



City of Madison

Proposed Conditional Use

Location

740 University Avenue

Project Name

UW Madison School of Music Performance

Applicant

Board of Regents, UW System/
Mark Bastian - Strang, Inc

Existing Use

Open Space

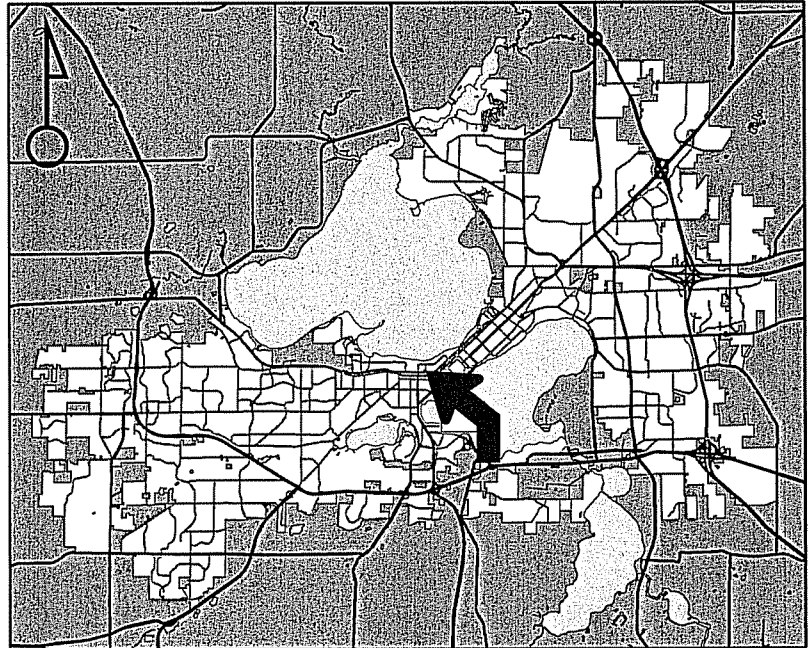
Proposed Use

Construct UW Music Performance
Facility

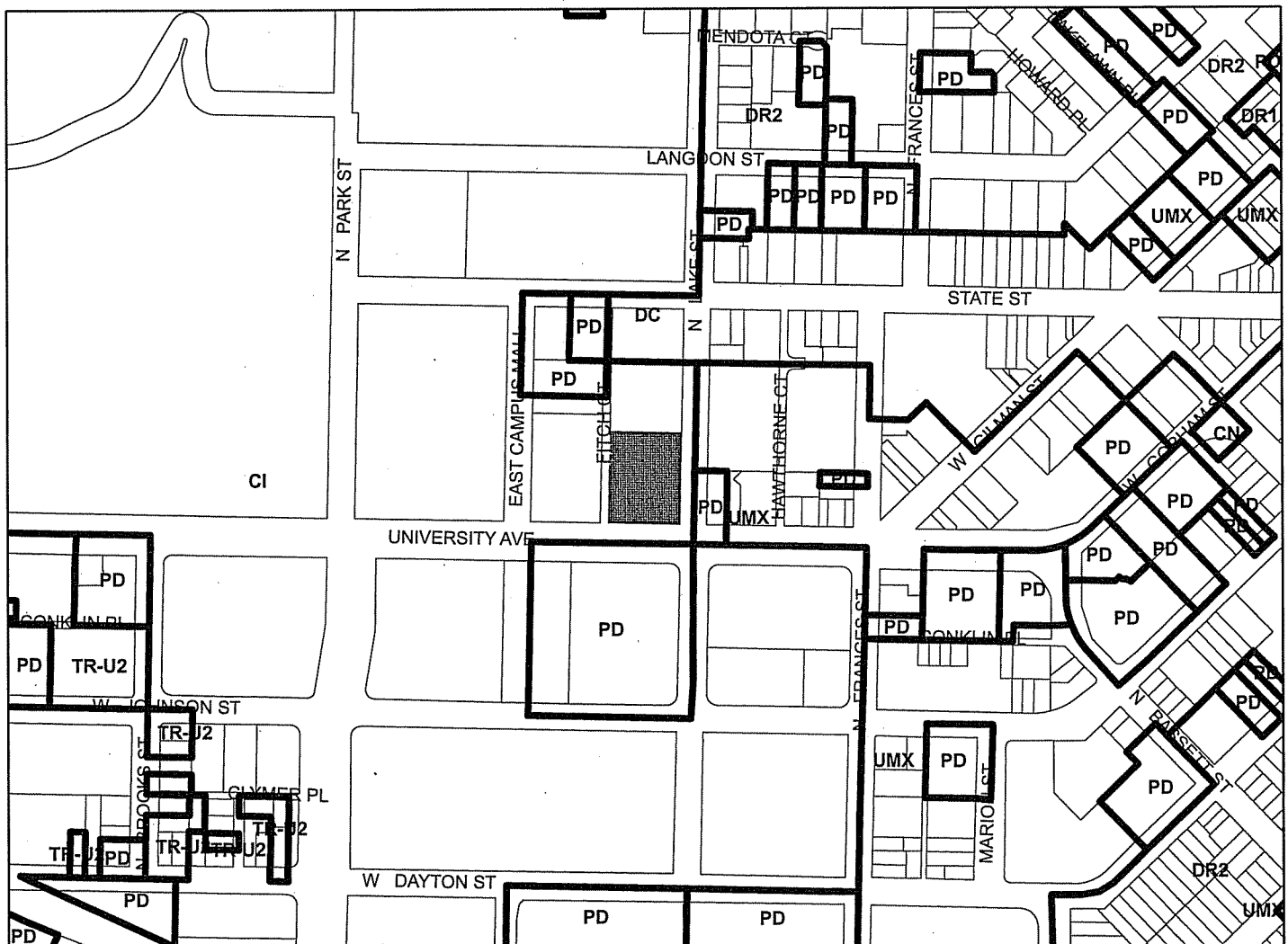
Public Hearing Date

Plan Commission

09 February 2015



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 02 February 2015

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City of Madison

740 University Avenue



Date of Aerial Photography : Spring 2013

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LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____
Date Received 12/17/14
Received By JL
Parcel No. 0709-232-0409-7
Aldermanic District 8-Scott Resnick
Zoning District C1
Special Requirements OK
Review Required By:
☐ Urban Design Commission ☐ Plan Commission
☐ Common Council ☐ Other: _____

Form Effective: February 21, 2013

1. Project Address: 740 University Avenue
Project Title (if any): UW - Madison School of Music Performance

2. This is an application for (Check all that apply to your Land Use Application):

- ☐ Zoning Map Amendment from _____ to _____
- ☐ Major Amendment to Approved PD-GDP Zoning ☐ Major Amendment to Approved PD-SIP Zoning
- ☐ Review of Alteration to Planned Development (By Plan Commission)
- ☒ Conditional Use, or Major Alteration to an Approved Conditional Use
- ☐ Demolition Permit
- ☐ Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Gary Brown, Director, Campus Planning & Landscape Company: University of Wisconsin-Madison, Madison, WI Facilities Planning & Management
Street Address: Suite 900 WARF Building 610 Walnut Street City/State: Madison, WI Zip: 53726
Telephone: (608) 263-3023 Fax: () Email: gbrown@fpm.wisc.edu

Project Contact Person: Mark Bastian, Senior Project Manager Company: Strang, Inc.
Street Address: 6411 Mineral Point Road City/State: Madison, WI Zip: 53705-4395
Telephone: (608) 276-9200 Fax: () Email: mbastian@strang-inc.com

Property Owner (if not applicant): Board of Regents, University of Wisconsin System
Street Address: 1220 Linden Drive City/State: Madison, WI Zip: 53706

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: The University of Wisconsin - Madison School of Music proposes a new Performance Facility project as part of the University's Music / Art Museum Block Master Plan. The Music Performance Building has both an academic and a public mission.

Development Schedule: Commencement November 2015 Completion spring 2017

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5. Required Submittal Information

All Land Use applications are required to include the following:

☒ **Project Plans** including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

☐ **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

☐ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

☒ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alder Scott Resnick, Notified 09/24/14; Joint Southeast Campus Area Committee, Date ???

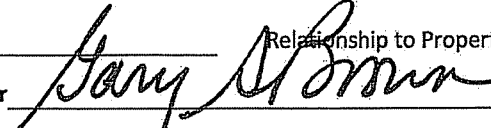
→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

☐ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 09/25/14 Zoning Staff: Matt Tucker Date: 09/25/14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant: Gary Brown Relationship to Property: owner's representative

Authorizing Signature of Property Owner:  Date: Dec. 17, 2014



**HOLZMAN MOSS BOTTINO
ARCHITECTURE**

December 17, 2014

Letter of Intent

To: Plan Commission

Project: UW-Madison School of Music Performance, DFD Project No. 10F2J
740 University Avenue

Client

Wisconsin Dept. of Administration
Division of Facilities Development (DFD)
101 East Wilson Street, 7th Floor, P.O. Box 7866, Madison, WI 53707-7866
Russ Van Gilder, Project Manager russ.vangilder@wisconsin.gov
P: 608-266-1412

Institution

University of Wisconsin-Madison, Madison, WI
Peter Heaslett, Project Manager pheaslett@fpm.wisc.edu
P: 608-263-3012
Gary Brown, Director, Campus Planning & Landscape Architecture gbrown@fpm.wisc.edu
P: 608-263-3023
Susan Cook, Director, School of Music, Professor of Musicology director@music.wisc.edu
P: 608-263-1900

Architectural (Prime Firm)

Strang, Inc.
6411 Mineral Point Road, Madison, WI 53705-4395
P: 608-276-9200
Larry Barton, Principal barton@strang-inc.com
Mark Bastian, Senior Project Manager mbastian@strang-inc.com

Architectural (Association Firm)

Holzman Moss Bottino Architecture (HMBA)
214 West 29th Street Tower, 17th Floor, New York, NY 10001
P: 212-465-0808
Malcolm Holzman, Principal mholzman@holzmanmoss.com
Douglas Moss, Partner dmoss@holzmanmoss.com

Landscape Architecture

Ken Saiki Design
303 South Paterson Street, Suite 1, Madison, WI 53703
P: 608-251-3600
Ken Saiki, Landscape Team Leader ksaiki@ksd-la.com
Shane Bernau, Landscape Architect sbernau@ksd-la.com

Civil Engineering

OTIE Engineering
5100 Eastpark Blvd, Suite 300, Madison, WI 53718
P: 608-243-6470
Steve Whayland, Civil Team Leader swhayland@otie.com

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Project Data and Statistics:

Project Overview:

The project is seeking Conditional Use approval for Phase I and Phase II within a Campus Institutional Zoning District as a Secondary Use – Performing Arts Center. Under the C-I District without an approved Master Plan, the project is subject to conditional use requirements per MGO Sec. 28.097(2). The Phase II portion of the project is currently not funded and the design scope under contract with the State of Wisconsin is to provide integration of all major building systems between the two phases only. The in-progress Phase II documents are included with the design work of Phase I. When the Phase II portion of the project is moved forward for final design and construction, design documents will be reissued at that time.

Project Site:

The project site is bounded by North Lake Street to the east, Fitch Court and the Chazen Museum to the west, University Avenue to the south, and UW-Extension Building to the north. This is within the boundaries of UW-Madison campus. The 700 Block of University Avenue is owned by the UW Board of Regents and is located on the eastern side of the UW-Madison campus. In 2012, five residential and commercial buildings occupying the site were demolished. At which time, the site was graded and sodded to provide useable open space until the Music Performance Facility has commenced.

As part of the development process, the project is revising the Certified Survey Map for the following: The southern portion of the existing Fitch Court, adjacent to Phase I and II, will proceed through the process of vacation. The project extends into a portion of Lot 10 of the Chazen property, with this, Lots 7 – 13 will be combined. A portion of the property adjacent to Lake Street will be dedicated to the City of Madison for Lake Street expansion. A Phase I Ingress – Egress Easement will be provided for connection to the northern portion of the remaining Fitch Court for service access to adjacent properties.

Maximum Lot Coverage:

Lot Area:	93,733 sf (2.152 acre) (Chazen + SoM)
Lot Coverage @ 85%:	79,673 sf (1.829 acre) (Chazen + SoM)
SoM footprint (Phase I):	20,413 sf
SoM footprint (Phase I & II):	35,458 sf
Chazen footprint:	20,070 sf
Lot Coverage (Phase I):	78,145 sf (parking + sidewalk, includes Chazen)
Lot Coverage (Phase II):	84,112 sf (parking + sidewalk, includes Chazen)

Building Summary:

The University of Wisconsin - Madison School of Music proposes a new Performance Facility. The Music Performance Building has both an academic and a public mission. The facility will accommodate regular users; students, faculty and staff, as well as, occasional guests. The project consists of a 32,123 GSF Phase I scope. This includes the construction a 325-seat Recital Hall, a 3,100 ASF Rehearsal Space, as well as, main front lobby and all the necessary support spaces. Phase II to the north, will include the 737-seat concert hall as a separate future project.

Building Square Footage:

Total building area (Phase I):	32,123 gross square feet
Total building area (Phase II):	<u>42,335 gross square feet</u>
Total overall building area (Phase I & II):	74,458 gross square feet

Building height above grade is 2 stories (approx. 42') Phase I; 3 stories (approx. 62') Phase II.

Project Schedule:

Construction is currently scheduled to begin in November 2015 and be completed in spring 2017.

On Site Parking and Access:

Included in Phase I, 28 automobile parking stalls will be provided for UW - Madison campus permit lot use. In addition, 2 accessible stalls will be provided. Accessible parking is provided near the northwest end of the building. 56 bicycle parking stalls are provided near the west student entrance and along North Lake Street. One loading dock will be provided on the northwest end of the building. Delivery, service and fire department access to the center of the block will be provided via the parking lot access drive for Phase I. Under Phase II development, all surface parking is eliminated.

There are numerous public parking options within a two block radius around the proposed project site that will provide public parking options for patrons of the performance spaces. Those include the university's parking ramp at W. Johnson and N. Lake Streets (746 stalls), Fluno Center (295 spaces) and the parking garage under Grainger Hall (410 spaces) as well as the city's public Lake/Francis Street ramp and the public parking under University Square. All of these options are utilized today for events in Humanities and will be use for the Hamel Music Center's parking needs. Event scheduling at both the Kohl Center and in this arts venues in the lower campus are coordinated to minimize overlap. In the rare event that a major event is going on at both the Kohl Center and in the Hamel Music Center, patrons of the Music Center will be directed to university parking facilities reserved for the Arts (e.g. the university has 50 spaces in reserved under Grainger Hall for prepaid parking with their Arts event tickets).

Estimated Project Cost:

The total project cost for Phase I is estimated at \$22,500,000. The cost for Phase II is unknown at this time. Phase II of the project will be constructed at a future date after funding is secured. Both phases will be funded using 100% gift funds. No taxpayer dollars will be spent to construct the project.

Employment:

The project is expected to allow for the creation of five new staff for the Music Performance Building after project completion, including three custodial staff and two maintenance staff. It will also retain existing staff. Additional jobs will be created when Phase II of the project is completed at a future date.

Service/ Grounds:

All refuse and recycling collection will be done by the university with their maintenance staff. All snow removal will be done by the university by their Environmental Services/Grounds staff including along N. Lake Street and University Avenue.

Hours of Operations:

The hours of operation will be standard university operating hours of 7:00 AM to 10:00 PM.



HOLZMAN MOSS BOTTINO ARCHITECTURE

December 17, 2014

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Mark Bastian

From: Steven Whayland <SWhayland@otie.com>
Sent: Tuesday, December 16, 2014 1:27 PM
To: Mark Bastian
Cc: 'Shane Bernau'
Subject: FW: UW-Madison SoM Performance Building - Schedule & Deliverable Update- City of Madison submittal tomorrow- "Control Flow Roof Drain System"

Follow Up Flag: Follow up
Flag Status: Flagged

Mark,

Could you include this email as an attachment to the drawings for the Plan Commission submittal to the City of Madison?

Steve Whayland, PE, LEED AP
Oneida Total Integrated Enterprises (OTIE)
(608) 241-6715
swhayland@otie.com
www.otie.com
Engineering, Science and Construction

From: Jim Mickowski [<mailto:jimm@thunderbirdeng.com>]
Sent: Tuesday, December 16, 2014 1:16 PM
To: Steven Whayland
Subject: RE: UW-Madison SoM Performance Building - Schedule & Deliverable Update- City of Madison submittal tomorrow- "Control Flow Roof Drain System"

The roof will utilize flow control roof drains located in a conventional manner (spacing and design).

The drains incorporate an internal weir that will delay the discharge of storm water to the municipal sewer system without overloading the roof structure.

Jim Mickowski
Thunderbird Engineering

From: Steven Whayland [<mailto:SWhayland@otie.com>]
Sent: Tuesday, December 16, 2014 10:09 AM
To: 'jimm@thunderbirdeng.com'; jimj@thunderbirdeng.com
Cc: Mark Bastian (MBastian@strang-inc.com); Tim Crum; Joss Hurford; Dan Schmitz; 'Shane Bernau'
Subject: UW-Madison SoM Performance Building - Schedule & Deliverable Update- City of Madison submittal tomorrow- "Control Flow Roof Drain System"

Jim,

As we discussed as our stormwater management for the project at our design team meeting at the Memorial Union in September; could you please prepare today, a brief written description for the proposed "Control Flow Roof Drain System" on the project, so that Mark may include that as part of the Plan Commission Review submittal that is going into the City of Madison tomorrow.



