

PROPOSED FACILITY FOR:

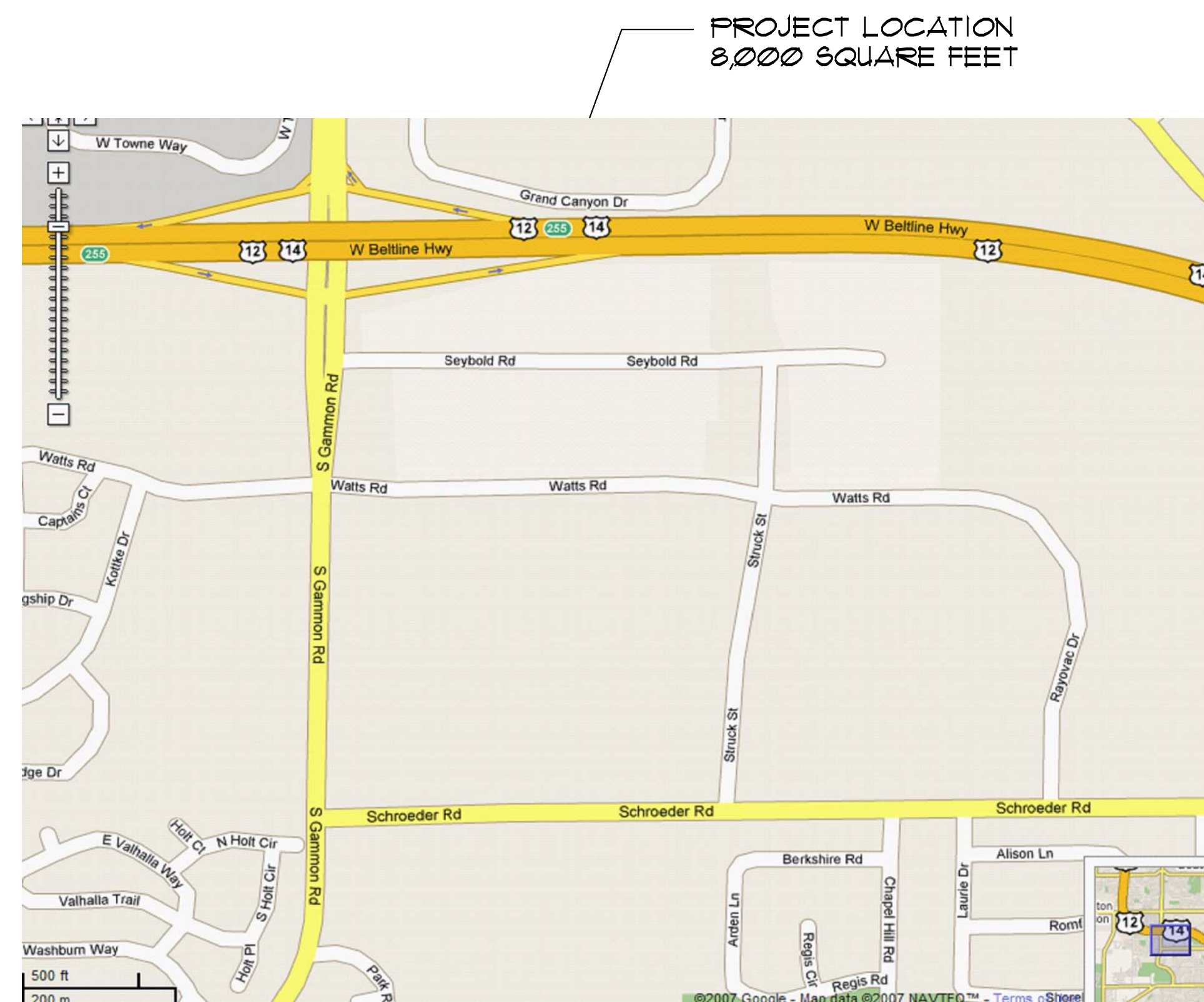
SJR ENTERPRISES LLC

821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

TJK TJK Design Build Inc.
634 West Main Street
Madison Wisconsin 53703
DESIGNBUILD 608/257-1090 FAX 608/257-1092

