

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:

Paid _____ Receipt # 119103-0003

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____ **5/16/22**

Urban Design District _____ **11:14 a.m.**

Submittal reviewed by _____

Legistar # _____

RECEIVED

1. Project Information

Address: 3326 AGRICULTURE DR. MADISON WI 53716

Title: IFF Probiotic Staging Expansion Addition (Project Banyan)

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 6/15/2022

New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name

Eric Hohol

Street address

3322 Agriculture Dr

Telephone

815-209-8500

Project contact person

Josh Myers

Street address

440 N Wells St., Suite 320

Telephone

312-324-5518

Property owner (if not applicant)

Street address

Company Danisco USA, Inc.

City/State/Zip Madison / Wisconsin / 53716

Email margaret.anderson@iff.com

Company Shive-Hattery

City/State/Zip Chicago / IL / 60654

Email jmyers@shive-hattery.com

Telephone

City/State/Zip _____

Email _____

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 4/25/2022.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Eric Hohol

Relationship to property Site Manager

Authorizing signature of property owner Eric Hohol

Date MAY 16, 2022

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Danisco USA, Inc.

DELEGATION OF AUTHORITY

By this letter, I, Daryl Roberts, Senior Vice President and Chief Leveraged Operations & Risk Management Officer ("SVP and CLO&RM Officer"), hereby delegate to the following position, to the extent permitted by law, authority to sign and execute documents on behalf of Danisco USA, Inc. in the area identified below.

Position: Site Manager
Facility: Madison
Address: 3326 Agriculture Dr., Madison, WI 53716
Effective Date: June 1, 2019

- Sign or execute any permit applications, reports, certifications, or other documents relating to compliance by the Facility with federal, state, or local environmental, health and safety laws and regulations and to provide, where appropriate, other relevant information requested by the Administrator of the U.S. EPA or other federal, state, or local environmental, health and safety agencies.
- Approve the provisions of any compliance program, project-completion schedule, or similar document relating to construction, modification, and/or operation of any equipment or facilities at the Plant.
- Execute and deliver any other documents and do any other actions in connection with the foregoing, as the Site Manager may deem necessary and advisable.

Any environmental, health and safety documents signed or executed by the Site Manager shall have the same force and effect, as if done by me. Without limiting the generality of the foregoing, I am an authorized signatory for Danisco USA, Inc. as defined in 40 CFR 98.4, 40 CFR 122.22, 40 CFR 144.32, and 40 CFR 270.11, and a Responsible Official as defined in 40 CFR 70.2.

This Delegation of Authority is given without the authority to make further delegations and shall remain in effect until rescinded or modified by me or my successor, in writing. This Delegation of Authority supersedes and replaces any prior delegations issued by Danisco USA, Inc. for the Madison Facility.

June 12, 2019

Date



Daryl Roberts

Senior Vice President and Chief Leveraged
Operations & Risk Management Officer

I, Calissa W. Brown, the Assistant Secretary of the Company, do hereby certify that Daryl Roberts is the SVP and CLO&RM Officer and that the signature set forth above is his genuine signature.

IN WITNESS WHEREOF I set my hand this 12th day of June, 2019.



Calissa W. Brown

Assistant Secretary

**Architecture and Landscape Plan Intent for IFF Probiotics Staging Expansion (Project Banyan)
UDC Submittal**

05-16-2022

Architectural Design:

Architectural design for this building is in consideration of requirements per the UDC and zoning code of Madison WI

The Danisco/IFF manufacturing site consists of two building. The north building has incrementally grown following aesthetic standards set in place by the UDC and/or zoning in a common theme of materials and colors. Most of the materials are an off-white metal panel, with an accent color of burgundy often at the corners of buildings and with burgundy horizontal bands. Roof-top mechanical units have been screened with horizontal metal louver-style screens especially with consideration of vantagepoints from Agriculture Drive, Femrite Drive, and the 12/18 Beltline Highway.

The south building has been following the same aesthetic standard color and material scheme. The Danisco/IFF Project Banyan is a new addition to the south wall of the south building, it will follow the same basic shape of a gabled roof adding a footprint of approximately 12,000 SF. This expansion will be designed to enable continued expansion to the south in the future. Docks have been added on the east side of this building to meet the increased inbound and outbound needs.

Landscape Design:

Landscape for this project area has been added for screening as required by UDC and zoning Code of Madison WI.

Landscape Plantings:

Landscape has been added to the eastern southern property line portion of the site to comply with the southern expansion of the facility. Screening of the newly proposed docks has been added in the form of a continuous line of trees and shrubs along the eastern property line as space allows on the property; tall shrubs and overstory trees in areas constrained by space, and evergreen trees and shrubs in areas with wider buffers along pertinent streets and areas. The locations of landscape screening were selected to be able to best conceal the expanded facility and allow for continuous undisturbed landscape, including as site developments and expansions occur in the future.

Landscape groundcover is proposed to be 3" depth river rock over weed barrier fabric and bound by steel edging. This is required as a building perimeter as reduced cover for small animals and will match the current installed base.

