

TITLE SHEET

PLAN SET

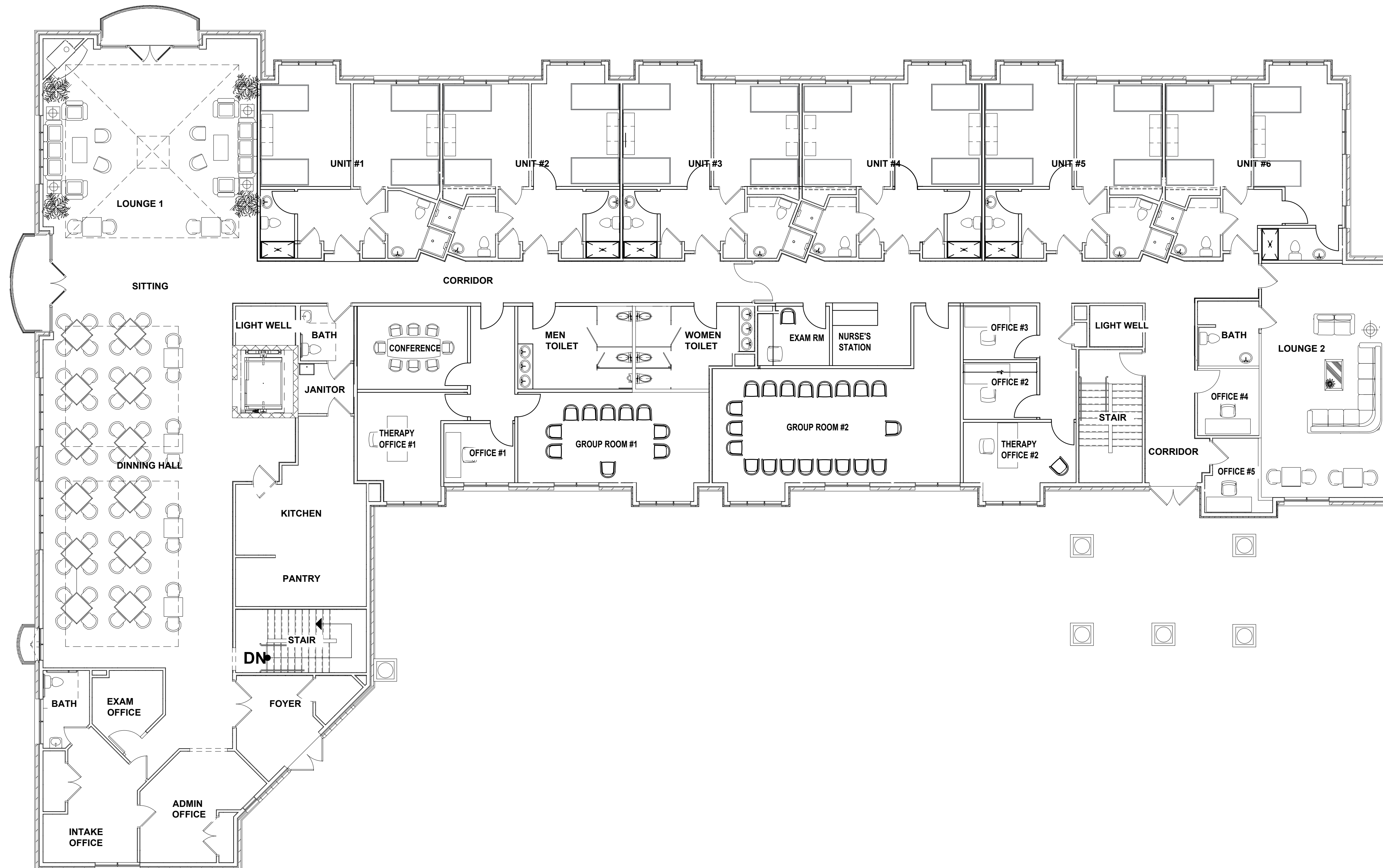
| Page | Document |
|-------------|---|
| T-1 | Title Sheet |
| A-1.01 | Architect Plans – Ground Floor Plan |
| A-1.02 | Architect Plans – Basement Floor Plan |
| C-1 | Site Plan: Title Page |
| C-2 | Site Plan: Site Plan |
| C-3 | Site Plan: Site Grading, Erosion Control and Utility Plan |
| C-4 | Site Plan: Site Detail |
| C-5 | Site Plan: Landscape Plan |
| C-6 | Site Plan: Building Footprint |
| C-7 | Site Plan: Terrace Level Floor Plan |
| C-8 | Site Plan: Main Level Floor Plan |
| C-9 | Site Plan: Roof Plan |
| C-10 | Site Plan: North and East Elevation |
| C-11 | Site Plan: West and South Elevation |
| C-12 | Site Plan: Wall Section, Colum Detail, Chimney Detail, Bulkhead Detail, Masonry Detail, Planter Wall Detail |

PROJECT INFO

WELLBROOK
RECOVERY
842 Juniper
Madison, WI

PROJECT CODE

WELL1



GROUND FLOOR PLAN

1/8" = 1'-0"

REVISIONS

| NO: | DATE: |
|-----|---------|
| 1 | 4/23/25 |

DRAWN BY

ISSUE DATE

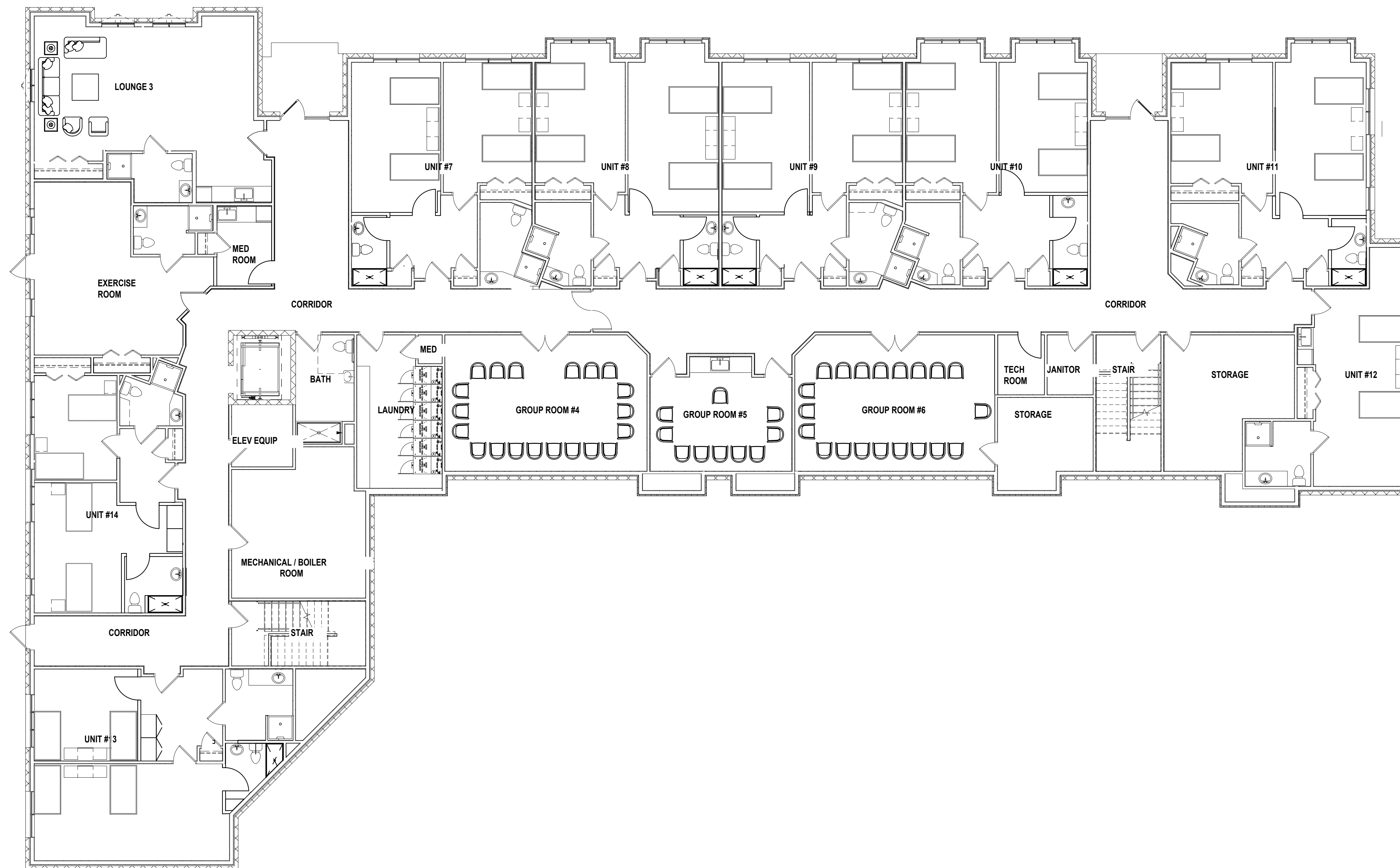
4/25/25

DRAWING NAME

GROUND LEVEL
FURNITURE PLAN

DRAWING NO

A1.01



BASEMENT FLOOR PLAN

1/8" = 1'-0"

REVISIONS

NO: DATE:
1 4/23/25

DRAWN BY

ISSUE DATE

4/25/25

DRAWING NAME

LOWER LEVEL
FURNITURE PLAN

DRAWING NO

A1.02

LEGAL DESCRIPTION

Part of Lot 459, Grandview Commons, recorded in Volume 58-005A of plats on pages 19-33 as Document No. 3583911, Dane County Registry, located in the SE1/4 of the NW1/4 of Section 11, T7N, R10E, City of Madison, Dane County, Wisconsin, to wit: commencing at the northwest corner of said lot 459; thence N77°20'02"E, 12.26 feet to the point of beginning; thence N77°20'02"E, 152.16 feet; thence S00°57'42"E, 250.84 feet; thence S88°12'55"W, 149.02 feet; thence N00°57'42"W, 221.11 feet to the point of beginning. Containing 35,235 square feet (0.809 acres).



