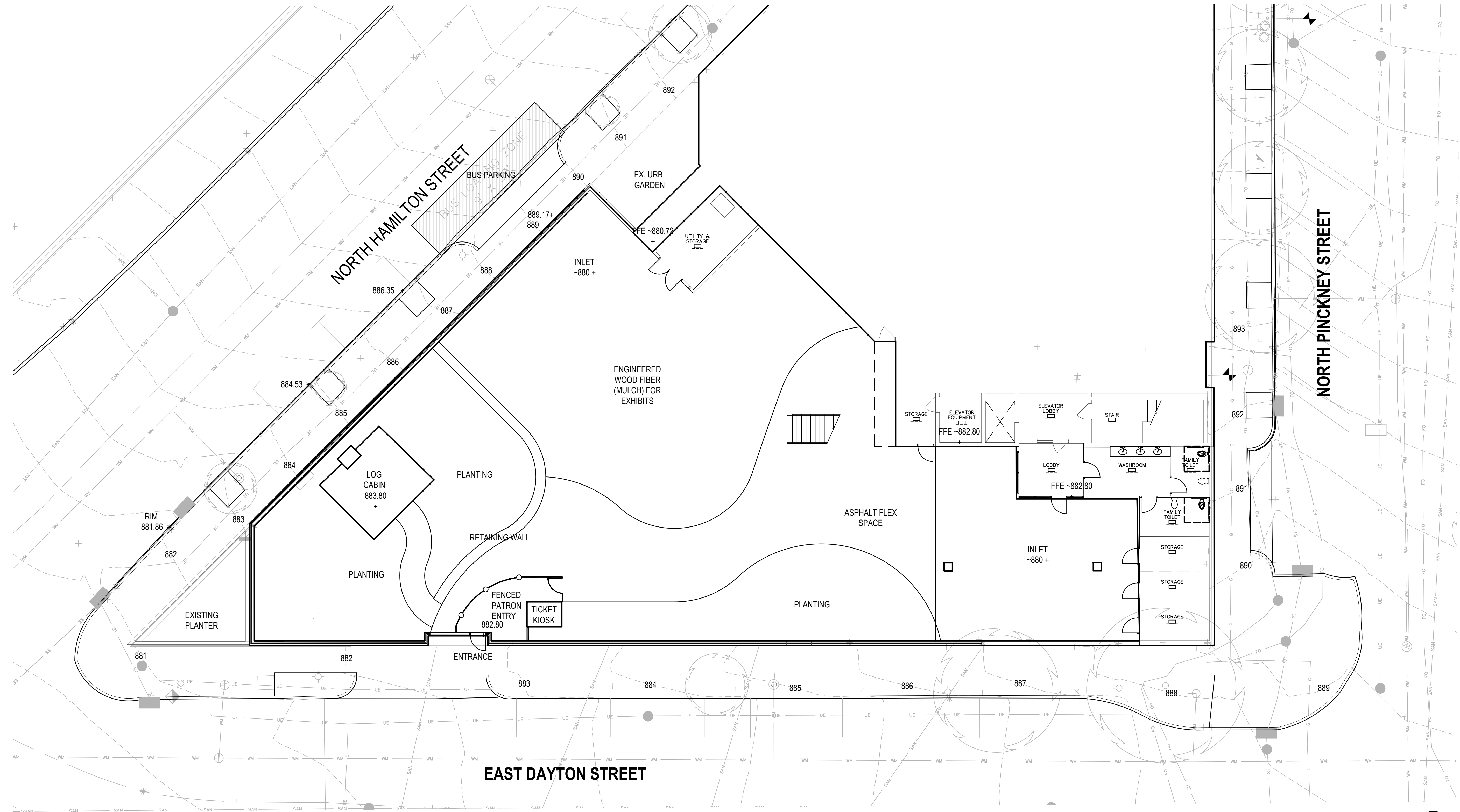
PROJECT: 202042  
DRAWN BY: DA, AM  
DATE: 2020-11-18  
SCALE: SEE PLAN

