

# MANSFIELD HALL

## 233 LANGDON STREET MADISON, WI

### PROJECT DATA

**LOCATION:**  
233 LANGDON ST  
MADISON, WI

**REGULATING MUNICIPALITIES:**  
CITY OF MADISON  
DANE COUNTY  
STATE OF WISCONSIN

**BUILDING CODE:**  
MADISON DEVELOPMENT PLAN  
CITY OF MADISON ZONING ORDINANCES  
DANE COUNTY ZONING ORDINANCES  
WISCONSIN ADMINISTRATIVE CODE  
2015 INTERNATIONAL BUILDING CODE  
ACCESSIBILITY ANSI A117.1 - 2009

**PROJECT DESCRIPTION:**  
EXISTING BUILDING REMODEL CONSISTING OF:  
3 STORIES OF R-2 OCCUPANCY AND OFFICES

**OCCUPANCY TYPE:**  
PRIMARY: R-4  
SECONDARY: B/ BUSINESS

**CONSTRUCTION TYPE:**  
VB

**ALLOWABLE BUILDING AREA & HEIGHT:**  
EXISTING TO REMAIN

**ACTUAL BUILDING AREA & HEIGHT:**  
HEIGHT ABOVE GRADE PLANE = 50 FEET  
STORIES ABOVE GRADE PLANE = 3 STORIES  
FIRST FLOOR AREA = 3,870 SF  
SECOND FLOOR AREA = 3,300 SF  
THIRD FLOOR AREA = 3,300 SF  
BASEMENT AREA = 3,250 SF  
TOTAL = 13,520 SF

**AREA AND LEVEL OF ALTERATION:**  
AREA OF ALTERATION = 11,881 SF  
PERCENTAGE OF TOTAL BUILDING AREA = 88 %  
LEVEL OF ALTERATION = LEVEL 3

**NUMBER OF OCCUPANTS (TABLE 1004.1.2):**  
R-4 OCCUPANCY / SECOND AND THIRD FLOOR = 8,701 SF/ 200 GROSS = 44 OCC  
B OCCUPANCY FIRST FLOOR AND BASEMENT = 4,819 SF/ 100 GROSS = 49 OCC  
TOTAL OCCUPANTS = 93 OCC

**PLUMBING:**

CLASSIFICATION	OCCUPANCY	SPACE DESCRIPTION	LOAD	WATER CLOSETS		LAVATORIES		SINKS	FOUNTAINS	SERVICE SINK
				MALE	FEMALE	MALE	FEMALE			
OFFICE	1	Building for the construction of business and professional services including professional offices, architectural, engineering, and similar offices	45	0.08	0.08	-	0.01	0.01	-	0.01
RETAIL	2	Building for the sale of merchandise, goods, or services	45	0.08	0.08	0.01	0.01	0.01	0.01	0.01
<b>SUBTOTAL</b>				90	0.16	0.16	0.02	0.02	0.02	0.02
<b>REQUIRED BY CODE</b>				90	0.16	0.16	0.02	0.02	0.02	0.02
<b>ADDITIONAL REQUIRED BY CODE</b>				0	0	0	0	0	0	0
<b>TOTAL REQUIRED</b>				90	0.16	0.16	0.02	0.02	0.02	0.02

ALL FIXTURES TO COMPLY WITH ICC A117.1

**FIRE CONTROL:**  
FULLY SPRINKLERED BUILDING: NFPA 13  
PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906.3.1)  
HAZARD TYPE = LOW  
MAXIMUM AREA = 10 SF PER "A"  
MAXIMUM DISTANCE (TYPE A) = 125 FEET  
EXTINGUISHER RATING = 2-A  
NUMBER REQUIRED AT ABOVE RATING = 15

**EXITS:**  
EXIT(S) REQUIRED TO MEET EXITING DISTANCES = 2  
EXIT(S) PROVIDED TO MEET DISTANCES = 3

PER IBC SECTION 1009 THE EXCEPTION OF MIN 60% OF PUBLIC EXTERIOR DOORS TO BE ON ACCESSIBLE ROUTE IS NOT REQUIRED AS THIS IS AN EXISTING BUILDING AND ALL EXITS HAVE BEEN MAINTAINED PER ORIGINAL BUILDING DESIGN