Chamomile

Assisted Living Facility

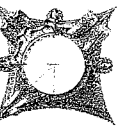
846 JUPITER DRIVE GRANDVIEW COMMONS TND MADISON, WISCONSIN, 53718

FOR
CHAMOMILE ASSISTED LIVING, LTD.

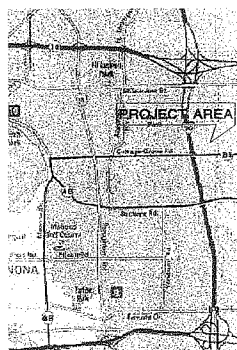
22 MILO LANE
MADISON, WI 53714
CONTACT: JEFF SHIELDS

ISTHMUS
ARCHITECTURE, INC.

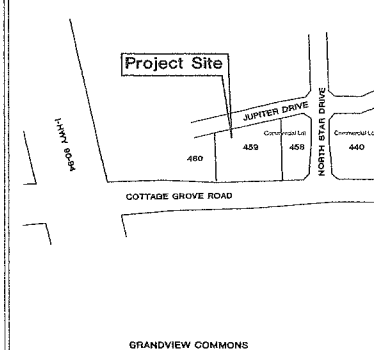
613 Williamson Street
Suite 203
Madison, WI 53703
Phone: 608.294.0206
Fax: 608.294.0207



LOCATION MAP



VICINITY MAP



ARCHITECT

**ISTHMUS
ARCHITECTURE INC.**
613 WILLIAMSON STREET SUITE 203
MADISON, WISCONSIN 53703

PHONE: 608-294-0206
FAX: 608-294-0207
CONTACT: PETER ROTT, AIA
rotte@arch.com

STRUCTURAL

121 DESIGN, LLC.
4321 BIRCH AVENUE
MADISON, WISCONSIN 53711

PHONE: 608-516-4121
FAX: 608-293-4843
CONTACT: CONOR F. NELAN, P.E.
conor@conoranet

CIVIL

**D'ONOFRIO, KOTTKE &
ASSOCIATES, INC.**

7530 WESTWARD WAY
MADISON, WISCONSIN 53717

PHONE: 608-833-7530
FAX: 608-833-1089
CONTACT: DANIEL DAY, P.E.
dday@donofo.io

SHEET INDEX

- T01 TITLE SHEET
- C10 SITE SURVEY PLAN
- C11 UTILITY & SITE GRADING PLAN
- C12 SITE LAYOUT PLAN
- L10 LANDSCAPING PLAN
- L20 LIGHTING PLAN
- A11 TERRACE LEVEL FLOOR PLAN
- A12 MAIN LEVEL FLOOR PLAN
- A13 ROOF PLAN
- A21 BUILDING SECTIONS
- A22 BUILDING SECTIONS
- A23 BUILDING SECTIONS
- A31 EXTERIOR ELEVATIONS
- A32 EXTERIOR ELEVATIONS
- A33 DETAILS
- A41 WALL TYPES, DETAILS
- A61 INTERIOR ELEVATIONS
- A71 DOOR AND FRAME SCHEDULE
- A72 ROOM, WINDOW SCHEDULE
- A73 DOOR DETAILS
- A81 ARCHITECTURAL DETAILS
- S10 STRUCTURAL NOTES
- S11 FOUNDATION PLAN
- S12 MAIN LEVEL FRAMING PLAN
- S13 ROOF FRAMING PLAN
- S14 STRUCTURAL DETAILS
- S15 STRUCTURAL DETAILS

SITE & BUILDING INFORMATION

| Parking Provided | | Building Area | | Unit Mix | |
|--------------------------|-----------------------|-----------------------------|-----------------------|---|-----|
| Surface Parking | 15 STALLS | Terrace (lower) Level: | 12,468 SQ. FT. | Unit Type A: 690 SF | 45% |
| Surface HC Parking | 1 STALL | Main Level: | 12,126 SQ. FT. | Unit Type B: 378 SF | 10% |
| | | Canopy: | 1,561 SQ. FT. | Unit Type C: 702 SF | 15% |
| Total | 16 STALLS | Total Building Area: | 26,143 SQ. FT. | Unit Type D: 605 SF | 5% |
| | | | | Unit Type E: 742 SF | 15% |
| | | | | Unit Type F: 627 SF | 5% |
| | | | | Unit Type G: 560 SF | 5% |
| Site Area | | Building Footprint | | First Floor Elevation: 1019' (finished floor) ± 0'-0" | |
| Impervious Area: | 23,967 SQ. FT. | Paved Area: | 9,754 SQ. FT. | Building Height: Roof Ridge = 25'-11 1/2" Two Stories | |
| Non-paved Area: | 11,268 SQ. FT. | Green Area: | 11,888 SQ. FT. | Construction Classification: TYPE IIA Two Stories | |
| Total Lot Area: | 35,235 SQ. FT. | Total Lot Area: | 35,235 SQ. FT. | Fire Protection System: Per NFPA 13 - FULLY SPRINKLERED | |
| | | | | Jurisdiction Code: Wisconsin Administrative Code | |
| Lot Area Provided | 35,235 SQ. FT. | Fl oor Area Ratio: | .70 | Occupancy Type: TYPE II INSTITUTIONAL | |

Plan/Parking Facility Approval
 CU PUD (SIP) PCD (SRP)

Project: 846 JUPITER DRIVE
 Design: PETER ROTT
 Date: 10/27/07
 Scale: 1/8"=1'-0"
 Drawn By: JEFF SHIELDS
 Date: 10/27/07

**CHAMOMILE
ASSITED
LIVING**

PUD/SIP

Project
 Proj. No.: 0311.01
 TITLE SHEET
 Sheet Title
 Scale: NONE
 Drawn By: PRR
 Date: 10.06.03

Sheet No. C-1



DATE: 06-10-03
REV: 10-21-03

SCALE: 1" = 20'

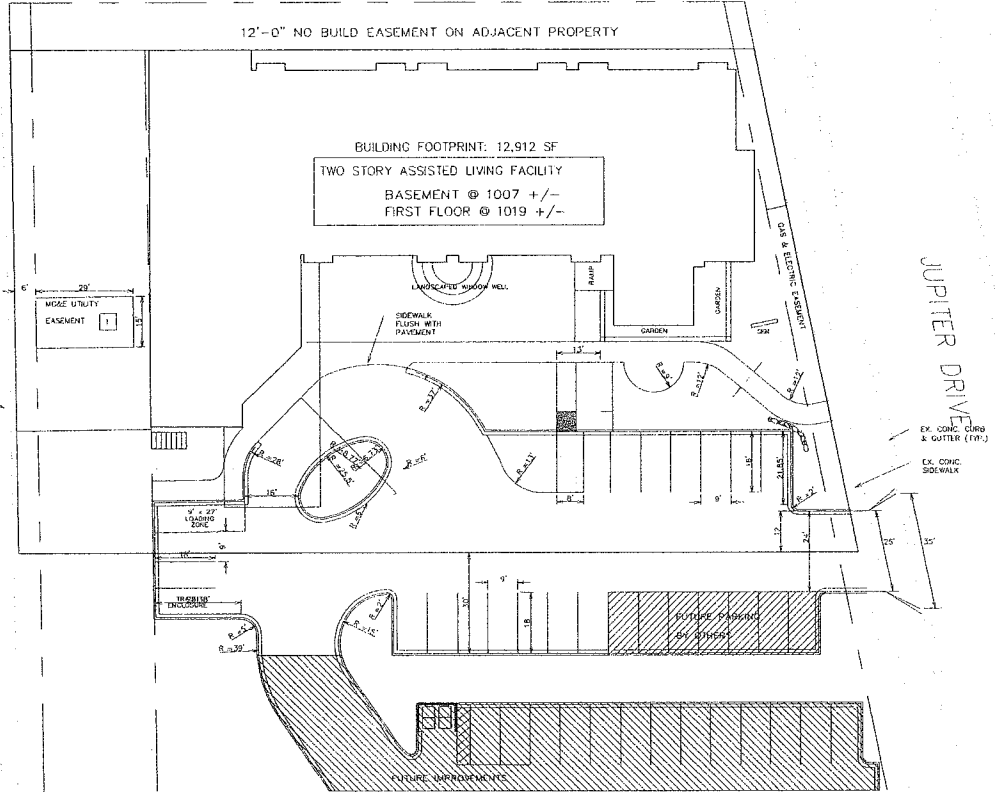


Prepared by: [Signature]
Checked by: [Signature]
Reviewed by: [Signature]
Date: 03-05-12

COTTAGE GROVE ROAD

JUPITER DRIVE

SITE PLAN
SCALE : 1" = 20'-0"



SITE PLAN
846 JUPITER DRIVE
CHAMOMILE ASSISTED LIVING

Part of Lot 459, C. View Commons, Recorded in Vol. 58-005A of Plats on the NW1/4 of Section 11, T7N, R10E, City of Madison.