**1 SITE PLAN - FIRST FLOOR**  
SCALE: 1" = 10'

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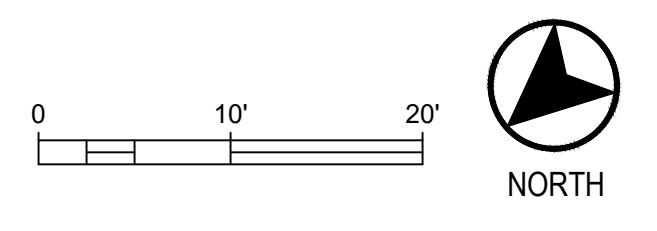
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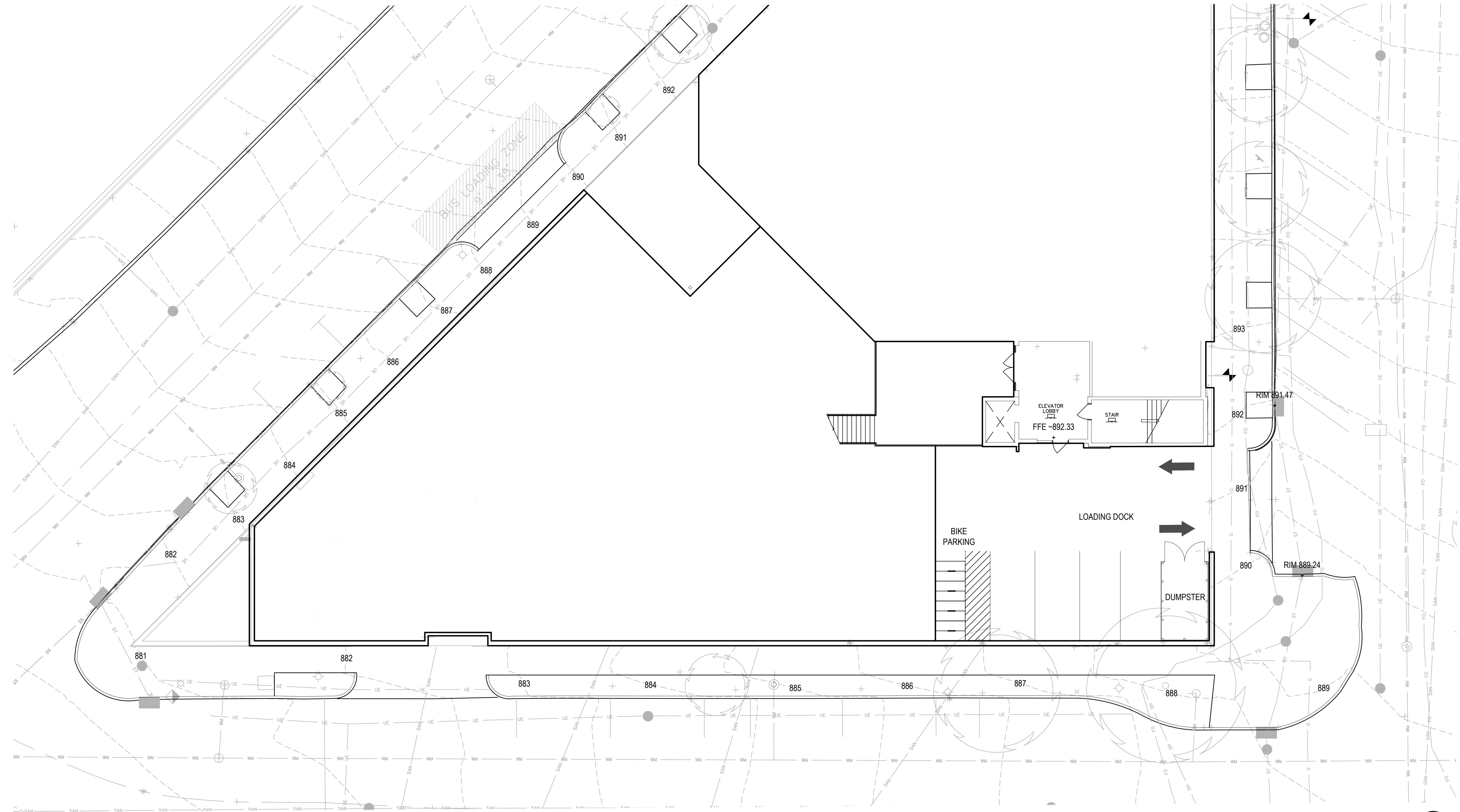
**1 GRADING PLAN - BASEMENT**  
SCALE: 1" = 10'



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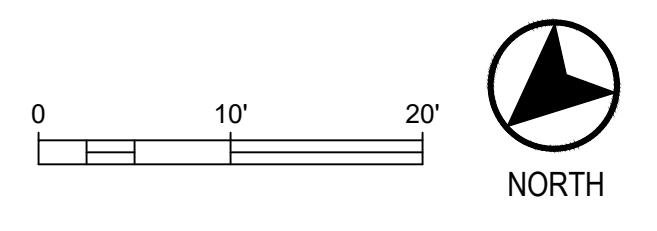
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DATE: 2020-11-18  
SCALE: SEE PLAN

**1 GRADING PLAN - FIRST FLOOR**  
SCALE: 1" = 10'



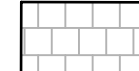

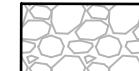
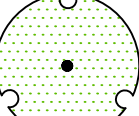
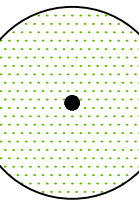
**C-5**  
GRADING PLAN  
FIRST FLOOR



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3. CONTRACTOR SHALL PROTECT BENCHMARKS.
4. ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
5. ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDED AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
6. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
7. CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN, BHOFMANN@CITYOFMADISON.COM - OR - 608-266-4816) AT LEAST ONE WEEK PRIOR TO PLANTING IN THE RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
8. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, AND EXTERIOR SITE FURNISHINGS (SECTIONS 31 13 00, 32 33 00, 32 91 13, 32 90 00 & 32 93 00. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
9. CONTRACTOR WILL BE REQUIRED TO SUBMIT TOPSOIL TEST RESULTS PER SECTION 32 91 13 PRIOR TO PLACEMENT OF SOIL MATERIALS ON THIS PROJECT.