**ACCESSIBILITY:**  
FOLLOW IBC 2015 AND ANSI 117.1 (2009)

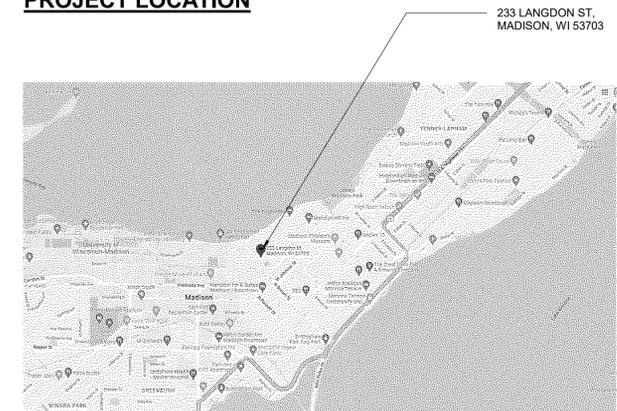
### PROJECT GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEP AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION (MEP & FP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH.
- ALL EXPOSED WOOD AND/OR WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY IEC.
- PROVIDE FIRE BLOCKING AND DRAFTSTOPPING THROUGHOUT BUILDING PER IBC CHAPTER 7.
- SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- IN SOME CASES THE SELECTION OF SPECIFIC ACCESSORIES, HARDWARE, MATERIALS OR FINISHES MAY NOT BE AVAILABLE AT ISSUANCE OF THESE DRAWINGS. THESE INSTANCES ARE INDICATED WITH "TBD", OR "TO BE DETERMINED". IN THESE SITUATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE ALLOWANCES TO COVER THE MATERIAL AND INSTALLATION FOR THAT ELEMENT, BASED ON THE BEST INFORMATION PROVIDED. IF NO INFORMATION IS PROVIDED, ASSUME A MID-RANGE PRODUCT COST TO SATISFY THE INTENT OF THE PROJECT. THE CONTRACTOR SHALL CLEARLY STATE IN THEIR BID PROPOSAL WHAT THE ALLOWANCE VALUE AND UNIT PRICE IS, LISTED SEPARATELY FOR EACH ITEM.
- IF THE CONTRACTOR ELECTS TO NOT PROVIDE A PRICE FOR ANY ELEMENT CONTAINED IN THESE DOCUMENTS, FOR WHATEVER REASON, THE CONTRACTOR SHALL CLEARLY INDICATE THIS EXCLUSION IN THEIR BID PROPOSAL. IF NO EXCLUSION IS MADE, IT IS THE CONTRACTUAL OBLIGATION OF THE CONTRACTOR TO PROVIDE THE ELEMENT IN ACCORDANCE WITH THE GENERAL INTENT OF THE DRAWINGS.
- IN THE EVENT OF CONTRADICTION OF DOCUMENTS, SPECIFICATIONS SHALL TAKE PRECEDENT. IF A CONTRADICTION REMAINS, OR IF THE SPECIFICATION DOES NOT CLARIFY, THEN THE CONTRACTOR SHALL ASSUME THE MOST EXPENSIVE OF THE MATERIALS AND INSTALLATION WHEN COMPARING THE CONTRADICTIONARY ITEMS.

### SHEET INDEX

SHEET NUMBER	SHEET NAME	REVISIONS	
		MARK	DATE
<b>GENERAL</b>			
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<b>ARCHITECTURAL GENERAL</b>			
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A002	INTERIOR PARTITION TYPES		
<b>ARCHITECTURAL DEMOLITION</b>			
AD100	DEMOLITION BASEMENT FLOOR PLAN		
AD101	DEMOLITION FIRST FLOOR PLAN		
AD102	DEMOLITION SECOND FLOOR PLAN		
AD103	DEMOLITION THIRD FLOOR PLAN		
<b>ARCHITECTURAL SITE</b>			
AS101	ARCHITECTURAL SITE PLAN		
<b>ARCHITECTURAL</b>			
A100	BASEMENT FLOOR PLAN		
A101	FIRST FLOOR PLAN		
A102	SECOND FLOOR PLAN		
A103	THIRD FLOOR PLAN		
A104	REFLECTED CEILING PLAN		
A301	BUILDING SECTIONS		
A601	DOOR AND WINDOW SCHEDULES		
<b>ARCHITECTURAL INTERIORS</b>			
AI101	FINISH PLAN - BASEMENT		
AI102	FINISH PLAN - FIRST LEVEL		
AI103	FINISH PLAN - SECOND LEVEL		
AI104	FINISH PLAN - THIRD LEVEL		
AI105	FURNITURE PLAN - BASEMENT		
AI106	FURNITURE PLAN - FIRST LEVEL		
AI107	FURNITURE PLAN - SECOND LEVEL		
AI108	FURNITURE PLAN - THIRD LEVEL		
AI601	INTERIOR SCHEDULES		

### PROJECT LOCATION



### BUILDING LOCATION



**MANSFIELD HALL**  
TENANT IMPROVEMENT  
233 LANGDON STREET  
MADISON, WI

### Project Status

2023.05.12 PRELIMINARY PRICING SET

PROJ. #: 21028-01

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**COVER SHEET**

**G001**

**PRELIMINARY**

### PROJECT CONTACTS:

**OWNER:**  
NORTH BRANCH HOLDINGS, LLC  
141 N LOCUST ST  
OCONOMOWOC, WI 53066

**ARCHITECT:**  
SKETCHWORKS ARCHITECTURE, LLC  
2501 PARMENTER STREET, SUITE 100B  
MIDDLETON, WI 53562

**GENERAL CONTRACTOR:**  
NATIONAL CONSTRUCTION  
701 E WASHINGTON AVE, #103  
MADISON, WI 53703

**CONTACT:**  
SEAN LAROQUE  
(OWNER/CONTACT)  
(PHONE NUMBER)

**CONTACT:**  
STEVE SHULFER (ARCHITECT)  
CHARLIE MCCALL (PM / CONTACT)  
608-836-7570

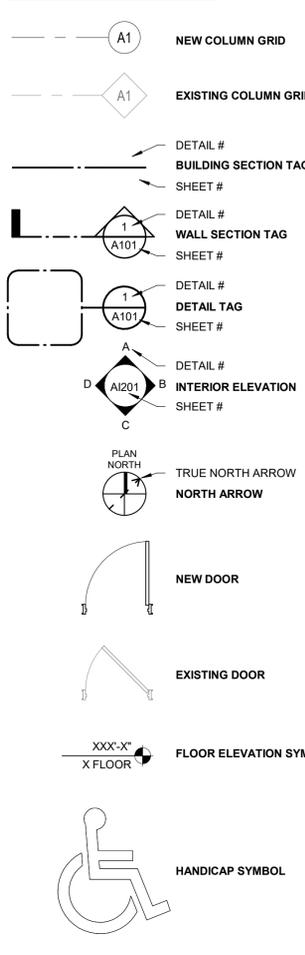
**CONTACT:**  
BERNIE LANG (PD MANAGER)  
608-230-7378