D'ONOFF, KOTTKE
AND ASSOCIATES, INC.
7530 WESTWARD WAY
MADISON, WISCONSIN 53717
TEL: 608-833-1088
FAX: 608-833-1088

Sheet No.
C-2



DATE: 06-10-03
 REV: 10-21-03
 SCALE: 1" = 20'
 FN: 03-05-123

UTILITY CONSTRUCTION NOTES

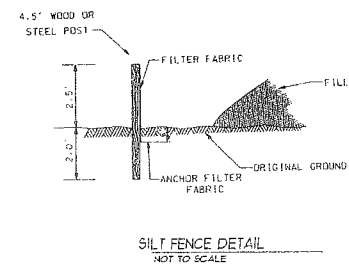
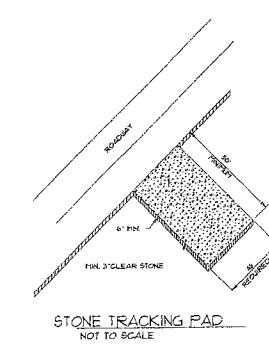
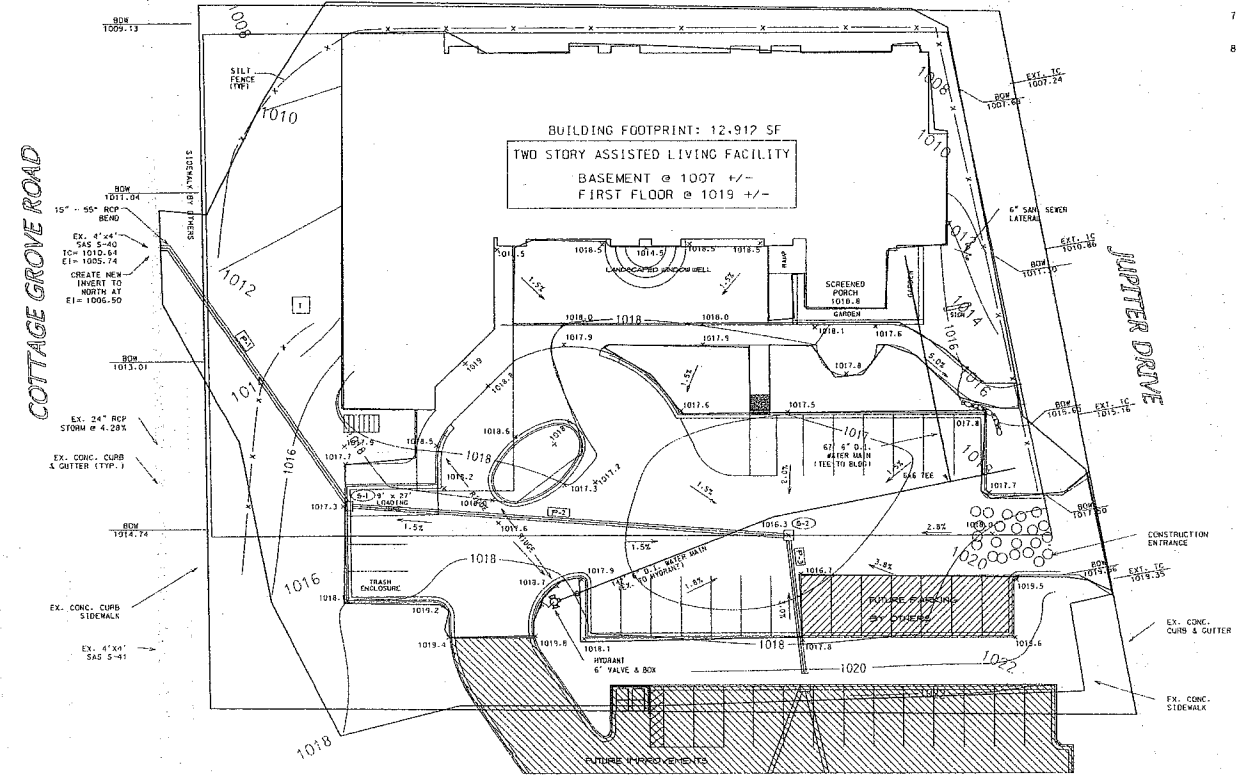
- All site utilities shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
- Sanitary sewer & water laterals shall be marked with a 4" x 4" hardwood post.
- Erosion control measures must be installed as shown on the grading and erosion control plan prior to any construction.
- Water service shall be installed with a minimum of 6.5 feet of cover from finish grade.
- Site Utility Contractor shall notify the City of Madison a minimum of 24 hours in prior to making connections to the water main, and storm sewer.
- Contractor shall remove and replace any curb and gutter and patch pavement in full accordance with the City of Madison Standard Specifications.
- The Contractor shall make himself familiar with existing utilities in the area and be responsible for their protection during construction.
- Structures S-2 and S-3 shall include an inlet filter system. This inlet filter system shall be the Catch-All HR, with overflow as furnished by Marwood Manufacturing Co. or approved equal. After installation, the Contractor shall inspect each inlet bag every 2 weeks or after a rainfall of 1 inch or more and clean bags as necessary. At the completion of construction, the contractor shall inspect each bag and either clean or replace the bags as necessary.

EROSION CONTROL NOTES

- All site grading and erosion control shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
- Stone tracking pad shall be installed at the commencement of construction. Stone tracking pad shall be a minimum of 30 feet wide, 50 feet long and 1 foot thick, constructed with a minimum of 3" clear stone. Entrance shall be maintained in a condition which will prevent tracking of mud onto public right-of-way.
- Silt fence shall be installed at the start of site grading and maintained until the site has been stabilized.
- Hay bale inlet filters shall be installed as soon as storm structures are set and maintained until bituminous pavement is installed.
- Area disturbed within any street right-of-way shall be restored with seed, fertilizer, mulch or in accordance with an approved landscape plan.
- Disturbed areas outside the street right-of-way shall be restored with seed, fertilizer, mulch or in accordance with an approved landscape plan.
- Public streets shall be cleaned daily as necessary.
- Erosion control shall be the responsibility of the Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum measures that will be acceptable.
- The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
- All slopes 4:1 or greater shall have North American Green S75 Erosion Matting or approved equal.

LEGEND

| | |
|--|---------------------------------------|
| | BOUNDARY MARKER |
| | WATER MAIN |
| | GAS MAIN |
| | UNDERGROUND ELECTRIC |
| | STORM SEWER |
| | TELEPHONE PEDESTAL |
| | INLET |
| | CATCH BASIN |
| | POWER POLE |
| | HYDRANT |
| | VALVE |
| | BOX |
| | EXISTING CONC. CURB |
| | PROPOSED 18" WIDE CONC. CURB & GUTTER |
| | PROPOSED 6" STANDARD CONC. & GUTTER |
| | PROPOSED STORM SEWER |
| | PROPOSED 6" DI WATER SERVICE |
| | SILT FENCE |



PIPE SCHEDULE

| PIPE NO. | DESCRIPTION | COMMENTS |
|----------|----------------------------------|-------------|
| P-1 | 97'-15" RCP STORM SEWER @ 4.02% | |
| P-2 | 120'-15" RCP STORM SEWER @ 1.50% | |
| P-3 | 40'-15" RCP STORM SEWER @ 4.0% | STUB & PLUG |

STRUCTURE SCHEDULE

| STRUCT. NO. | RIM OR INVERT | DEPTH | TYPE | NEARBY ELEVATION |
|-------------|---------------|------------|---------|------------------|
| S-1 | 1017.30 | 1012.50 N | 2' x 4' | W-2007-1 |
| S-2 | 1016.30 | 1012.40 SW | 2' x 4' | W-2007-1 |
| S-3 | 1012.55 S | 1012.55 N | 3' x 3' | P-1879-ARC |

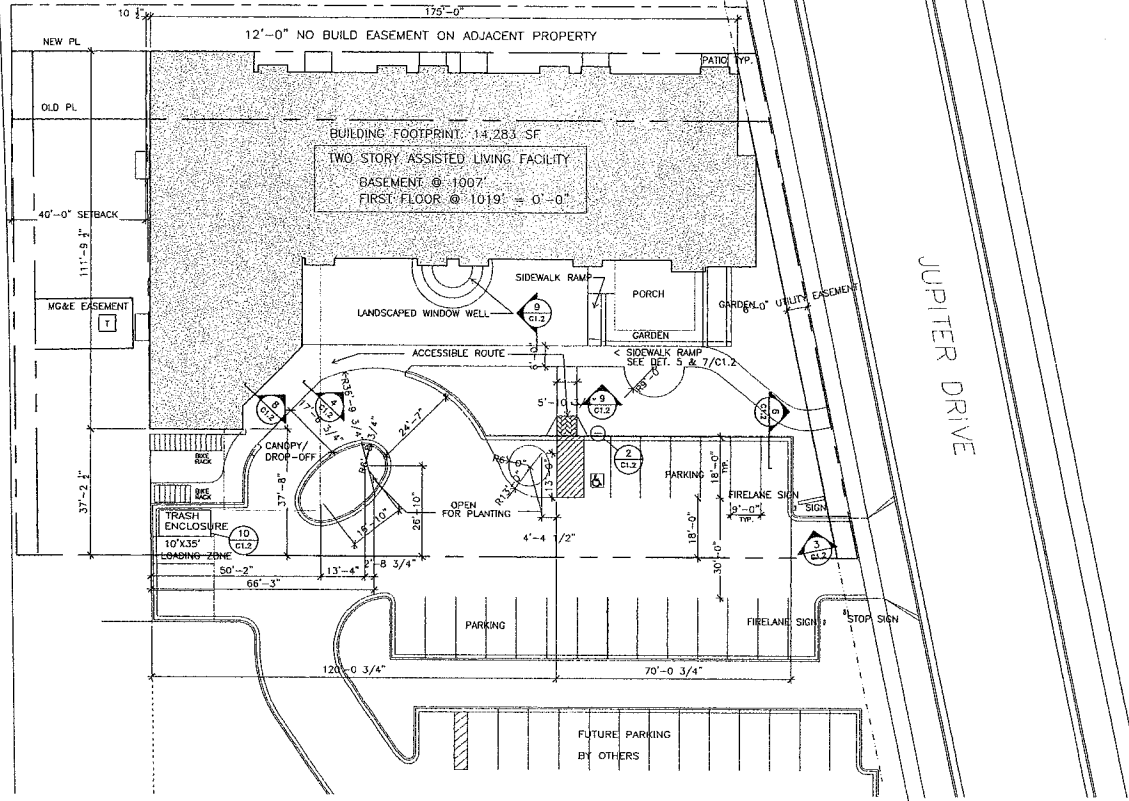
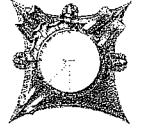
GRADING / UTILITY / EROSION PLAN

SCALE : 1" = 20'-0"

SITE GRADING, EROSION CONTROL AND UTILITY PLAN
 846 JUPITER DRIVE
 CHAMOMILE ASSISTED LIVING
 Part of Lot 19, Grandview Commons, Recorded in Vol. 58-005A of Plats on Page 1 through 33, City of Madison, Wis.
 Located in 1/4 of the NW1/4 of Section 11, T7N, R10E, City of Madison, Wis.