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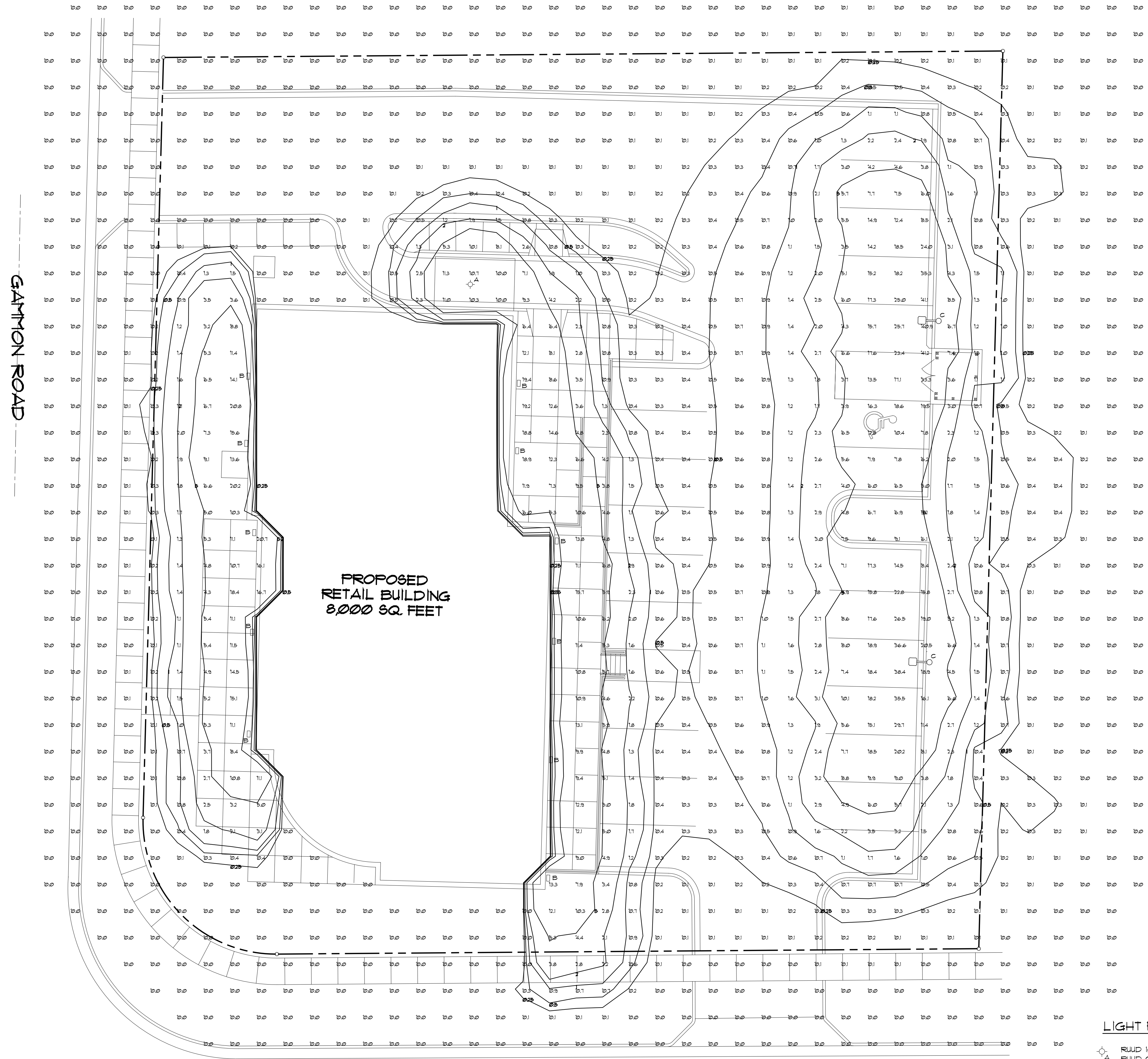
SITE LOCATION MAP
NOT TO SCALE