COMMON ABBREVIATIONS:

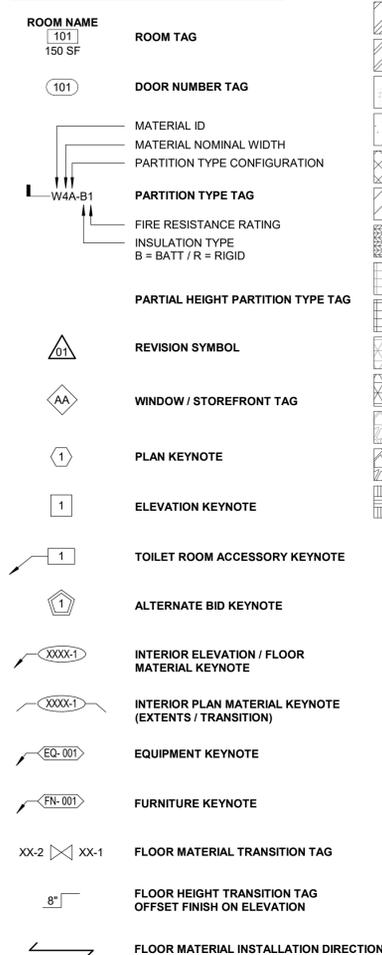
NOTE: ANY ABBREVIATIONS APPEARING IN THESE DOCUMENTS WHICH ARE NOT LISTED BELOW SHALL BE VERIFIED AND CONFIRMED WITH THE ARCHITECT PRIOR TO CONSTRUCTION

Table of abbreviations including AB (Anchor Bolt), ACT (Acoustical Ceiling Tile), ADA (Americans with Disabilities Act), etc.

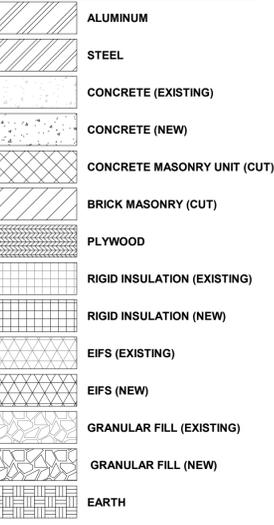
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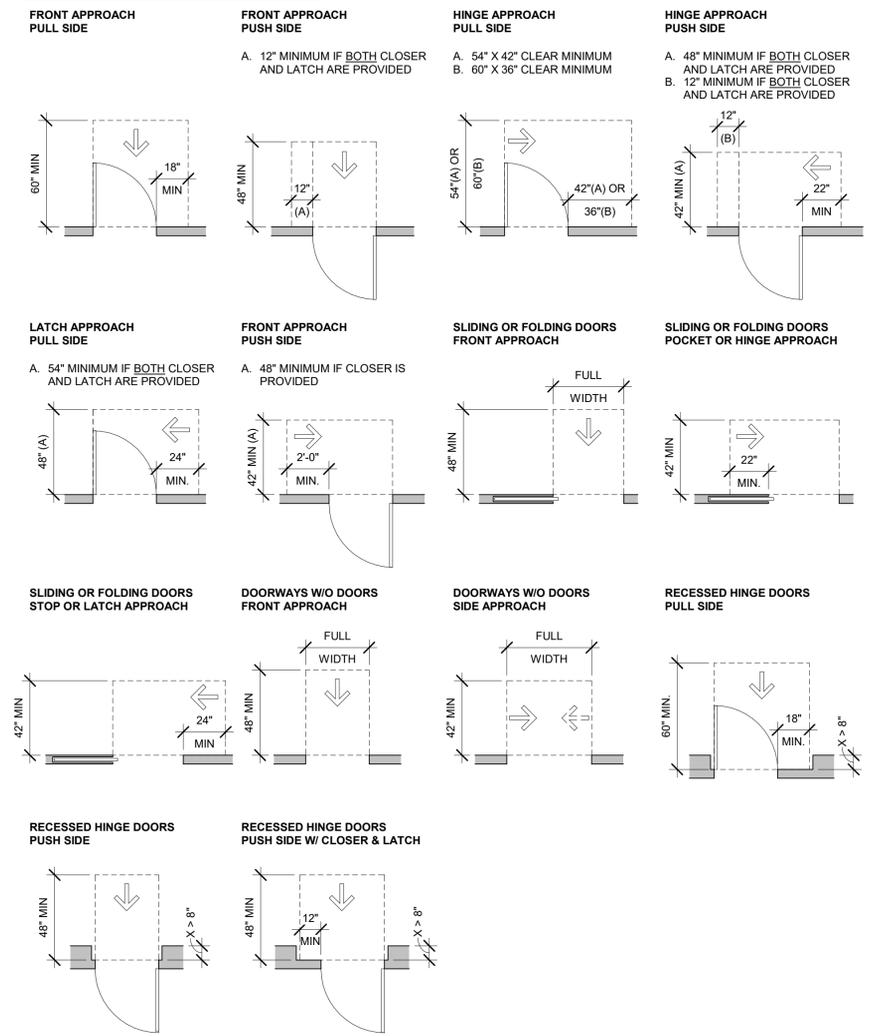
ARCHITECTURAL TAGS & KEYNOTES:



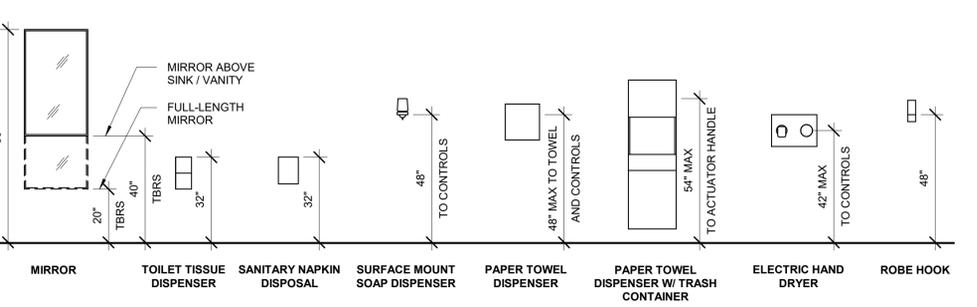
ARCHITECTURAL HATCH PATTERNS:



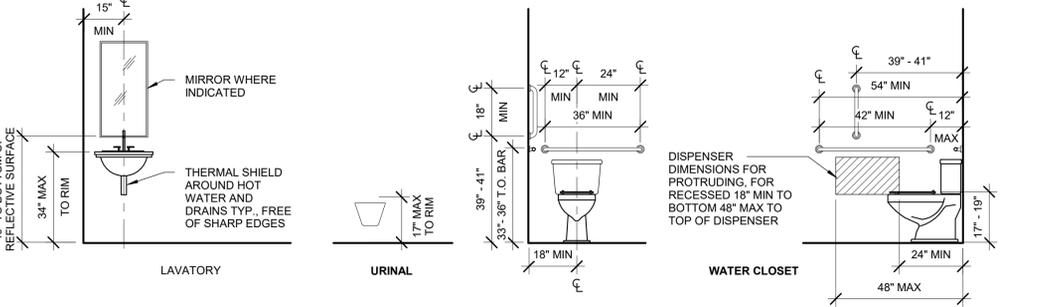
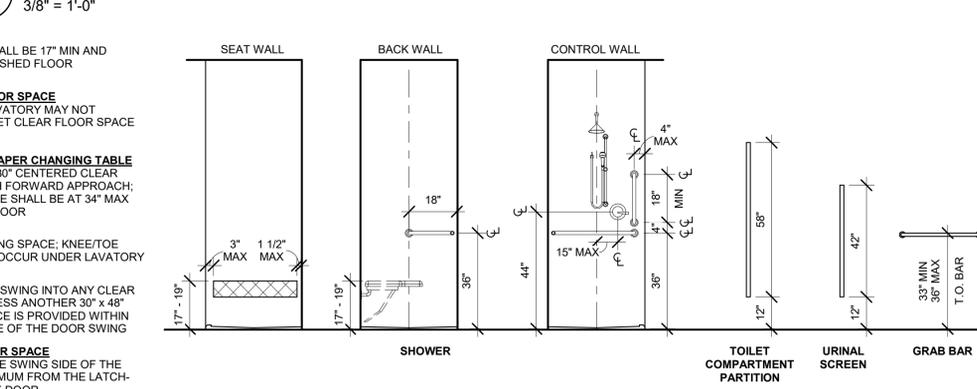
MANEUVERING CLEARANCES AT DOORS:



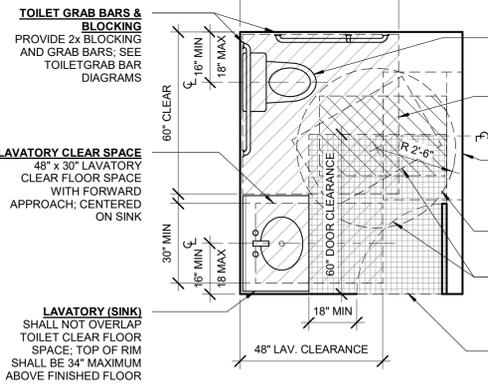
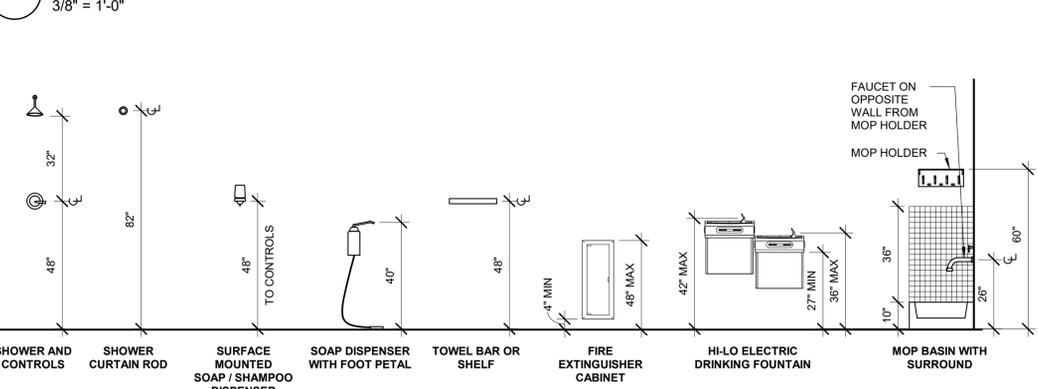
NOTE: THE INFORMATION ON THIS SHEET IS FOR ILLUSTRATIVE PURPOSES AND TO PROVIDE EASE OF ACCESS TO INFORMATION FOR THE GC AND SUB-CONTRACTORS. IT IS THE RESPONSIBILITY OF THE GC AND SUB-CONTRACTORS TO BE KNOWLEDGEABLE OF THE FAIR HOUSING ACT GUIDELINES (FFHAG), THE AMERICANS WITH DISABILITIES ACT GUIDELINES (ADAAG), AND THE AMERICAN NATIONAL STANDARDS INSTITUTE GUIDELINES (ANSI A117.1) TO EXECUTE THEIR WORK IN COMPLIANCE WITH THESE GUIDELINES.