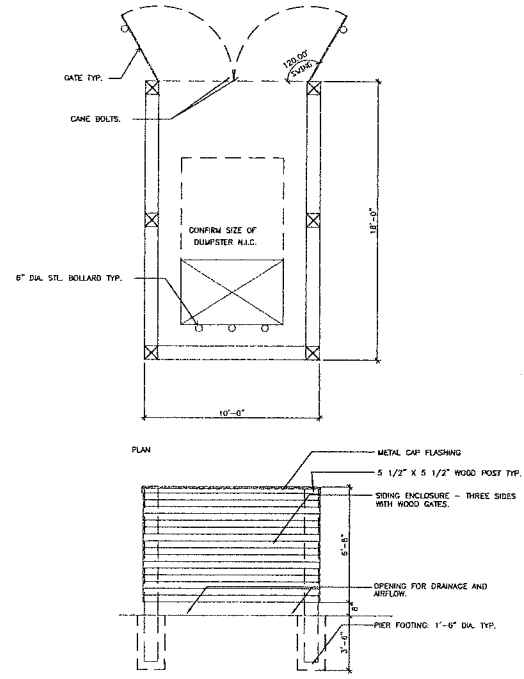
D'ONOFRIO, KOTTKE
 AND ASSOCIATES, INC.
 2525 WESTWIND WAY
 MADISON, WISCONSIN 53717
 TEL: 608-833-7530
 FAX: 608-833-1089

Sheet No.
C-3



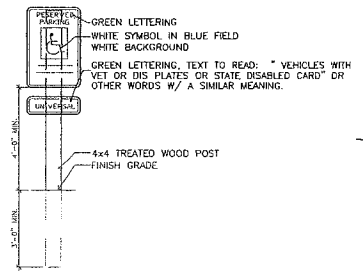
COTTAGE GROVE ROAD

JUPITER DRIVE

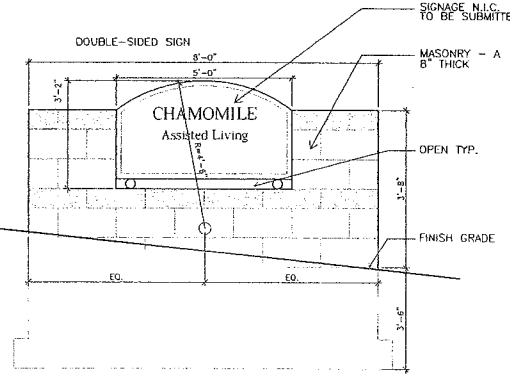


10 TRASH ENCLOSURE DETAILS
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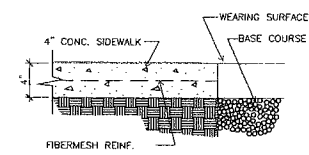
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1/4"=20'-0"



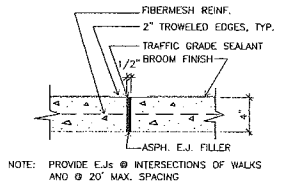
2 PARKING SIGN DETAIL
NO SCALE



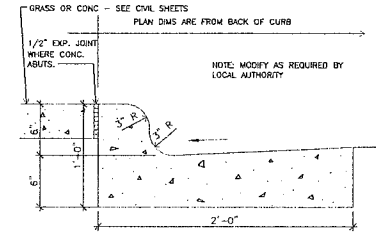
3 BUSINESS SIGN DETAIL
NO SCALE



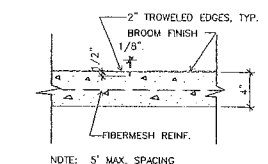
4 SITE DETAIL
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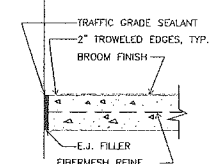
5 SITE DETAIL
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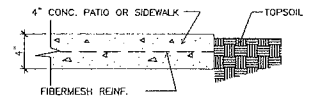
6 CURB DETAIL
NO SCALE



7 SITE DETAIL
NO SCALE



8 SITE DETAIL
NO SCALE



9 SITE DETAIL
NO SCALE

The user shall maintain the use of a site plan and site plan details for the life of the project and shall be responsible for any changes to the site plan and site plan details. The user shall be responsible for any changes to the site plan and site plan details. The user shall be responsible for any changes to the site plan and site plan details.

CHAMOMILE ASSITED LIVING

PUD/SIP

Project
Proj. No: C

SITE PLAN

Sheet Title

Scale: NOTED

Drawn By: FRR

Date: 10.06.03

Rev. Date:

Rev. Date:

Rev. Date:

Rev. Date:

Rev. Date:

Sheet No:

the bruce company
OF WISCONSIN, INC.

**LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS**

2830 W. BELTLINE HWY
P.O. BOX 620330
MIDDLETON, WI 53562-0330

TEL (608) 836-7041
FAX (608) 831-4236



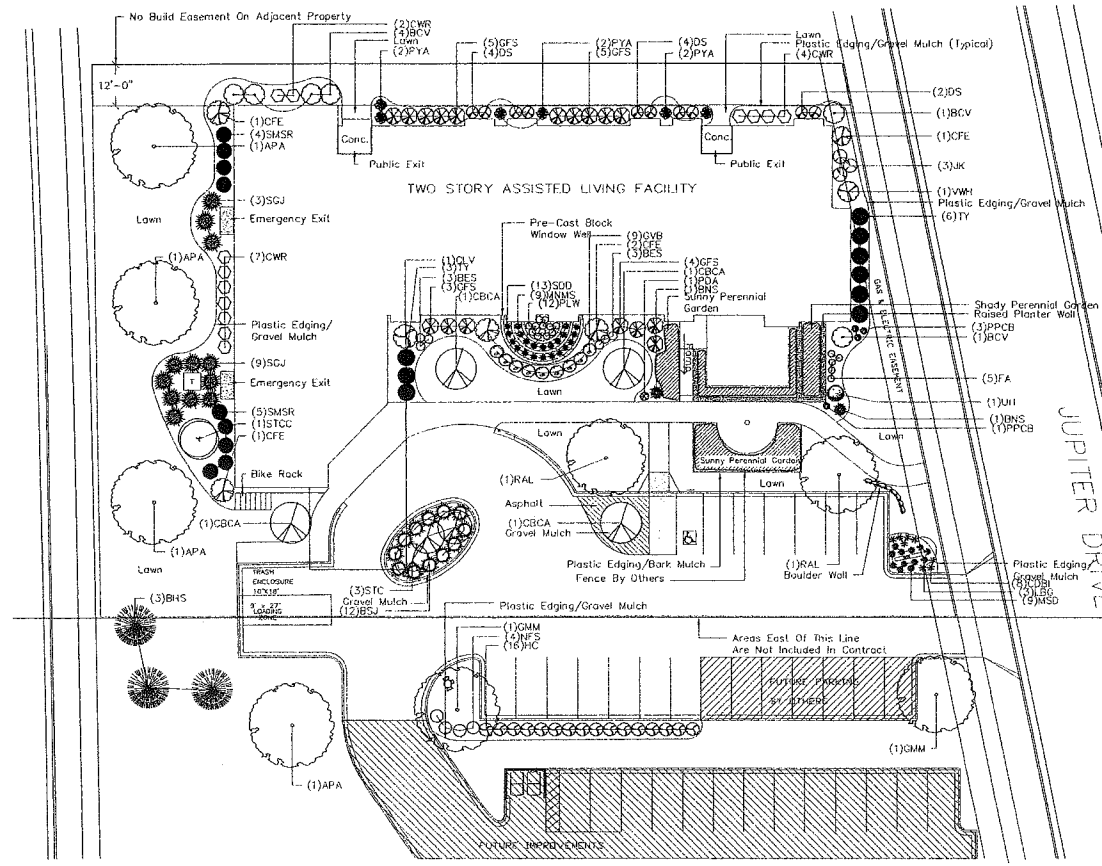
DATE: 07-03-03
07-29-03
08-25-03

SCALE: 1" = 20'
20'

19 through 33,
County Wisconsin

COTTAGE GROVE ROAD

JUPITER DRIVE



POINTS SCHEDULE

LANDSCAPE POINTS REQUIREMENTS

| | |
|---------------------------------------|----|
| NUMBER OF PARKING STALLS | 14 |
| NUMBER OF 2" MIN. CAL. TREES REQUIRED | 11 |
| NUMBER OF LANDSCAPE POINTS REQUIRED | 84 |

SOLUTION

| | | |
|---------------------|--|------------|
| 2 | CANOPY TREES (2"-2 1/2") @ 75 PTS. | 150 |
| | CANOPY TREES OR SMALL ORNAMENTAL TREES (1 1/2"-2") @ 30 PTS. | |
| 20 | DECIDUOUS SHRUBS @ 3 PTS. | 60 |
| | EVERGREEN SHRUBS @ 5 PTS. | |
| 3 | EVERGREEN TREES (3" H1) @ 30 PTS. | 90 |
| | DECORATIVE WALL OR FENCE @ 10 PTS. (PER 10 LF.) | |
| | EARTH BERM (PER 10 LF.) | |
| | AVERAGE HEIGHT - 30" @ 10 PTS. | |
| | AVERAGE HEIGHT - 15" @ 5 PTS. | |
| TOTAL POINTS | | 300 |

