



March 18, 2015

Mr. Alan Martin
Secretary, Urban Design Commission
Dept. of Planning & Community Development
City of Madison
Madison Municipal Building, Room LL-100
215 Martin Luther King, Jr. Blvd.
Madison, WI 53701-2985

RE: Urban Design Commission Application - INFORMATIONAL PRESENTATION

Dear Mr. Martin:

The information enclosed is being submitted for consideration for Informational Presentation before the Urban Design Commission. I am hopeful to be filing this with sufficient lead time to sit the March 25th meeting.

The following information is included with this submittal:

- SECTION 1 Completed URBAN DESIGN COMMISSION APPLICATION
- SECTION 2 Location map, showing location of property and surrounding areas.
- SECTION 3 Brief Narrative Description of the project.
- SECTION 4 Contextual Site plan information and Landscape Plan.
- SECTION 5 Preliminary building development details, example of elevations, materials.

This project was discussed at the February 12th, Developer's Assistance meeting. AS a result of that meeting and comments received, the site plan has been adjusted since that review. This information has been discussed with Planning Staff and received some initial comments and feedback but we wish to file with UDC to begin the process of full review and approval with this plan as presented.

Woolpert, Inc.
1815 South Meyers Road, Suite 120
Oakbrook Terrace, IL 60181-5226
630.424.9080

Mr. Alan Martin
Secretary, Urban Design Commission
Dept. of Planning & Community Development

February 20, 2015

Page 2

Should you have any questions or require further information at this point, please contact me directly and I will best attempt to gather necessary additional information prior to the meeting date.

I look forward seeing you and presenting this project for consideration at the March 25th, hearing of the Urban Design Commission.

Sincerely,

Woolpert, Inc.

Blair Carmosino
Project Manager

Cc: Jason Hill, Chick-fil-A
Kevin Firchow, Planner, City of Madison
file

Woolpert, Inc.
1815 South Meyers Road, Suite 120
Oakbrook Terrace, IL 60181-5226
630.424.9080



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: _____	<input checked="" type="checkbox"/> Informational Presentation
UDC Meeting Date: _____	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input type="checkbox"/> Final Approval

1. Project Address: 4210 E. Washington Blvd.
 Project Title (if any): Chick-fil-A

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Blair D. Carmosino Company: Woolpert
 Street Address: 1815 South Meyers Road, Suite 120 City/State: Oakbrook Terrace, IL Zip: 60181
 Telephone: (636) 424.9080 Fax: () Email: blair.carmosino@woolpert.com

Project Contact Person: same as above Company: _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () Fax: () Email: _____

Project Owner (if not applicant): Chick-fil-A - Jason Hill, Development Manager
 Street Address: 5200 Buffington Road City/State: Atlanta, GA Zip: 30349-2998
 Telephone: (404) 655.8530 Fax: () Email: jason.hill@chick-fil-a.com

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Alan J. Martin on Feb. 12, 2015, following Development Assistance Mtg.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.


Name of Applicant Blair D. Carmosino Relationship to Property Authorized Agent for Owner
 Authorized Signature _____ Date _____



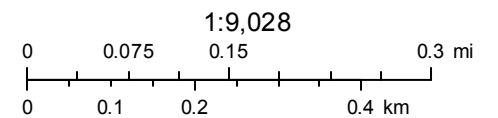
SECTION 2 - LOCATION MAP

Subject Site

February 18, 2015

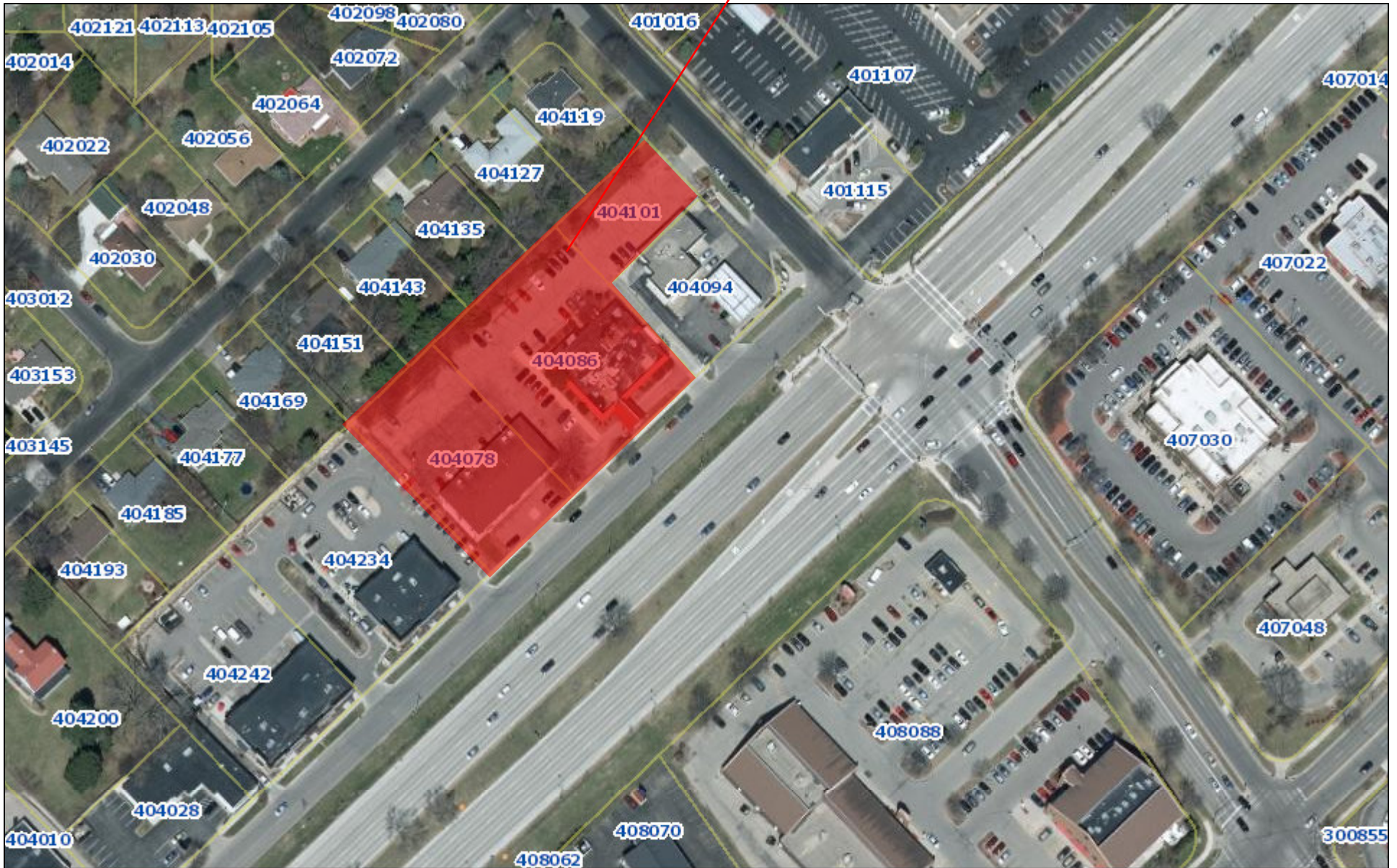
 Tax Parcels

VICINITY MAP
No Scale, north up




Sources: Esri, HERE, DeLorme, TomTom, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL,

Subject Site

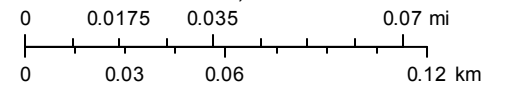


February 18, 2015

Parcel Number

 Tax Parcels

1:2,257



Planning
Geophysical

SECTION 3 – PROJECT NARRATIVE

Chick-fil-A is proposing to construct restaurant with dual drive through service, generally located at 4210 E. Washington Street. The enclosed information provides plans and details for the petition and is further described as follows:

Existing Site Conditions: The existing site is a combination of three separate parcels. Two parcels front the service road that runs parallel to, and adjacent to, Washington Blvd. The third parcel is improved only with parking and is located behind the existing BP gas station at the corner of Continental and Washington Blvd. Parcels are as shown in the enclosed vicinity map, and additional details as noted below:

Parcel 1 – 4210 E. Washington Blvd. – Parcel ID 08102840470, improved with an approximate 6,500 SFT facility.