Existing Landscape

Existing landscape on site will be disturbed as little as possible. 3 Trees along the southern portion of the site adjacent to the building were removed to allow for the building expansion. 7 shrubs, 4 deciduous trees, and 1 evergreen tree were removed to allow for pavement expansion for trucking docks. Landscape points are provided to accommodate for the landscape removed in the new proposed landscape along the site perimeter.

Site restorations will use turf grass mixes utilized by the Wisconsin DOT and specific to appropriate places for stormwater basins and disturbed areas.

Fencing requirement:

Existing security fence was extended in same aesthetic style on site in the vicinity for a continuous look for the newly expanded area to the rest of the site.

[Project Banyan](#)



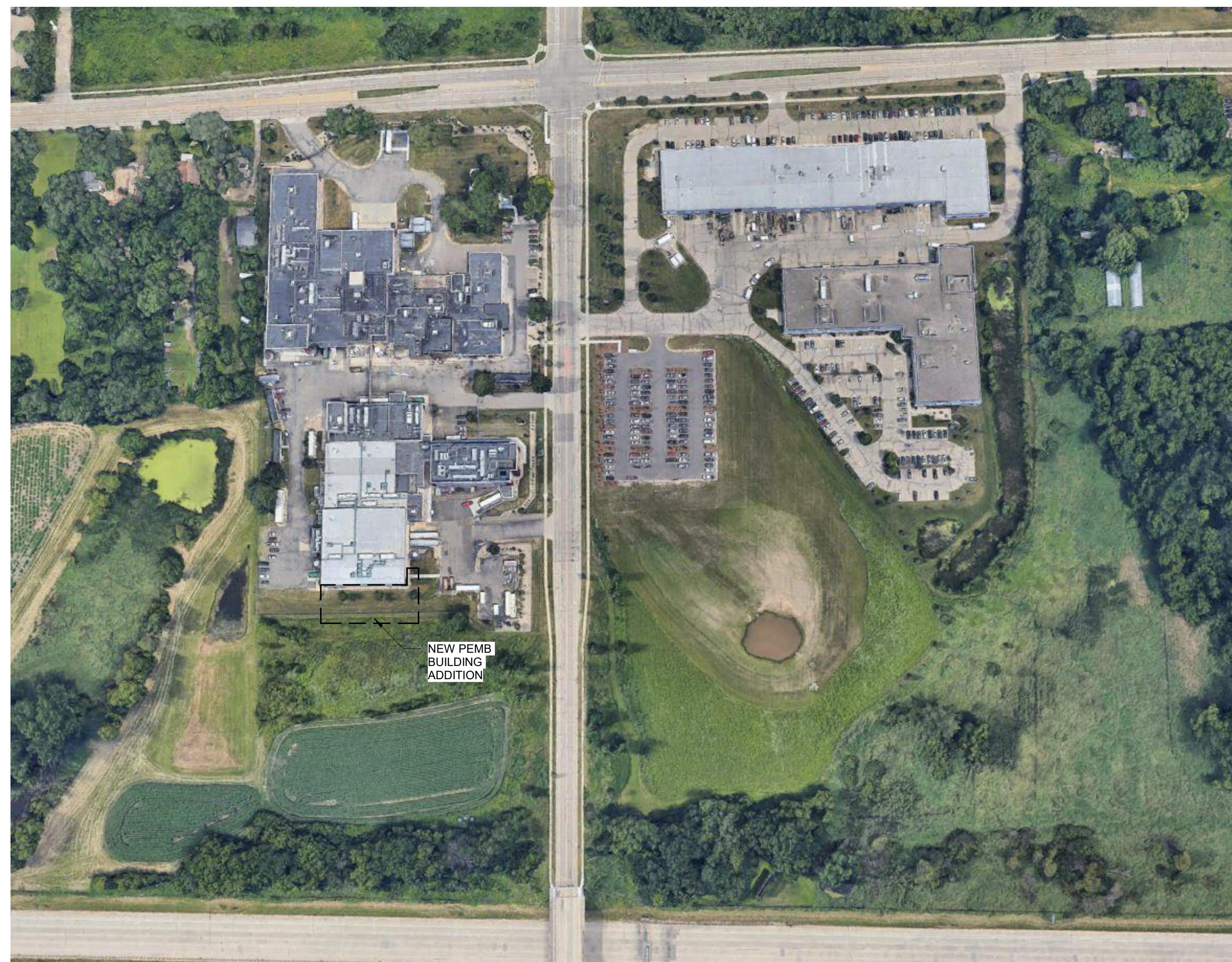
IFF MADISON - BANYAN

INTERNATIONAL FLAVORS & FRAGRANCES INC.