PROJECT NO. : 10F2J

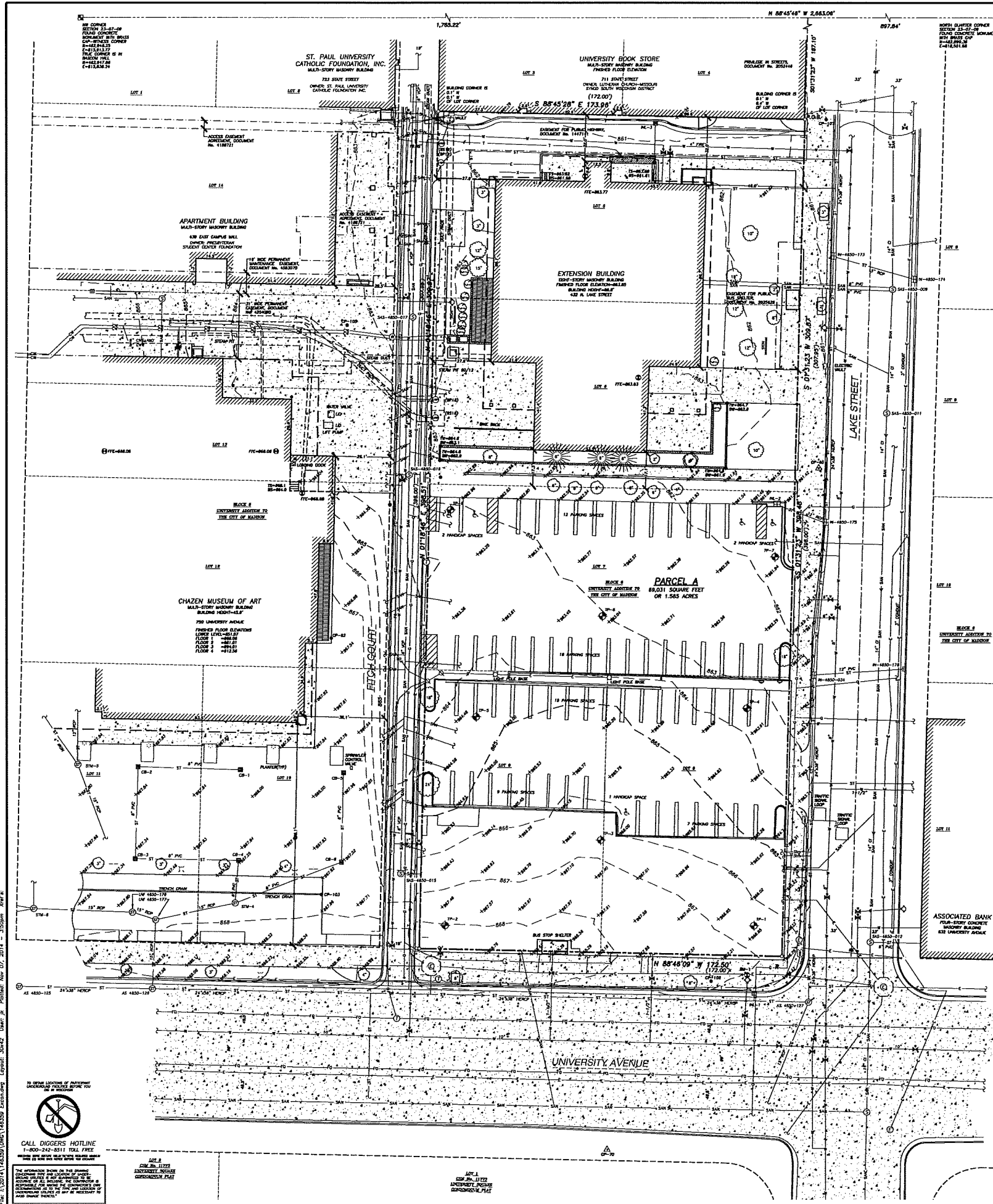
PROJECT IMAGE



GENERAL
T01 TITLE SHEET

SITE LIGHTING
E200 SITE LIGHTING PLAN - PHASE I
E210 SITE LIGHTING PLAN - PHASE II

 STRANG ARCHITECTURE ENGINEERING INTERIOR DESIGN 6411 MINERAL POINT ROAD MADISON, WI 53705-4395 TEL 608.276.9200 HOLZMAN MOSS BOTTINO ARCHITECTURE 214 WEST 20TH STREET, 2ND FLOOR, 3RD FLOOR NEW YORK, NEW YORK 10011 TEL: 212-465-0100 FAX: 212-465-1222 WWW.HOLZMANMOSSBOTTINO.COM		
Consultant:		
 State of Wisconsin Department of Administration Division of Facilities Development (DFD)	Project Address: 740 UNIVERSITY AVENUE MADISON, WISCONSIN 53706	
Project Title: MUSIC PERFORMANCE BUILDING, PHASE I & II Agency / Institution: UW SYSTEM ADMINISTRATION UNIVERSITY OF WISCONSIN - MADISON	Sheet Title: TITLE SHEET	
Revisions		
No.	Date:	Description:



- LEGEND**
- GOVERNMENT CORNER
 - CHISELED 'X' FOUND
 - CONTROL POINT
 - BENCHMARK
 - FINISHED FLOOR SLAB LOCATION
 - BOLLARD
 - POST
 - DOOR
 - SANITARY MANHOLE
 - HYDRANT
 - WATER OR GAS VALVE
 - CURB STOP/SERVICE VALVE
 - STORM MANHOLE
 - CURB INLET
 - DOWNSPOUT
 - GAS REGULATOR/METER
 - ELECTRIC MANHOLE
 - LOW VOLTAGE MANHOLE
 - ELECTRIC MANHOLE
 - ELECTRIC METER
 - POWER POLE W/DUTY
 - LIGHT POLE
 - TRAFFIC SIGNAL
 - VAULT
 - LOW SIGNAL MANHOLE
 - TELEPHONE MANHOLE
 - DECIDUOUS TREE
 - HANDICAP PARKING
 - PARCEL BOUNDARY
 - ROOT-OF-WAY LINE
 - CENTERLINE
 - PLATTED LOT LINE
 - GUARD OR SAFETY RAIL
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - UNDERGROUND ELECTRIC
 - FIBER OPTIC
 - UNDERGROUND TELEPHONE
 - CHILLED WATER SUPPLY
 - CHILLED WATER RETURN
 - BUILDING
 - ROCK CONTOUR
 - INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - RECORDED INFORMATION
 - FINISHED FLOOR ELEVATION
 - TOP STEP
 - BOTTOM STEP
 - TOP OF WALL
 - BOTTOM OF WALL
 - TEST PIT

BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	869.80	TOP OF METAL SIGN AT THE CORNER OF LAKE STREET AND UNIVERSITY AVENUE

CONTROL POINTS

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-70	482,232.18	817,505.85	868.14	CG
CP-71	482,352.54	817,649.37	866.36	CG
CP-72	482,455.88	817,574.70	866.42	CG
CP-73	482,578.78	817,656.47	861.34	CPMAG

UW - PRIMARY STRUCTURES

VAULT ID	RM ELEV.	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
W11	863.09	862.28	862.28	8"
W12	862.31	862.28	862.28	8"

UW - SIGNAL STRUCTURES

VAULT ID	RM ELEV.	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
SS18	863.13	862.31	862.31	8"
SS19	862.32	862.31	862.31	8"

UW - STEAM VAULTS

VAULT ID	RM ELEV.	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
SS12	863.13	862.31	862.31	8"
SS13	862.32	862.31	862.31	8"

SANITARY SEWER MANHOLES

STRUCT. ID	RM ELEV.	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
SAS 4850-009	860.98	N	848.08 14"	CI
SAS 4850-010	861.18	N	848.09 14"	CI
SAS 4850-011	861.18	N	848.09 14"	CI
SAS 4850-012	865.08	N	847.82 14"	CI
SAS 4850-013	865.08	N	847.82 14"	CI
SAS 4850-014	865.08	N	847.82 14"	CI
SAS 4850-015	865.08	N	847.82 14"	CI
SAS 4850-016	865.08	N	847.82 14"	CI
SAS 4850-017	865.08	N	847.82 14"	CI

STORM SEWER INLETS

INLET ID	RM ELEV.	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
IN-1	866.78	S	866.78 24"x30"	HERCP
IN 4850-034	862.08	S	856.18 24"x30"	HERCP
IN 4850-175	861.20	S	857.14 24"x30"	HERCP
IN 4850-176	861.20	S	857.14 24"x30"	HERCP
IN 4850-178	861.33	S	856.23 12"	PVC
IN 4850-174	860.63	S	856.18 12"	PVC
IN-2	861.88	S	856.42 15"	RCP
IN-3	860.64	S	857.01 15"	RCP

STORM SEWER MANHOLES

STRUCT. ID	RM ELEV.	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
AS 4850-125	867.54	N	862.48 23"x30"	HERCP
AS 4850-126	867.78	N	862.48 23"x30"	HERCP
AS 4850-127	868.18	N	862.51 12"	RCP
STW-8	867.49	N	861.05 24"x30"	HERCP
UW 4850-178	867.70	N	861.05 24"x30"	HERCP
UW 4850-177	867.81	N	861.05 24"x30"	HERCP
STW-4	867.78	N	861.05 24"x30"	HERCP
STW-3	867.67	N	861.05 24"x30"	HERCP

CATCH BASINS

CATCH BASIN ID	RM ELEV.	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
CB-1	867.58	N	864.95 8"	PVC
CB-2	867.64	N	864.95 8"	PVC
CB-3	867.25	N	864.08 8"	PVC
CB-4	867.37	N	864.07 8"	PVC
CB-5	867.81	N	865.01 8"	PVC
CB-6	867.49	N	864.17 8"	PVC

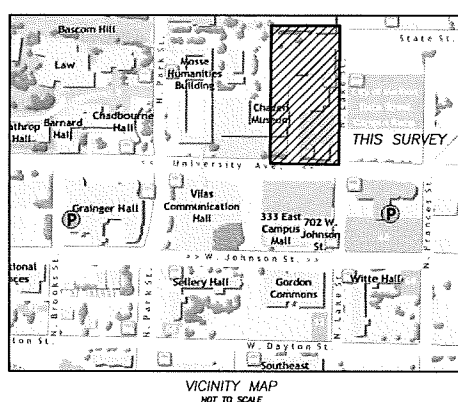
- NOTES**
- THIS SURVEY AND MAP IS BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY.
 - FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JULY 28 & 29, 2014.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS UNK03, A BRASS CAP IN A MONUMENT BOX. PUBLISHED AS 861.35.
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS SHOWN ALONG CURB AND CUTTER REFERENCE THE TOP BACK OF CURB.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPEARANCES. LOCATING DIGGER'S HOTLINE FIELD MARKS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20143007356, 20143007352, 20143007409 AND 20143007427.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1-800-242-8511.
 - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 - THIS PARCEL IS IN ZONE X, ON PANEL 408 OF 850, MAP NUMBER 5302504090, MAP REVISED JANUARY 02, 2009: ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 - FLOOR AND ROOF ELEVATIONS ARE SHOWN AT THE APPROXIMATE LOCATIONS WHERE THE DATA WAS COLLECTED.
 - PARCEL NO. 070923204011, 070923204089, 070923204097, 070923204112, 070923204120, 070923204138, 070923204146, 070923204154, 070923204182, 070923204190, 070923204188 AND 070923204186.
 - THERE ARE 65 REGULAR PARKING SPACES AND 5 HANDICAP PARKING SPACES FOR A TOTAL OF 70 PARKING SPACES.
 - ALL UTILITY LATERALS AND SERVICES FROM LAKE STREET, FITCH COURT AND UNIVERSITY AVENUE SERVING THE SUBJECT PROPERTY ARE SHOWN PER AVAILABLE RECORDS AND FIELD INVOICES. ALL ARE PRESUMED TO BE ABANDONED AND THE TERMINATION POINT OF EACH SERVICE IS VERTICALLY AND HORIZONTALLY UNKNOWN.

SURVEYOR'S CERTIFICATE

I, JOHN KRESS, WISCONSIN REGISTERED LAND SURVEYOR NO. 5-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KRESS, 5-1878
WISCONSIN REGISTERED LAND SURVEYOR

DATE _____



- UTILITY CONTACTS**
- SUPRANET**
2000 EXCELSIOR DRIVE
MADISON, WI 53717-1914
PHONE: 608-253-0282
- AT&T DISTRIBUTION**
OSP AT&T ENGINEER MADISON
318 WEST WASHINGTON AVENUE, RM. 601
MADISON, WI 53703
PHONE: 608-253-2432
- MO&E (MINERAL GAS AND ELECTRIC CO.)**
P.O. BOX 1231
133 S. BARR STREET
MADISON, WI 53701-1231
PHONE: 608-253-4785
- CITY OF MADISON ENGINEERING**
CITY-COUNTY BUILDING, RM. 115
201 MARTIN LUTHER KING, JR. BLVD.
MADISON, WI 53703
PHONE: 608-267-8819
- CHARTER COMMUNICATIONS**
2701 DANIELS STREET
MADISON, WI 53718
PHONE: 608-274-3822 ext 6734
- TDS TELECOM**
301 WESTFIELD ROAD
MADISON, WI 53717-1799
PHONE: 608-664-4431
- AMERICAN TRANSMISSION CO. (ATC)**
3101 OAK COURT
MADISON, WI 53718
PHONE: 608-877-7056
- LIGHTCORE, A CENTURYLINK COMPANY**
133 FRONT STREET
NORTH LA CROSSE, WI 54601
PHONE: 608-795-7447
- UNIVERSITY OF WISCONSIN, MADISON**
- PHYSICAL PLANT CONTACTS**
- ELECTRICAL SHOP**
KURT JOHNSON
608-262-7775
- PLUMBING SHOP**
MARCELLA M. OTTER
608-263-3967
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6411 MINERAL POINT ROAD
MADISON, WI 53705

SCHOOL OF MUSIC
UW MADISON

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 14-6359

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: JK
DRAWN: JK
APPROVED: LJB
DATE: 06/09/14
DATE: 06/12/14

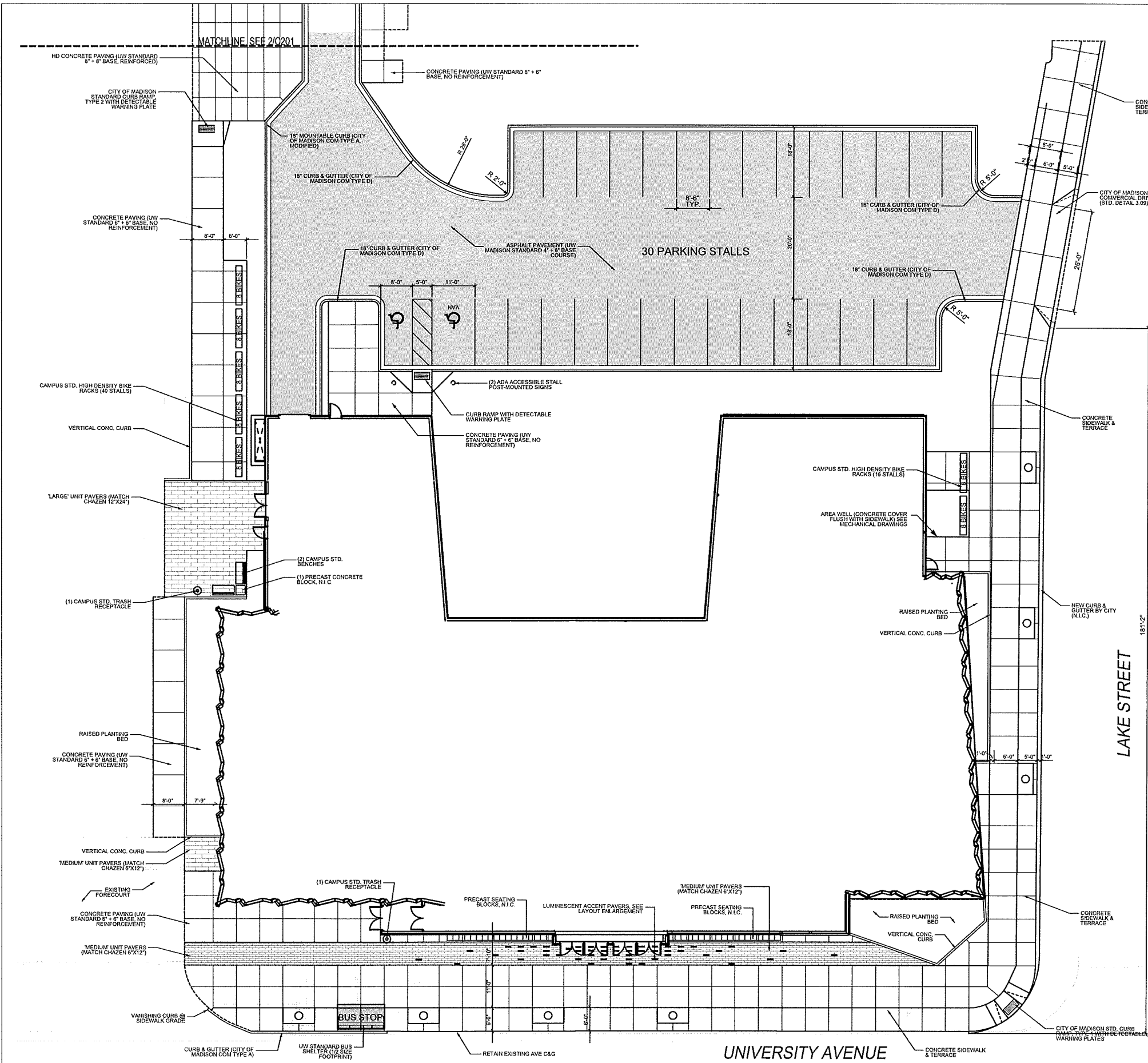
PLAN MODIFICATIONS:

DIGGER'S HOTLINE

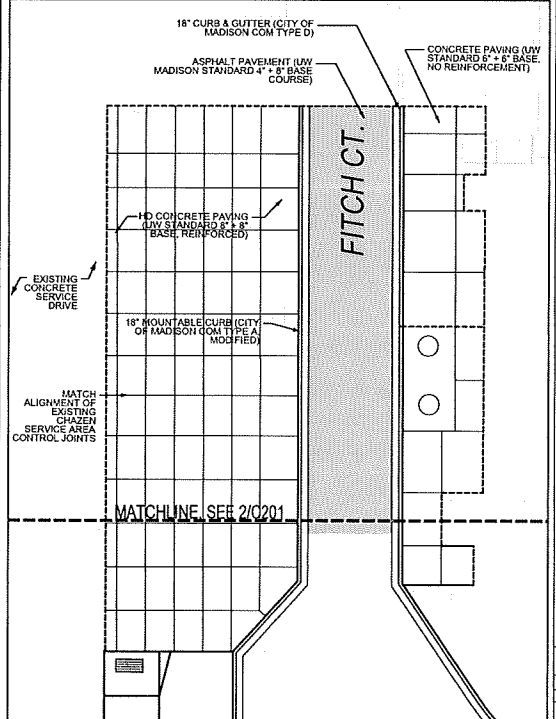
Call 811 or (800) 242-8511
Milwaukee Area (262) 432-7910
Hearings Inquired TDD (800) 541-2209
www.DiggersHotline.com

EXISTING CONDITIONS SURVEY

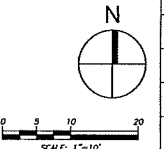
MAP NO.: E-214
SHEET NUMBER: 1



- GENERAL NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR STAKING SITE FOR HORIZONTAL AND VERTICAL ALIGNMENT.
 2. ANY DEVIATION FROM OR MODIFICATIONS OF LAYOUT AND DIMENSIONS SHOWN ON THIS PLAN SHALL REQUIRE PRIOR APPROVAL BY THE OWNER'S REPRESENTATIVE.
 3. CONTRACTOR SHALL PLACE ALL CONCRETE CONTROL JOINTS AS SHOWN ON THE DRAWINGS.
 4. CONTRACTOR SHALL ARRANGE FOR LAYOUT APPROVAL WITH OWNER'S REPRESENTATIVE PROVIDING A MINIMUM OF TWO (2) WORKING DAYS NOTICE PRIOR TO ANY EXECUTION OF WORK.
 5. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE ELEMENTS. CONTRACTOR SHALL CONTACT DIGGERS HOT LINE AND UW MADISON FP&M FOR UNDERGROUND UTILITY LOCATIONS.
 6. COORDINATES ARE BASED ON WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY.
 7. SITE SURVEY PROVIDED BY JSD PROFESSIONAL SERVICES, INC ON JULY 29TH, 2014.
 8. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS UW03, A BRASS CAP IN A MONUMENT BOX. PUBLISHED AS 861.35.
 9. THE PARKING LOT DESIGN IS ACCORDING TO STATE OF WISCONSIN PARKING DESIGN STANDARDS AND APPROVED BY THE STATE OF WISCONSIN.
 10. LAKE ST ALIGNMENT AND TOP OF CURB (TO) ELEVATIONS ARE BASED ON DESIGN PARAMETERS PROVIDED BY THE CITY. LAKE STREET RECONSTRUCTION TO BE COMPLETED PRIOR TO MUSIC PERFORMANCE PHASE I SUBSTANTION COMPLETION.
 11. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 12. REFER TO UW-MADISON CAMPUS TECHNICAL GUIDELINES, DIVISION 32 EXTERIOR IMPROVEMENTS FOR ADDITIONAL INFORMATION RELATED TO CONSTRUCTION STANDARD PRACTICES AND DETAILS. http://www.cpd.fpm.wisc.edu/resources/Division_32_Exterior_Improvements.pdf



2 FITCH CT. SITE PLAN
C201 1"=10' @ 30"x42" FULL SIZE SHEET



1 SITE PLAN - PHASE I
C201 1"=10' @ 30"x42" FULL SIZE SHEET

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761.528.2778

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ARCHITECTURE
214 WEST DOW STREET, SUITE 200, 17TH FLOOR
NEW YORK, NEW YORK 10011
212.691.4600
WWW.HOLZMANMOSS.COM

Consultant:

KEN SAKAI
214 WEST DOW STREET, SUITE 200, 17TH FLOOR
NEW YORK, NEW YORK 10011
212.691.4600
WWW.HOLZMANMOSS.COM

Project Title: MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency / Institution: UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON
Sheet Title: SITE PLAN - PHASE I

No.	Date:	Description:
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Graphic Scale

DSF Number 10F2J

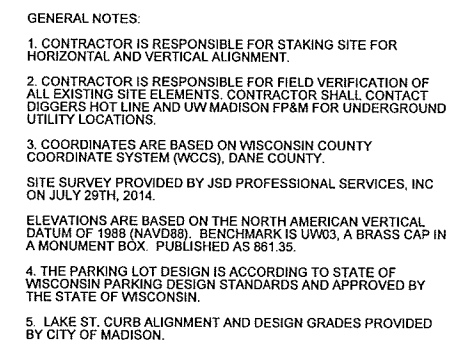
Set Type PLAN COMMISSION

Date Issued 12/15/2014

Sheet Number C201

State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)

Project Address:
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MADISON, WISCONSIN 53706



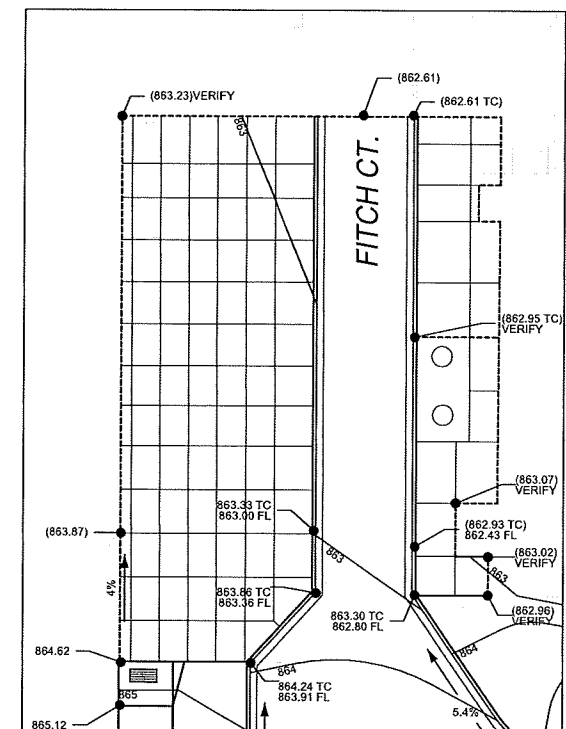
LEGEND	
TC	TOP OF CURB
BC	BOTTOM OF CURB
FL	FLOW LINE
()	MATCH EXISTING ELEVATION
TW	TOP OF WALL
BW	BOTTOM OF WALL
FFE	FINISH FLOOR ELEVATION

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

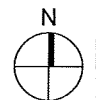


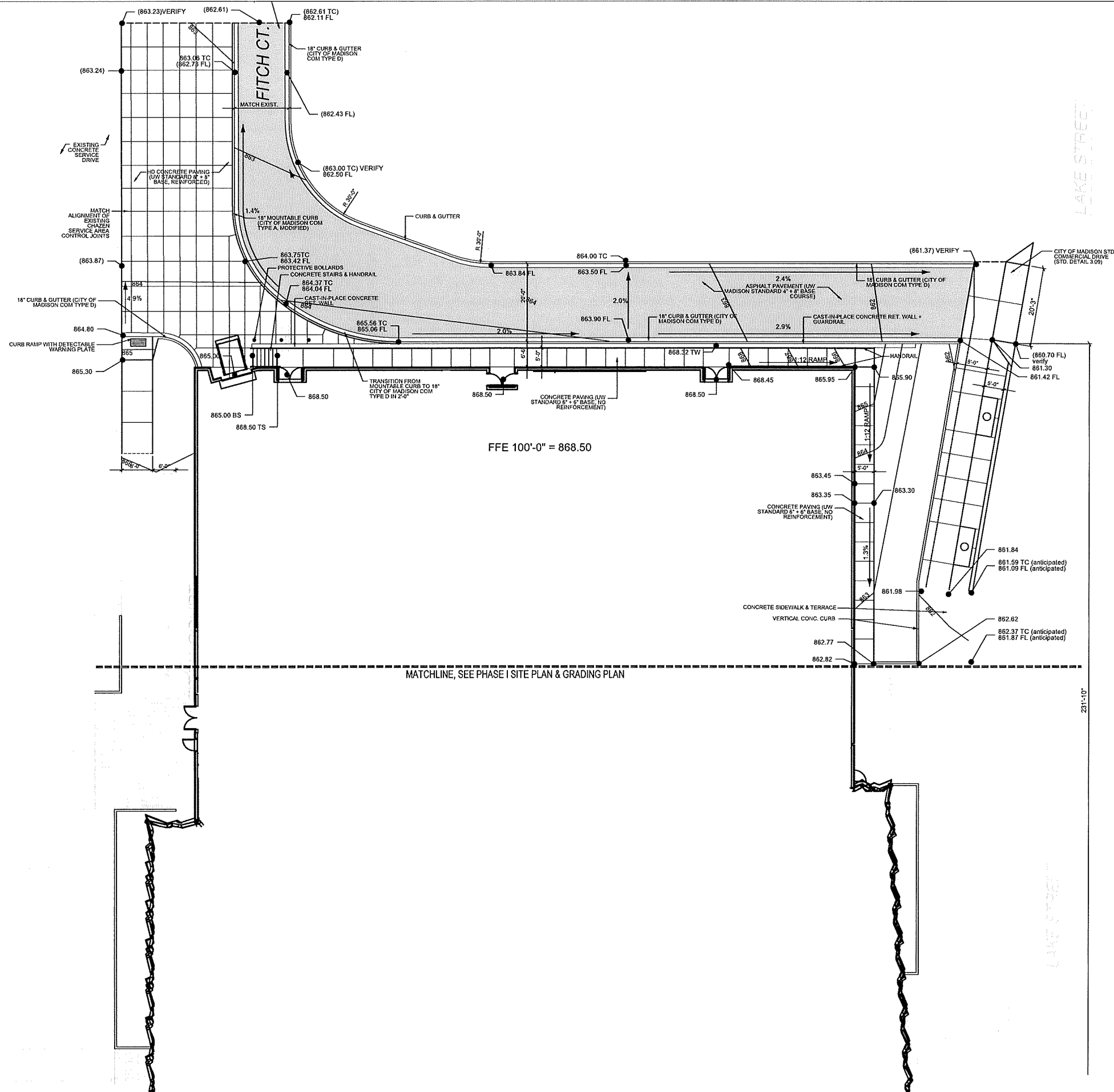
CALL DIGGERS HOTLINE
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TOLL FREE
FAX A LOCATE 1-800-338-3860
TDD (FOR HEARING IMPAIRED) 1-800-542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.



2 FITCH CT. GRADING PLAN
C203 1"=10' @ 30"X42" FULL SIZE SHEET





STRANG
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ENGINEERING
INTERIOR DESIGN
6411 MATERIAL POINT ROAD
MADISON, WI 53705-4305
TEL: 608.278.8000

Consultant:
KEN SAKI
ARCHITECT
1000 E. MICHIGAN AVE., 10TH FLOOR
ANN ARBOR, MI 48106
TEL: 734.769.1000
WWW.KENSAKI.COM

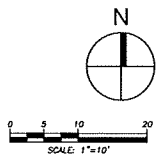
State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)
Project Address:
UNIVERSITY AVENUE
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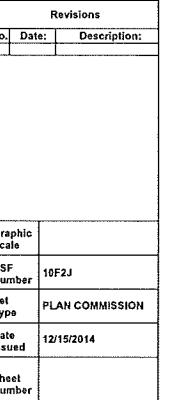
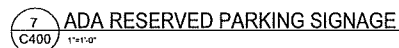
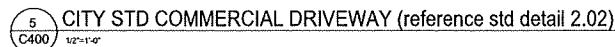
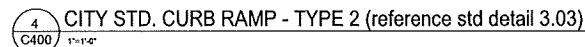
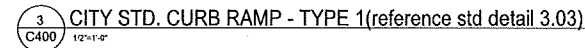
Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency/Institution:
UNIVERSITY OF WISCONSIN - MADISON
Sheet Title:
SITE PLAN - PHASE II

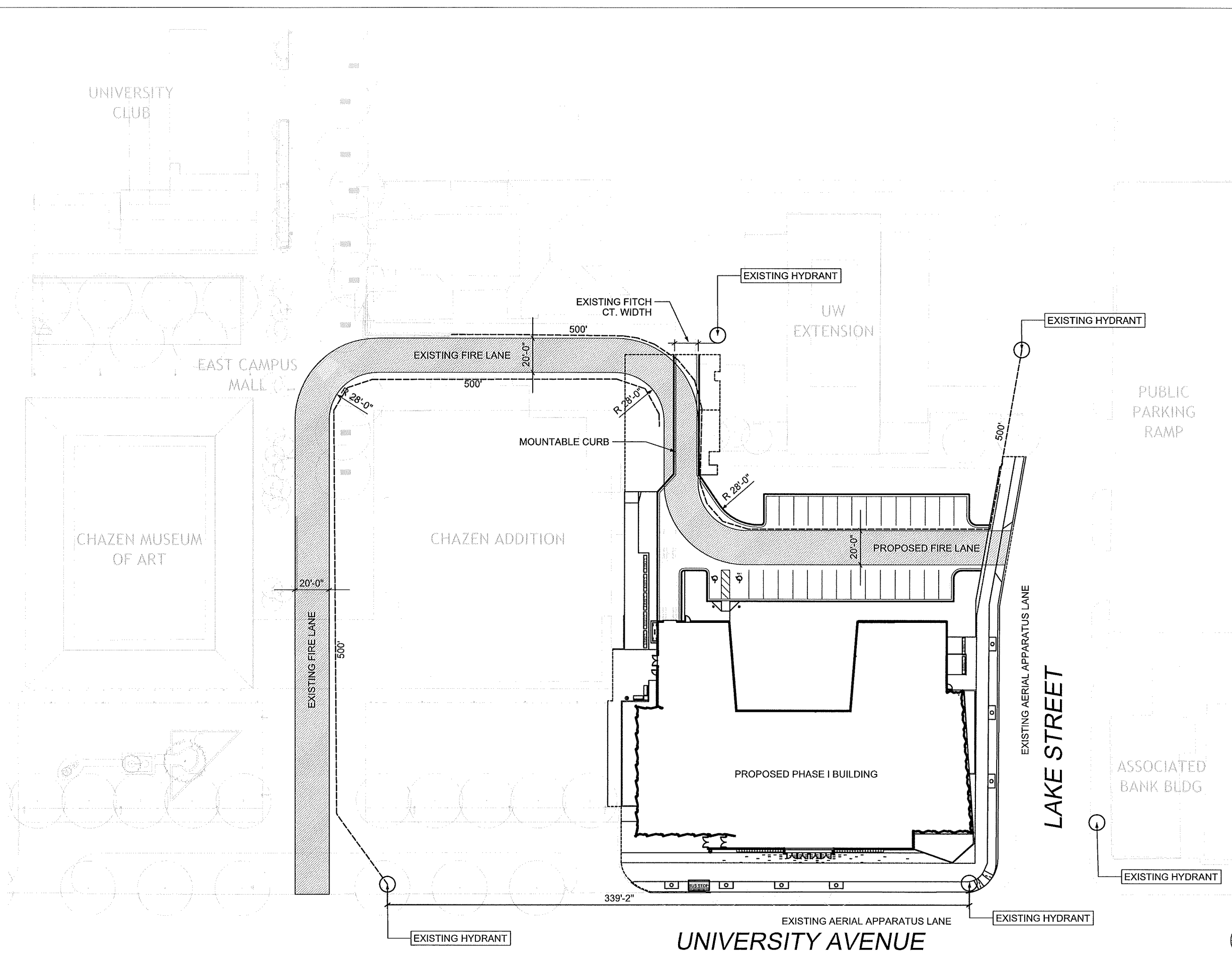
Revisions
No. Date: Description:

**PRELIMINARY
PLAN**

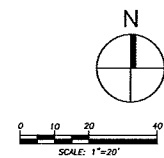
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DSF Number 10F2J
Set Type PLAN COMMISSION
Date Issued 12/15/2014
Sheet Number C211







1
C010 FIRE DEPTMENT ACCESS PLAN - PHASE I
1"=10' @ 30"X42" FULL SIZE SHEET



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WWW.HOLTZMANMOSSBOTTINO.COM

Consultant:

KEN SAKAI
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ARCHITECT
200 WEST 11TH STREET, 11TH FLOOR
NEW YORK, NEW YORK 10011
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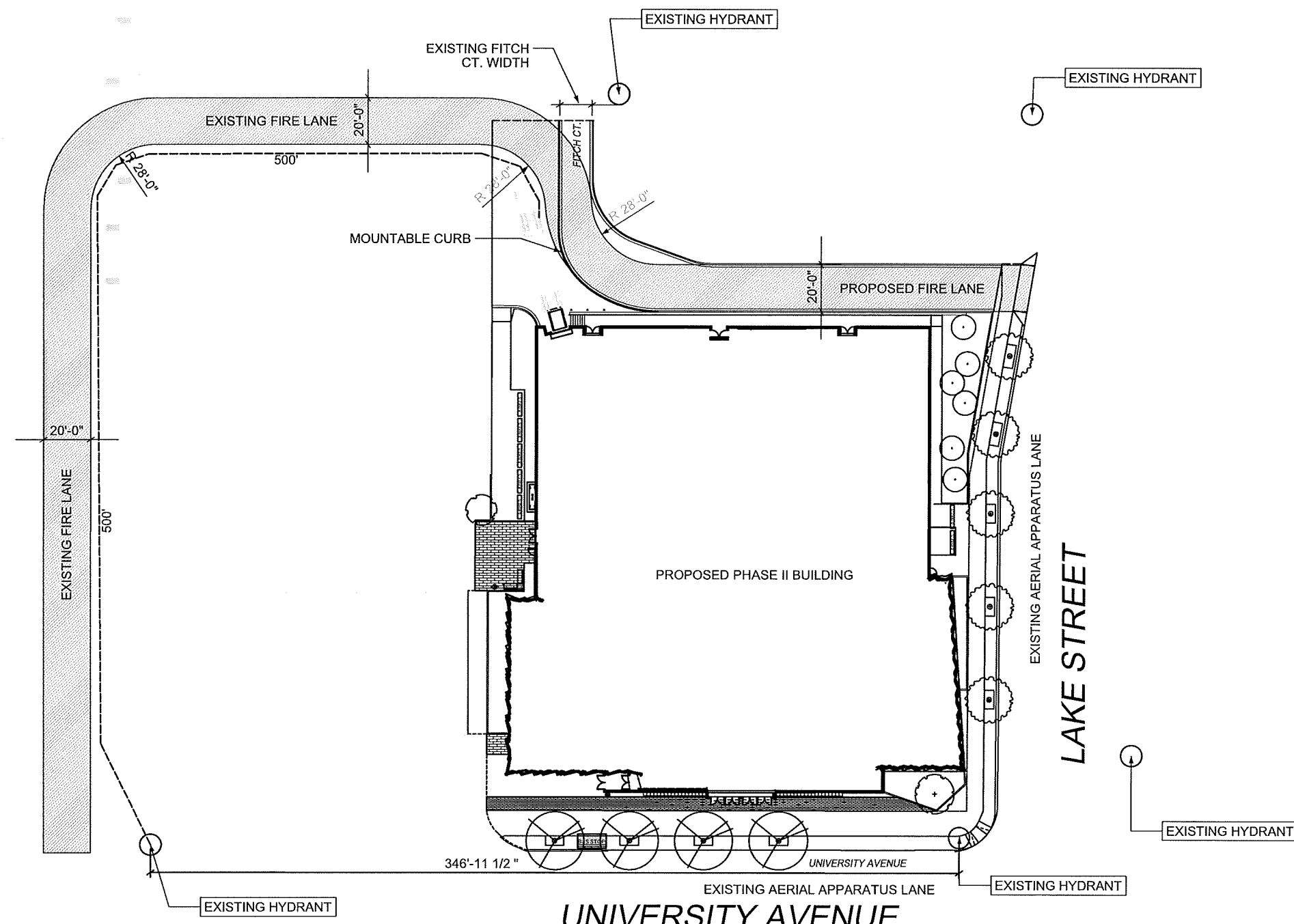
State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)

Project Address:
UNIVERSITY AVENUE
MADISON, WISCONSIN 53706

Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency/Institution:
UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON
Sheet Title:
FIRE DEPT. ACCESS PLAN - PHASE I

Revisions		
No.	Date:	Description:

Graphic Scale	
DSF Number	10F2J
Set Type	PLAN COMMISSION
Date Issued	12/15/2014
Sheet Number	C010



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Holtman Moss Bottling
ARCHITECTURE
100 WEST 10TH STREET, SUITE 100, MADISON, WI 53705
TEL: 608.278.8000
WWW.HOLTMANMOSS.COM

Consultant:

KEN SALKO
DESIGN
LANDSCAPE
ARCHITECTURE
100 WEST 10TH STREET, SUITE 100, MADISON, WI 53705
TEL: 608.278.8000
WWW.KENSALKO.COM

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Department of Administration
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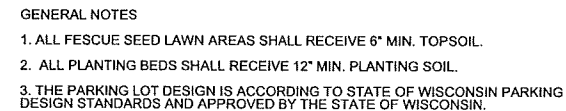
Project Address:
UNIVERSITY AVENUE
MADISON, WISCONSIN 53706

Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency / Institution:
UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON
Sheet Title:
FIRE DEPT. ACCESS PLAN - PHASE II

Revisions		
No.	Date	Description

PRELIMINARY PLAN

Graphic Scale	
DSF Number	10F2J
Set Type	PLAN COMMISSION
Date Issued	12/15/2014
Sheet Number	C020



Consultant:



State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)

Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II

Revisions		
No.	Date:	Description:

**PRELIMINARY
PLAN**

Graphic Scale	
DSF Number	10F2J
Set Type	CHECK SET #2
Date Issued	12/10/2014
Sheet Number	L100

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



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WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

City of Madison - Landscape Worksheet						
Total Sq. Footage of Developed Area	5 per 300 sf developed area	Points Req.	60041			
Total No. of Landscape Points Req.		1001				
Plant Type/Element	Minimum Size at Installation	Points	Credit Existing Landscaping	New/Proposed Landscaping		
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper (dbh)	35			13	45
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			0	
Osmamental tree	1 1/2 inch caliper	15			2	3
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			0	
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			28	8
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			12	4
Ornamental grasses/ perennials	#1 gallon container size, Min. 8'-18"	2			270	54
Ornamental/decorative fencing or wall	n/a	4 per 10 ft in ft				
Existing significant specimen tree	min. 2-12" cal.	14 per inch dbh				
Landscape furniture for public seating and/or transit connections	publicly accessible	5 per seat				
					TOTAL POINTS	115

Interior Parking Lot Landscaping	Required	Provided
Parking Lot landscaped area	8% min. of conc asphalt parking area 11,106 sf * .08 = 889 sf	1296 sf
Parking Island Trees	1 per 160 sf landscape required	6

AL
1
ca
20
Sm
5

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
Deciduous Trees							
AL	<i>Amelanchier laevis</i> 'Lustre'	Lustre Allegheny Serviceberry	1	6' ht.	B&B	Single leader, tree form	15' ht x 25' sp
PT	<i>Populus tremuloides</i>	Quaking Aspen	6	6' ht.	B&B	Single leader, tree form	
Deciduous Shrubs & Vines							
M	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Winterberry	3	3 gal.	Cont.	Space 5'-0" o.c.	3' ht x 4-5' sp
lv	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	12	3 gal.	Cont.	Space 5'-0" o.c.	4' ht x 4-6' sp
Perennials & Ornamental Grasses							
eh	<i>Amsonia hubrichtii</i> 'Halfway to Arkansas'	Halfway to Arkansas Narrow Leaf Blue Star	28	1 gal.	Cont.	Space 3'-0" o.c.	3' ht x 2.5-3' sp
at	<i>Alum. tanguticum</i> 'Summer Beauty'	Summer Beauty Ornamental Chive	50	1 gal.	Cont.	Space 1'-6" o.c.	1.5' ht x 1' sp
ba	<i>Baptisia australis</i>	Blue False Indigo	16	2 gal.	Cont.	Space 3'-0" o.c.	3' ht x 2.5-3' sp
ca	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed	20	2 gal.	Cont.	Space 3'-6" o.c.	4' ht x 2.5-3' sp
ce	<i>Carex obovata</i>	Bristleleaf Sedge	80	2 1/2"	Cont.	Space 1'-6" o.c.	1" ht x 1.5' sp
cl	<i>Chasmanthium latifolium</i>	Northern Sea Oats	80	1 gal.	Cont.	Space 1'-6" o.c.	2' ht x 1.5' sp
cp	<i>Carex pensylvanica</i>	Pennsylvania Sedge	80	2 1/2"	Cont.	Space 1'-6" o.c.	1' ht x 1.5' sp
cv	<i>Carex vulpinoidea</i>	Pennsylvania Sedge	80	2 1/2"	Cont.	Space 1'-6" o.c.	1.5' ht x 1.5' sp

MATCHLINE, SEE PHASE I LANDSCAPE PLAN

BARK MULCH

PT
6

ce
80
cl
80
cp
80
cv
80
MIX EVENLY IN GROUPS OF 5-20 PER SPECIES

PA
2

lvr
12
lvj
3

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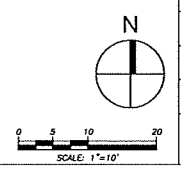
State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)



Project Address:
UNIVERSITY AVENUE
MADISON, WISCONSIN 53706

Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency / Institutions:
UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON
Sheet Title:
SITE PLAN - PHASE II

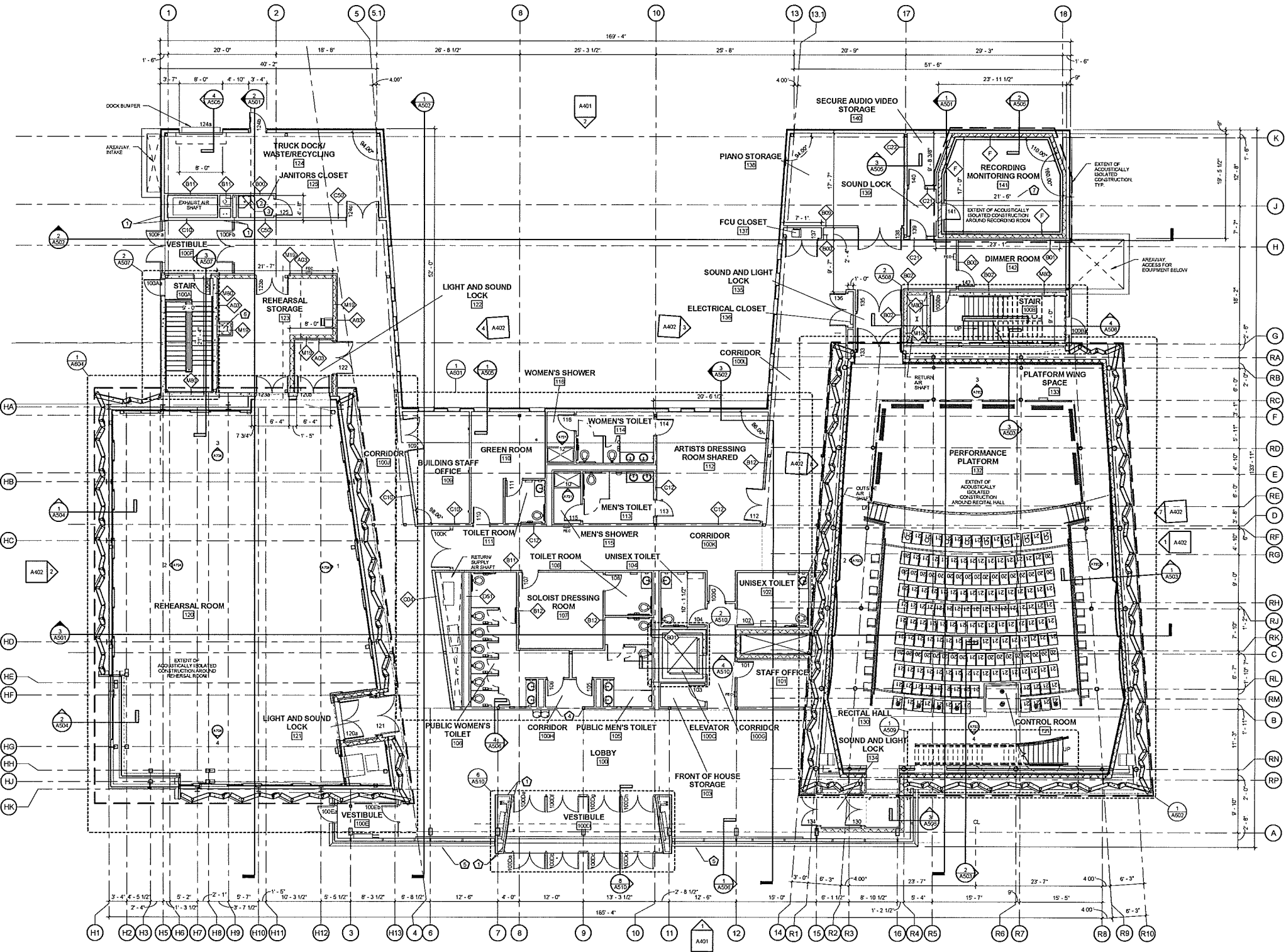
Revisions		
No.	Date	Description
PRELIMINARY PLAN		
Graphic Scale		
DSF Number	10F2J	
Set Type	CHECK SET #2	
Date Issued	12/10/2014	
Sheet Number	L200	





- 1 PROVIDE WALL MOUNTED POWER ASSIST DOOR OPERATOR
- 2 PROVIDE MOP AND BROOM HOLDER ABOVE MOP SINK
- 3 PROVIDE FRP PANEL ON WALLS FROM FLOOR TO 4'-0" AFF,
EXTEND 1'-0" PAST EACH SIDE OF THE SINK
- 4 PROVIDE CORNER GUARD
- 5 SEATING BLOCKS - NOT IN CONTRACT
- 6 30"x48" AREA OF RESCUE ASSISTANCE CLEARANCE





1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- 1 SITE ELEVATION 868.75' = FIRST FLOOR ELEVATION 100'
- 2 ALL WALL / PARTITION DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
- 3 ALL PARTITIONS ARE TYPE "B00", U.N.O.
- 4 PROVIDE FIRE RATED BLOCKING FOR ALL WALL MOUNTED ITEMS INCLUDING OWNER FURNISHED ITEMS.
- 5 VERIFY WITH OWNER THE EXACT HEIGHT AND LOCATION OF ALL WALL MOUNTED AND CEILING MOUNTED EQUIPMENT.
- 6 DOOR FRAMES IN MASONRY CONSTRUCTION SHALL BE LOCATED ON THE SIDE OF THE WALL TOWARD THE ROOM WHICH THE DOOR SWINGS INTO U.N.O.
- 7 PITCH ALL EXTERIOR STOOPS AND SIDEWALKS AWAY FROM BUILDING.
- 8 ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRESTOPPED AND/OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.
- 9 FIRE EXTINGUISHER CABINETS (FEC) - MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET, CABINET TO PROTRUDE MAXIMUM 4 INCHES FROM WALL.

SPECIFIC FLOOR PLAN NOTES

- 1 PROVIDE WALL MOUNTED POWER ASSIST DOOR OPERATOR
- 2 PROVIDE MOP AND BROOM HOLDER ABOVE MOP SINK
- 3 PROVIDE FRP PANEL ON WALLS FROM FLOOR TO 4'-0" AFF, EXTEND 1'-0" PAST EACH SIDE OF THE SINK
- 4 PROVIDE CORNER GUARD
- 5 SEATING BLOCKS - NOT IN CONTRACT
- 6 30"x48" AREA OF RESCUE ASSISTANCE CLEARANCE
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6411 MONROE POINT ROAD
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MADISON, VA 22104-4395
TEL: 800.278.8200

Consultant:

State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)



Project Address:
704 - 734 UNIVERSITY AVENUE
MADISON, WISCONSIN 53706

Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II

Agency / Institution:
UNIVERSITY OF WISCONSIN - MADISON

Sheet Title:
FIRST FLOOR PLAN - PHASE I

Revisions

No. Date: Description:

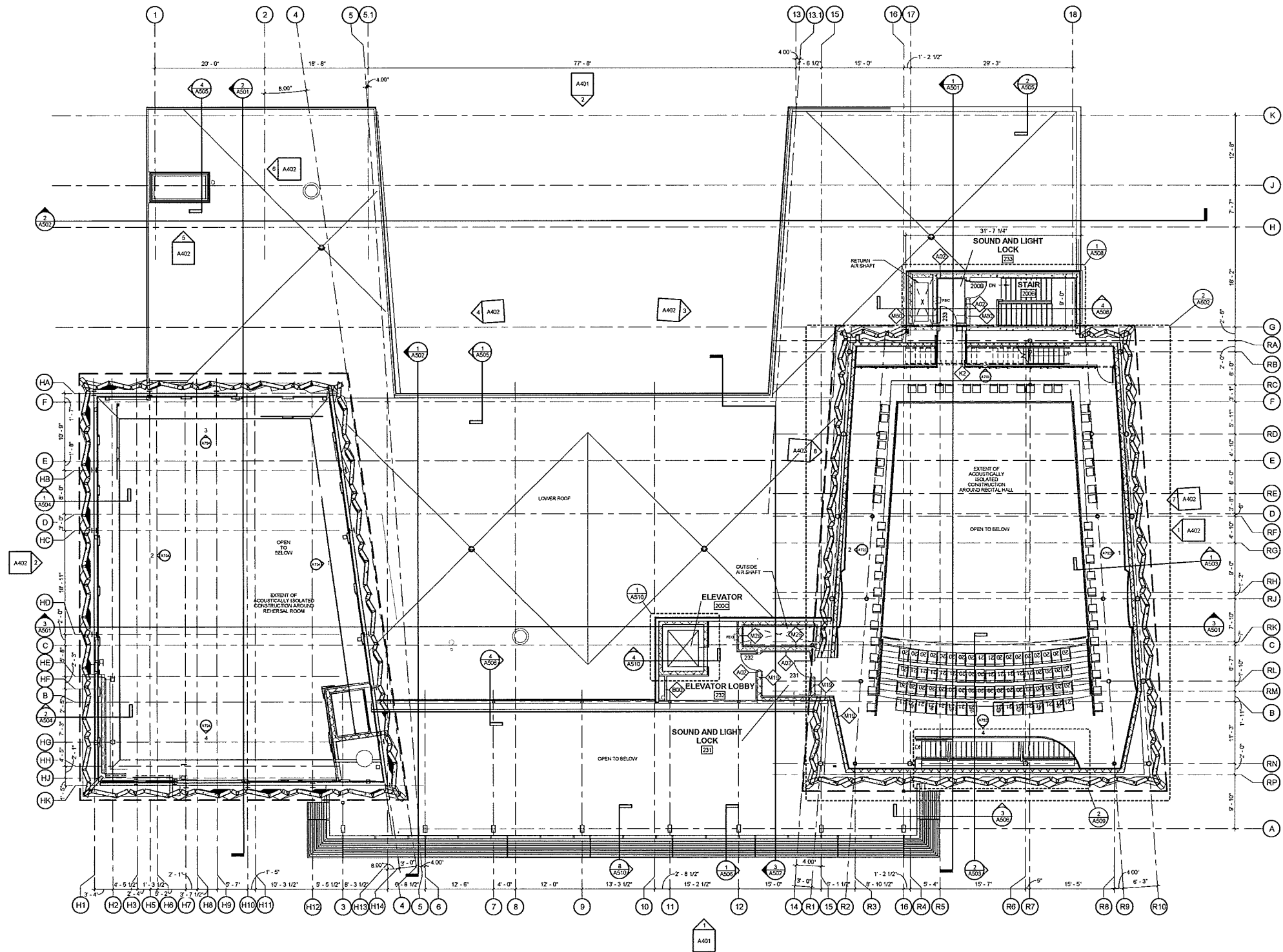
Graphic Scale

DSF Number 10F2J

Set Type SD

Date Issued 12-10-2014

Sheet Number A201



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- 1 SITE ELEVATION 868.75' = FIRST FLOOR ELEVATION 100'
- 2 ALL WALL / PARTITION DIMENSIONS ARE TO FACE OF FINISH, U.N.O
- 3 ALL PARTITIONS ARE TYPE "B00", U.N.O.
- 4 PROVIDE FIRE RATED BLOCKING FOR ALL WALL MOUNTED ITEMS INCLUDING OWNER FURNISHED ITEMS.
- 5 VERIFY WITH OWNER THE EXACT HEIGHT AND LOCATION OF ALL WALL MOUNTED AND CEILING MOUNTED EQUIPMENT.
- 6 DOOR FRAMES IN MASONRY CONSTRUCTION SHALL BE LOCATED ON THE SIDE OF THE WALL TOWARD THE ROOM WHICH THE DOOR SWINGS INTO U.N.O.
- 7 PITCH ALL EXTERIOR STOOPS AND SIDEWALKS AWAY FROM BUILDING.
- 8 ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRE STOPPED AND/OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.
- 9 FIRE EXTINGUISHER CABINETS (FEC) - MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET, CABINET TO PROTRUDE MAXIMUM 4 INCHES FROM WALL.