COMMERCIAL TOILET ROOM ACCESSORY MOUNTING HEIGHTS



COMMERCIAL TOILET ROOM FIXTURES



SINGLE STALL RESTROOM CLEARANCES



COMMERCIAL PLUMBING FIXTURE AND ACCESSORY MOUNTING HEIGHTS



Project Status table with columns for date and status (Preliminary Pricing Set).

PROJ. #: 21028-01 © SKETCHWORKS ARCHITECTURE 2022

SYMBOLS & ABBREVIATIONS





**GENERAL DEMOLITION  
PLAN NOTES:**

- A. SALVAGE AND TURN OVER TO OWNER ALL EXISTING LIGHT FIXTURES, DOORS, FRAMES, EQUIPMENT, CASEWORK, CEILING TILES AND GRIDS, AND HARDWARE FOR REUSE WHERE APPLICABLE AND AS COORDINATED WITH OWNER.
- B. REMOVE ALL "DASHED" WALLS (DEMOLISHED) FROM FLOOR TO DECK. WHERE EXISTING MECHANICAL, PLUMBING, ELECTRICAL OR DATA CONNECTIONS ARE ABANDONED DUE TO DEMOLITION WORK OR REMOVAL OF FIXTURES AND ACCESSORIES, CAP EXISTING CONNECTIONS AS REQUIRED PER CODE OR PROVIDE CONNECTOR FOR NEW FIXTURE AND ACCESSORIES WHERE APPLICABLE.
- C. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED, WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION. INCLUDING EXISTING AIR/ VAPOR BARRIERS AND THERMAL ENVELOPE DESIGN.
- D. AREAS OF CONCEALED EXISTING BUILDING STRUCTURE TO BE EXPOSED AND EXAMINED DURING DEMOLITION TO VERIFY PROPOSED STRUCTURAL MODIFICATIONS ARE SUFFICIENT. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND ENGINEER TO ALLOW ACCESS FOR VERIFICATION. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER, AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- E. PATCH AND REPAIR ADJACENT WALLS AND FLOOR SURFACES TO PROVIDE A UNIFORM FINISH WHERE NECESSARY AT AREAS OF DEMOLITION. LOCATIONS OF REMOVED ACCESSORIES OR HARDWARE, AND ANY NEW OR RELOCATED WALLS. MATCH EXISTING FLOOR FINISHES, WALL FINISHES AND BASE MATERIALS UNLESS OTHERWISE SPECIFIED IN FINISH NOTES, FINISH PLANS, PARTITION TYPES, OR ELSEWHERE ON PLANS.
- F. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- G. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW CONSTRUCTION.
- H. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK, SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- I. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNER'S REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- J. GENERAL CONTRACTOR TO MAINTAIN A CLEAR PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.