**LEGEND**

-  ASPHALT
-  PLANTING AREAS
-  MULCHED AREAS
-  ORNAMENTAL TREE
-  CANOPY TREE

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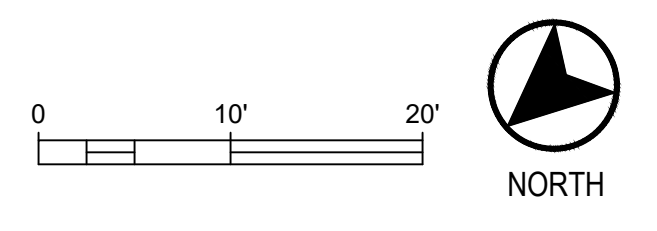


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DRAWN BY: DA, AM  
DATE: 2020-11-18  
SCALE: SEE PLAN

**1 LANDSCAPE PLAN**  
SCALE: 1" = 10'



DEMO PLAN SYMBOLS	
	DEMOLITION/REMOVE WALL
	EXISTING WALL TO REMAIN
	DEMOLITION/REMOVE EXISTING DOOR (AND FRAME AS INDICATED)
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING STRUCTURAL COLUMN TO REMAIN
	KEY NOTE
	NOT IN CONTRACT/OUTSIDE OF AREA OF WORK

DEMO FLOOR PLAN KEY NOTES	
1.	NOT USED.
2.	EXISTING LOG CABIN TO BE CAREFULLY REMOVED INTACT, PROTECTED, TEMPORARILY RELOCATED OFF-SITE AND RETAINED TO NEW LOCATION ON NEW 5' SLAB-ON-GRADE AT LOWER LEVEL.
3.	EXISTING CONCRETE WALL AND PIPE RAIL TO BE REMOVED AT PERIMETER OF UPPER DECK AND AS SHOWN IN ELEVATIONS.
4.	EXISTING CONCRETE COLUMN TO BE REMOVED, REMOVE TO 1' BELOW EXISTING BASEMENT FLOOR LEVEL.
5.	EXISTING SECOND FLOOR DECK TO BE REMOVED AND REBUILT IN THIS AREA.
6.	EXISTING FIRST FLOOR DECK TO BE REMOVED ENTIRELY IN THIS AREA.
7.	EXISTING PLANTER BOX TO REMAIN. MODIFY BACK WALL AS REQUIRED FOR NEW WORK.
8.	EXISTING BOLLARDS TO BE REMOVED.
9.	EXISTING CONCRETE COLUMN TO REMAIN.
10.	REMOVE EXISTING PAVING, SUB-GRADE, BIKE RACKS, ETC. AS REQUIRED IN PREPARATION FOR NEW WORK.
11.	EXISTING STORAGE ROOM TO REMAIN.
12.	EXISTING STEEL COLUMN SUPPORTING PLATFORM (ABOVE) TO REMAIN. PROTECT AND MAINTAIN IN PLACE DURING CONSTRUCTION AND NEW WORK.
13.	REMOVE WALL, DOOR AND INFILL WALL. PROVIDE 24" HIGH INFILL WALL AT SIDEWALK TO 12" ABOVE. DRILL AND DOBEL (2) #4 BARS (1#B) INTO ADJACENT FOUNDATION WALLS.
14.	EXISTING EXHIBIT / DECK AND STRUCTURE TO REMAIN.
15.	REMOVE EXISTING PARKING LOT LIGHTS (TOTAL OF 3) AND RETAIN FOR RE-INSTALLATION. WIRING / CIRCUITS ARE TO BE COILED IN PLACE FOR RE-INSTALLATION / RE-CONNECTION IN PLACE AT LOWER LEVEL LOCATION.
16.	REMOVE AND RE-INSTALL EXISTING TRASH ENCLOSURE TO NEW LOCATION AND CONFIGURATION.

NORTH HAMILTON STREET



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DRAWN BY: GJA  
DATE:  
SCALE: A6 NOTED

NOTE:  
EXISTING (3) THREE CUT-OFF POLE PARKING LOT LIGHTS TO BE REMOVED AND RELOCATED IN PLACE TO NEW LOWER LEVEL PLAN. NO NEW LIGHTING IS BEING PROPOSED AND LOCATIONS OF EXISTING LIGHTING IS BEING MAINTAINED.