SPECIFIC FLOOR PLAN NOTES

- 1 PROVIDE WALL MOUNTED POWER ASSIST DOOR OPERATOR
- 2 PROVIDE MOP AND BROOM HOLDER ABOVE MOP SINK
- 3 PROVIDE FRP PANEL ON WALLS FROM FLOOR TO 4'-0" AFF, EXTEND 1'-0" PAST EACH SIDE OF THE SINK
- 4 PROVIDE CORNER GUARD
- 5 SEATING BLOCKS - NOT IN CONTRACT
- 6 30"x48" AREA OF RESCUE ASSISTANCE CLEARANCE
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WWW.HOLTMANMOSSBOTTING.COM

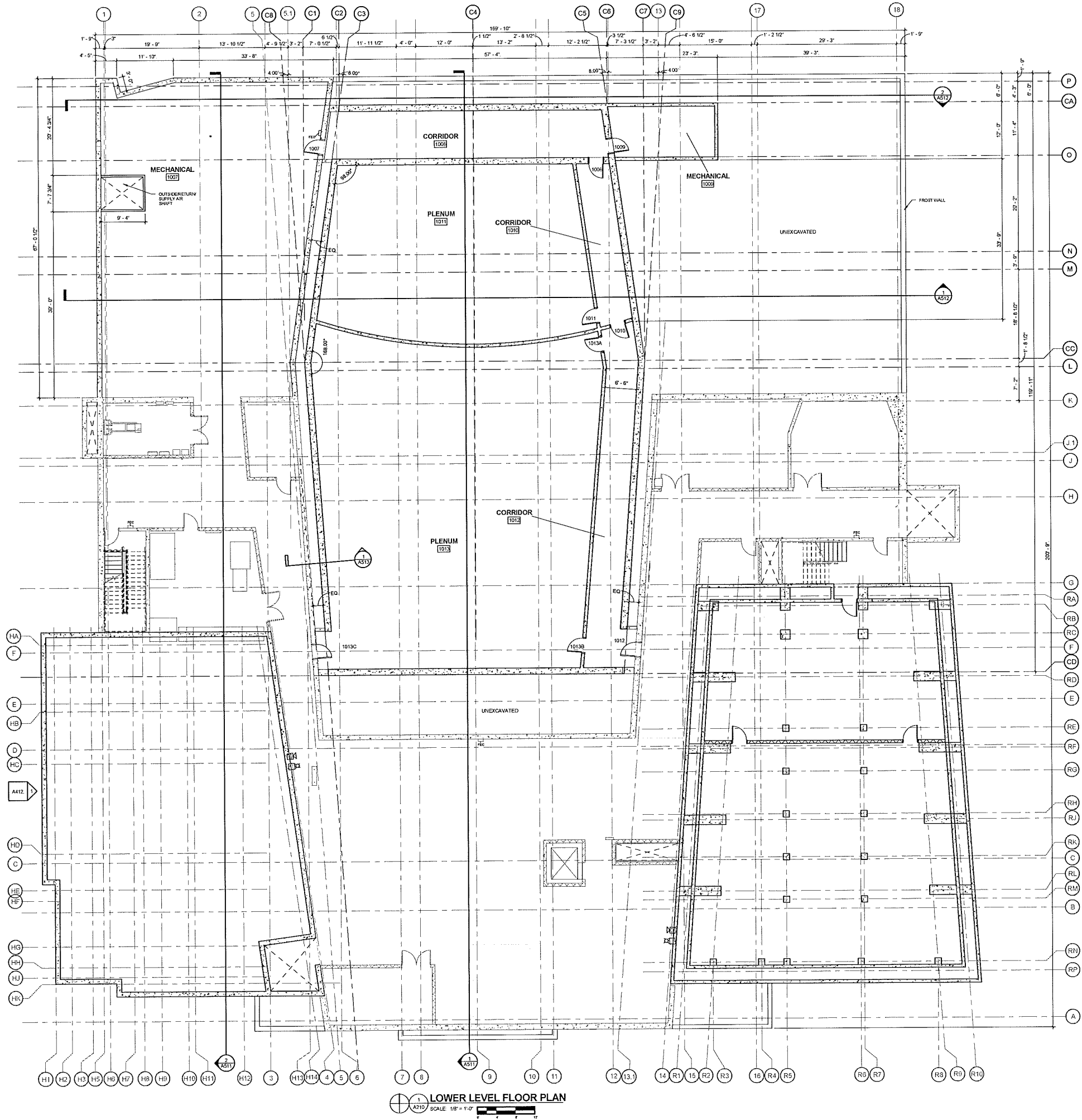
Consultant:

State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)

Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency / Institution:
UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON
Sheet Title:
SECOND FLOOR PLAN - PHASE I

Revisions	
No.	Description:

Graphic Scale	
DSF Number	10F2J
Set Type	SD
Date Issued	12-10-2014
Sheet Number	A202



GENERAL FLOOR PLAN NOTES

- 1 SITE ELEVATION 868.75' = FIRST FLOOR ELEVATION 100'
- 2 ALL WALL / PARTITION DIMENSIONS ARE TO FACE OF FINISH, U.N.O
- 3 ALL PARTITIONS ARE TYPE "B00", U.N.O.
- 4 PROVIDE FIRE RATED BLOCKING FOR ALL WALL MOUNTED ITEMS INCLUDING OWNER FURNISHED ITEMS.
- 5 VERIFY WITH OWNER THE EXACT HEIGHT AND LOCATION OF ALL WALL MOUNTED AND CEILING MOUNTED EQUIPMENT.
- 6 DOOR FRAMES IN MASONRY CONSTRUCTION SHALL BE LOCATED ON THE SIDE OF THE WALL TOWARD THE ROOM WHICH THE DOOR SWINGS INTO U.N.O.
- 7 PITCH ALL EXTERIOR STOOPS AND SIDEWALKS AWAY FROM BUILDING.
- 8 ALL MECHANICAL, ELECTRICAL, AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRESTOPPED AND/OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.
- 9 FIRE EXTINGUISHER CABINETS (FEC) - MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET, CABINET TO PROTRUDE MAXIMUM 4 INCHES FROM WALL.

SPECIFIC FLOOR PLAN NOTES



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Consultant:

State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)



Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency / Institution:
UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON

Sheet Title:
LOWER LEVEL FLOOR PLAN - PHASE II

Project Address:
700-724 UNIVERSITY AVENUE
MADISON, WISCONSIN 53706

Revisions

No.	Date:	Description:
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PRELIMINARY PLAN

Graphic Scale	
DSF Number	10F2J
Set Type	SD
Date Issued	12-10-2014
Sheet Number	A210



- 1 SITE ELEVATION 868.75 = FIRST FLOOR ELEVATION 100'
- 2 ALL WALL / PARTITION DIMENSIONS ARE TO FACE OF FINISH, U.O.
- 3 ALL PARTITIONS ARE TYPE "BOB", U.O.
- 4 PROVIDE FIRE RATED GLASSING FOR ALL WALL MOUNTED ITEMS INCLUDING OWNER FURNISHED ITEMS.
- 5 VERIFY WITH OWNER THE EXACT HEIGHT AND LOCATION OF ALL WALL MOUNTED AND CEILING MOUNTED EQUIPMENT.
- 6 DOOR FRAMES IN KITCHENARY CONSTRUCTION SHALL BE LOCATED ON THE SIDE OF THE WALL TOWARD THE ROOM WHICH THE DOOR SWINGS INTO U.O.
- 7 PITCH ALL EXTERIOR STOOPS AND SIDEWALKS AWAY FROM BUILDING.
- 8 ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRESTOPPED AND/OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.
- 9 FIRE EXTINGUISHER CABINETS (FEC) - MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET, CABINET TO PROTRUDE MAXIMUM 4 INCHES FROM WALL.

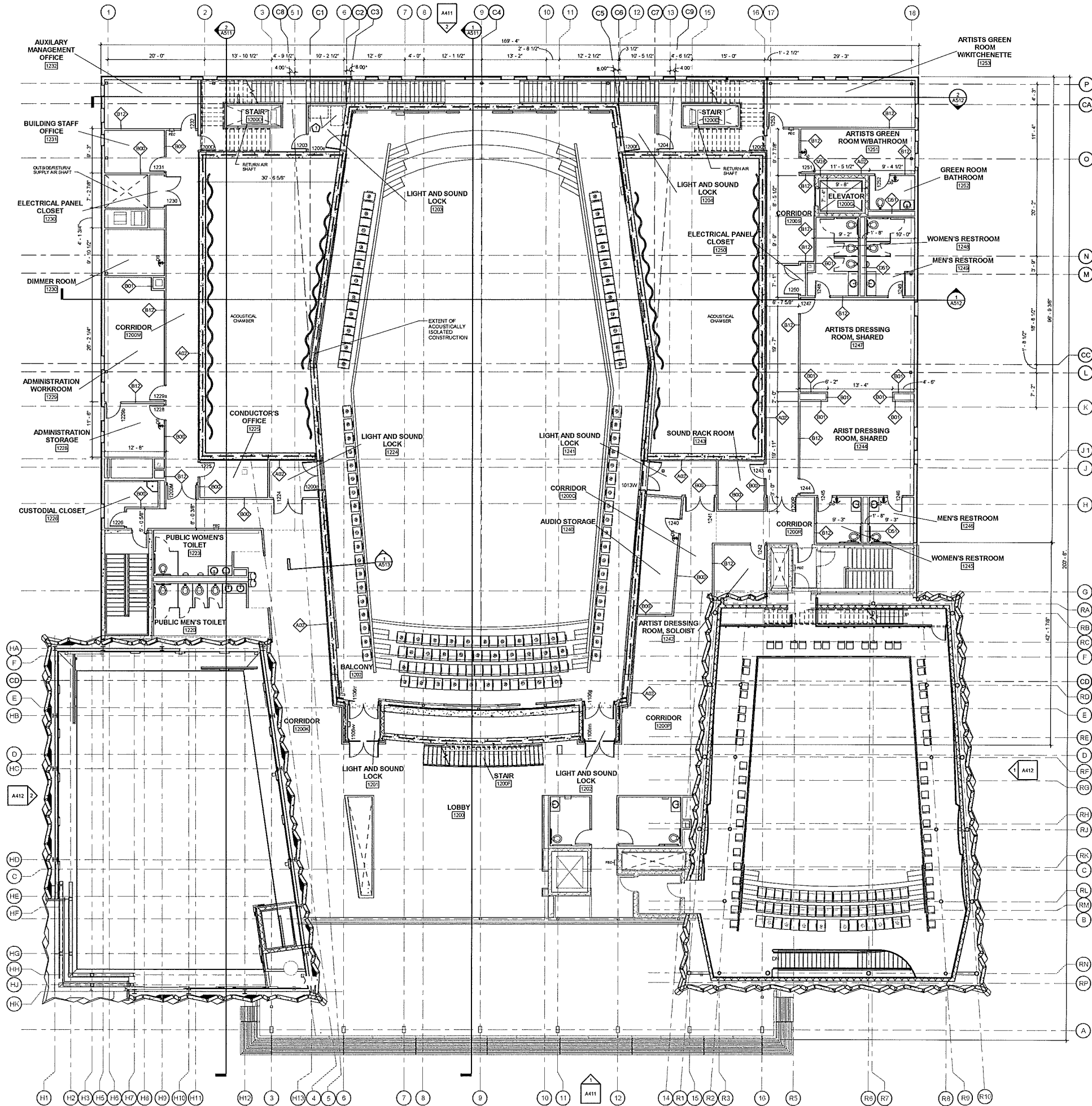
- 1 PROVIDE WALL MOUNTED POWER ASSIST DOOR OPERATOR
- 2
- 3 PROVIDE MOP AND BROOM HOLDER ABOVE MOP SINK
- 4
- 5 PROVIDE FRP PANEL ON WALLS FROM FLOOR TO 4'-0" AFF,
- 6 EXTEND 1'-0" PAST EACH SIDE OF THE SINK
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Project Address:
704 - 734 UNIVERSITY AVENUE
MADISON WISCONSIN 53706

Sheet Title:
FIRST FLOOR PLAN - PHASE II

Graphic Scale	
DSF Number	10F2J
Set Type	SD
Date Issued	12-10-2014
Sheet Number	A211



GENERAL FLOOR PLAN NOTES

- 1 SITE ELEVATION 868.75' = FIRST FLOOR ELEVATION 100'
- 2 ALL WALL / PARTITION DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
- 3 ALL PARTITIONS ARE TYPE "B00", U.N.O.
- 4 PROVIDE FIRE RATED BLOCKING FOR ALL WALL MOUNTED ITEMS INCLUDING OWNER FURNISHED ITEMS.
- 5 VERIFY WITH OWNER THE EXACT HEIGHT AND LOCATION OF ALL WALL MOUNTED AND CEILING MOUNTED EQUIPMENT.
- 6 DOOR FRAMES IN MASONRY CONSTRUCTION SHALL BE LOCATED ON THE SIDE OF THE WALL TOWARD THE ROOM WHICH THE DOOR SWINGS INTO U.N.O.
- 7 PITCH ALL EXTERIOR STOOPS AND SIDEWALKS AWAY FROM BUILDING.
- 8 ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRESTOPPED AND/OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.
- 9 FIRE EXTINGUISHER CABINETS (FEC) - MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET, CABINET TO PROTRUDE MAXIMUM 4 INCHES FROM WALL.

SPECIFIC FLOOR PLAN NOTES

- 1 PROVIDE WALL MOUNTED POWER ASSIST DOOR OPERATOR
- 2 PROVIDE MOP AND BROOM HOLDER ABOVE MOP SINK
- 3 PROVIDE FRP PANEL ON WALLS FROM FLOOR TO 4'-0" AFF, EXTEND 1'-0" PAST EACH SIDE OF THE SINK
- 4 PROVIDE CORNER GUARD
- 5 SEATING BLOCKS - NOT IN CONTRACT
- 6 30"x48" AREA OF RESCUE ASSISTANCE CLEARANCE



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INTERIOR DESIGN

Consultant:

State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)



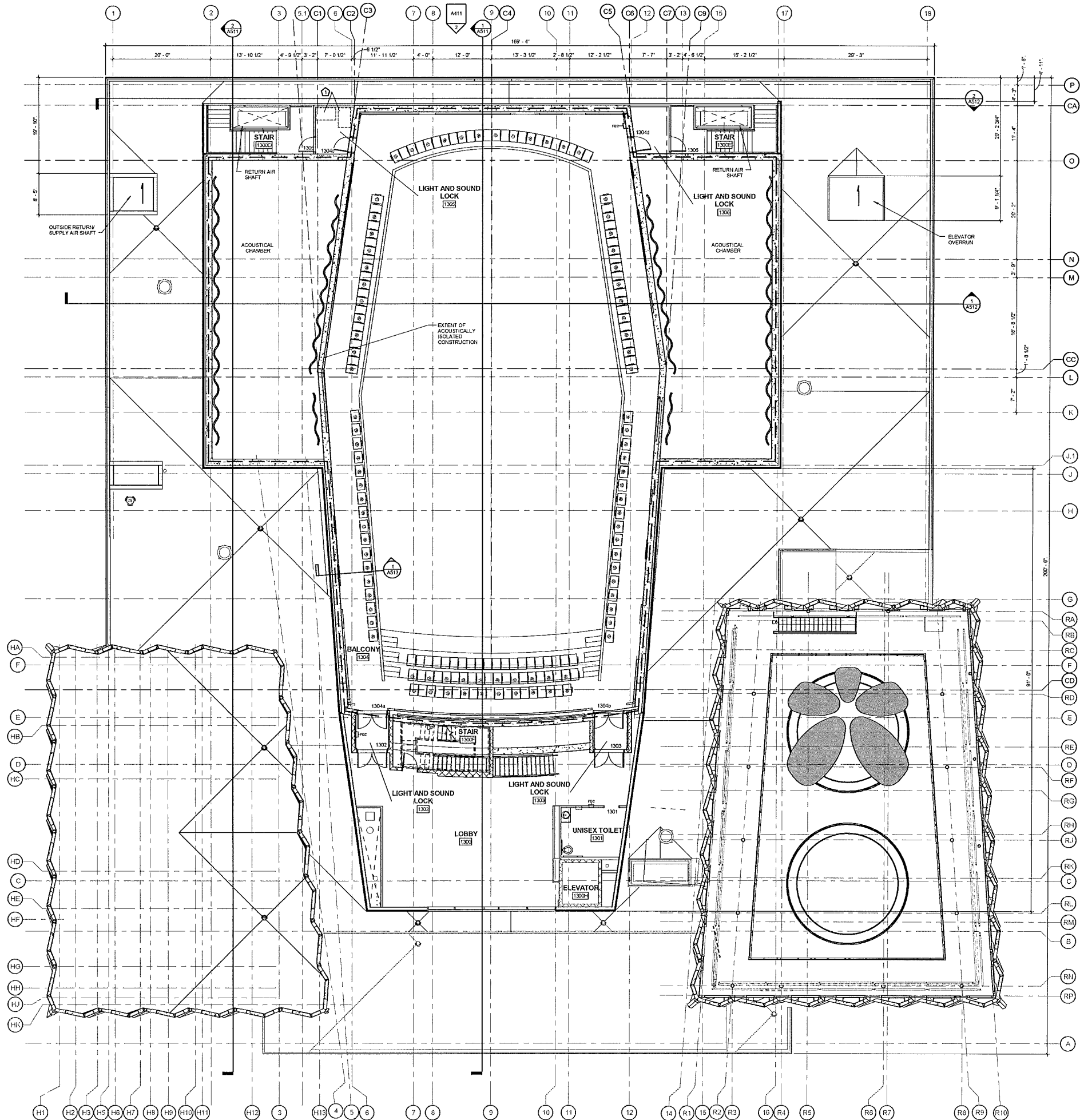
Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency / Institution:
UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON

Revisions

No.	Date:	Description:

PRELIMINARY
PLAN

Graphic Scale	1" = 1'-0"
DSF Number	10F2J
Set Type	SD
Date Issued	12-10-2014
Sheet Number	A212



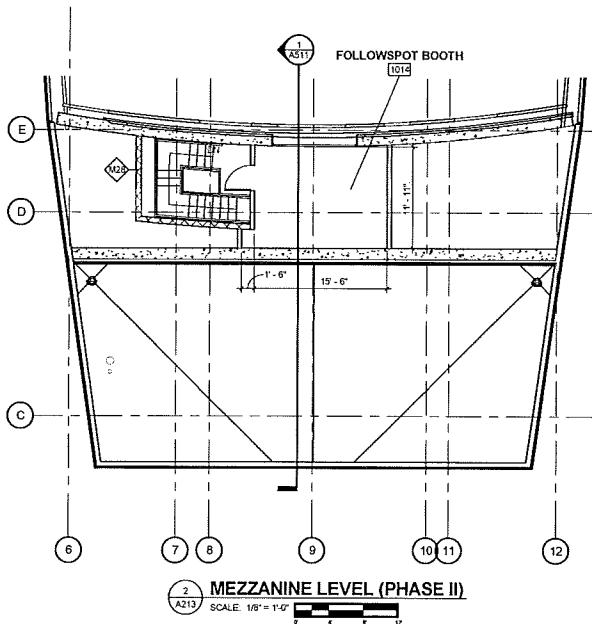
1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

- 1 SITE ELEVATION 868.75' = FIRST FLOOR ELEVATION 100'
- 2 ALL WALL / PARTITION DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
- 3 ALL PARTITIONS ARE TYPE "B00", U.N.O.
- 4 PROVIDE FIRE RATED BLOCKING FOR ALL WALL MOUNTED ITEMS INCLUDING OWNER FURNISHED ITEMS.
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- 6 DOOR FRAMES IN MASONRY CONSTRUCTION SHALL BE LOCATED ON THE SIDE OF THE WALL TOWARD THE ROOM WHICH THE DOOR SWINGS INTO U.N.O.
- 7 PITCH ALL EXTERIOR STOOPS AND SIDEWALKS AWAY FROM BUILDING.
- 8 ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRESTOPPED AND/OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.
- 9 FIRE EXTINGUISHER CABINETS (FEC) - MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET, CABINET TO PROTRUDE MAXIMUM 4 INCHES FROM WALL.

2 SPECIFIC FLOOR PLAN NOTES

- 1 PROVIDE WALL MOUNTED POWER ASSIST DOOR OPERATOR
- 2 PROVIDE MOP AND BROOM HOLDER ABOVE MOP SINK
- 3 PROVIDE FRP PANEL ON WALLS FROM FLOOR TO 4'-0" AFF, EXTEND 1'-0" PAST EACH SIDE OF THE SINK
- 4 PROVIDE CORNER GUARD
- 5 SEATING BLOCKS - NOT IN CONTRACT
- 6 30"x48" AREA OF RESCUE ASSISTANCE CLEARANCE
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2 MEZZANINE LEVEL (PHASE II)
SCALE: 1/8" = 1'-0"



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Consultant:

State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)



Project Address:
704 - 734 UNIVERSITY AVENUE
MADISON, WISCONSIN 53706

Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II

Agency / Institution:
UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON

Sheet Title:
THIRD FLOOR AND MEZZANINE PLANS -
PHASE II

Revisions

No.	Date:	Descriptions:
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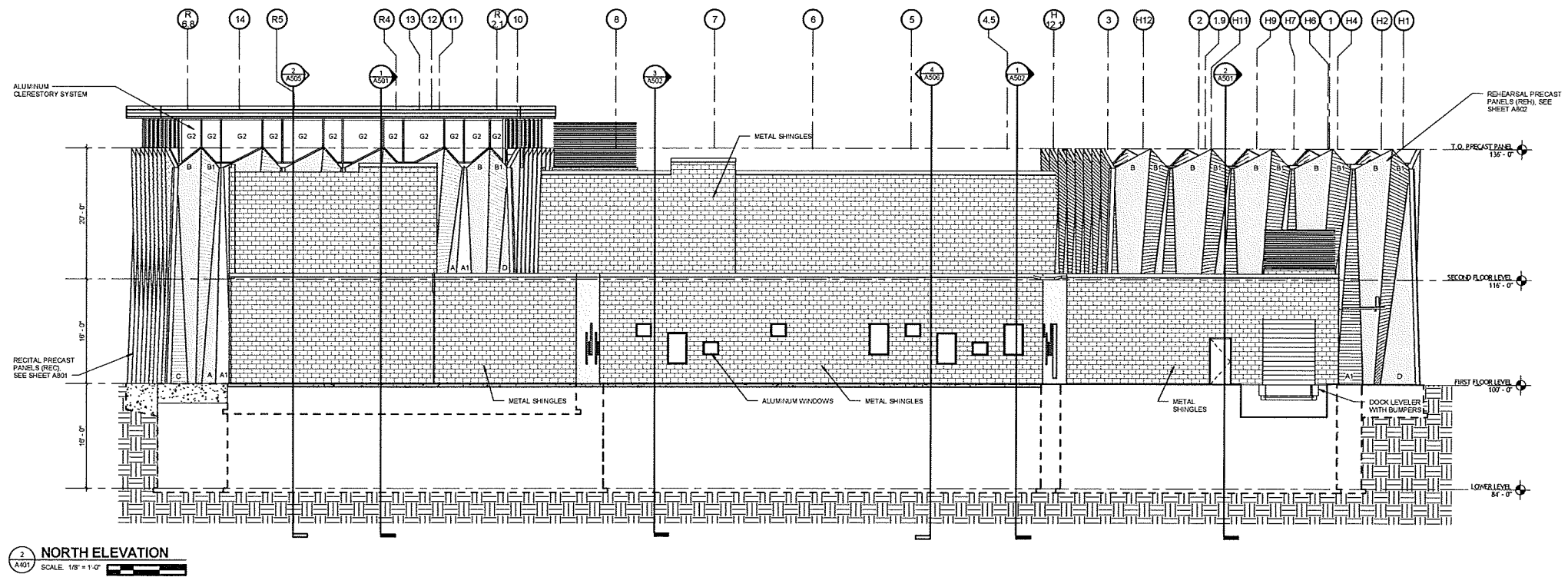
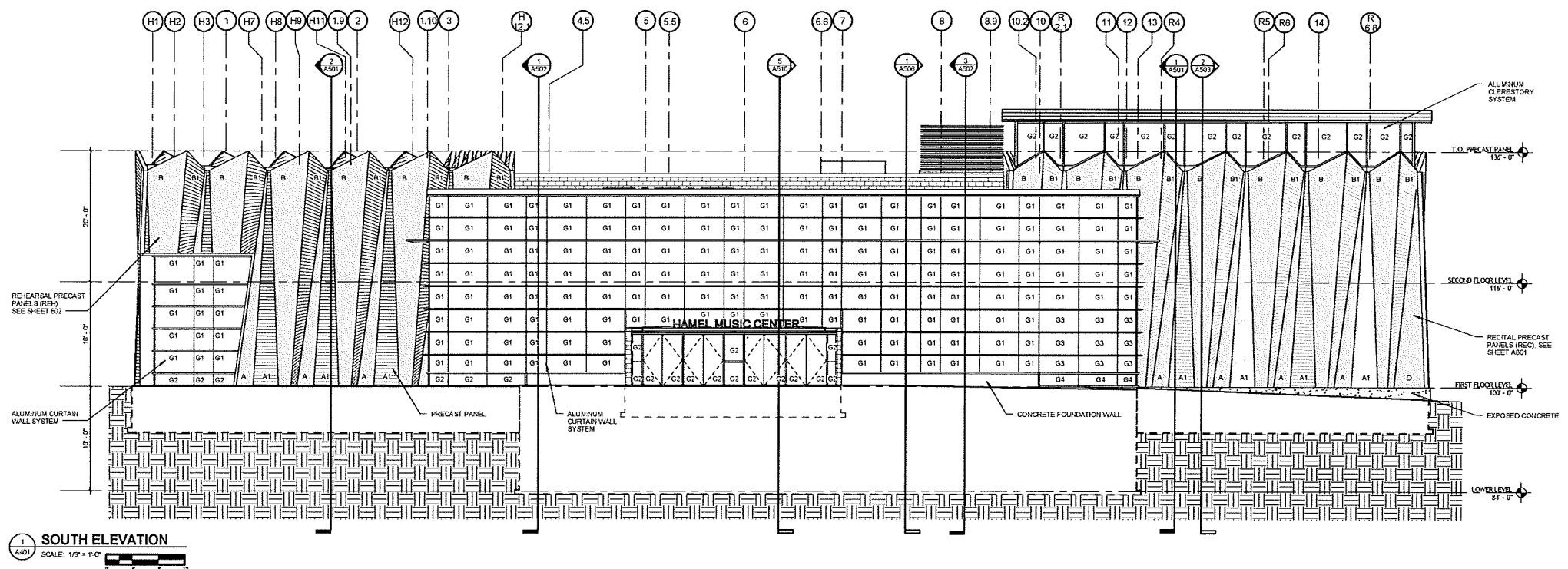
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Graphic Scale	
DSF Number	10F2J
Set Type	SD
Date Issued	12-10-2014
Sheet Number	A213



BUILDING EXTERIOR - IN PROGRESS
MUSIC PERFORMANCE BUILDING AT THE UNIVERSITY OF WISCONSIN-MADISON





EXTERIOR FINISH SCHEDULE		
DIVISION	SYSTEM COMPONENT	FINISH COLOR
3 CONCRETE	EXPOSED POURED CONCRETE FOUNDATION WALLS	
5 METALS	PRECAST CONCRETE PANEL	
5 METALS	METAL SHINGLES	MILL / NATURAL
6 FINISH CARPENTRY		
7 THERMAL & MOISTURE PROTECTION	EPDM BALLASTED ROOF	
	SHEET METAL ROOF FASCIA, DRIPS AND GUTTERS	
	FLASHING	
8 DOORS, WINDOWS & SKYLIGHT	GLASS	SEE GLAZING LEGEND
	HARDWARE	
	EXTERIOR HOLLOW METAL DOORS & FRAMES	
9 FINISHES	EXTERIOR TRASH ENCLOSURE DOORS	
10 SPECIALTIES	EXTERIOR SOFFIT	
11 EQUIPMENT	SOFFIT REVEAL TRIM & SOFFIT VENT	

GLAZING LEGEND				
TYPE	SYSTEM	TEMPERED	SPANDREL	COLOR
G1	I G U	-	-	-
G2	I G U	TEMPERED	-	-
G3	I G U	-	SPANDREL	-
G4	I G U	TEMPERED	SPANDREL	-

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 6411 MANERL POINT ROAD
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 761.868.2716

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 WWW.HOLZMANMOSS.COM

Consultant:

State of Wisconsin
 Department of Administration
 Division of Facilities Development (DFD)

Project Address:
 704 - 734 UNIVERSITY AVENUE
 MADISON, WISCONSIN 53706

Project Title:
 MUSIC PERFORMANCE BUILDING, PHASE I & II
 Agency / Institution:
 UW SYSTEM ADMINISTRATION
 UNIVERSITY OF WISCONSIN - MADISON

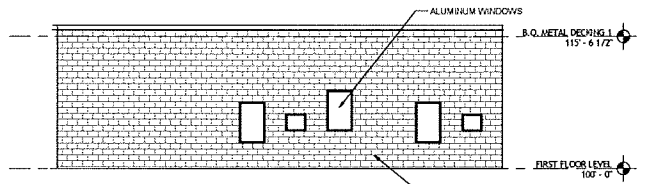
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 EXTERIOR ELEVATIONS - PHASE I

Revisions

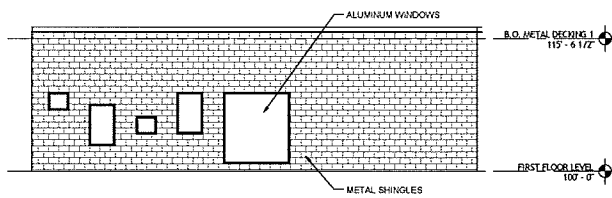
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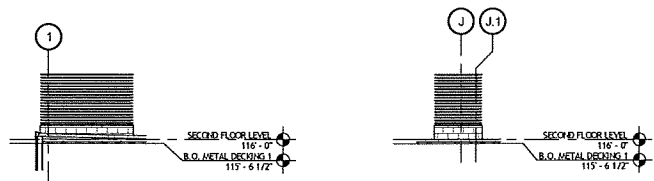
DFP Number: 10F2J
 Set Type: SD
 Date Issued: 12-10-2014
 Sheet Number: A401



3 NORTHEAST ELEVATION - INNER COURTYARD
SCALE: 1/8" = 1'-0"

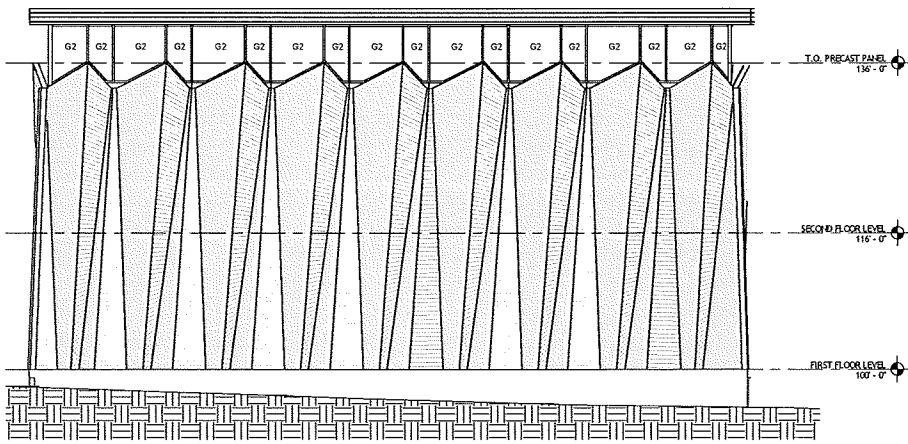


4 NORTHWEST ELEVATION - INNER COURTYARD
SCALE: 1/8" = 1'-0"

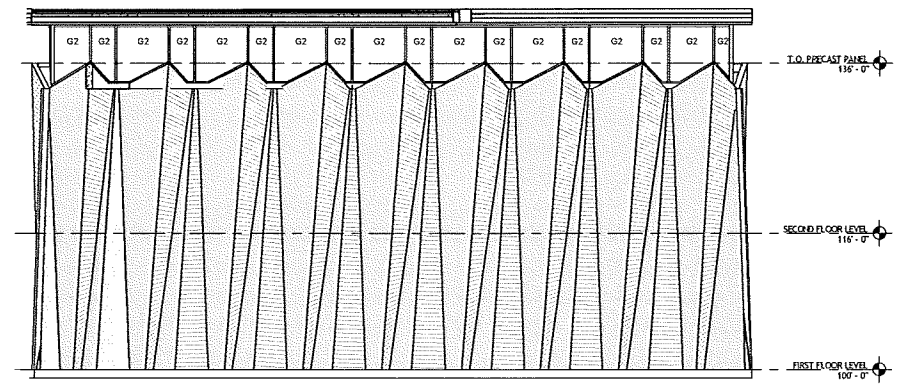


5 PENTHOUSE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

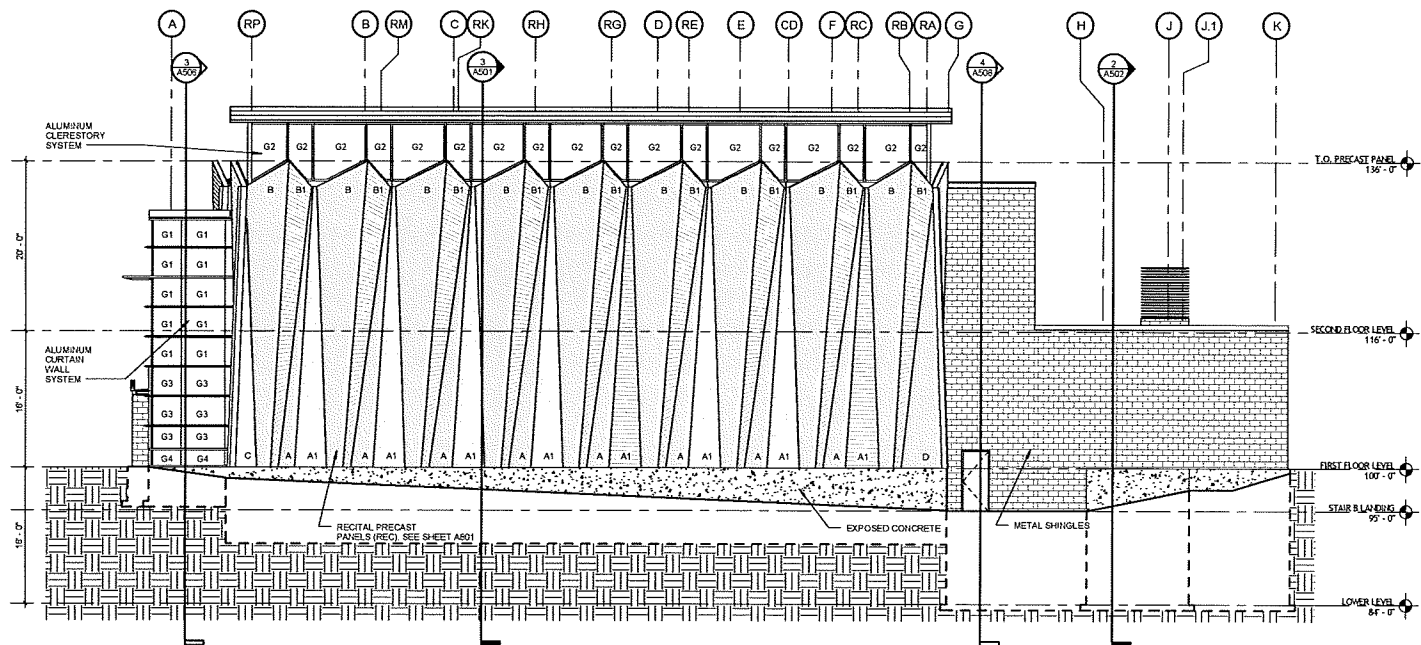
6 PENTHOUSE EAST ELEVATION
SCALE: 1/8" = 1'-0"