GENERAL NOTES

- A) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive bark rings (and bark beds) consisting of a mixture of hardwood shredded bark mulch spread to a minimum 3" depth (3" wide beds for shrub groupings).
- B) "Plastic Edging" to be Valley View Black Diamond Edging or equivalent.
- C) Areas labeled "Gravel Mulch" to receive 1-1/2" washed gravel spread to a 3" depth over fabric weed barrier.
- D) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- E) Areas labeled "Seed" shall receive a mixture of the following types:
40% Palmer Ryegrass
20% Baron Bluegrass
20% Nourse Bluegrass
20% Pasture Creeping Red Fescue

Plant Material List

| Quantity | Code Name | Common Name | Planting Size | Quantity | Code Name | Common Name | Planting Size |
|----------------------------|-----------|------------------------------------|---------------|------------------|-----------|-----------------------------|---------------|
| Broadleaf Deciduous | | | | | | | |
| 4 | APA | Autumn Purple White Ash | 2" B&B | 2 | BNS | Bird's Nest Spruce | 5 GAL. CONT. |
| 4 | CBCA | Coralburst Crabapple (std) | 1 3/4" B&B | 3 | BHS | Black Hills Spruce | 4" B&B |
| 2 | GMA | Green Mountain Sugar Maple | 2" B&B | 12 | BSJ | Blue Sargent Juniper | 5" GAL. CONT. |
| 2 | RAL | Redmond Amer Linden | 2" B&B | 6 | PYA | Pyramidal Arborvitae | 5" B&B |
| 3 | STC | Sargent Crabapple (10) | 2" B&B | 12 | SGJ | Sea Green Juniper | 2 GAL. CONT. |
| 1 | STCC | Sargent Crabapple (dp) | 5" B&B | 9 | TY | Taunton Yew | 18" B&B |
| Shrub | | | | | | | |
| 6 | BCV | Boiley Compact Amer Crnby Viburnum | 24" B&B | Perennial | | | |
| 13 | CVR | Carefree Wnnder Rose | 2 GAL. CONT. | 6 | SES | Black-eyed Susan | 1 GAL. CONT. |
| 5 | CFE | Chicago Fire Winged Euonymus | 30" B&B | 5 | FA | Fanshi Astilbe | 1 GAL. CONT. |
| 1 | CLV | Chicago Lustre Arnd Viburnum | 3" POT | 6 | CDI | Cyan Dwarf Bearded Iris | 1 GAL. CONT. |
| 10 | DS | Daphne Spirea | 2 GAL. CONT. | 3 | LBC | Little Bunny Fountain Grass | 1 GAL. CONT. |
| 17 | GFS | Gaulthier Spirea | 18" POT | 9 | MMMS | May Night Sage | 1 GAL. CONT. |
| 9 | GVB | Green Velvet Boxwood | 5 GAL. CONT. | 9 | MSD | Mini Stella Daylily | 1 GAL. CONT. |
| 16 | HC | Hedge Cotoneaster | 3" POT | 4 | PPCB | Purple Coral Bells | 1 GAL. CONT. |
| 3 | JK | Japanese Kerria | 18" POT | 1 | PDA | Purple Dome Aster | 1 GAL. CONT. |
| 4 | NFS | Neon Flash Spirea | 18" POT | 12 | PLW | Purpleleaf Wintercreeper | 1 GAL. CONT. |
| 9 | SMSR | Scarlet Meidland Rose | 2 GAL. CONT. | 13 | SDD | Stella De Oro Daylily | 1 GAL. CONT. |
| 1 | UH | Unique Hydrangea | 24" POT | | | | |
| 1 | VWH | Vernal Witchhazel | 3" B&B | | | | |

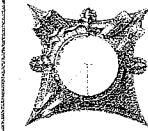
LANDSCAPE PLAN
SCALE: 1" = 20'-0"

LANDSCAPE PLAN
846 JUPITER DRIVE
CHAMOMILE ASSISTED LIVING

D'ONOFRIO, KOTKIE
AND ASSOCIATES, INC.
7630 WESTWARD HWY
MADISON, WISCONSIN 53717
TEL: 608-433-7530
FAX: 608-833-1089

View Commons, Recorded in Vol. 58-005A of Plats on
the NW 1/4 of Section 11, T7N, R10E, City of Madison,
Part of Lot 459, 19 through 33, County Wisconsin

**Sheet No.
C-5**



PLAN NOTES

- NOTE THAT THE DRAWING IS AN ENGINEERING SCALE AND HAS BEEN ROTATED 00-67-42° TO BE ORTHOGRAPHIC.
- BUILDING SIGN LIT WITH GROUND FLOODLIGHT

LIGHTING SCHEDULE

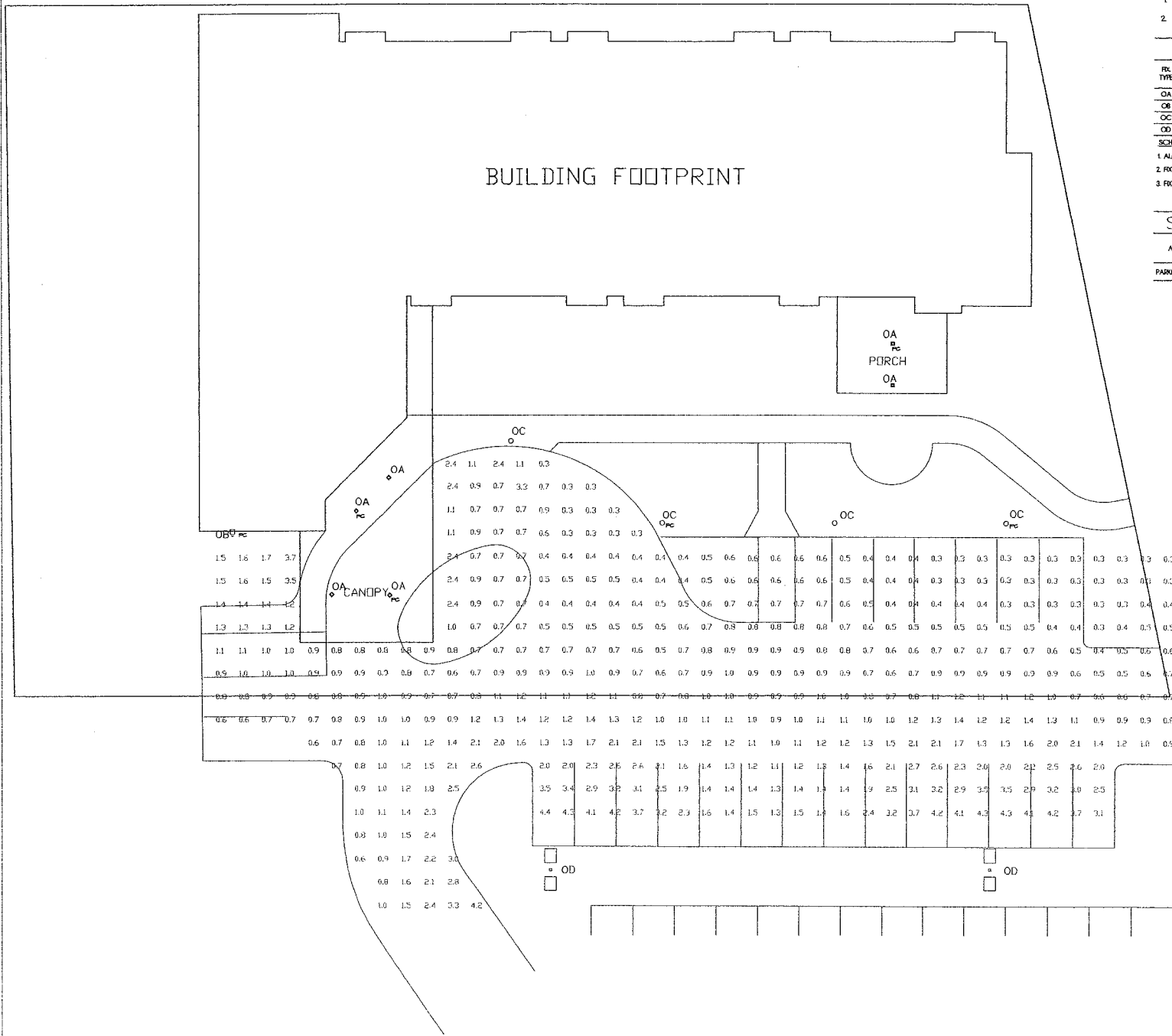
| FX. TYPE | MFG. | CATALOG NO. | DESCRIPTION | LAMPS | |
|----------|--------|--------------------|-------------------------|-------|-------|
| | | | | NO. | TYPE |
| OA | CAPI | CBM470-RMADDBLK | RECESSED DOWNLIGHT | 1 | 70W. |
| OB | GARDCO | 10H-WT-70MMH-02-RP | CUT-OFF WALLPACK | 1 | 70W. |
| OC | EMCO | BSH-L-70MH | 8"X42" SQUARE BOLLARD | 1 | 70W. |
| OD | GARDCO | G-B-2-4M-250MMHS | SHARP CUT-OFF, 20' POLE | 1 | 250W. |

SCHEDULE NOTES

- ALL LAMPS ARE METAL HALIDE.
- FIXTURES MARKED PC ARE PHOTOCELL ON/OFF, ALL OTHERS ARE PHOTOCELL ON/TIME/LOCK OFF.
- FIXTURE TYPE '00' BY OTHERS.