Parcel 2 – 4214 E. Washington Blvd. – Parcel ID 081028404086, improved with an approximate 7,500 SFT facility.

Parcel 3 – 2114 Continental Lane, no structure, improved as parking lot.

The three subject properties noted above are all zoning CC-T, Commercial Corridor – Transition. Property abuts Suburban Residential Zoned property to the rear (N), and fronts public right-of-way for the Service Road, paralleling Washington Blvd. along the frontage. Immediate adjacent properties on either side are similar CC-T zoned.

Three conditional uses have been identified to date for this petition and those include:

- Conditional use for Drive through
- Conditional use for amount of parking
- Conditional use for outdoor dining

Proposed Improvements: As noted previously, Chick-fil-A desires to build a restaurant facility with dual drive through service. Project will include a full dining room facility, full kitchen and service area, on- and other necessary improvements. The parking proposed for the facility is designed to accommodate anticipated market demand and is based on internal data that equates number of parking stalls needed to meet anticipated sales for this facility. The proposed facility is anticipated to enjoy a majority of sales through the drive through facility, while still serving their dining customers that tend to remain in store more than most similar type of restaurant facilities.

The facility is planned for 134 interior seats, and 22 outside dining seats. (Actual values might be subject to change with finalization of custom building design proposed for the site) The facility will also include a playground area that is totally enclosed, and accessible only through the interior of the store.

The exterior of the building is finished in Brick, Glass, Aluminum and Stone finishes as depicted in the enclosed elevations and supporting materials. The buildings total height is planned for approximately 25 feet. Actual dimensions may vary with final custom building design.

Exterior signage proposed is minimal. Total exterior signage proposed will be approximately 168 SFT. Drive through elements include two menu canopies, two clearance bars to control vehicle size entering the drive through. A flag pole is also proposed for the site.

Facility will be designed for complete ADA compliance.

Site circulation for this facility is designed to capture most ingress/egress from Continental, with the rear access point off the northeast corner of the site. A second full movement access is proposed on the service road paralleling Washington Street.

Landscaping is planned for the facility is as shown on the attached planned and has yet to be reviewed by City Staff.

Lighting plans have yet to be completed for the project, but at this time, there is no foreseen issues with being able to comply with code requirements. It is noted that special attention will be given to the lighting plan for consideration to the residential neighborhood to the rear of the property. Photometric plan, cut sheets and further lighting details can be anticipated as this petition progresses through the approval process.

The proposed project will facilitate the need for filing for demolition permits for the existing structures and parking lot. It is believed that existing utilities of are sufficient size and capacity for the proposed use, and no major extensions or improvements are necessary for the proposed use. Although not fully engineered, the site has sufficient area to provide necessary and required storm water management facilities for the improvements planned.

SECTION 4 – CONTEXTUAL SITE INFORMATION

Following pages include photographs of the existing conditions of the property. An aerial view of these facilities is provided in the vicinity map, included in Section 2.



VIEW OF EXISTING BUILDING
Viewing NW from Service Road



VIEW OF EXISTING BUILDING ON SOUTH END OF PROPERTY
Viewing NW from Service Road



VIEW ALONG SERVICE ROAD
Viewing NE, Washington Blvd. on right



VIEW ALONG SERVICE ROAD
Viewing SW, Washington Blvd. on left



VIEW ALONG SERVICE ROAD

Viewing NE, photo dated recently opened buildings under construction.

SECTION 5 – PRELIMINARY BUILDING DEVELOPMENT DETAILS

This section contains the preliminary building and site plans developed to date. These plans were presented at a Developer's Assistance Team Review meeting on February 12th, 2015. The site plan contained herein differs from the plans presented at that meeting. As a result of the February 12th hearing comments received, the site plan has been altered to best accommodate the concerns of City Staff and those present at the February meeting.

Plans included for review include:

SITE PLAN – Sheet SP, demonstrating new building footprint, positioning on site, parking, walk and circulation.

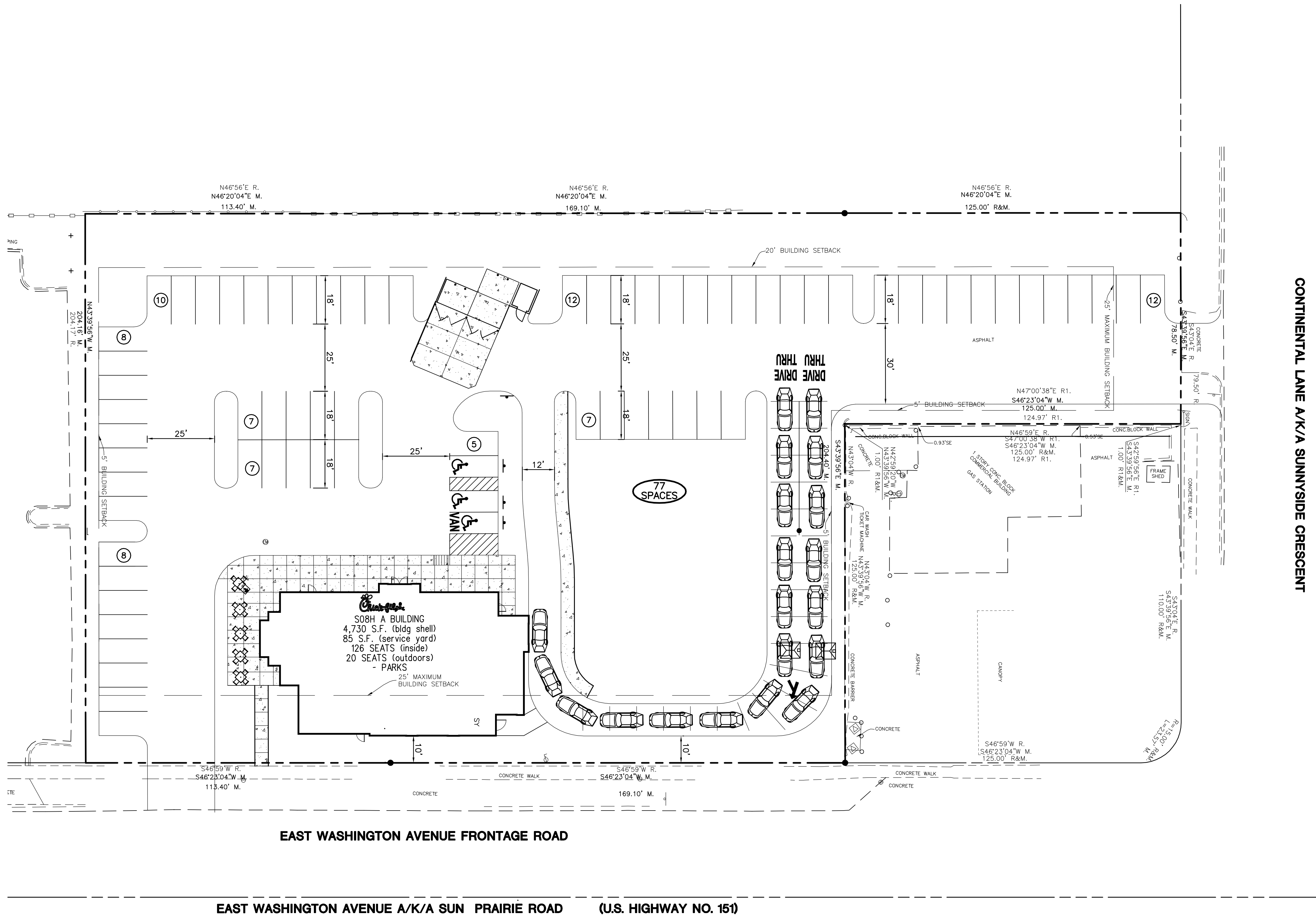
LANDSCAPE PLAN – demonstrating preliminary landscaping layout and opportunities available on site for compliance with City landscaping requirements.