UDC REVIEW

3326 AGRICULTURE DR | MADISON | WI 53716

PROJECT LOCATION





SHEET INDEX


SHEET NUMBER	SHEET NAME	REVISION	REVISION DATE
UDC-00	UDC - COVER SHEET AND LETTER OF INTENT		
UDC-01	UDC - SITE PLAN		
UDC-02	UDC - GRADING PLAN		
UDC-03	UDC - UTILITY PLAN		
UDC-04A	UDC - LANDSCAPE PLAN AND PLANT SCHEDULE		
UDC-05	UDC - ROOF PLAN AND RTU EQUIPMENT SCREENING		
UDC-06	UDC - LIGHTING PHOTOMETRICS PLAN AND FIXTURES CUTSHEETS		
UDC-07A	UDC - ELEVATIONS BLACK & WHITE		
UDC-07B	UDC - ELEVATIONS COLOR & MATERIAL PHOTOS		
UDC-07C	UDC - EXTERIOR 3D VIEWS		
UDC-07D	UDC - EXTERIOR 3D VIEWS		


PRELIMINARY
- NOT FOR
CONSTRUCTION

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FOR INFORMATION, CONTACT	International Flavors and Fragrances Inc. 201 New Century Parkway New Century, KS 66031 USA		
VENDOR INFO		SHIVE HATTERY ARCHITECTURE + ENGINEERING 2220 N. 1st Street, Suite 500 Cedar Rapids, Iowa 52401 319.364.0227 fax 319.364.4251 www.shive-hattery.com	
TITLE UDC - COVER SHEET AND LETTER OF INTENT UDC REVIEW IFF MADISON - BANYAN			
DRAWN	Author	CHECKED	Checker APPROVED
SIZE	DWG NO		DATE
E	UDC-00		05/16/22
ENGINEER'S NAME LICENSE NUMBER			ENGINEER'S NAME LICENSE NUMBER
FILE: UDC-00		SCALE: AS NOTED	
PROJECT # 1209160		SHEET OF	