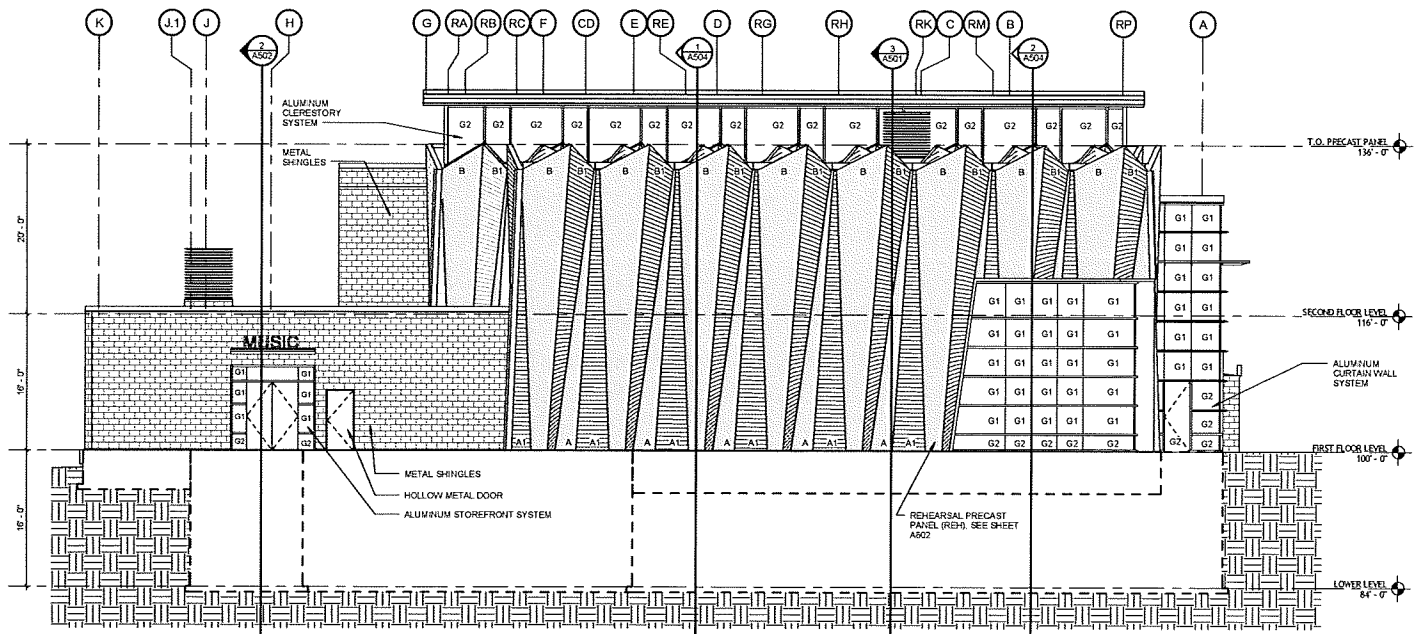
7 RECITAL HALL WEST ELEVATION
SCALE: 1/8" = 1'-0"



8 RECITAL HALL EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		
DIVISION	SYSTEM/ COMPONENT	FINISH/ COLOR
3	CONCRETE	EXPOSED POURED CONCRETE FOUNDATION WALLS
5	METALS	PRECAST CONCRETE PANEL
5	METALS	METAL SHINGLES
5	METALS	MILL / NATURAL
7	FINISH CARPENTRY	
7	FINISH CARPENTRY	EPDM BALLASTED ROOF
7	FINISH CARPENTRY	SHEET METAL ROOF FASCIA, DROPS AND GUTTERS
7	FINISH CARPENTRY	FLASHING
8	DOORS	ALUMINUM FRAMES
8	DOORS	GLASS
8	DOORS	SEE GLAZING LEGEND
8	WINDOWS & SKYLIGHT	HARDWARE
8	WINDOWS & SKYLIGHT	EXTERIOR HOLLOW METAL DOORS & FRAMES
8	WINDOWS & SKYLIGHT	EXTERIOR TRASH ENCLOSURE DOORS
8	WINDOWS & SKYLIGHT	EXTERIOR SOFFIT
8	WINDOWS & SKYLIGHT	SOFFIT REVEAL TRIM & SOFFIT VENT
8	WINDOWS & SKYLIGHT	SPECIALTIES
11	EQUIPMENT	

GLAZING LEGEND				
TYPE	SYSTEM	TEMPERED	SPANDREL	COLOR
G1	I.G.U.	-	-	-
G2	I.G.U.	TEMPERED	-	-
G3	I.G.U.	-	SPANDREL	-
G4	I.G.U.	TEMPERED	SPANDREL	-

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Consultant:

Project Title: MUSIC PERFORMANCE BUILDING, PHASE I & II
Agency / Institution: UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON
Project Address: 704 - 734 UNIVERSITY AVENUE
MADISON, WISCONSIN 53706

Revisions

No.	Date	Description
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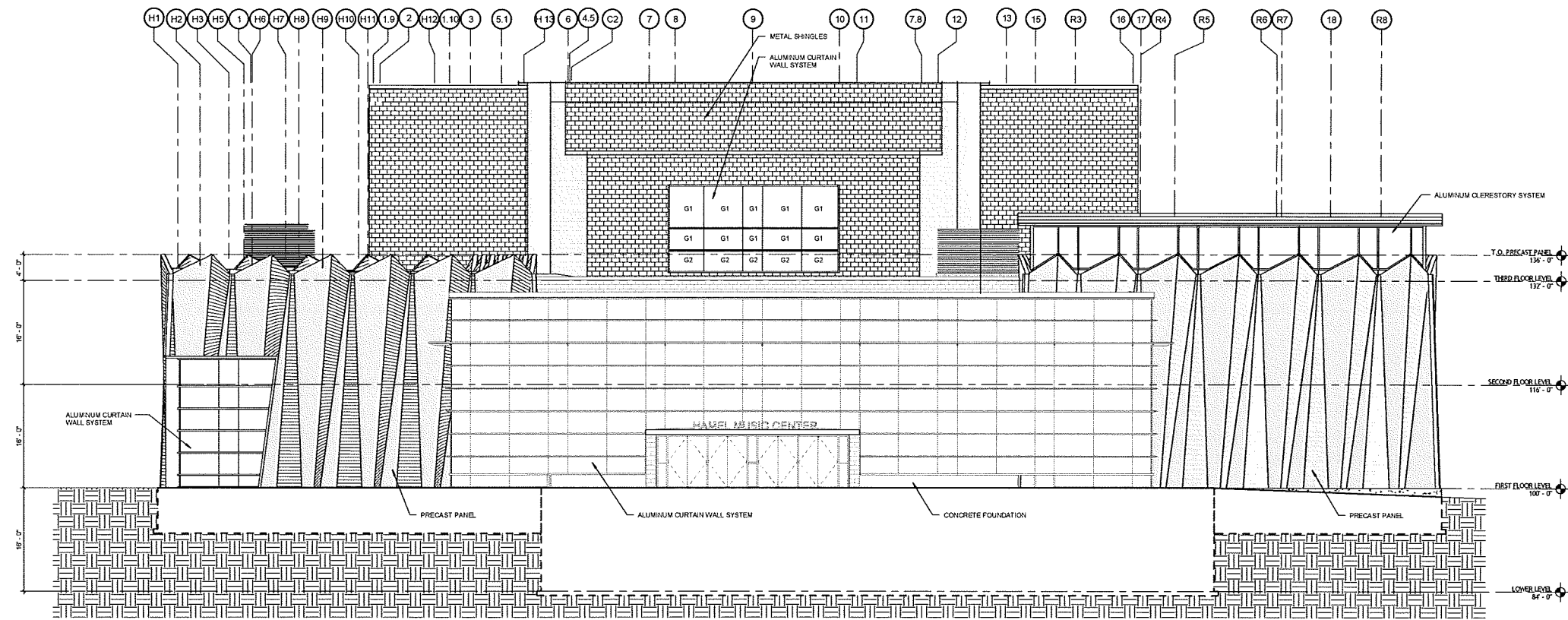
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DSF Number: 10F2J

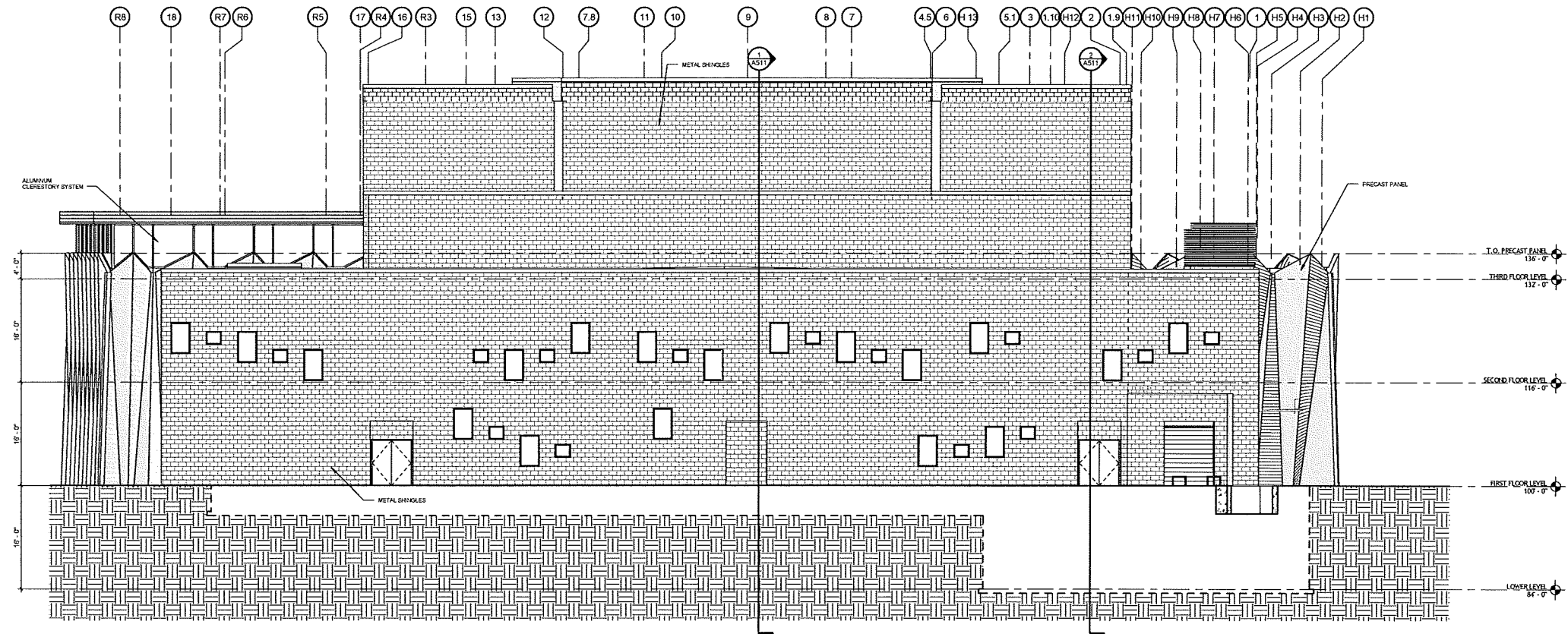
Set Type: SD

Date Issued: 12-10-2014

Sheet Number: A402



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		
DIVISION	SYSTEM/ COMPONENT	FINISH/ COLOR
3	EXPOSED POURED CONCRETE FOUNDATION WALLS	
CONCRETE	PRECAST CONCRETE PANEL	
5	METAL SHINGLES	MILL / NATURAL
6	METALS	
FINISH CARPENTRY		
7	EPDM BALLASTED ROOF	
8	SHEET METAL ROOF FASCIA, DRIPS AND GUTTERS	
9	FLASHING	
10	ALUMINUM FRAMES	
11	GLASS	SEE GLAZING LEGEND
DOORS	HARDWARE	
WINDOWS & SKYLIGHT	EXTERIOR HOLLOW METAL DOORS & FRAMES	
	EXTERIOR TRASH ENCLOSURE DOORS	
9	FINISHES	
10	SPECIALTIES	
11	EQUIPMENT	

GLAZING LEGEND				
TYPE	SYSTEM	TEMPERED	SPANDREL	COLOR
G1	I.G.U.	-	-	-
G2	I.G.U.	TEMPERED	-	-
G3	I.G.U.	-	SPANDREL	-
G4	I.G.U.	TEMPERED	SPANDREL	-



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Consultant:

Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II

Agency / Institution:
**UW SYSTEM ADMINISTRATION
UNIVERSITY OF WISCONSIN - MADISON**

Sheet Title:
EXTERIOR ELEVATIONS - PHASE II

Project Address:
704 - 734 UNIVERSITY AVENUE
MADISON, WISCONSIN 53706

Revisions

No.	Date:	Description:
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PRELIMINARY PLAN

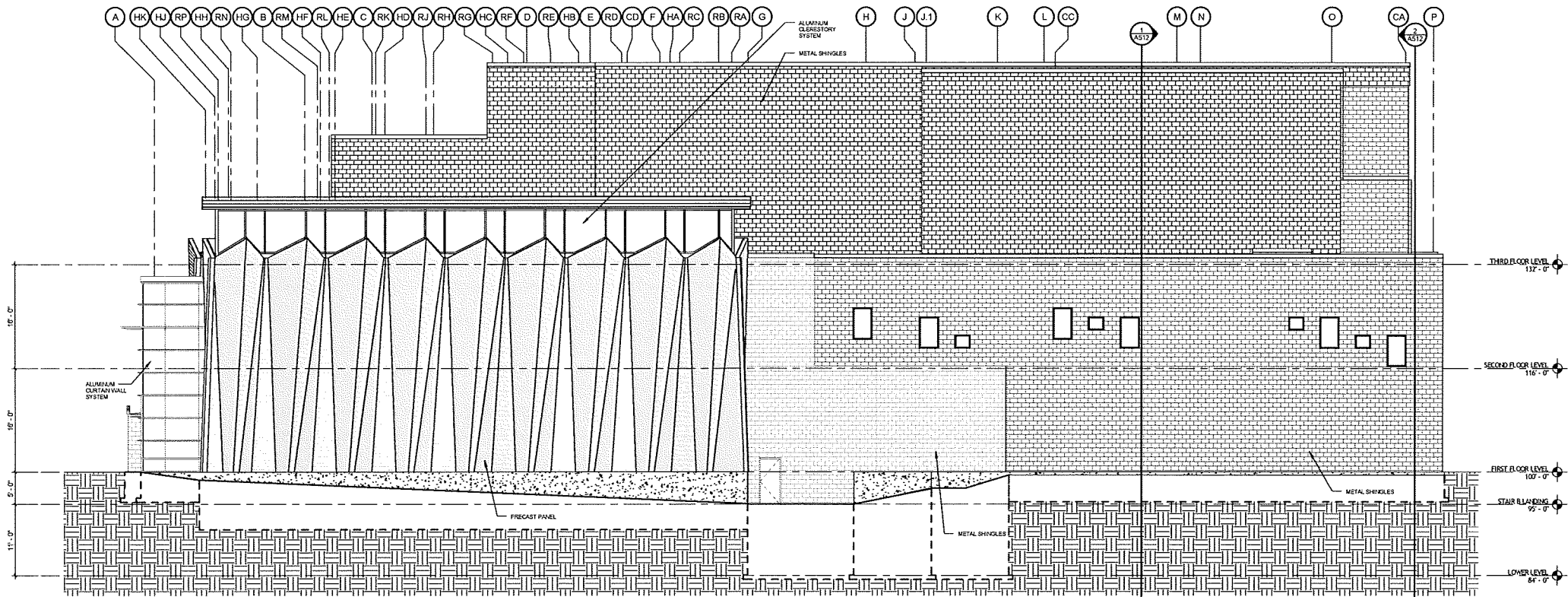
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DSF Number: 10F2J