EAST DAYTON STREET

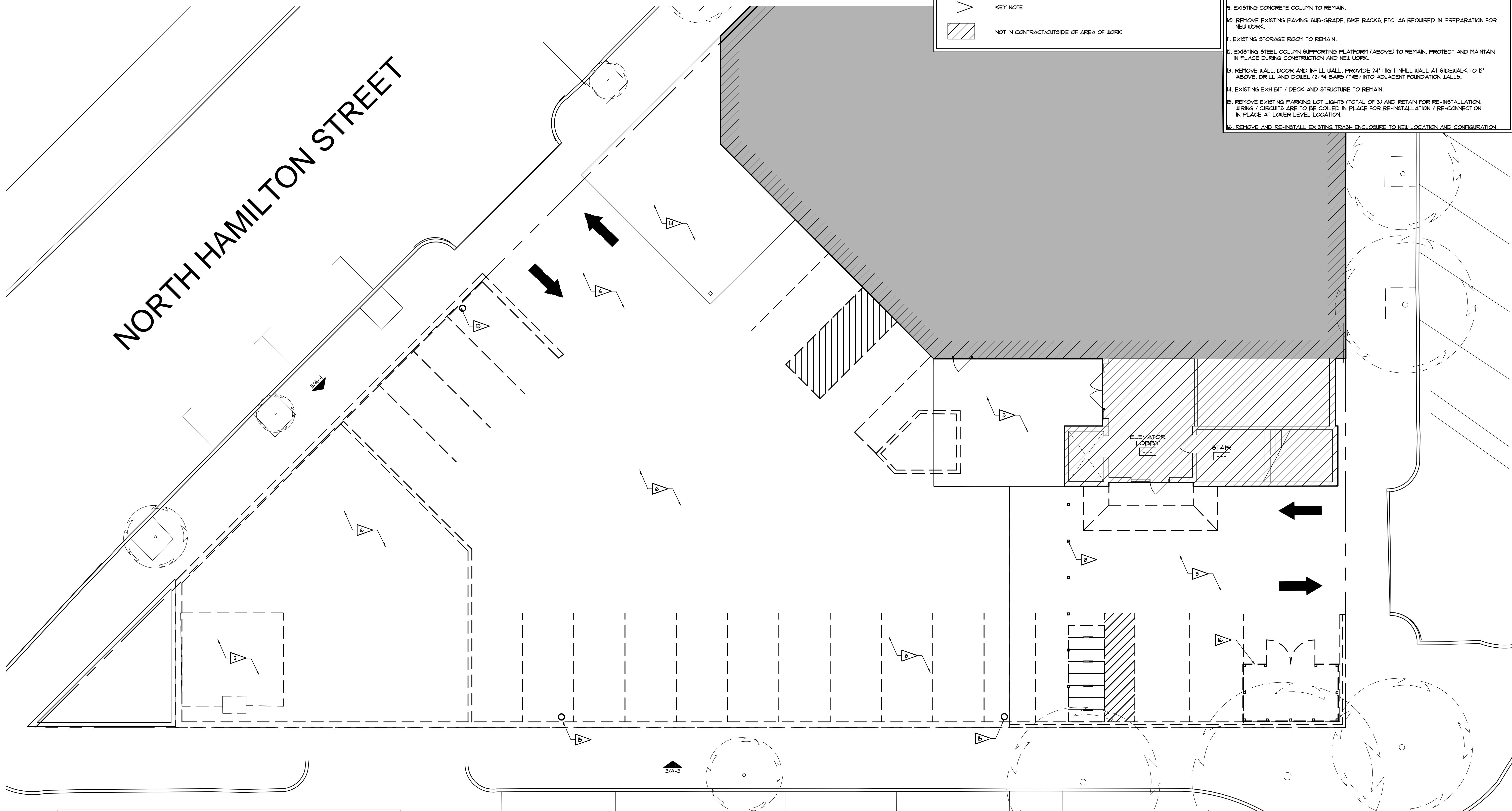


LOWER LEVEL DEMO PLAN

DEMO PLAN SYMBOLS	
	DEMOLITION/REMOVE WALL
	EXISTING WALL TO REMAIN
	DEMOLITION/REMOVE EXISTING DOOR (AND FRAME AS INDICATED)
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING STRUCTURAL COLUMN TO REMAIN
	KEY NOTE
	NOT IN CONTRACT/OUTSIDE OF AREA OF WORK

DEMO FLOOR PLAN KEY NOTES	
1.	NOT USED.
2.	EXISTING LOG CABIN TO BE CAREFULLY REMOVED INTACT, PROTECTED, TEMPORARILY RELOCATED OFF-SITE AND RETAINED TO NEW LOCATION ON NEW 5' SLAB-ON-GRADE AT LOWER LEVEL.
3.	EXISTING CONCRETE WALL AND PIPE RAIL TO BE REMOVED AT PERIMETER OF UPPER DECK AND AS SHOWN IN ELEVATIONS.
4.	EXISTING CONCRETE COLUMN TO BE REMOVED, REMOVE TO 1' BELOW EXISTING BASEMENT FLOOR LEVEL.
5.	EXISTING SECOND FLOOR DECK TO BE REMOVED AND REBUILT IN THIS AREA.
6.	EXISTING FIRST FLOOR DECK TO BE REMOVED ENTIRELY IN THIS AREA.
7.	EXISTING PLANTER BOX TO REMAIN. MODIFY BACK WALL AS REQUIRED FOR NEW WORK.
8.	EXISTING BOLLARDS TO BE REMOVED.
9.	EXISTING CONCRETE COLUMN TO REMAIN.
10.	REMOVE EXISTING PAVING, SUB-GRADE, BIKE RACKS, ETC. AS REQUIRED IN PREPARATION FOR NEW WORK.
11.	EXISTING STORAGE ROOM TO REMAIN.
12.	EXISTING STEEL COLUMN SUPPORTING PLATFORM (ABOVE) TO REMAIN. PROTECT AND MAINTAIN IN PLACE DURING CONSTRUCTION AND NEW WORK.
13.	REMOVE WALL, DOOR AND INFILL WALL. PROVIDE 24" HIGH INFILL WALL AT SIDEWALK TO 12" ABOVE. DRILL AND DOSEL (2) #4 BARS (1#) INTO ADJACENT FOUNDATION WALLS.
14.	EXISTING EXHIBIT / DECK AND STRUCTURE TO REMAIN.
15.	REMOVE EXISTING PARKING LOT LIGHTS (TOTAL OF 3) AND RETAIN FOR RE-INSTALLATION. WIRING / CIRCUITS ARE TO BE COILED IN PLACE FOR RE-INSTALLATION / RE-CONNECTION IN PLACE AT LOWER LEVEL LOCATION.
16.	REMOVE AND RE-INSTALL EXISTING TRASH ENCLOSURE TO NEW LOCATION AND CONFIGURATION.