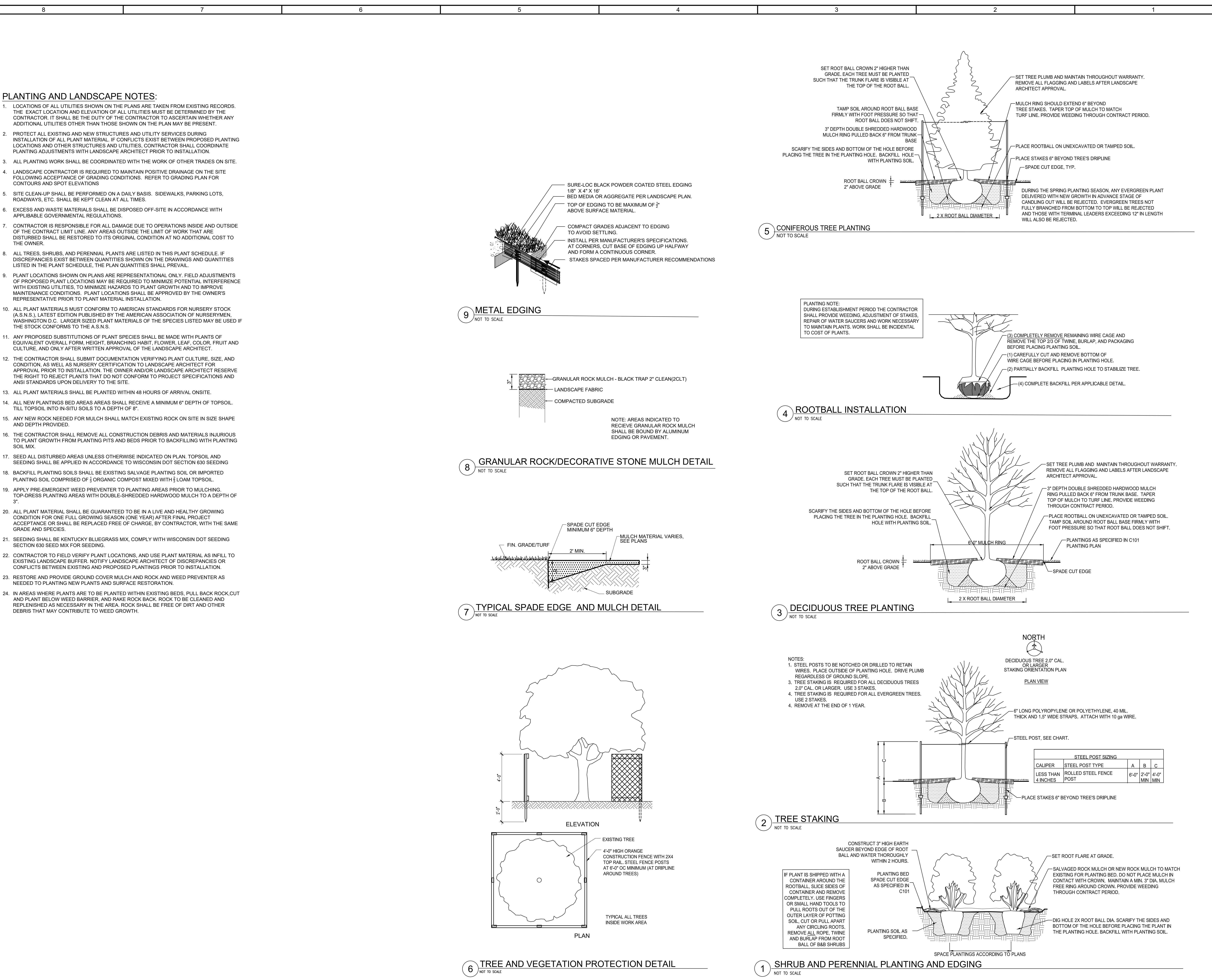


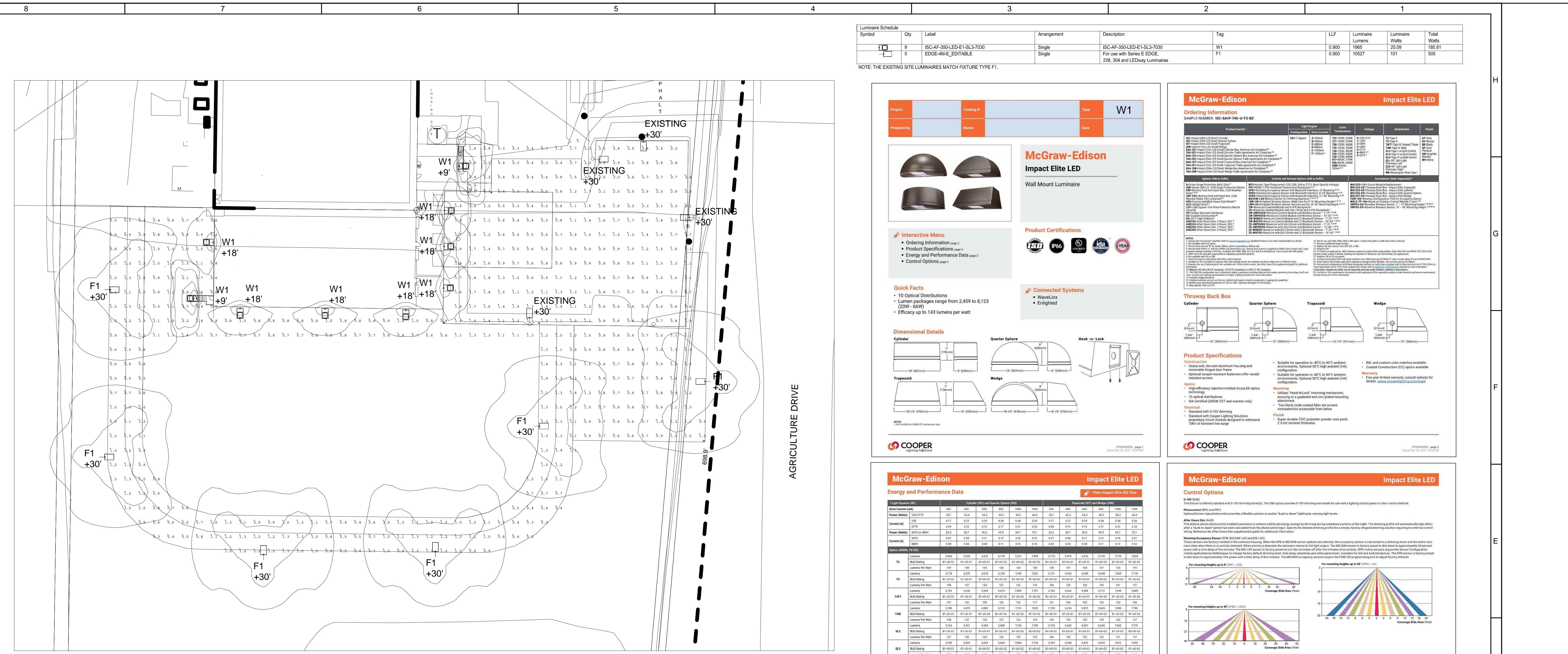




PLANTING AND LANDSCAPE NOTES:

- LOCATIONS OF ALL UTILITIES SHOWN ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- PROTECT ALL EXISTING AND NEW STRUCTURES AND UTILITY SERVICES DURING INSTALLATION OF ALL PLANT MATERIAL. IF CONFLICTS EXIST BETWEEN PROPOSED PLANTING LOCATIONS AND OTHER STRUCTURES AND UTILITIES, CONTRACTOR SHALL COORDINATE PLANTING ADJUSTMENTS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES ON SITE.
- LANDSCAPE CONTRACTOR IS REQUIRED TO MAINTAIN POSITIVE DRAINAGE ON THE SITE FOLLOWING ACCEPTANCE OF GRADING CONDITIONS. REFER TO GRADING PLAN FOR CONTOURS AND SPOT ELEVATIONS.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- EXCESS AND WASTE MATERIALS SHALL BE DISPOSED OFF-SITE IN ACCORDANCE WITH APPLICABLE GOVERNMENTAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE. ANY AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES, SHRUBS, AND PERENNIAL PLANTS ARE LISTED IN THIS PLANT SCHEDULE. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE DRAWINGS AND QUANTITIES LISTED IN THE PLANT SCHEDULE, THE PLAN QUANTITIES SHALL PREVAIL.
- PLANT LOCATIONS SHOWN ON PLANS ARE REPRESENTATIONAL ONLY. FIELD ADJUSTMENTS OF PROPOSED PLANT LOCATIONS MAY BE REQUIRED TO MINIMIZE POTENTIAL INTERFERENCE WITH EXISTING UTILITIES, TO MINIMIZE HAZARDS TO PLANT GROWTH AND TO IMPROVE MAINTENANCE CONDITIONS. PLANT LOCATIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANT MATERIAL INSTALLATION.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.S.N.S.), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO THE A.S.N.S.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL SUBMIT DOCUMENTATION VERIFYING PLANT CULTURE, SIZE, AND CONDITION AS WELL AS NURSERY CERTIFICATION TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT PLANTS THAT DO NOT CONFORM TO PROJECT SPECIFICATIONS AND ANSI STANDARDS UPON DELIVERY TO THE SITE.
- ALL PLANT MATERIALS SHALL BE PLANTED WITHIN 48 HOURS OF ARRIVAL ON SITE.
- ALL NEW PLANTINGS BED AREAS AREAS SHALL RECEIVE A MINIMUM 6" DEPTH OF TOPSOIL. TILL TOPSOIL INTO IN-SITU SOILS TO A DEPTH OF 8".
- ANY NEW ROCK NEEDED FOR MULCH SHALL MATCH EXISTING ROCK ON SITE IN SIZE SHAPE AND DEPTH PROVIDED.
- THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING SOIL MIX.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED ON PLAN. TOPSOIL AND SEEDING SHALL BE APPLIED IN ACCORDANCE TO WISCONSIN DOT SECTION 630 SEEDING
- BACKFILL PLANTING SOILS SHALL BE EXISTING SALVAGE PLANTING SOIL OR IMPORTED PLANTING SOIL COMPRISED OF 1/3 ORGANIC COMPOST MIXED WITH 2/3 LOAM TOPSOIL.
- APPLY PRE-EMERGENT WEED PREVENTER TO PLANTING AREAS PRIOR TO MULCHING. TOP-DRESS PLANTING AREAS WITH DOUBLE-SHREDDED HARDWOOD MULCH TO A DEPTH OF 3".
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED FREE OF CHARGE, BY CONTRACTOR, WITH THE SAME GRADE AND SPECIES.
- SEEDING SHALL BE KENTUCKY BLUEGRASS MIX. COMPLY WITH WISCONSIN DOT SEEDING SECTION 630 FOR SEEDING.
- CONTRACTOR TO FIELD VERIFY PLANT LOCATIONS, AND USE PLANT MATERIAL AS INFILL TO EXISTING LANDSCAPE BUFFER. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES OR CONFLICTS BETWEEN EXISTING AND PROPOSED PLANTINGS PRIOR TO INSTALLATION.
- RESTORE AND PROVIDE GROUND COVER MULCH AND ROCK AND WEED PREVENTER AS NEEDED TO PLANTING NEW PLANTS AND SURFACE RESTORATION.
- IN AREAS WHERE PLANTS ARE TO BE PLANTED WITHIN EXISTING BEDS, PULL BACK ROCK CUT AND PLANT BELOW WEED BARRIER, AND RAKE ROCK BACK. ROCK TO BE CLEANED AND REPLENISHED AS NECESSARY IN THE AREA. ROCK SHALL BE FREE OF DIRT AND OTHER DEBRIS THAT MAY CONTRIBUTE TO WEED GROWTH.





Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire	Luminaire Watts	Total Watts
W1	9	ISC-AF-350-LED-E1-TSL-7030	Single	ISO-AF-350-LED-E1-TSL-7030	W1	0.900	1965	20.09	160.81
F1	6	EDGE-AM-EDITABLE	Single	EDGE-AM-EDITABLE	F1	0.900	1965	101	505

McGraw-Edison Impact Elite LED

Ordering Information

Product Family

Light Engine

Color

Voltage

Dimmable

Finish

System Model & Surface

Control & Services Options (Add to Surface)

Accessories Order Separately

NOTES

Product Certifications

Interactive Menu

Quick Facts

Connected Systems

Dimensional Details

Product Specifications

Construction

Options

NOTES

COOPER Lighting Solutions

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McGraw-Edison Impact Elite LED