DESIGN INTENT PACKAGE – Containing elevation and materials for EXAMPLE purposes only. Building shown on these plans WILL NOT BE FINAL DESIGN building. Building now proposed for this site will be a custom designed building, but will replicate the examples provided for general materials and colors. Full building elevations, renderings and other details will be provided once completed.

We look forward to presenting to the Urban Design Commission on March ____, and answering any questions.

Thank you.

Layout Tab Name: SP, Images: 2015-03_MadisonMark-up_01.jpg; AERIAL.jpg; MAP.jpg; Xrefs: 01-3601-TBLK.dwg; 01-3601-P (2).dwg; 01-3601-X.dwg
 Last Saved By:hutcherson, 3/17/2015 1:21:01 PM
 \\woodwardclark.com\shared\bliss\sherman\630701\01-3601-SP (2).dwg; 01-3601-SP (2).dwg; Plotted: By:hutcherson, Kevin Plotted: March 17, 2015, 1:22:04 PM



SITE PLAN LEGEND

- PROPOSED CURB AND GUTTER
- ACCESSIBLE RAMP
- DETECTABLE WARNING

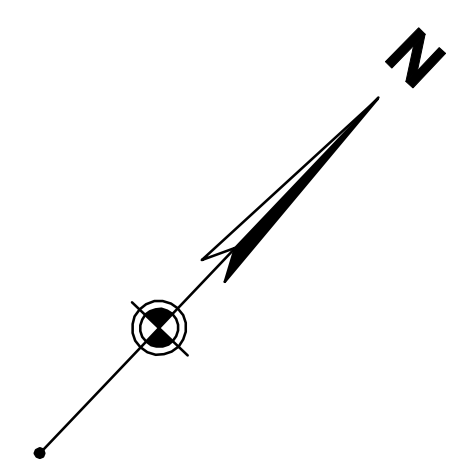
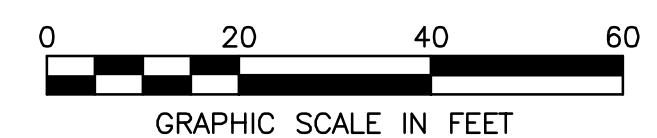
SITE KEY NOTES

- NO. DESCRIPTION
- 1 "STOP" SIGN
 - 2 "DO NOT ENTER" SIGN
 - 3 "PEDESTRIAN CROSSING" SIGN
 - 4 "LEFT TURN ONLY" SIGN
 - 5 "YIELD" SIGN
 - 6 ACCESSIBLE PARKING SIGN
 - 7 PAINTED ACCESSIBLE PARKING SYMBOL
 - 8 STOP BAR
 - 9 CONCRETE SIDEWALK
 - 10 DIRECTIONAL ARROW
 - 11 DRIVE-THRU GRAPHICS
 - 12 MENU BOARD & CANOPY ORDERING STATION
 - 13 THREE-SIDED PYLON SIGN (30' HEIGHT)
 - 14 DIRECTIONAL SIGN
 - 15 ALUMINUM HANDRAIL, DARK BRONZE
 - 16 REFUSE ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
 - 17 4" STRIPE, TRAFFIC YELLOW PAINT
 - 18 4" STRIPE, TRAFFIC WHITE PAINT
 - 19 PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC WHITE PAINT
 - 20 PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC YELLOW PAINT

SITE DATA

SITE AREA:	±1.55 ACRES (67,515 S.F.)
CURRENT ZONING:	CC-T COMMERCIAL CORRIDOR TRANSPORTATION DISTRICT
EXISTING BUILDING AREA:	12,123 S.F. (17.9%)
EXISTING PAVEMENT AREA:	42,509 S.F. (62.9%)
EXISTING LANDSCAPE AREA:	12,991 S.F. (19.2%)
PARKING DATA:	
ON-SITE PARKING:	71 REGULAR SPACES PROVIDED
	4 ACCESSIBLE SPACES PROVIDED
	75 PARKING SPACES PROVIDED
REQUIRED PARKING:	
PARKING SPACES REQUIRED:	1/100 SF GROSS FLOOR AREA
GROSS FLOOR AREA =	4,779 SF
	48 PARKING SPACES REQUIRED

CONTINENTAL LANE A/K/A SUNNYSIDE CRESCENT



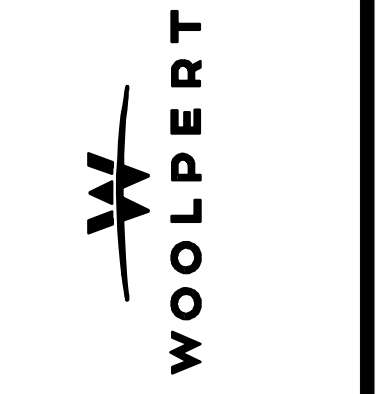
5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal

1815 South Meyers Road
 Suite 120
 Oakbrook Terrace, IL 60181
 630.424.9080
 FAX: 630.495.3731



STORE
 STORE # 3601
 4210 E. WASHINGTON AVE.
 MADISON
 WISCONSIN

SHEET TITLE
SITE PLAN

VERSION: -
 ISSUE DATE: D-YYYY

Job No. : 075144
 Store : 3601
 Date : MAR 11
 Drawn By : DH
 Checked By : JG

Sheet

SP

Design Intent Package

East Towne FSU, Madison, WI

East Town FSU

03601



Perspective View - Southeast

Prototype S08 H-C

Tier 1

Total Square Footage
Conditioned
Footprint 4,877 s.f.
Service Yard 72 s.f.