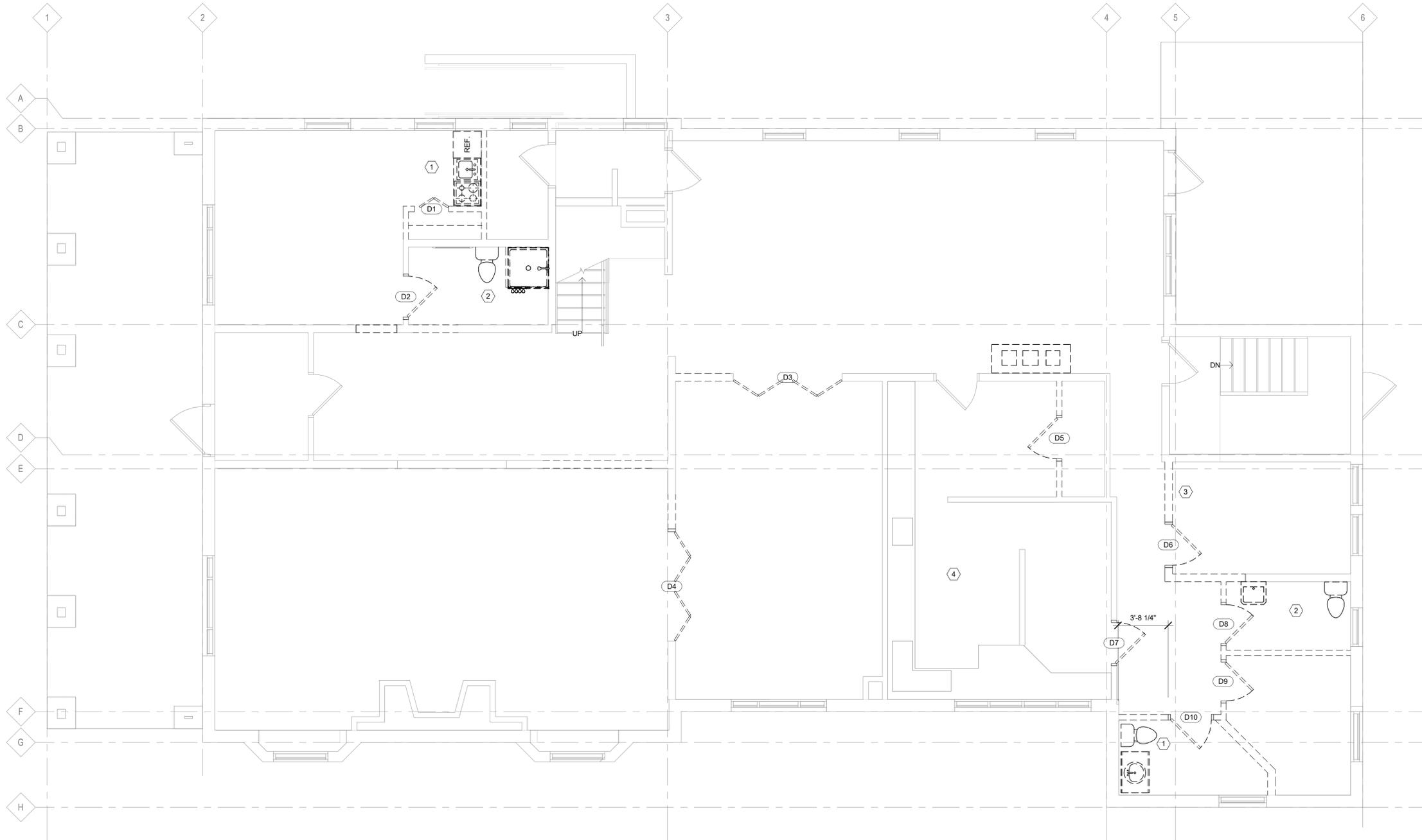
**HATCH PATTERN KEY:**

-  EXISTING CONSTRUCTION
-  DEMO CONSTRUCTION

**# DEMO PLAN KEYNOTES:**

- 1 GC TO SALVAGE WHAT FIXTURES ARE STILL IN WORKING ORDER, TERMINATE ALL MEP RUNS WHEN POSSIBLE TO ELIMINATE EXCESS PIPE AND DUCTWORK.
- 2 GC TO USE EXISTING PLUMBING FOR PROPOSED LAYOUT. SALVAGE FIXTURES WHEN POSSIBLE.
- 3 GC TO CONSULT WITH STRUCTURAL PLANS AT ALL TIMES TO CONFIRM REQUIRED STRUCTURAL ALTERATIONS. GC TO CONFIRM LOCATIONS OF STRUCTURAL MEMBERS PRIOR TO DEMOLITION.
- 4 KITCHEN LAYOUT TO BE CONFIRMED BY GC WITH OWNER, DEMO AS NECESSARY.

D  
C  
B  
A



**MANSFIELD HALL**  
TENANT IMPROVEMENT  
233 LANGDON STREET  
MADISON, WI

**Project Status**

2023.05.12	PRELIMINARY PRICING SET

PROJ. #: 21028-01

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**DEMOLITION  
FIRST FLOOR  
PLAN**