STATISTICS

| AREA | AVG. | MAX. | MIN. | AVG./MIN. |
|-------------|-------|-------|--------|-----------|
| PARKING LOT | 13 ft | 49 ft | 0.3 ft | 451 |



NOT SCALE
THIS DRAWING IS THE PROPERTY OF ISTMUS ARCHITECTURE, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF ISTMUS ARCHITECTURE, INC. IS STRICTLY PROHIBITED.

CHAMOMILE ASSITED LIVING

PUD/SIP

Project

Proj. No.:

LIGHTING PLAN

Sheet Title

Scale: 1/4" = 1'-0"

Drawn By: ME

Date: 10.06.03

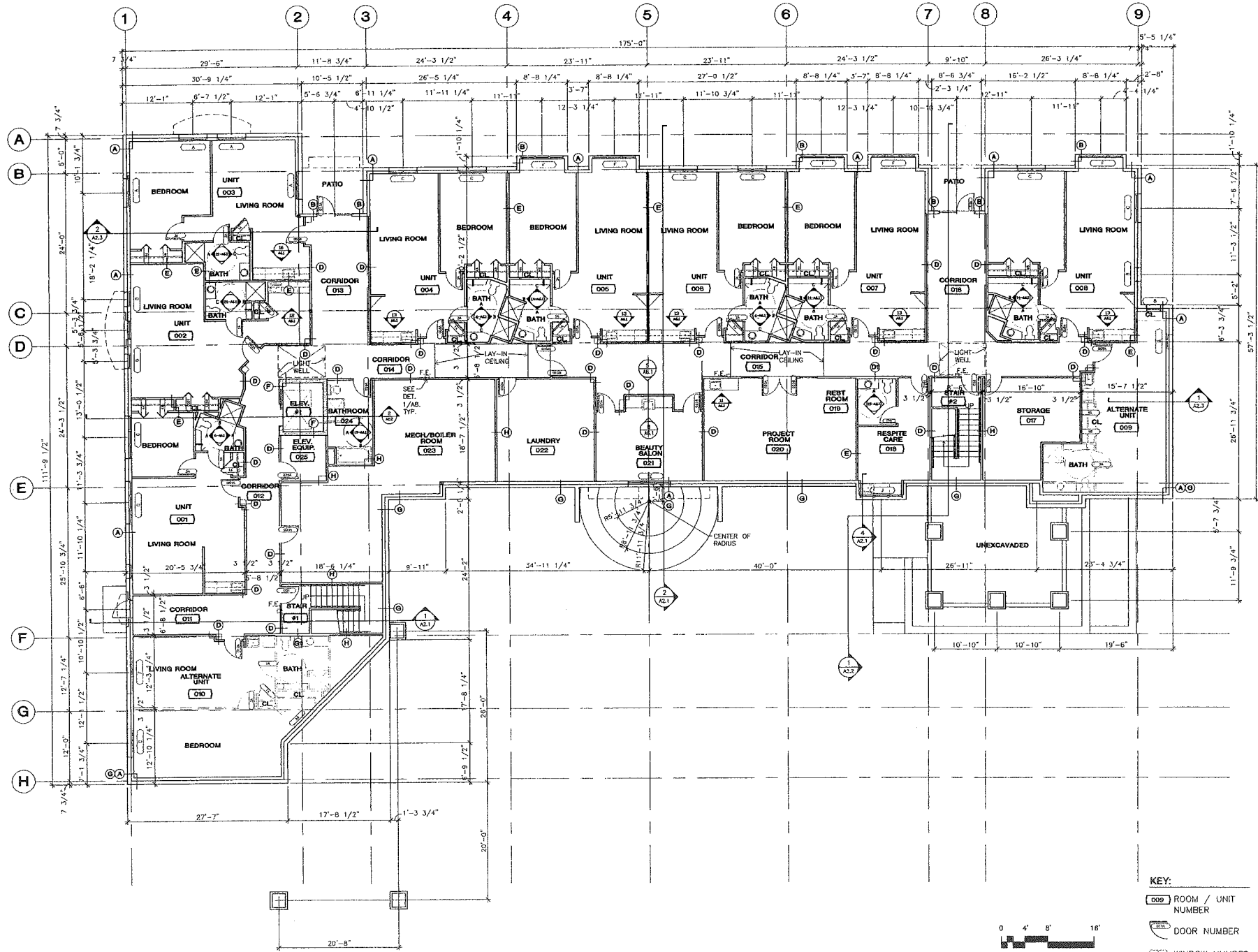
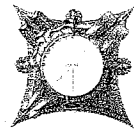
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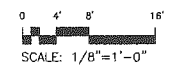
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1 TERRACE LEVEL FLOOR PLAN
1/8"=1'-0"



- KEY:**
- 000 ROOM / UNIT NUMBER
 - 1 DOOR NUMBER
 - A WINDOW NUMBER
 - W WALL TYPE

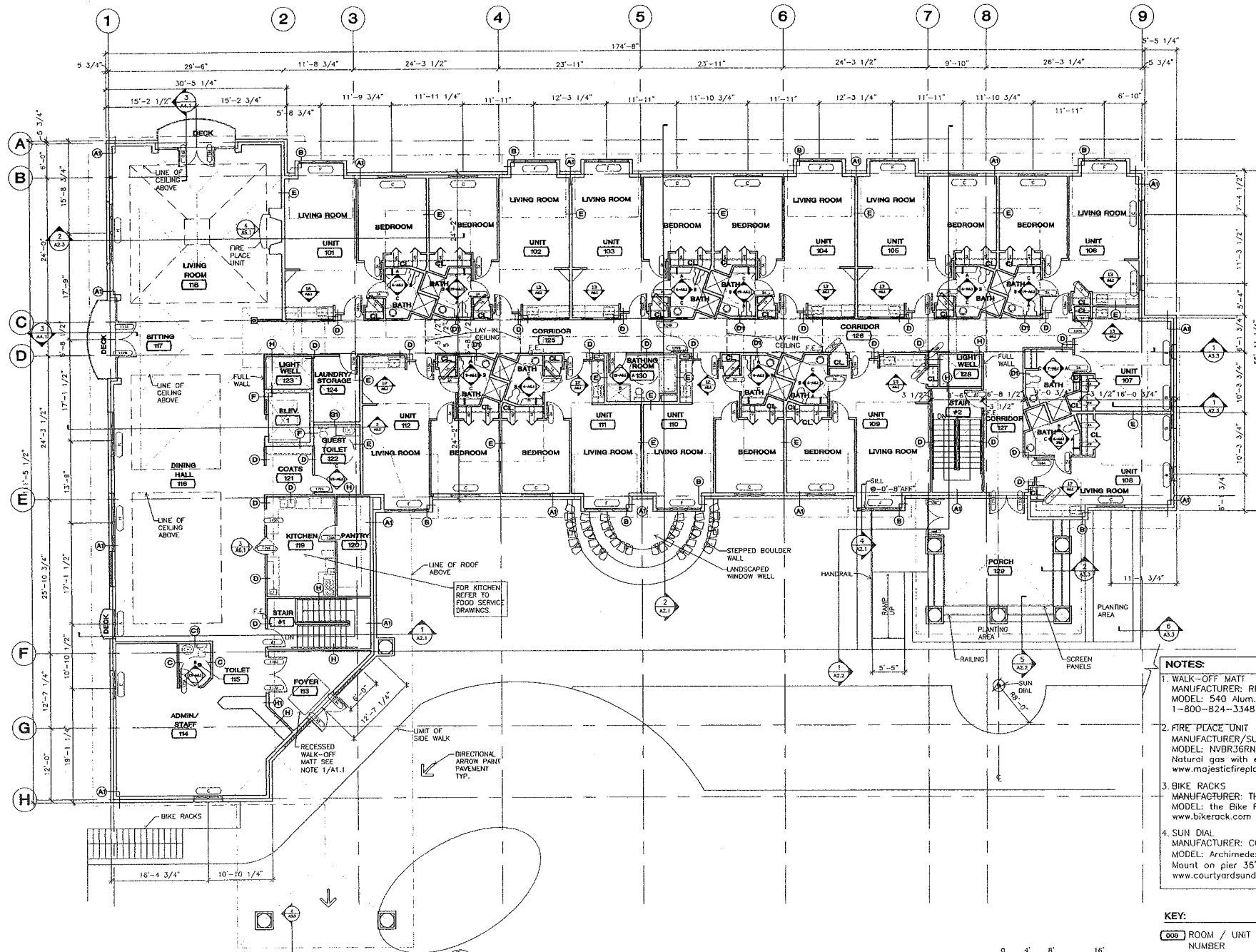
This work was prepared by us or under our direct supervision and to the best of our knowledge and belief it conforms with all applicable codes and regulations. We are not responsible for any errors or omissions in this drawing. The user of this drawing is advised to verify all dimensions and conditions before construction.