Energy and Performance Data

Impact Elite LED

Control Options

Impact Elite LED

NOTES

COOPER Lighting Solutions

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
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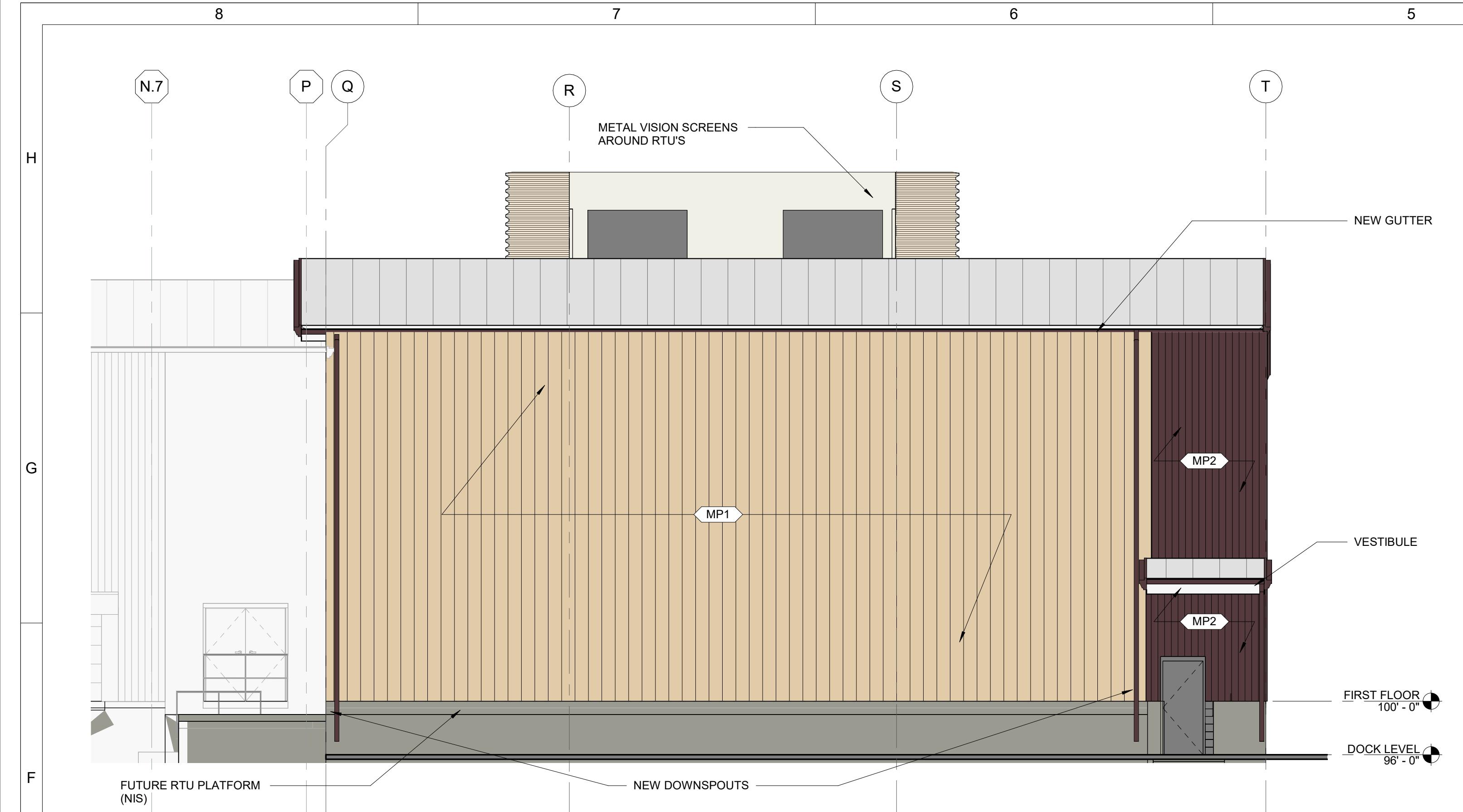