NORTH HAMILTON STREET



NOTE:  
EXISTING (3) THREE CUT-OFF POLE PARKING LOT LIGHTS TO BE REMOVED AND RELOCATED IN PLACE TO NEW LOWER LEVEL PLAN. NO NEW LIGHTING IS BEING PROPOSED AND LOCATIONS OF EXISTING LIGHTING IS BEING MAINTAINED.

EAST DAYTON STREET

NOT FOR CONSTRUCTION

PROJECT: Madison Children's Museum Renovation  
100 North Hamilton Street  
Madison, Wisconsin 53703  
CLIENT: Madison Children's Museum  
100 North Hamilton Street  
Madison, Wisconsin 53703

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PROJECT: 202042  
DRAWN BY: GJA  
DATE:  
SCALE: AS NOTED

**OMEGA ARCHITECTURAL**

BRING YOUR STYLE RIGHT THROUGH THE FENCE

THE OMEGA ARCHITECTURAL FENCE SYSTEM ENHANCES THE BEAUTY AND AMBIENCE OF YOUR PROPERTY WITH A UNIQUE, MODERN FENCE DESIGN.

**QUICK VIEW**

HEIGHT	4' 0", 6', 8' (stackable) 1253, 1584, 1713, 2034 mm	Vertical wire	8 GA (14.5mm)
LENGTH	7' 0" (2134 mm)	Horizontal wire	6 GA (14.8mm)
FINISH	Pre-galvanized + powder coated	Mash opening	1.9" (48mm) x 4" (102mm)



OMEGA II ARCHITECTURAL FENCE

**PLAN SYMBOLS**

- KEY NOTE
- EXISTING WALL TO REMAIN
- NEW WALL/PARTITION
- NEW CMU WALL / PARTITION
- EXISTING DOOR TO REMAIN
- DOOR / INTERIOR OPENING TO MATCH BUILDING STANDARD. PAINT TO MATCH EXISTING ADJACENT SURFACES.
- EXISTING STRUCTURAL COLUMN TO REMAIN
- NOT IN CONTRACT / OUTSIDE OF AREA OF WORK

**FLOOR PLAN KEY NOTES**

1. EXISTING LOG CABIN TO BE CAREFULLY REMOVED AND RELOCATED TO LOWER LEVEL.
2. NEW OMEGA II NON-CLIMBABLE FENCE TO MATCH EXISTING STYLE. POST SHALL BE INSTALLED ON THE BACK FACE OF EXISTING CONCRETE RETAINING WALL AND SPACED AT 1'-8" O.C.
3. NEW 6" WIDE GALVANIZED OPEN GRATE STEEL STAIR SYSTEM, GUARDRAIL AND HANDRAIL.
4. NEW 6" WIDE, FULL-HEIGHT DECORATIVE CMU WALL.
5. NEW ADA COMPLIANT TOILET, JUVENILE TOILET, GRAB BARS, ETC.
6. ENCLOSE AREA BELOW UPPER PLATFORM TO CREATE MECHANICAL EQUIPMENT ENCLOSURE.
7. NEW 3' ACCESS GATE.
8. EXISTING CONCRETE COLUMN TO REMAIN.
9. INFILL WALL TO MATCH EXISTING WALL CONSTRUCTION AND ALIGN FINISHED FACES OF BOTH SIDES OF WALL TO ADJACENT UNFINISHED SURFACES. WALL TO BE CONSTRUCTED TO MATCH ANY EXISTING FIRE-RATINGS (WHERE APPLICABLE).
10. ALIGN FINISH FACE OF WALLS. COORDINATE FINISHES WITH OWNER.
11. NO NEW WORK IN THIS AREA.
12. LINE OF EXISTING FLOOR ABOVE.
13. NEW UNDERMOUNT SINK, SOLID SURFACE COUNTERTOP, FAUCETS, ETC.
14. NEW 6' HIGH PRIVACY FENCE AROUND PERIMETER OF LOADING DOCK / AREA WITH MAN-GATE AND PANIC DEVICE.
15. NEW 42" HIGH GUARDRAIL SYSTEM TO MATCH OMEGA II NON-CLIMBABLE FENCE PANELS.
16. NEW 6' HIGH DOG EAR RUSTIC BOARD ON BOARD FENCE. REFER TO PLAN AND ELEVATION FOR EXTENTS.



7780 ELMWOOD AVE. STE. 204  
MIDDLETON, WI 53562  
608-829-1750  
608-829-3056 (FAX)

NORTH HAMILTON STREET



UTILITY 4 STORAGE

STORAGE

ELEVATOR EQUIPMENT

ELEVATOR LOBBY

STAIR

LOBBY

WASHROOM

FAMILY TOILET

FAMILY TOILET

STORAGE

STORAGE

STORAGE

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NOTE:  
EXISTING (3) THREE CUT-OFF POLE PARKING LOT LIGHTS TO BE REMOVED AND RELOCATED IN PLACE TO NEW LOWER LEVEL PLAN. NO NEW LIGHTING IS BEING PROPOSED AND LOCATIONS OF EXISTING LIGHTING IS BEING MAINTAINED.