Seat Count
Interior 134
Exterior 22

Registers 4 + 1

Playground Yes

Kitchen Layout CL

Drive-Thru
Order Points 2
Windows 1

LEED
Level No
N/A

Landscaping Standard

Seating Type Family

Team Sign-Off

Design Leader _____ Date _____

Interior Design _____ Date _____

Kitchen & Systems Design _____ Date _____



**FOR EXAMPLE
PURPOSES ONLY**

01/19/2015

East Towne FSU, Madison, WI - Store #03601

*The Chick-fil-A Design Intent Package represents a brand compliant design solution.
Site adapt professionals are responsible for application of design and compliance of ordinances and codes.*



Elevation - East



Elevation - North

01/19/2015

East Towne FSU, Madison, WI - Store #03601

Exterior Elevations

See Finish Schedule for more information

**FOR EXAMPLE
PURPOSES ONLY**





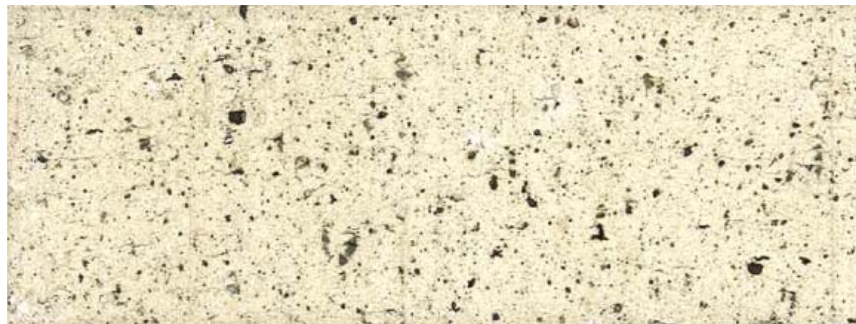
BR-1
Modular Size
General Shale - Red Velour



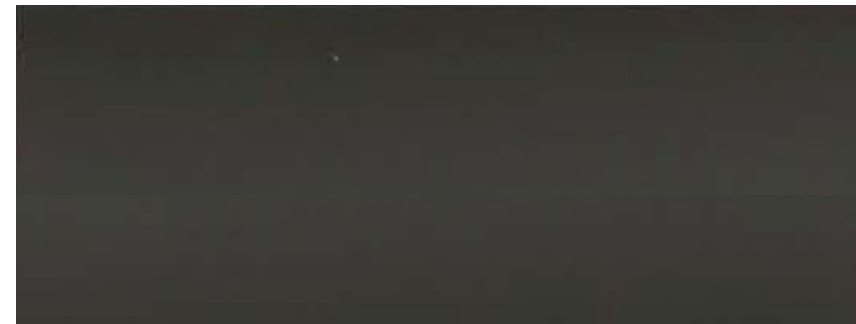
MP-1
Aluminum Fascia & Soffit
Durolast / Exceptional Metals
Color: Dark Bronze



MP-2
Aluminum Fascia
Durolast / Exceptional Metals
Color: Sierra Tan



BR-2
Modular Size
General Shale - Silverstone



PT-9
Sherwin Williams - Sher-Cry High Performance
Acrylic #B66-350
Color: Dark Bronze (Semi-Gloss)



ST-1 Storefront
YKK - Yes 45
Color: Dark Bronze Anodized (Matte)

**FOR EXAMPLE
PURPOSES ONLY**

Design Intent Package

East Towne FSU, Madison, WI

East Town FSU

03601



Perspective View - Southeast

Prototype S08 H-C

Tier 1

Total Square Footage
Conditioned
Footprint 4,877 s.f.
Service Yard 72 s.f.

Seat Count
Interior 134
Exterior 22

Registers 4 + 1

Playground Yes

Kitchen Layout CL

Drive-Thru
Order Points 2
Windows 1

LEED
Level No
N/A

Landscaping Standard

Seating Type Family

Team Sign-Off

Design Leader _____ Date _____

Interior Design _____ Date _____

Kitchen & Systems Design _____ Date _____



**FOR EXAMPLE
PURPOSES ONLY**

01/19/2015

East Towne FSU, Madison, WI - Store #03601

*The Chick-fil-A Design Intent Package represents a brand compliant design solution.
Site adapt professionals are responsible for application of design and compliance of ordinances and codes.*



Elevation - East



Elevation - North

01/19/2015

East Towne FSU, Madison, WI - Store #03601

Exterior Elevations

See Finish Schedule for more information

**FOR EXAMPLE
PURPOSES ONLY**





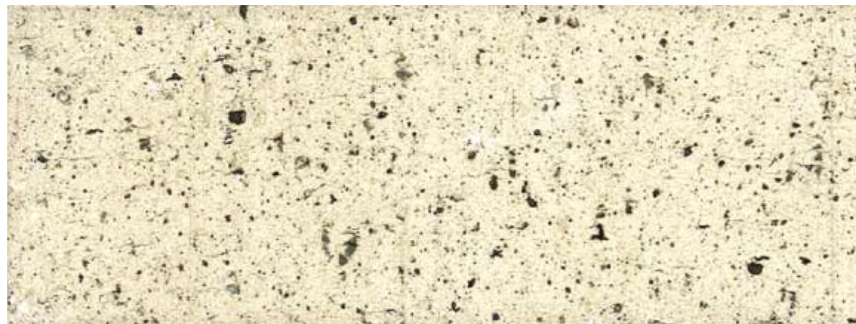
BR-1
Modular Size
General Shale - Red Velour



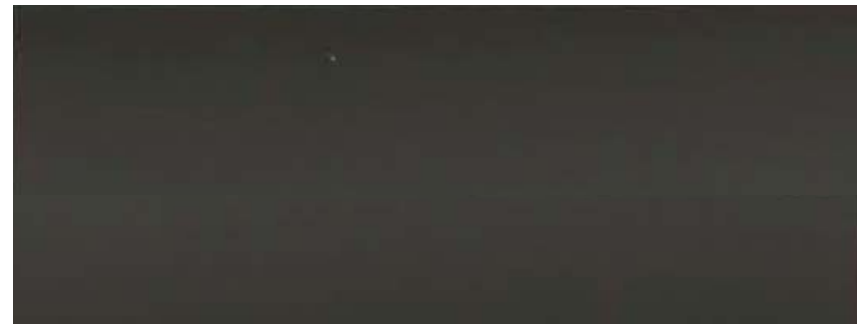
MP-1
Aluminum Fascia & Soffit
Durolast / Exceptional Metals
Color: Dark Bronze