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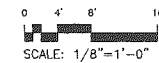
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TERRACE LEVEL FLOOR PLAN

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| Scale: | NOTED |
| Drawn By: | |
| Date: | 10.06.03 |
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1 MAIN LEVEL FLOOR PLAN
1/8"=1'-0"



NOTES:

1. WALK-OFF MATT
MANUFACTURER: REESE CO.
MODEL: 540 Alum. recessed frame
1-800-824-3348
2. FIRE PLACE UNIT
MANUFACTURER/SUPPLIER: MAJESTIC
MODEL: NVBR36RN
Natural gas with electric starter
www.majesticfireplaces.com
3. BIKE RACKS
MANUFACTURER: THEBIKE RACK
MODEL: the Bike Rib series III
www.bikerack.com
4. SUN DIAL
MANUFACTURER: COURTYARD SUNDIALS
MODEL: Archimedes 17"
Mount on pier 36" above side walk
www.courtyardsundials.com

KEY:

- ROOM / UNIT NUMBER
- DOOR NUMBER
- WINDOW NUMBER
- WALL TYPE

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MAIN FLOOR PLAN

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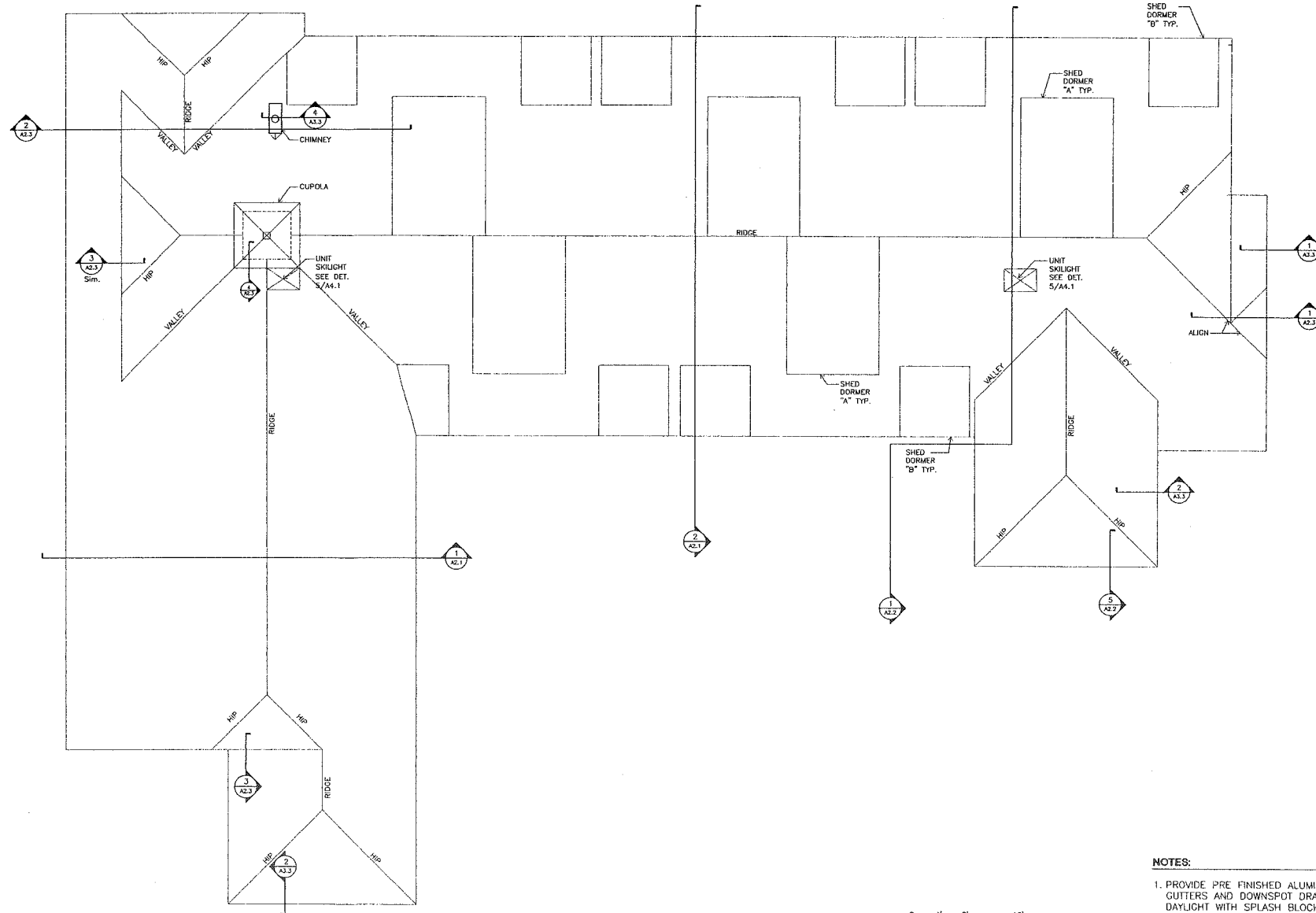
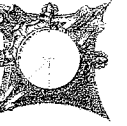
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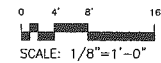
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1 ROOF PLAN
1/8"=1'-0"



- NOTES:**
1. PROVIDE PRE FINISHED ALUMINUM GUTTERS AND DOWNSPOT DRAIN TO DAYLIGHT WITH SPLASH BLOCKS TYPICAL
 2. TYPICAL ROOFING: ASPHALT SHINGLES
 3. PROVIDE RIDGE VENTS, CONTINUOUS ALL RIDGES

This work was prepared by us or our employees under the supervision of the professional seal of the architect. We warrant that the work was prepared in accordance with the professional standards of the architectural profession and the laws of the State of Wisconsin. We do not warrant that the work was prepared in accordance with the laws of any other state or country.

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ROOF PLAN

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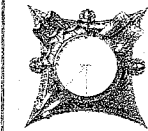
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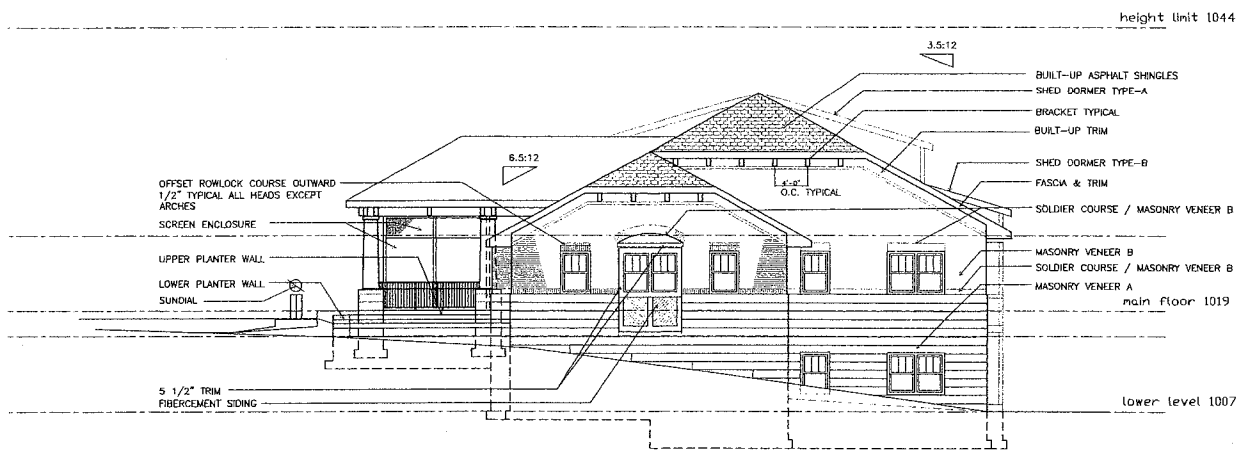


EXTERIOR FINISHES

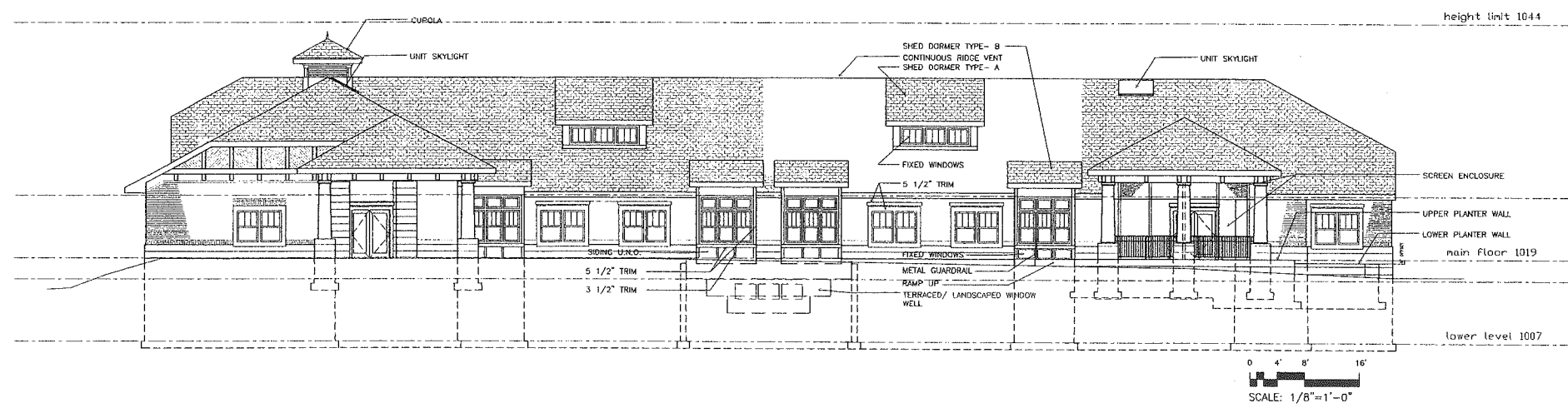
SHINGLES: ELK THREE-TAR ARCHITECTURAL; COLOR: WEATHEREDWOOD.
 MASONRY VENEER A: CMU BURNISHED PREMIER BLOCK CORP.; COLOR: WARM STONE; PRICE GROUP A. 12"x24"x 4" SIZE.
 MASONRY VENEER B: MODULAR BRICK 4". INTERSTATE BRICK. COLOR: COPPERSTONE.
 SIDING AT GABLES: CERTAINTED WEATHERBOARDS FIBERCEMENT SIDING; CEDAR 8" GROOVE; COLOR: SHERWIN WILLIAMS SW 0010 WICKERWORK.
 SIDING AT WINDOWS: CERTAINTED WEATHER BOARDS OR HARDPLANK; SMOOTH TEXTURE. COLOR: SHERWIN WILLIAMS SW 0010 WICKER WORK.
 FLASHING & TRIM: ROLLEX; COLOR: EVENING GRAY.
 VINYL WINDOWS: WEATHER SHIELD; BOYSENBERRY.
 RAILINGS: SUPERIOR ALUM. PRODUCTS; COLOR: LIGHT BRONZE.
 DOOR AND WINDOW TRIM: COLOR: SHERWIN WILLIAMS SW6054 CANYON CLAY TYPICAL.