EAST DAYTON STREET

LOWER LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"



LOWER LEVEL FLOOR PLAN

NOT FOR CONSTRUCTION

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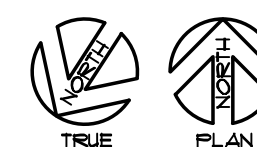
FIRST FLOOR PLAN

PLAN SYMBOLS		FLOOR PLAN KEY NOTES	
	KEY NOTE	1. EXISTING LOG CABIN TO BE CAREFULLY REMOVED AND RELOCATED TO LOWER LEVEL.	
	EXISTING WALL TO REMAIN	2. NEW OMEGA II 'NON-CLIMBABLE' FENCE TO MATCH EXISTING STYLE. POST SHALL BE INSTALLED ON THE BACK FACE OF EXISTING CONCRETE RETAINING WALL AND SPACED AT 1'-0" O.C.	
	NEW WALL/PARTITION	3. NEW 6" WIDE GALVANIZED OPEN GRATE STEEL STAIR SYSTEM, GUARDRAIL AND HANDRAIL.	
	NEW CMU WALL / PARTITION	4. NEW 6" WIDE, FULL-HEIGHT DECORATIVE CMU WALL.	
	EXISTING DOOR TO REMAIN	5. NEW ADA COMPLIANT TOILET, JUVENILE TOILET, GRAB BARS, ETC.	
	DOOR / INTERIOR OPENING TO MATCH BUILDING STANDARD. PAINT TO MATCH EXISTING ADJACENT SURFACES.	6. ENCLOSE AREA BELOW UPPER PLATFORM TO CREATE MECHANICAL EQUIPMENT ENCLOSURE.	
	EXISTING STRUCTURAL COLUMN TO REMAIN	7. NEW 3' ACCESS GATE.	
	NOT IN CONTRACT / OUTSIDE OF AREA OF WORK	8. EXISTING CONCRETE COLUMN TO REMAIN.	
		9. INFILL WALL TO MATCH EXISTING WALL CONSTRUCTION AND ALIGN FINISHED FACES OF BOTH SIDES OF WALL TO ADJACENT UNDAMAGED SURFACES. WALL TO BE CONSTRUCTED TO MATCH ANY EXISTING FIRE-RATING (WHERE APPLICABLE).	
		10. ALIGN FINISH FACE OF WALLS. COORDINATE FINISHES WITH OWNER.	
		11. NO NEW WORK IN THIS AREA.	
		12. LINE OF EXISTING FLOOR ABOVE.	
		13. NEW UNDERMOUNT SINK, SOLID SURFACE COUNTERTOP, FAUCETS, ETC.	
		14. NEW 6' HIGH PRIVACY FENCE AROUND PERIMETER OF LOADING DOCK / AREA WITH MAN-GATE AND PANIC DEVICE.	
		15. NEW 42" HIGH GUARDRAIL SYSTEM TO MATCH OMEGA II NON-CLIMBABLE FENCE PANELS.	
		16. NEW 6" HIGH DOG EAR RUSTIC BOARD ON BOARD FENCE. REFER TO PLAN AND ELEVATION FOR EXTENTS.	



NOTE:  
EXISTING (3) THREE CUT-OFF POLE PARKING LOT LIGHTS TO BE REMOVED AND RELOCATED IN PLACE TO NEW LOWER LEVEL PLAN. NO NEW LIGHTING IS BEING PROPOSED AND LOCATIONS OF EXISTING LIGHTING IS BEING MAINTAINED.

EAST DAYTON STREET



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 24'

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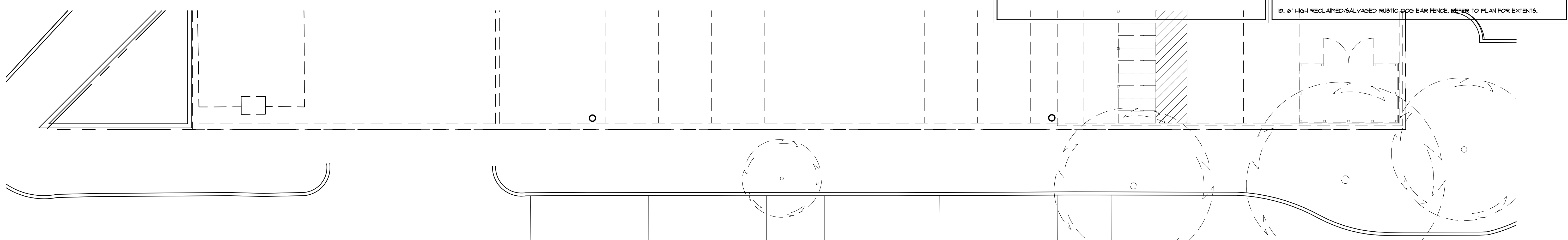
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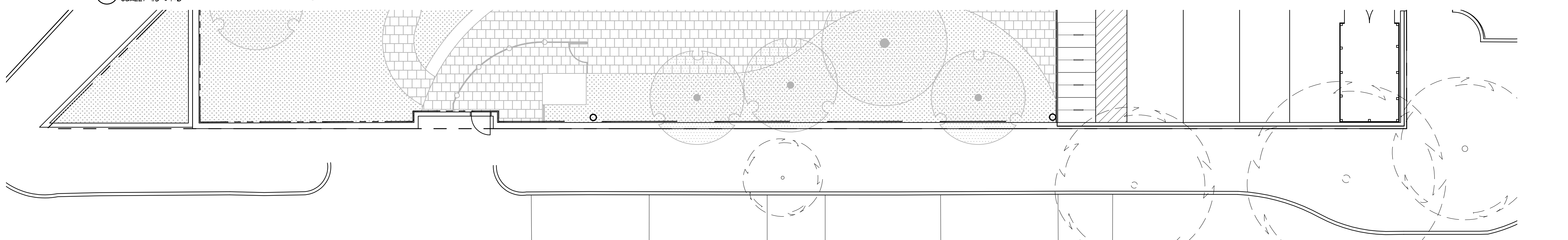
PROJECT: 202042  
DRAWN BY: GJA  
DATE:  
SCALE: A6 NOTED