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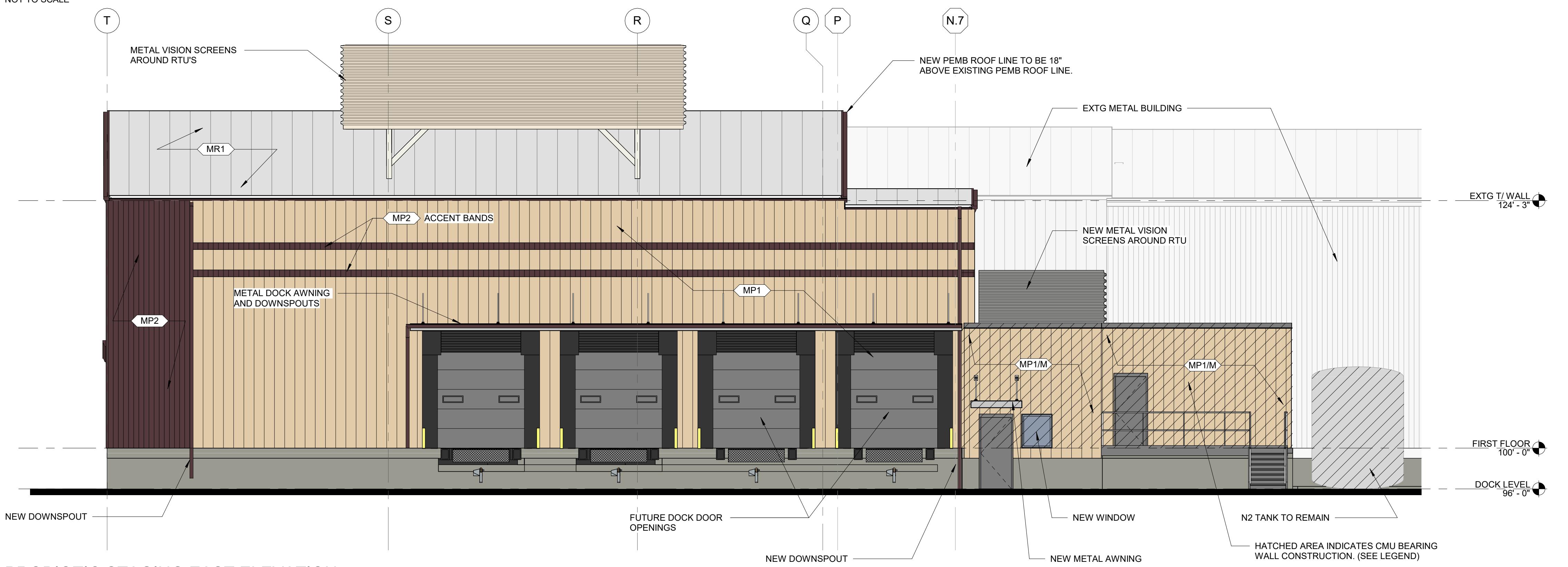
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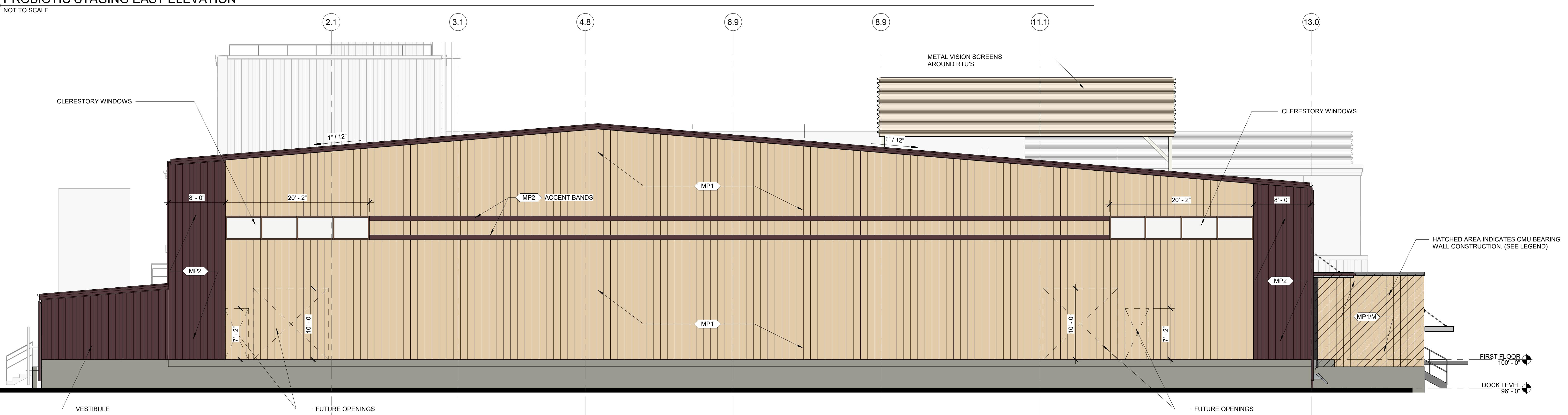
② PROBIOTIC STAGING WEST ELEVATION