MP-2
Aluminum Fascia
Durolast / Exceptional Metals
Color: Sierra Tan



BR-2
Modular Size
General Shale - Silverstone



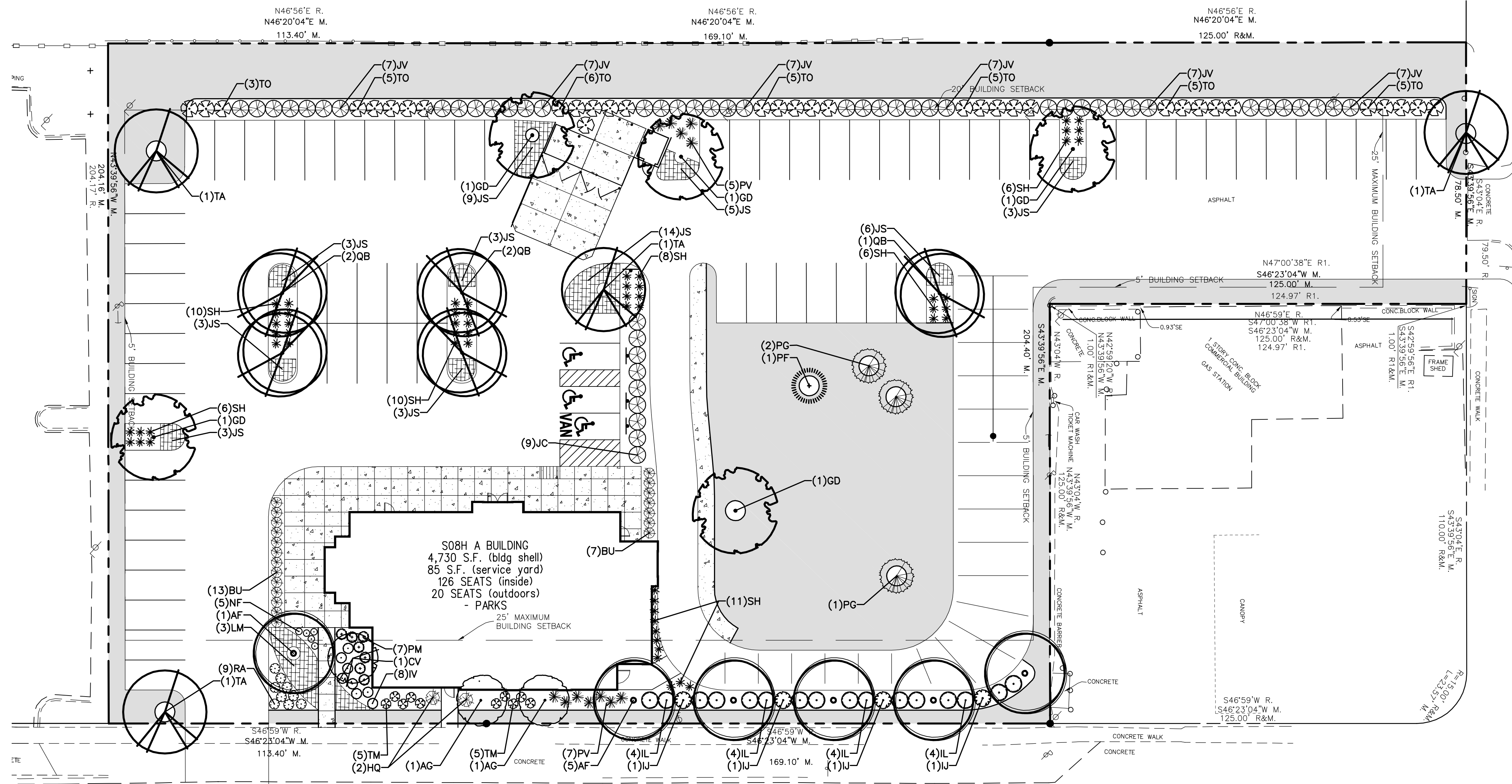
PT-9
Sherwin Williams - Sher-Cry High Performance
Acrylic #B66-350
Color: Dark Bronze (Semi-Gloss)



ST-1 Storefront
YKK - Yes 45
Color: Dark Bronze Anodized (Matte)

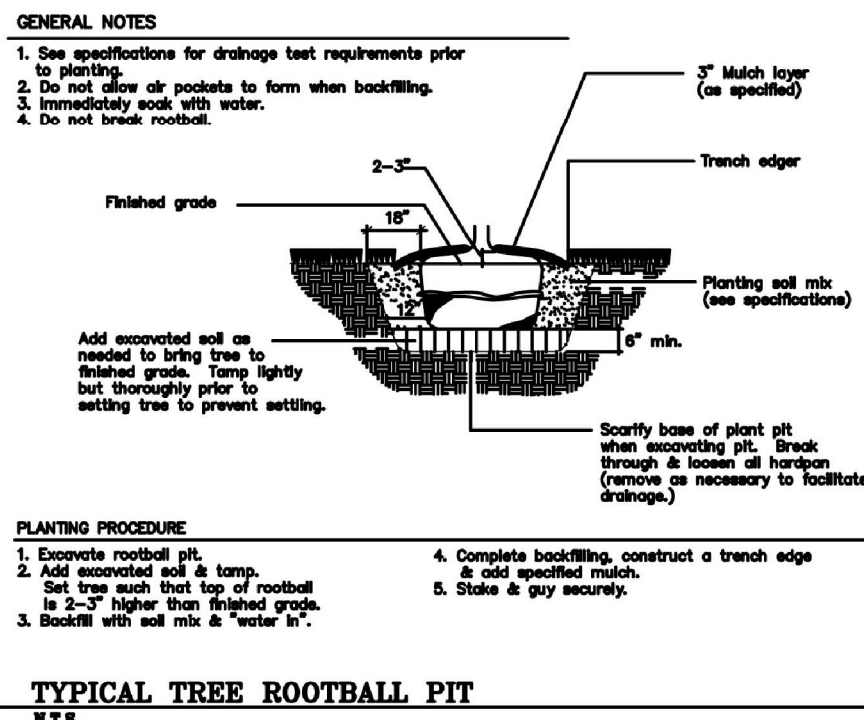
**FOR EXAMPLE
PURPOSES ONLY**

Layout Tab Name: LP... Images: landscape_details.jpg; 2015-03_MadisonMark-up_01.jpg; AERIAL.jpg; MAP.jpg; . Xrefs: 01-3601-P (2).dwg; 01-3601-X.dwg
 Last Saved By: martine, 3/17/2015 2:49:32 PM
 Web Site: www.landscapecontractors.com