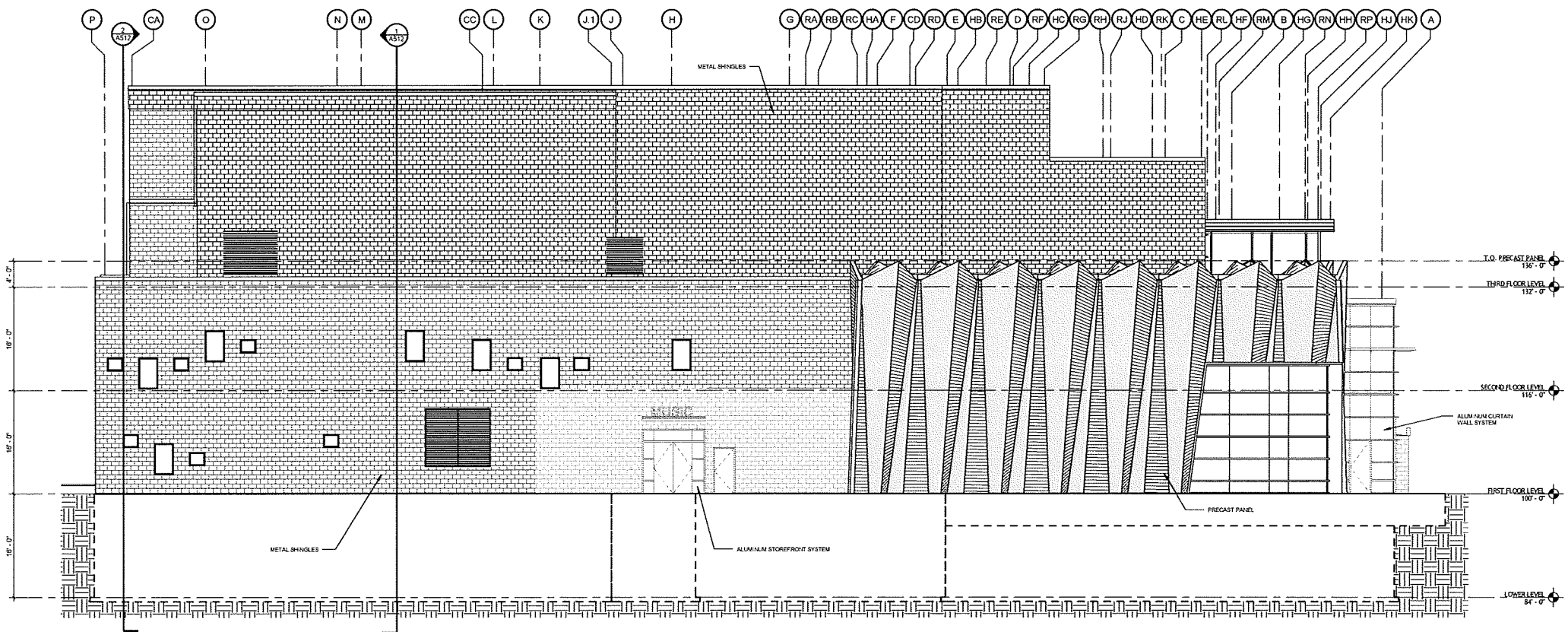
Set Type: SD

Date Issued: 12-10-2014

Sheet Number: A411



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		
DIVISION	SYSTEM/ COMPONENT	FINISH/ COLOR
3	CONCRETE	EXPOSED POURED CONCRETE FOUNDATION WALLS
5	METALS	PRECAST CONCRETE PANEL
6	FINISH CARPENTRY	METAL SHINGLES
7	THERMAL & MOISTURE PROTECTION	EPDM BALLASTED ROOF
8	DOORS, WINDOWS & SKYLIGHT	SHEET METAL ROOF FASCIA, DRPS AND GUTTERS
9	FINISHES	FLASHING
10	SPECIALTIES	ALUMINUM FRAMES
11	EQUIPMENT	GLASS

GLAZING LEGEND				
TYPE	SYSTEM	TEMPERED	SPANDREL	COLOR
G1	I.G.U.	-	-	-
G2	I.G.U.	TEMPERED	-	-
G3	I.G.U.	-	SPANDREL	-
G4	I.G.U.	TEMPERED	SPANDREL	-



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Consultant:

State of Wisconsin
Department of Administration
Division of Facilities Development (DFD)



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Project Title:
MUSIC PERFORMANCE BUILDING, PHASE I & II
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UNIVERSITY OF WISCONSIN - MADISON
Sheet Title:
EXTERIOR ELEVATIONS - PHASE II

Revisions
No. Date: Description:

PRELIMINARY
PLAN

Graphic Scale	0 1 2
DSF Number	10F2J
Set Type	SD
Date Issued	12-10-2014
Sheet Number	A412



UNIVERSITY OF WISCONSIN MUSIC PERFORMANCE BUILDING
EXTERIOR LIGHTING PLAN, PHASE 1

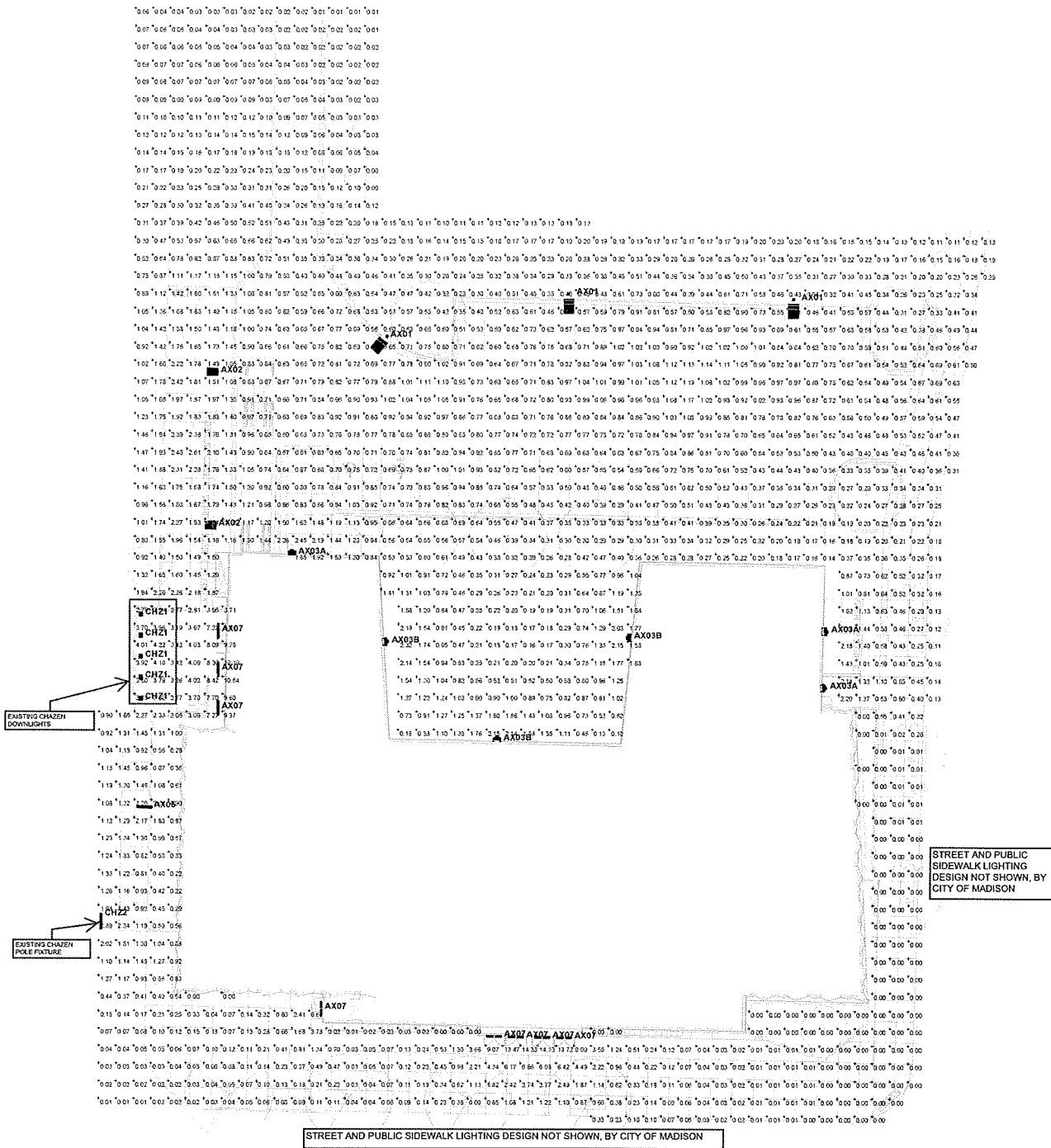
Designer

Date
Dec 4 2014

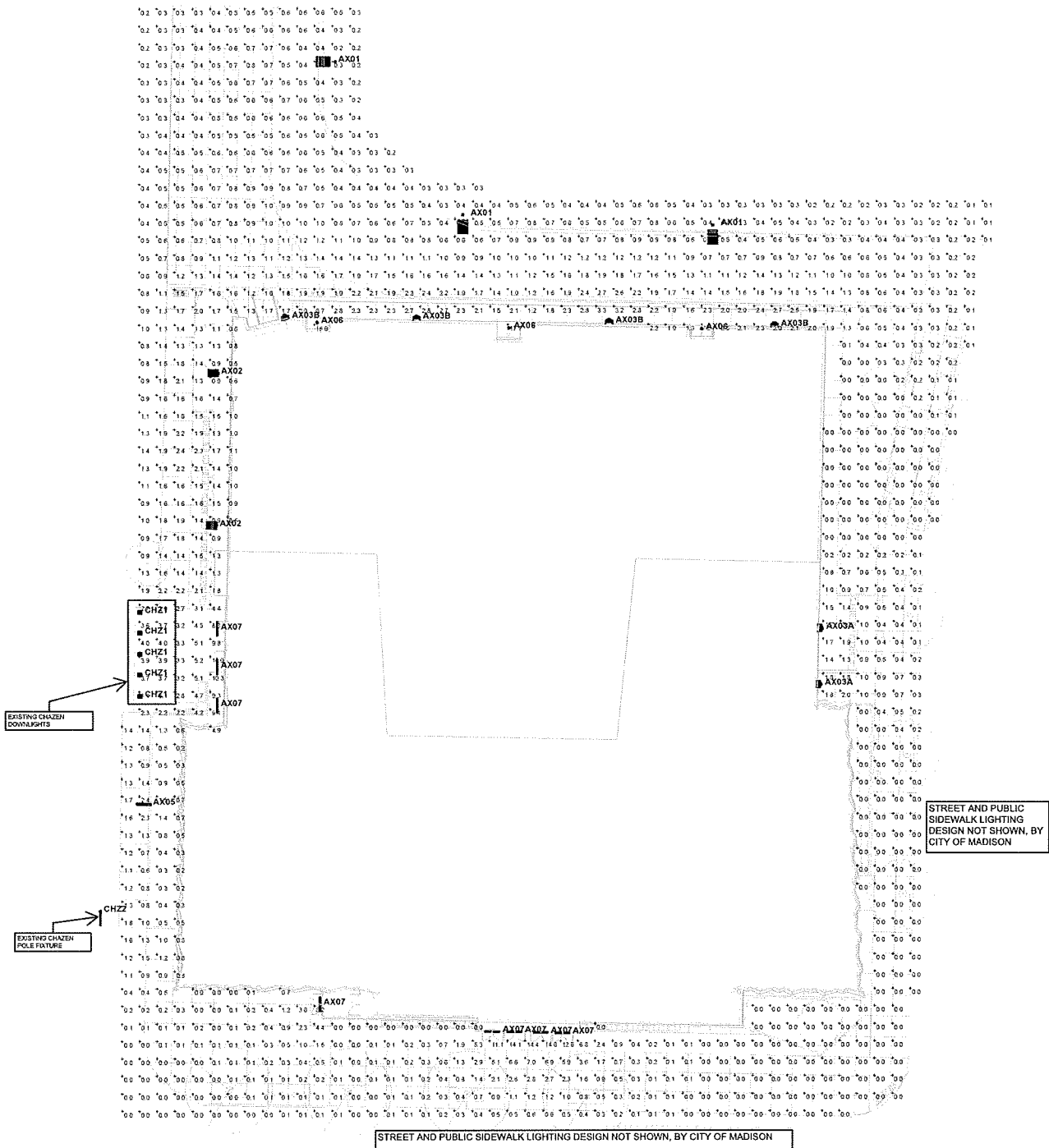
Scale

Drawing No.
PHASE 1

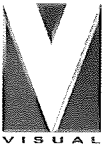
LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	AX01	6	AR3P35-60L3K	ARCHETYPE LED PICO-PRISM DIE-CAST ALUMINUM HOUSING ANGLE-LESS FRAME ANODIZED DECK WITH PICO-PRISMUS	60 DIODES 3000K	ar3p35-60l3k.es	Absolute	0.70	91
	AX02	4	SAR3P35-40L3K	ARCHETYPE LED PICO-PRISM DIE-CAST ALUMINUM HOUSING ANGLE-LESS FRAME ANODIZED DECK WITH PICO-PRISMUS	40 DIODES 3000K	sa3p35-40l3k.es	Absolute	0.70	44.5
	AX03A	5	111L-4-20LA-11V	111L WITH TYPE-4 OPTIC, 11V	(11) LEDS @ 2.2 LIGHT ARRAY OF 18 LEDS (LUXEON®) DRIVEN AT 350mA	111L-4-20LA-11V.es	Absolute	0.70	20.6
	AX03B	7	111L-3-20LA-11V	111 LED WALL SOCKICE	(11) LIGHT ARRAY OF 16 LEDS DRIVEN AT 350mA	111L-3-20LA-11V.es	Absolute	0.70	18
	AX05	2	10 10200 0	LINEA 4500 LED, 2xLeve-M V3.1	2769 lm, 47 W	UKL0519202A-IES	Absolute	0.70	47
	CHZ2	2	EXISTING FIXTURE	LINEA 4500 LED, 2xLeve-M V3.1	2769 lm, 47 W	UKL0519202A-IES	Absolute	0.70	47
	AX06	3	EVO 35 10 4	4" LED DOWNLIGHT, 3500K, 1000 LUMENS, MEDIUM DISTRIBUTION WITH SPECULAR REFLECTOR	LED	EVO_35_10_4_AR_LS_MD_120.es	Absolute	0.70	18.4
	AX07	16	VAHLED-400-HLO-30-4-MW-FW	LED 9.2W Distributed Array Gen 3 LED Module (3000mA)	LED	VAHLED-400-HLO-30-4-MW-FW.es	Absolute	0.70	43.6
	CHZ1	10	APPROXIMATION OF CHAZEN DOWNLIGHT	4" LED DOWNLIGHT, 3500K, 1000 LUMENS, MEDIUM DISTRIBUTION WITH SPECULAR REFLECTOR	LED	EVO_35_10_4_AR_LS_MD_120.es	Absolute	0.30	18.4



6-1
University of Wisconsin
Visual



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	AX01	6	AR3P35-60L3K	ARCHETYPE LED PICO-PRISM DIE-CAST ALUMINUM HOUSING AND LENS FRAME ANODIZED DECK WITH PICO-PRISMUS	60 DIODES 3000K	ar3p35-60l3k.es	Absolute	0.70	91
	AX02	4	SAR3P35-40L3K	ARCHETYPE LED PICO-PRISM DIE-CAST ALUMINUM HOUSING AND LENS FRAME ANODIZED DECK WITH PICO-PRISMUS	40 DIODES 3000K	sa3p35-40l3k.es	Absolute	0.70	44.5
	AX03A	5	111L-4-20LA-NV	111L WITH TYPE 4 OPTIC, NV	(1) LEDGINE 2.2 LIGHT ARRAY OF 16 LEDs, (LUXCONTR) DRIVER AT 350mA	111L-4-20LA-NV.es	Absolute	0.70	20.6
	AX03B	7	111L-3-20LA-NV	111L WALL SCORCE	(1) LIGHT ARRAY OF 16 LEDs DRIVEN AT 350mA	111L-3-20LA-NV.es	Absolute	0.70	18
	AX05	2	10 10200 0	LINEA 4600 LED, 24.0V-MV3.1	2769 lm, 47 W	LKL051920ZA-IES	2769	0.70	47
	CH02	2	EXISTING FIXTURE NV3.1	LINEA 4600 LED, 24.0V-MV3.1	2769 lm, 47 W	LKL051920ZA-IES	2769	0.70	47
	AX06	3	EVO 3510 4AR LS MD 120	4" LED DOWNLIGHT, 3500K, 1000 LUMENS, MEDIUM DISTRIBUTION WITH SPECULAR REFLECTOR	LED	EVO_35_10_4_AR_LS_MD_120.es	Absolute	0.70	18.4
	AX07	16		VANLEO-400-HLO-30-4-MV-FW	LED 9.2W Distributed Array Gen 3 LED Module (260mA)	VANLEO-400-HLO-30-4-MV-FW.es	1150	0.70	43.6
	CH01	10	APPROXIMATION OF CHAZEN DOWNLIGHT	4" LED DOWNLIGHT, 3500K, 1000 LUMENS, MEDIUM DISTRIBUTION WITH SPECULAR REFLECTOR	LED	EVO_35_10_4_AR_LS_MD_120.es	Absolute	0.30	18.4



UNIVERSITY OF WISCONSIN, MUSIC PERFORMANCE BUILDING
EXTERIOR LIGHTING PLAN, PHASE 2

PRELIMINARY
PLAN

Designer

Date
Dec 4 2014

Scale

Drawing No.
PHASE 2