NOT TO SCALE



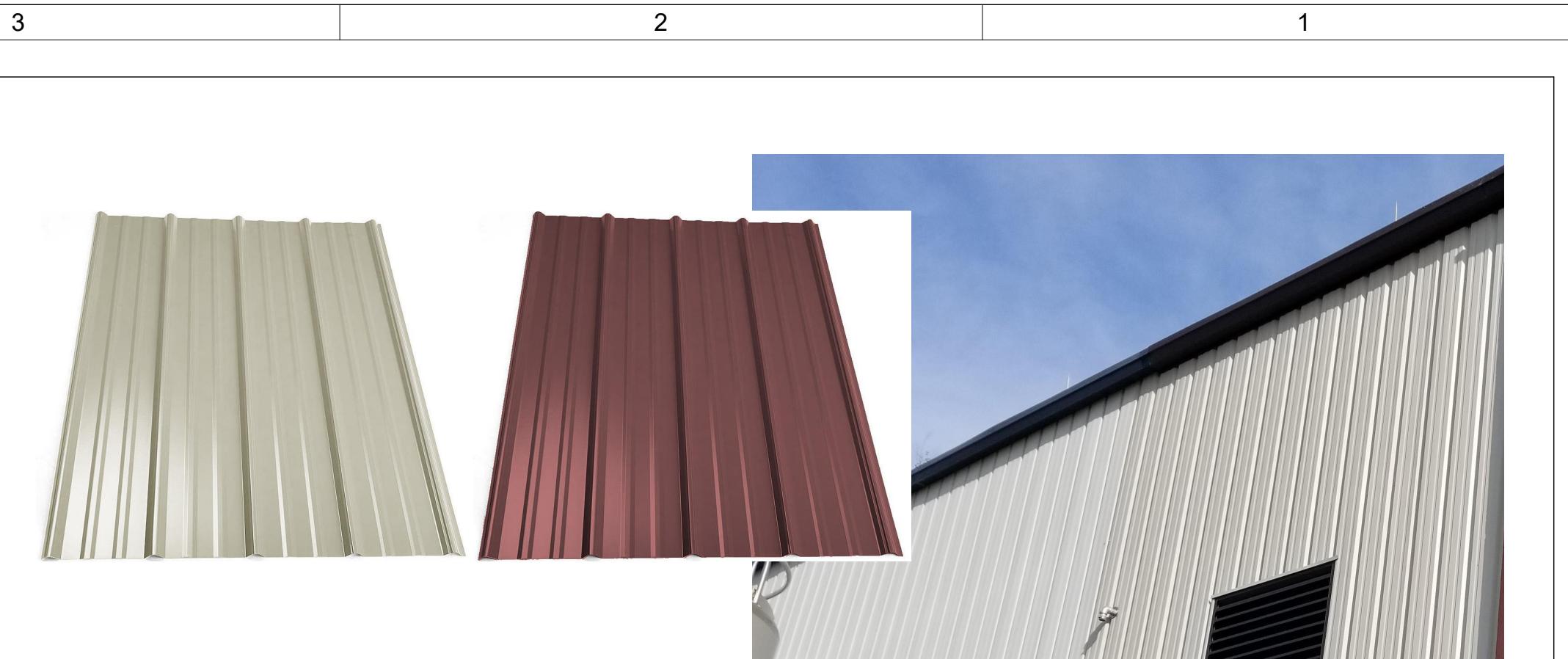
③ PROBIOTIC STAGING EAST ELEVATION

NOT TO SCALE

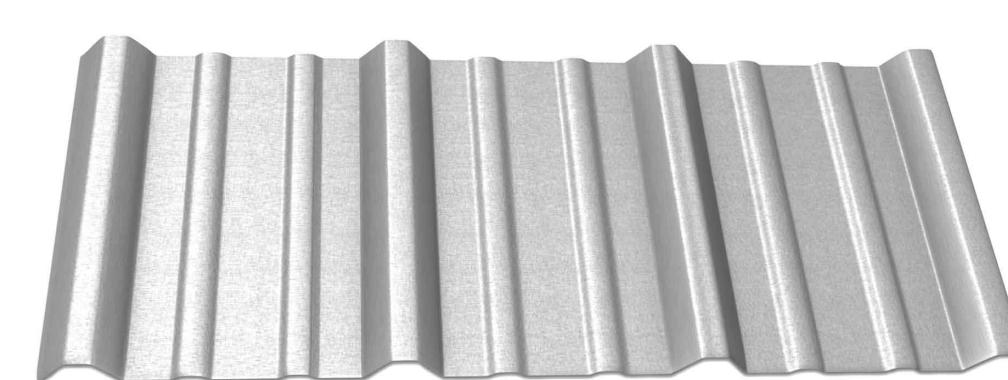


① PROBIOTIC STAGING SOUTH ELEVATION

NOT TO SCALE



MP1 + MP2 - METAL WALL PANELS



MR1 - METAL ROOF 1



MECHANICAL EQUIPMENT SCREEN PANEL

EXTERIOR WALL + ROOF ASSEMBLY LEGEND

MP1 COLOR 1 PEMB SUPPLIED WALL SYSTEM:
MP2 COLOR 2 ROOF SYSTEM
FIBERGLASS BATT INSULATION (R13 + R13ci)
MINIMUM PER CODE
VAPOR BARRIERS
INTERIOR METAL LINER PANEL COVERING
GIRTS
PEMB SUPPLIED METAL PANEL OVER MASONRY WALL:
METAL PANEL EXTERIOR TO MATCH PEMB MP1
3 1/2" HORIZ METAL Z-FUZZING (KNIGHT
"THERMAZE")
"THERMAZE" BUILDING WRAP OVER 3" XPS
CONTINUOUS INSULATION
INSULATION FLUID APPLIED WEATHER BARRIER
LOAD BEARING 8" CMU WITH FIRE RATING PER PLAN
NOT IN PEMB CONTRACT

MP1/M
MR1
PEMB SUPPLIED ROOF SYSTEM:
STANDING SEAM METAL
ROOF VINYL FACED FIBERGLASS BATT
INSULATION (R25 + R13ci)
MINIMUM PER CODE
PROVIDE THREE 1/2" BREAK STAND-OFF CLIPS
FOR CONTINUOUS INSULATION

PRELIMINARY
- NOT FOR
CONSTRUCTION

REV	DATE	DESCRIPTION	BY	CHK'D	APPR
REVISIONS					
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TITLE UDC - ELEVATIONS COLOR & MATERIAL PHOTOS UDC REVIEW IFF MADISON - BANYAN					
DRAWN	Author	CHECKED	Checker	APPROVED	Approver
SIZE	DWG NO				DATE
E	UDC-07B				05/16/22
ENGINEER'S NAME LICENSE NUMBER					
FILE: UDC-07B					
SCALE: AS NOTED					
PROJECT # 1209160					
SHEET OF					



① EXISTING VIEW - AGRICULTURE DRIVE
NOT TO SCALE



② NEW VIEW - AGRICULTURE DRIVE
NOT TO SCALE

PRELIMINARY
- NOT FOR
CONSTRUCTION

REV	DATE	DESCRIPTION	BY	CHK'D	APPR'D
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TITLE					
EXTERIOR 3D VIEWS					
UDC REVIEW					
IF MADISON - BANYAN					
DRAWN	Author	CHECKED	Checker	APPROVED	Approver
SIZE	DWG NO			DATE	
E	UDC-07C			05/16/22	
ENGINEER'S NAME LICENSE NUMBER					
FILE: UDC-07C					
SCALE: AS NOTED					
PROJECT # 1209160					
SHEET OF					



① EXISTING VIEW - ROUTE 18 HIGHWAY
NOT TO SCALE



② NEW VIEW - ROUTE 18 HIGHWAY
NOT TO SCALE

PRELIMINARY
- NOT FOR
CONSTRUCTION

REV DATE DESCRIPTION BY CHK'D APPR				
REVISIONS				
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