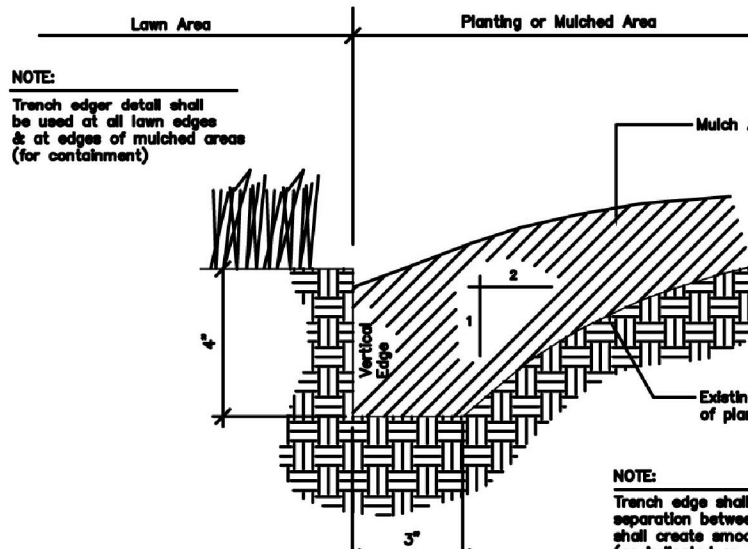


EAST WASHINGTON AVENUE FRONTAGE ROAD

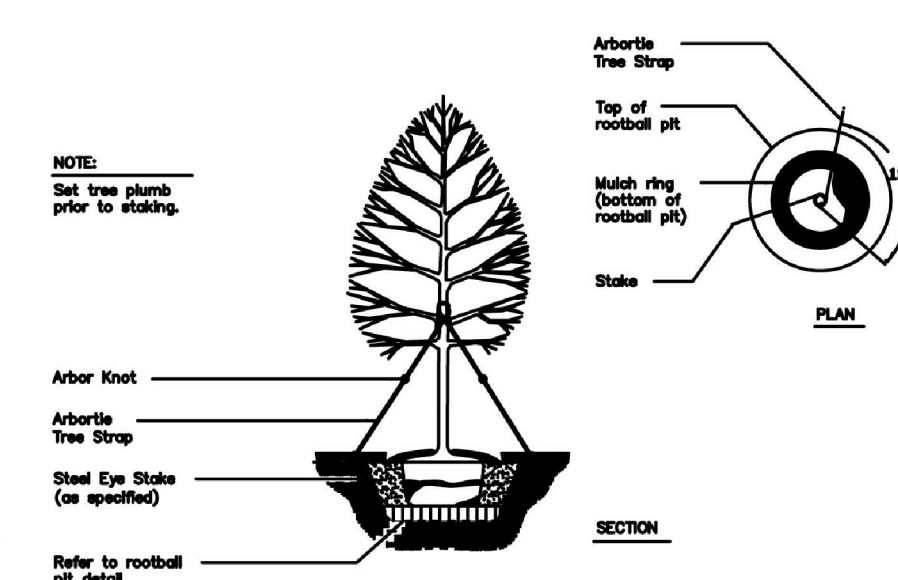
TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
SHADE TREE						
AF	6	Acer x freemanii 'Jeffersred'	Autumn Brilliance Maple	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
GD	5	Gymnocladia dioica 'Espresso'	Fruitless KY Coffeetree	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
QB	5	Quercus bicolor	Swamp White Oak	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
TA	4	Tilia americana 'Redmond'	Redmond Linden	B&B	2.5" cal. 14'ht. 7'wd	Full, well shaped
ORNAMENTAL / EVERGREEN TREE						
AG	2	Amelanchier x grandiflora 'Autumn Brilliance'	Apple Serviceberry	B&B	1.5" cal. 8'ht. 4'wd.	Full, well shaped, single-stem
CV	1	Chionanthus virginicus	White Fringetree	B&B	1.5" cal. 8'ht. 4'wd.	Full, well shaped, multi-stem
PG	3	Picea glauca 'Densata'	Black Hills Spruce	B&B	6'ht. x 4'wd.	Full to ground, well shaped
PF	1	Pinus flexilis	Limber Pine	B&B	6'ht. x 4'wd.	Full to ground, well shaped
EVERGREEN SHRUB						
BU	20	Buxus x 'Glencoe'	Chicagoland Green Boxwood	#3 cont.	18"ht. x 18"wd.	Full, vigorous
JC	9	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#3 cont.	18"ht. x 18"wd.	Full, vigorous
JV	42	Juniperus virginiana 'Hetzii'	Hetzii Columnaris Juniper	B&B	48"ht. x 24"wd.	Full, vigorous
PM	7	Pinus mugo 'Mops'	Dwarf Mugo Pine	#3 cont.	18"ht. x 18"wd.	Full, vigorous
TM	10	Taxus x media 'Densiformis'	Dense Yew	#3 cont.	18"ht. x 18"wd.	Full, vigorous
TO	34	Thuja occidentalis 'Techny'	Techny Arborvitae	B&B	48"ht. x 24"wd.	Full, vigorous
DECIDUOUS SHRUB						
HQ	2	Hydrangea quercifolia 'Syke's Dwarf'	Syke's Dwarf Oakleaf Hydrangea	#3 cont.	18"ht. x 18"wd.	Full, vigorous
IV	9	Itea virginica 'Little Henry'	Little Henry Sweetpire	#3 cont.	18"ht. x 18"wd.	Full, vigorous
IJ	4	Ilex verticillata 'Jim Dandy'	Jim Dandy Male Winterberry	#3 cont.	18"ht. x 18"wd.	Full, vigorous
IL	16	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	#3 cont.	18"ht. x 18"wd.	Full, vigorous
RA	9	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 cont.	18"ht. x 18"wd.	Full, vigorous
ORNAMENTAL GRASS						
PV	12	Panicum virgatum 'Shenandoah'	Shenandoah Red Switchgrass	#1 cont.		Full, vigorous
SH	57	Sporobolus heterolepis	Prairie Dropseed	#1 cont.		
GROUND COVER						
JS	49	Juniperus chinensis sargentii 'Vivida'	Green Sargent Juniper	#3 cont.	4' on center	
LM	3	Liriope muscari 'Big Blue'	Big Blue Lilyturf	5'/flat	12" on center	
PERENNIAL / ANNUAL COLOR / MISCELLANEOUS						
NF	5	Nepeta x faassenii 'Walker's Law'	Walker's Law Catmint	#1 cont.		
18,000 SF		Permanent Sod Blend				



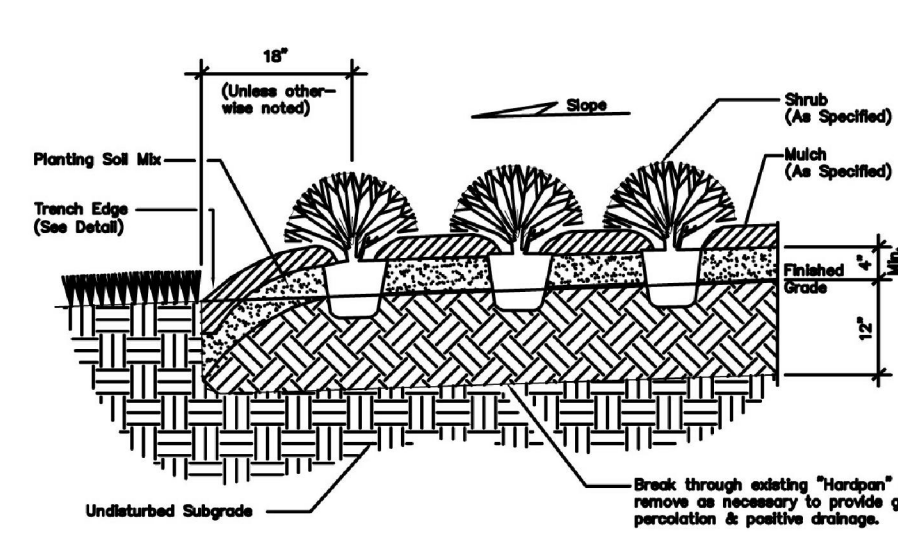
TYPICAL TREE ROOTBALL PIT
N.T.S.



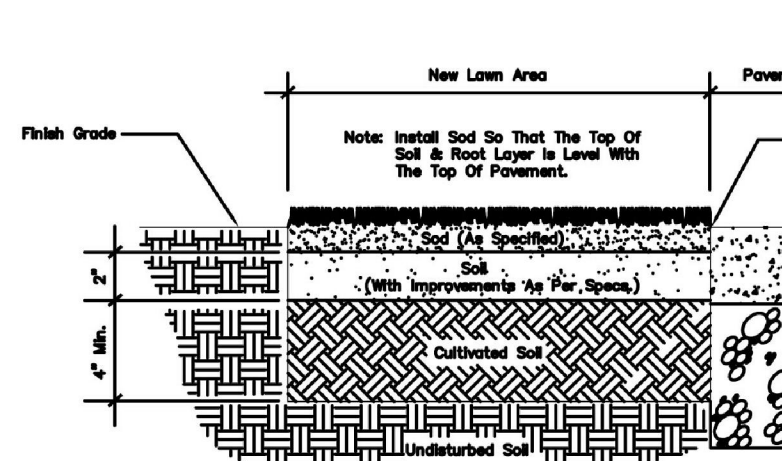
TRENCH EDGE
N.T.S.