NOTES:

1. PROVIDE AND INSTALL ALUM. PREFINISHED OGEE GUTTERS AND DOWNSPOUTS IN COLOR TO MATCH FASCIA.
2. GUTTER AND FASCIA NOT INDICATED FOR DRAWING CLARITY.
3. WINDOW TRIM TYPICAL PREFINISHED 1X4 MIN.



1 NORTH ELEVATION
1/8"=1'-0"



2 EAST ELEVATION
1/8"=1'-0"

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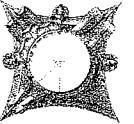
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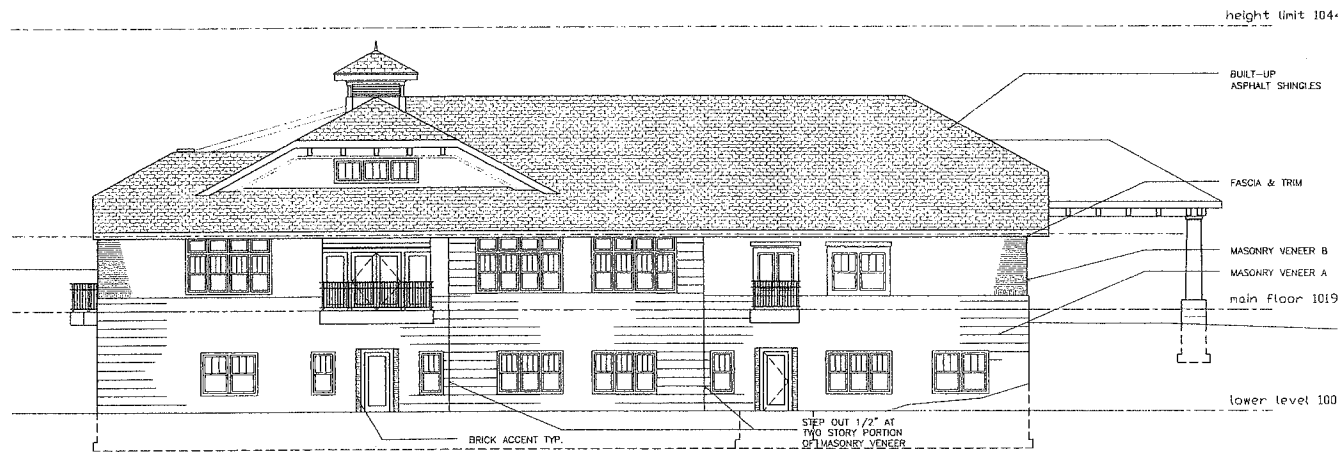
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ISTHMUS
ARCHITECTURE, INC.

613 Williamson Street
Suite 203
Madison, WI 53703
Phone: 608.294.0206
Fax: 608.294.0207



1 WEST ELEVATION
1/8"=1'-0"



2 SOUTH ELEVATION
1/8"=1'-0"

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EXTERIOR ELEVATIONS

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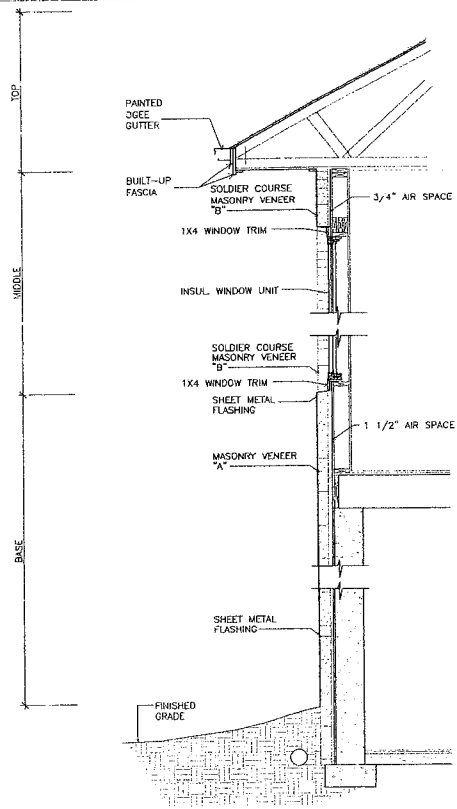
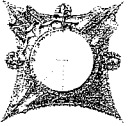
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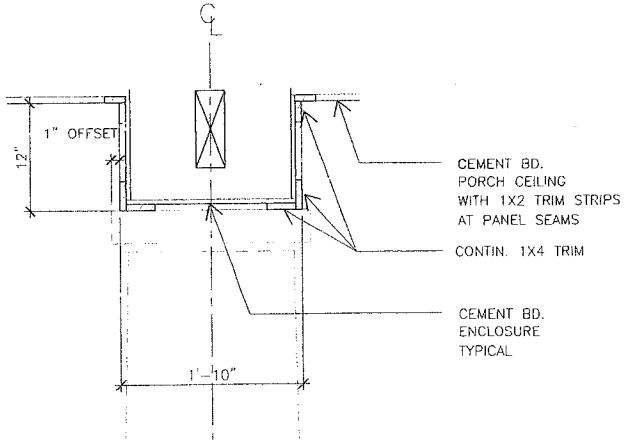
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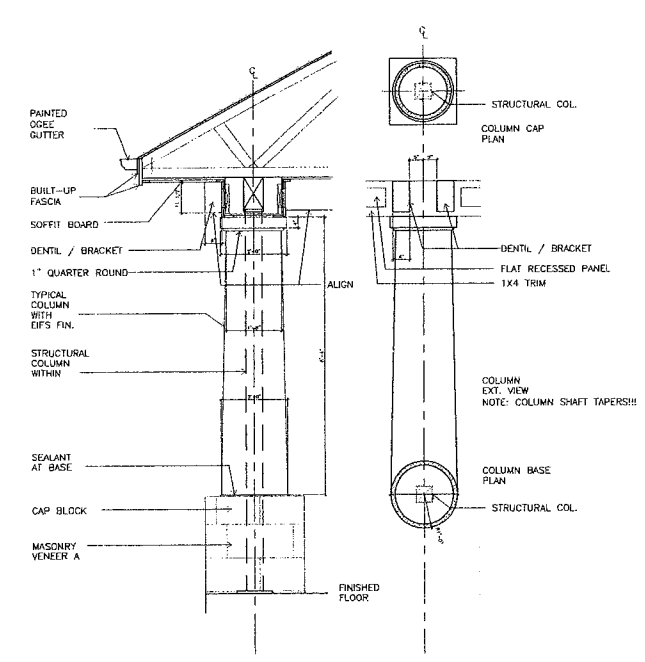


NOTE: 1 INCH OFFSET BETWEEN MASONRY A & MASONRY B.
NOTE: ALL TRIM TO BE CELLULAR PVC - PAINTED TYPICAL.

1 WALL SECTION
1/2"-0"

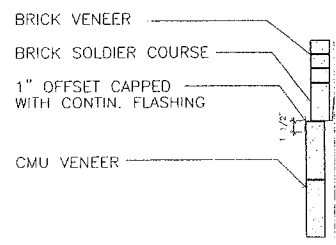


3 BULKHEAD DETAIL @ COLS.
1 1/2"-0"

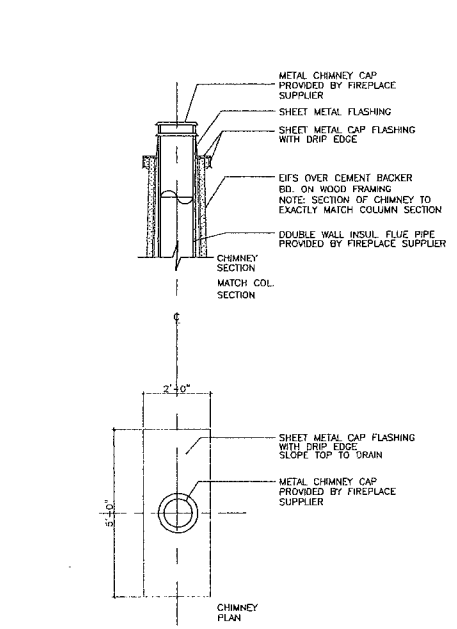


NOTE: ALL EIFS COLUMNS TO HAVE ROUGH SAND TEXTURE FINISH
NOTE: ALL TRIM TO BE CELLULAR PVC - PAINTED TYPICAL.

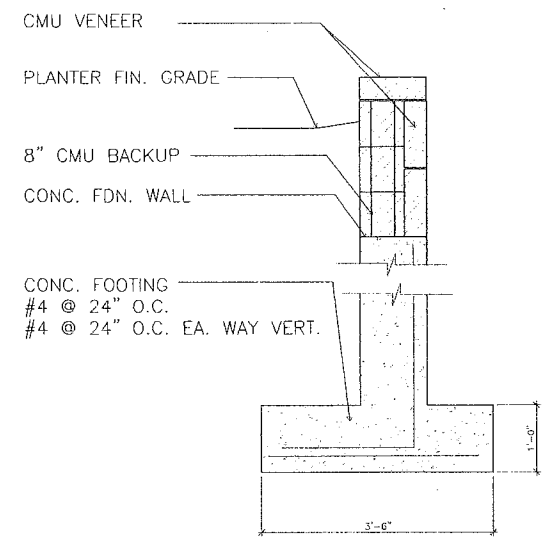
2 COLUMN DETAIL @ PORCH & PORTE COCHERE
1/2"-0"



5 MASONRY DETAIL
NO SCALE



4 CHIMNEY DETAIL
1 1/2"-0"



6 PLANTER WALL DETAIL
1/2"-0"

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DETAILS

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