EXTERIOR ELEVATIONS

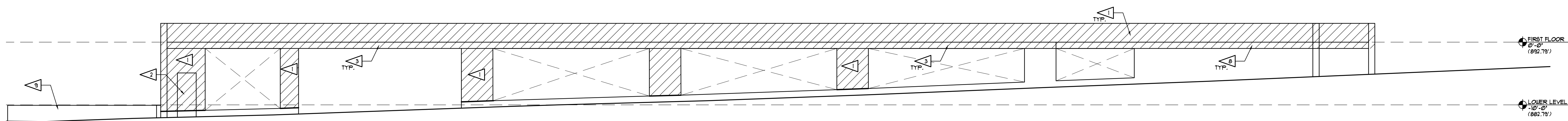
PLAN SYMBOLS		ELEVATION KEY NOTES	
	KEY NOTE	1. EX. CONCRETE WALL TO BE REMOVED INCLUDING STEEL PIPE RAIL, SAW CUT LOWER LEVEL WALL FLUSH WITH ADJACENT OPENINGS AS INDICATED.	
	EXISTING SECURITY FENCE.	2. EXISTING DOOR AND FRAME TO BE REMOVED.	
	AREA TO BE DEMOLISHED.	3. EXISTING UPPER PARKING LEVEL FLOOR TO BE REMOVED IN ITS ENTIRETY; REFER TO KEYNOTE 8 FOR PORTION THAT WILL BE BUILT BACK IN PLACE.	
	AREA TO BE FILLED.	4. INFILL WALL TO MATCH ADJACENT EXISTING CONCRETE WALL AND FINISH.	
	NEW FENCE TO MATCH BUILDING STANDARD.	5. NEW FENCE TO MATCH BUILDING STANDARD. FENCE TO BE SIDE MOUNTED ON 6" WALL, REFER TO SHEET A-1 FOR FENCE INFORMATION.	
	NEW 6' HIGH PRIVACY FENCE.	6. NEW 8' ACCESS GATE WITH (1) 8' WIDE OPERABLE PANEL AND (1) ONE MAN-GATE WITH PANIC DEVICE EMERGENCY EGRESS.	
		7. NEW 6' HIGH PRIVACY FENCE AROUND PERIMETER OF LOADING DOCK, WITH 6' WIDE MAN GATE AND PANIC DEVICE AT BUILDING EGRESS POINT.	
		8. EXISTING FLOOR SLAB TO BE REMOVED AND REBUILT.	
		9. EXISTING PLANTER BOX TO REMAIN.	
		10. 6' HIGH RECLAIMED/SALVAGED RUSTIC DOG EAR FENCE, REFER TO PLAN FOR EXTENTS.	



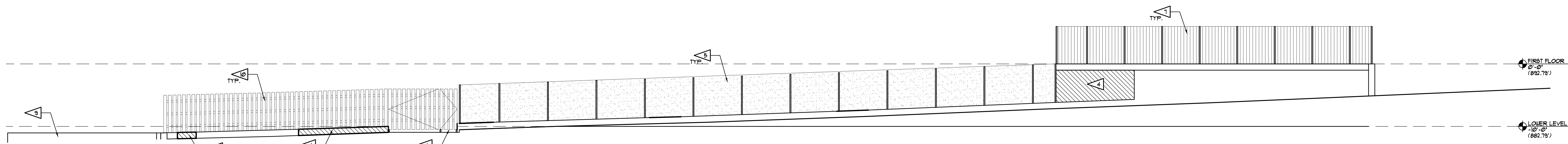
1 DEMO FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 NEW FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



3 DEMO EXTERIOR ELEVATION AT E. DAYTON STREET  
SCALE: 1/8" = 1'-0"



4 NEW EXTERIOR ELEVATION AT E. DAYTON STREET  
SCALE: 1/8" = 1'-0"

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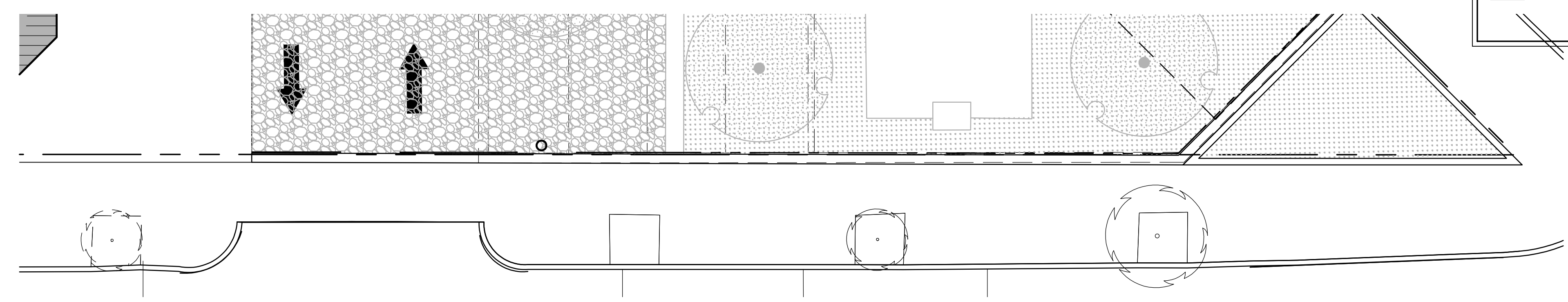
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DATE:  
SCALE: A& NOTED