**AD101**

**A1 FLOOR PLAN - DEMO**  
1/4" = 1'-0"



**PRELIMINARY**

**GENERAL DEMOLITION  
PLAN NOTES:**

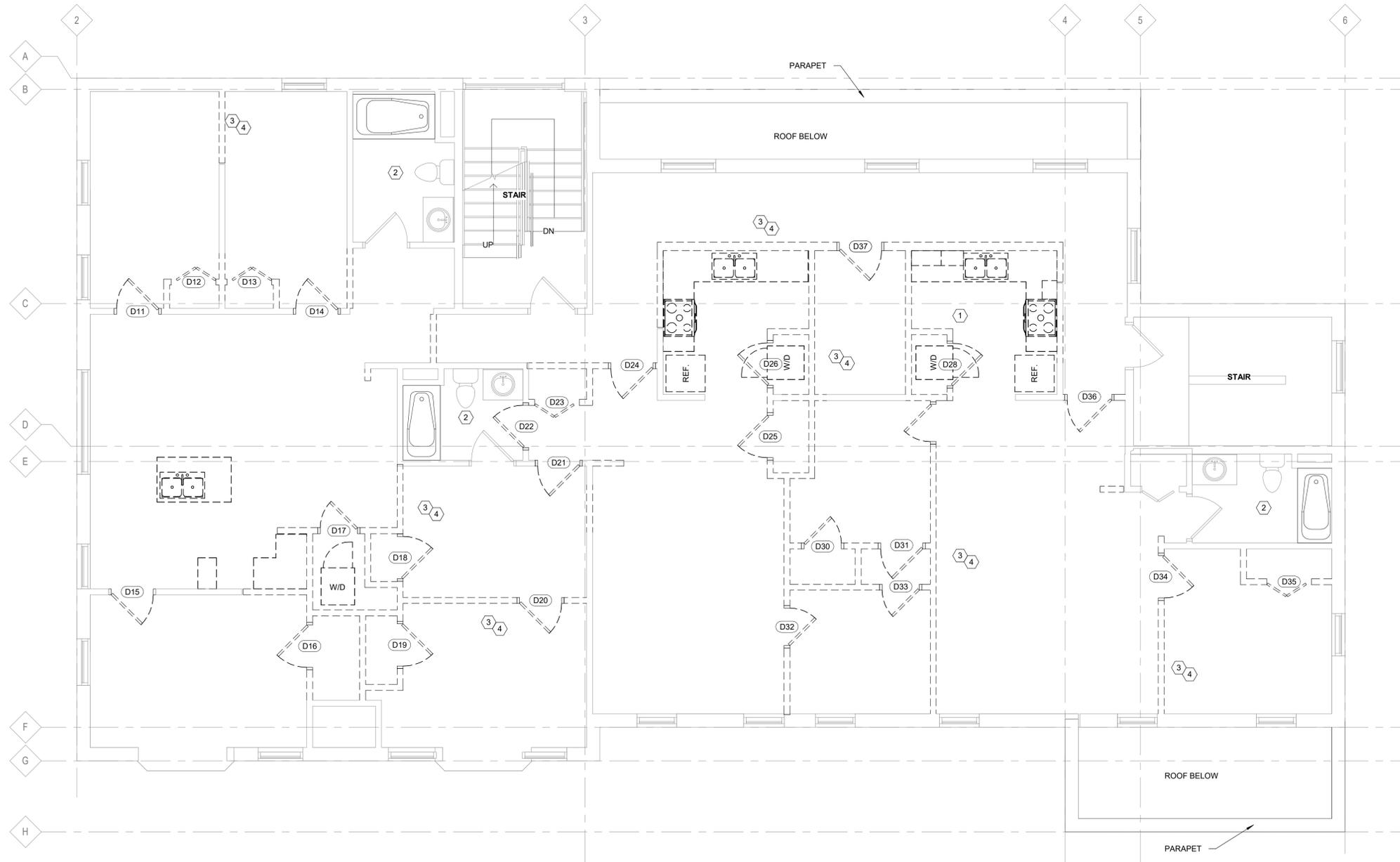
- A. SALVAGE AND TURN OVER TO OWNER ALL EXISTING LIGHT FIXTURES, DOORS, FRAMES, EQUIPMENT, CASEWORK, CEILING TILES AND GRIDS, AND HARDWARE FOR REUSE WHERE APPLICABLE AND AS COORDINATED WITH OWNER.
- B. REMOVE ALL "DASHED" WALLS (DEMOLISHED) FROM FLOOR TO DECK WHERE EXISTING MECHANICAL, PLUMBING, ELECTRICAL OR DATA CONNECTIONS ARE ABANDONED DUE TO DEMOLITION WORK OR REMOVAL OF FIXTURES AND ACCESSORIES. CAP EXISTING CONNECTIONS AS REQUIRED PER CODE OR PROVIDE CONNECTOR FOR NEW FIXTURE AND ACCESSORIES WHERE APPLICABLE.
- C. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED, WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION. INCLUDING EXISTING AIR/ VAPOR BARRIERS AND THERMAL ENVELOPE DESIGN.
- D. AREAS OF CONCEALED EXISTING BUILDING STRUCTURE TO BE EXPOSED AND EXAMINED DURING DEMOLITION TO VERIFY PROPOSED STRUCTURAL MODIFICATIONS ARE SUFFICIENT. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND ENGINEER TO ALLOW ACCESS FOR VERIFICATION. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER, AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- E. PATCH AND REPAIR ADJACENT WALLS AND FLOOR SURFACES TO PROVIDE A UNIFORM FINISH WHERE NECESSARY AT AREAS OF DEMOLITION. LOCATIONS OF REMOVED ACCESSORIES OR HARDWARE, AND ANY NEW OR RELOCATED WALLS. MATCH EXISTING FLOOR FINISHES, WALL FINISHES AND BASE MATERIALS UNLESS OTHERWISE SPECIFIED IN FINISH NOTES, FINISH PLANS, PARTITION TYPES, OR ELSEWHERE ON PLANS.
- F. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- G. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW CONSTRUCTION.
- H. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK, SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- I. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNER'S REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- J. GENERAL CONTRACTOR TO MAINTAIN A CLEAR PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.

**HATCH PATTERN KEY:**

-  EXISTING CONSTRUCTION
-  DEMO CONSTRUCTION

**# DEMO PLAN KEYNOTES:**

- 1 GC TO SALVAGE WHAT FIXTURES AND APPLIANCES THAT ARE STILL IN WORKING ORDER, TERMINATE ALL MEP RUNS WHEN POSSIBLE TO ELIMINATE EXCESS PIPE AND DUCTWORK.
- 2 RESTROOM TO REMAIN, ONLY DEMO FINISHES AS REQUIRED TO MATCH PROPOSED.
- 3 GC TO CONSULT WITH STRUCTURAL PLANS AT ALL TIMES TO CONFIRM REQUIRED STRUCTURAL ALTERATIONS.
- 4 gGC TO CONFIRM WHERE STRUCTURAL MEMBERS ARE LOCATED PRIOR TO DEMO.