TYPICAL TREE STAKING AND GUYING
N.T.S.



SHRUB PLANTING
N.T.S.



SODDING DETAIL
N.T.S.

- LANDSCAPE NOTES:**
- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER.
 - GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
 - ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
 - ALL ANNUAL AND PERENNIAL BEDS TO BE TILLED TO A MINIMUM DEPTH OF 18 INCHES AND AMENDED WITH 4 INCHES OF ORGANIC MATERIAL. MULCH PLANT BEDS WITH 2 INCH DEPTH OF PINE BARK MINI NUGGETS.
 - PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-12 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX, BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
 - TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (i.e. NATURE'S HELPER OR PRO MIX).
 - EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
 - SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO LAYING SOD.
 - SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAD IMMEDIATELY, ROLLED AND WATERED THOROUGHLY WITHIN ONE HOUR OF INSTALLATION.
 - ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
 - ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRIABLE TOPSOIL PRIOR TO PLANTING.
 - ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - SITE TO BE 100% IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
 - ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
 - STAKE ALL TREES.
 - WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- PERMANENT SOD BLEND**
- 90% FINE LEAF FESCUE (FESTUCA ARUNDINACEA)
 - REBEL, REBEL II, WRANGLER, BONANZA, MOJAVE OR EQUAL
 - 10% KENTUCKY BLUEGRASS (POA PRATENSIS)
 - MIDNIGHT, RUGBY II, MIDRON VARIETIES OR EQUAL
 - 98% PURITY AND 85% GERMINATION
 - 95% WEED FREE
- LANDSCAPE CODE SUMMARY:**
- 28.142(4) LANDSCAPE CALCULATIONS AND DISTRIBUTION**
 FIVE (5) LANDSCAPE POINTS SHALL BE PROVIDED FOR EACH THREE HUNDRED (300) SQUARE FEET OF DEVELOPED AREA.
- 44,967 SF OF DEVELOPED AREA
 = 44,967 / 300 = 149.89
 = 149.89 * 5 = 749.45
 = 749.45 LANDSCAPE POINTS REQUIRED
 = 2,293 LANDSCAPE POINTS PROVIDED
- 28.142(5) DEVELOPMENT FRONTAGE LANDSCAPING**
 ONE (1) OVERSTORY DECIDUOUS TREE AND FIVE (5) SHRUBS SHALL BE PLANTED FOR EACH THIRTY (30) LINEAL FEET OF LOT FRONTAGE. TWO (2) ORNAMENTAL TREES OR TWO (2) EVERGREEN TREES MAY BE USED IN PLACE OF ONE (1) OVERSTORY DECIDUOUS TREE.
- EAST WASHINGTON AVE = 282.5 LF / 30 = 9.4
 = 9 OVERSTORY DECIDUOUS TREES & 47.1 SHRUBS REQUIRED
 = 6 OVERSTORY DECIDUOUS TREES, 2 ORNAMENTAL TREES, 4 EVERGREEN TREES & 57 SHRUBS PROVIDED
- 28.142(6) INTERIOR PARKING LOT LANDSCAPING**
 A MINIMUM OF FIVE PERCENT (5%) OF ASPHALT OR CONCRETE AREA SHALL BE INTERIOR PLANTING ISLANDS, PENINSULAS, OR LANDSCAPE STRIPS, AT LEAST ONE (1) DECIDUOUS CANOPY TREE FOR EVERY ONE HUNDRED SIXTY (160) SQUARE FEET OF REQUIRED LANDSCAPE AREA.
- 41,837.4 SF OF PAVED SURFACE * 5% = 2,091.87 SF OF REQUIRED LANDSCAPE AREA
 = 2,091.87 / 160 = 13.07
 = 13 DECIDUOUS CANOPY TREES REQUIRED
- 28.142(7) FOUNDATION PLANTINGS PROVIDED:**
 37 EVERGREEN SHRUBS
 19 DECIDUOUS SHRUBS
 19 ORNAMENTAL GRASSES
 5 PERENNIALS
 150 INDIVIDUAL GROUND COVER PLANTS
- 28.142(8) SCREENING ALONG DISTRICT BOUNDARIES**
 SCREENING SHALL BE PROVIDED ALONG SIDE AND REAR PROPERTY BOUNDARIES ADJACENT TO RESIDENTIAL DISTRICTS. SCREENING SHALL CONSIST OF HEDGE WITH YEAR ROUND FOLIAGE, BETWEEN SIX (6) AND EIGHT (8) FEET IN HEIGHT.
- NORTHWEST BOUNDARY (407.5 LF)
 = 75 EVERGREEN SHRUBS PROVIDED



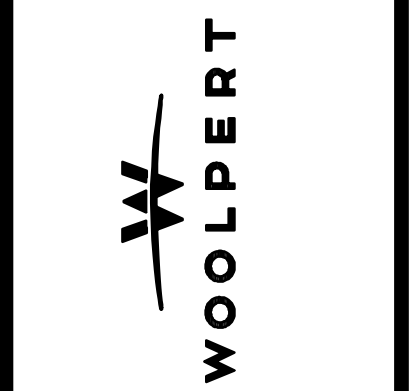
5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:
 Mark Date By