EXTERIOR ELEVATIONS

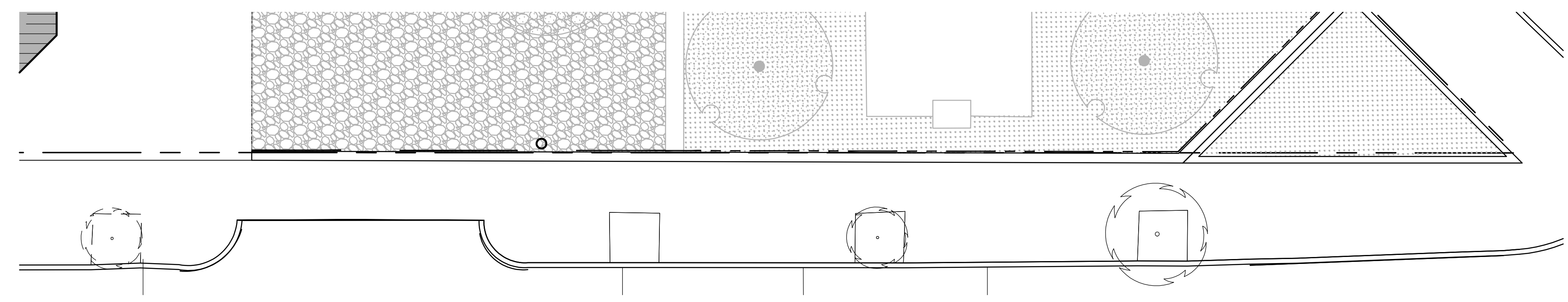
PLAN SYMBOLS	
	KEY NOTE
	EXISTING SECURITY FENCE.
	AREA TO BE DEMOLISHED.
	AREA TO BE FILLED.
	NEW FENCE TO MATCH BUILDING STANDARD.
	NEW 6' HIGH PRIVACY FENCE.

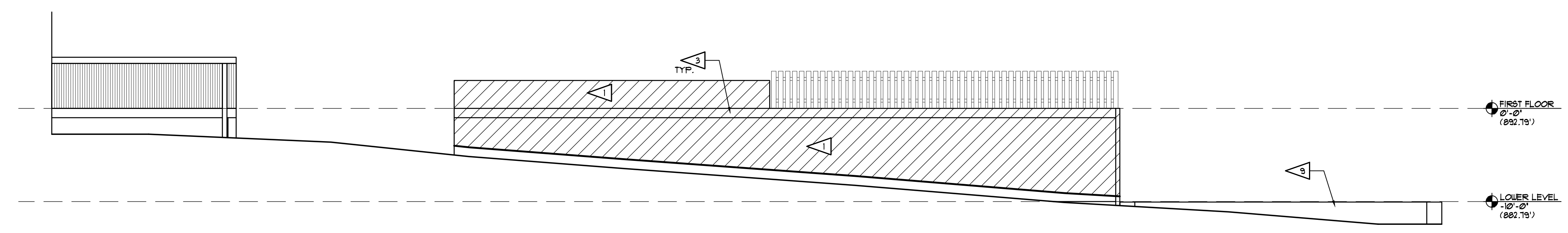
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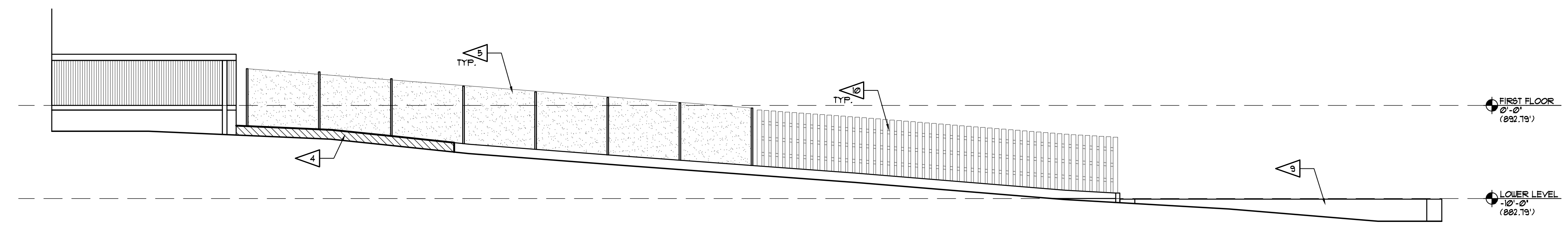
1 DEMO FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



2 NEW FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



3 DEMO EXTERIOR ELEVATION AT N. HAMILTON STREET  
SCALE: 1/8" = 1'-0"



4 NEW EXTERIOR ELEVATION AT N. HAMILTON STREET  
SCALE: 1/8" = 1'-0"