**MANSFIELD HALL**  
TENANT IMPROVEMENT  
233 LANGDON STREET  
MADISON, WI

**Project Status**

2023.05.12	PRELIMINARY PRICING SET

PROJ. #: 21028-01

© SKETCHWORKS ARCHITECTURE 2022

**DEMOLITION  
SECOND  
FLOOR PLAN**

**AD102**

**A1** SECOND LEVEL PLAN - DEMO  
1/4" = 1'-0"



**PRELIMINARY**













**GENERAL PLAN NOTES:**

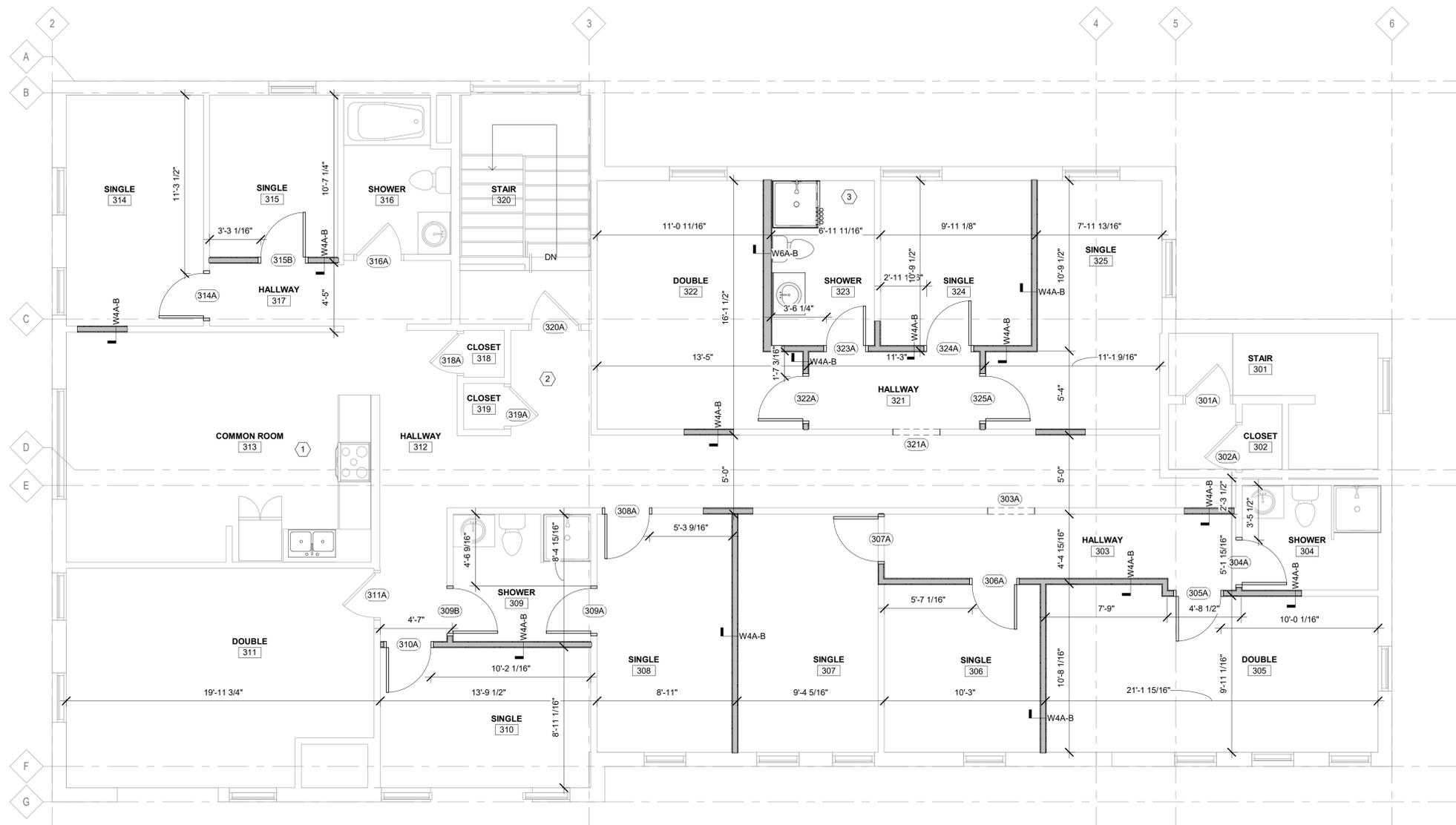
- A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- B. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS, UNLESS NOTED OTHERWISE.
- C. ALL INTERIOR WALLS TO BE **S4-AB** UNLESS NOTED OTHERWISE. ALL WALLS TO RECEIVE INSULATION FOR ACOUSTICAL REASONS. ALL MODIFIED EXISTING WALLS TO RECEIVE THE SAME TREATMENT.
- D. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS.
- E. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A001.
- F. PROVIDE 2x BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009
- G. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- H. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- I. INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- J. ALL DOORS WITH A CLOSE PROXIMITY OF A PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6" FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- K. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- L. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- M. FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- N. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- O. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- P. COORDINATE ALL FINISHES WITH OWNER. ALL FINISHES SHOWN WITHIN ARCHITECTURAL DOCUMENTS ARE TO BE CONSIDERED BASIS OF DESIGN AND FOR BUDGET PURPOSES ONLY.

**HATCH PATTERN KEY:**

-  NEW CONSTRUCTION
-  EXISTING CONSTRUCTION

**# KEYNOTES:**

- 1 SALVAGE AND RE USE EXISTING KITCHEN APPLIANCES WHEN POSSIBLE.
- 2 RE LOCATE EXISTING HVAC RUNS TO NEW MECHANICAL ROOM. MEP TO CONFIRM WHETHER EXISTING UNITS TO BE USED IN NEW SYSTEM/ LAYOUT
- 3 NEW PLUMBING FIXTURES TO TIE INTO EXISTING SUPPLY AND RETURN LINES, MEP'S TO CONFIRM DESIGN OF NEW SYSTEM
- 4 NEW HEARER LIKELY REQUIRED ACROSS HALLWAY



**MANSFIELD HALL**  
 TENANT IMPROVEMENT  
 233 LANGDON STREET  
 MADISON, WI

**Project Status**

2023.05.12	PRELIMINARY PRICING SET

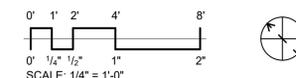
PROJ. #: 21028-01

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**THIRD FLOOR PLAN**

**A103**

**A1** THIRD LEVEL  
1/4" = 1'-0"



**PRELIMINARY**