Mark	Date	By
△		
△		
△		

Seal

1815 South Meyers Road
 Suite 120
 Oakbrook Terrace, IL 60181
 630.424.9080
 FAX: 630.495.3731



STORE
 STORE # 3601
 4210 E. WASHINGTON AVE.
 MADISON
 WISCONSIN

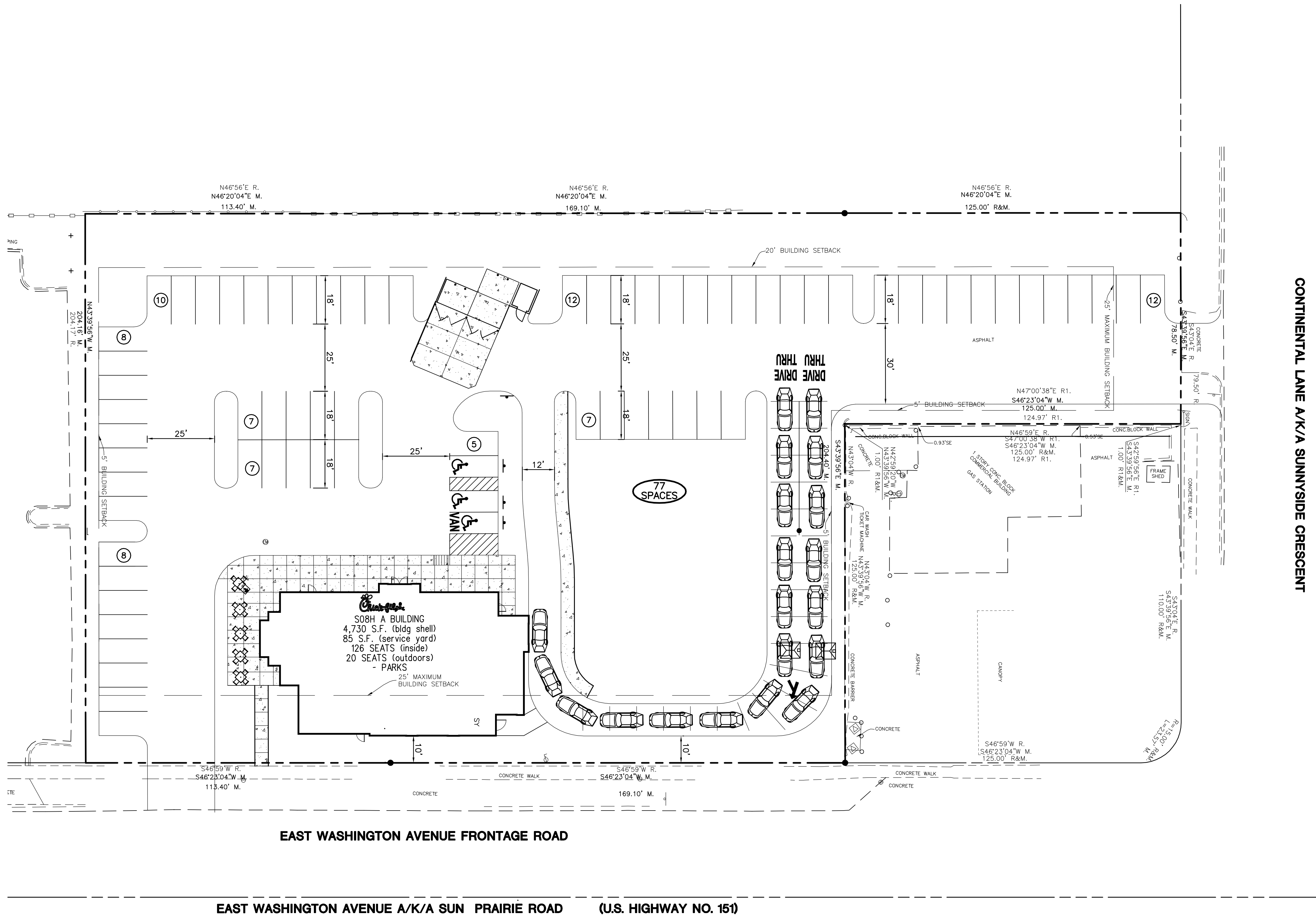
SHEET TITLE
 LANDSCAPE
 PLAN

VERSION:
ISSUE DATE: D-YYY

Job No. : 075144
Store : 3601
Date : MAR 11
Drawn By : JM
Checked By : JG

Sheet
 LP

Layout Tab Name: SP, Images: 2015-03_MadisonMark-up_01.jpg; Aerial.jpg; MAP.jpg; Xrefs: 01-3601-TBLK.dwg; 01-3601-P (2).dwg; 01-3601-X.dwg
 Last Saved By:hutcherson, 3/17/2015 1:21:01 PM
 \\woodwardclark\shared\chicken\chicken\SP.dwg; \\woodwardclark\shared\chicken\chicken\SP.dwg; \\woodwardclark\shared\chicken\chicken\SP.dwg



SITE PLAN LEGEND

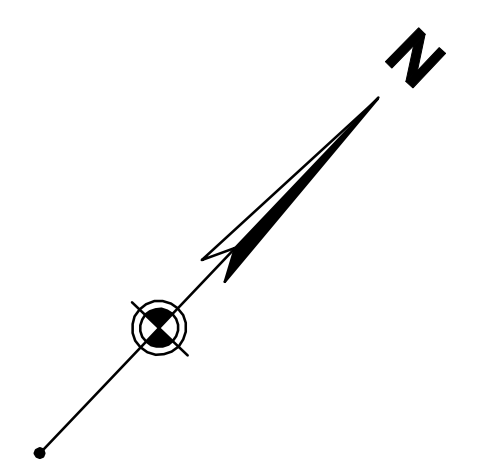
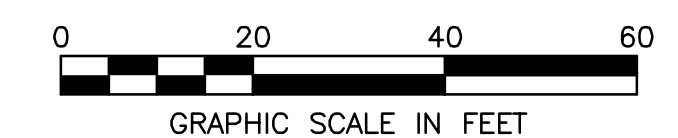
- PROPOSED CURB AND GUTTER
- ▨ ACCESSIBLE RAMP
- DETECTABLE WARNING

SITE KEY NOTES

- NO. DESCRIPTION
- 1 "STOP" SIGN
 - 2 "DO NOT ENTER" SIGN
 - 3 "PEDESTRIAN CROSSING" SIGN
 - 4 "LEFT TURN ONLY" SIGN
 - 5 "YIELD" SIGN
 - 6 ACCESSIBLE PARKING SIGN
 - 7 PAINTED ACCESSIBLE PARKING SYMBOL
 - 8 STOP BAR
 - 9 CONCRETE SIDEWALK
 - 10 DIRECTIONAL ARROW
 - 11 DRIVE-THRU GRAPHICS
 - 12 MENU BOARD & CANOPY ORDERING STATION
 - 13 THREE-SIDED PYLON SIGN (30' HEIGHT)
 - 14 DIRECTIONAL SIGN
 - 15 ALUMINUM HANDRAIL, DARK BRONZE
 - 16 REFUSE ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
 - 17 4" STRIPE, TRAFFIC YELLOW PAINT
 - 18 4" STRIPE, TRAFFIC WHITE PAINT
 - 19 PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC WHITE PAINT
 - 20 PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC YELLOW PAINT

SITE DATA

SITE AREA:	±1.55 ACRES (67,515 S.F.)
CURRENT ZONING:	CC-T COMMERCIAL CORRIDOR TRANSPORTATION DISTRICT
EXISTING BUILDING AREA:	12,123 S.F. (17.9%)
EXISTING PAVEMENT AREA:	42,509 S.F. (62.9%)
EXISTING LANDSCAPE AREA:	12,991 S.F. (19.2%)
PROPOSED BUILDING AREA:	4,779 S.F. (7.1%)
PROPOSED PAVEMENT AREA:	40,318 S.F. (59.7%)
PROPOSED LANDSCAPE AREA:	22,418 S.F. (33.2%)
PARKING DATA:	
ON-SITE PARKING:	71 REGULAR SPACES PROVIDED
	4 ACCESSIBLE SPACES PROVIDED
	75 PARKING SPACES PROVIDED
REQUIRED PARKING:	
PARKING SPACES REQUIRED:	1/100 SF GROSS FLOOR AREA
GROSS FLOOR AREA =	4,779 SF
48 PARKING SPACES REQUIRED	



5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

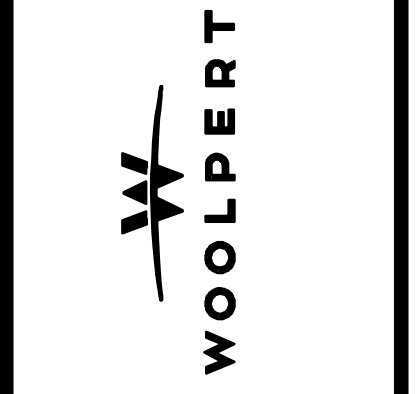
Revisions:
 Mark Date By

Mark Date By

Mark Date By

Seal

1815 South Meyers Road
 Suite 120
 Oakbrook Terrace, IL 60181
 630.424.9080
 FAX: 630.495.3731



STORE
 STORE # 3601
 4210 E. WASHINGTON AVE.
 MADISON
 WISCONSIN

SHEET TITLE
 SITE PLAN

VERSION:
 ISSUE DATE: D-YYYY

Job No. : 075144
Store : 3601
Date : MAR 11
Drawn By : DH
Checked By : JG

Sheet
 SP