REVISION	DATE
	7/18/07

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PROPOSED FACILITY FOR:
SJR ENTERPRISES, LLC
CORNER OF GAMMON & SCHROEDER ROADS
MADISON, WISCONSIN

C-1.6
7.2.07



**PROPOSED
RETAIL BUILDING
8,000 SQ FEET**

GAMMON ROAD

SCHROEDER ROAD

LIGHT FIXTURE KEY

- RUIID 100W MH RECESSED CAN LIGHT FIXTURE
RUIID CATALOG * RTM10 PROVIDE REFLECTOR * RT30
LIGHT FIXTURE IS 11'-4" FROM GRADE
- COOPER LIGHTING WALL SCONCE
CATALOG * VWS-10-MH-211-25.
- RUIID 250W MH SINGLE HEAD PARKING LOT LIGHT
ON 5' X 20' POLE, MODEL *4VVA0492-11 6BL-AVVA25E
(20'-0" FROM GRADE)

PROPOSED PHOTOMETRIC PLAN
SCALE: 1" = 10'-0"
NORTH

CITY OF MADISON - LANDSCAPE POINTS REQUIREMENTS

NUMBER OF PARKING STALLS	24
NUMBER OF 2" x 2 1/2" CAL. SHADE TREES REQUIRED	2
NUMBER OF LANDSCAPE POINTS REQUIRED	111
LOADING BERTH PLANTING REQUIREMENT: 1 BERTH x 15 POINTS/BERTH	75
TOTAL LANDSCAPE POINTS REQUIRED	182

LANDSCAPE POINTS SOLUTION ELEMENT	POINT VALUE	QTY	POINTS ACHIEVED	CREDITS QTY	POINTS
CANOPY TREES 2'-2 1/2"	35	4	140	-	-
DECIDUOUS SHRUBS	5	5	25	-	-
EVERGREEN SHRUBS	5	18	90	-	-
DECORATIVE WALL OR FENCE (PER 10 LF.)	10	-	-	-	-
EARTH BERM (PER 10 LF.) AVERAGE HEIGHT - 30"	10	-	-	-	-
EARTH BERM (PER 10 LF.) AVERAGE HEIGHT - 15"	5	-	-	-	-
EVERGREEN TREES 3' HT. MIN.	30	-	-	-	-
CANOPY TREES OR SMALL ORNAMENTAL TREES 1 1/2"-2"	30	5	150	-	-
SUBTOTALS			405	+	-
TOTAL POINTS					405

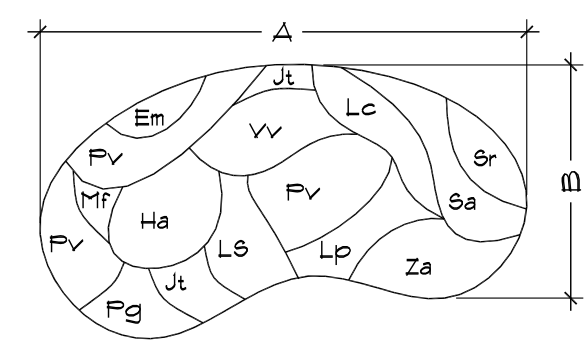
Approved by: _____ Date: _____

PLANT SCHEDULE

Key	Botanical Name	Common Name	Qty	Planting Size/Root Spec.
AR	Acer rubrum 'October Glory'	October Glory Red Maple	4	2" B&B
UWP	Ulmus wilsoniana 'Prospector'	Prospector Elm	2	2" B&B
JCMJ	Juniperus chinensis 'Mint Julp'	Mint Julp Juniper	5	18" CONT
JCSG	Juniperus chinensis 'Sea Green'	Sea Green Juniper	10	18" CONT
TMT	Taxus x media 'Tauntonia'	Tauntonia Yew	7	18" CONT
CP	Comptonia peregrina	Sweetfern	8	18" CONT

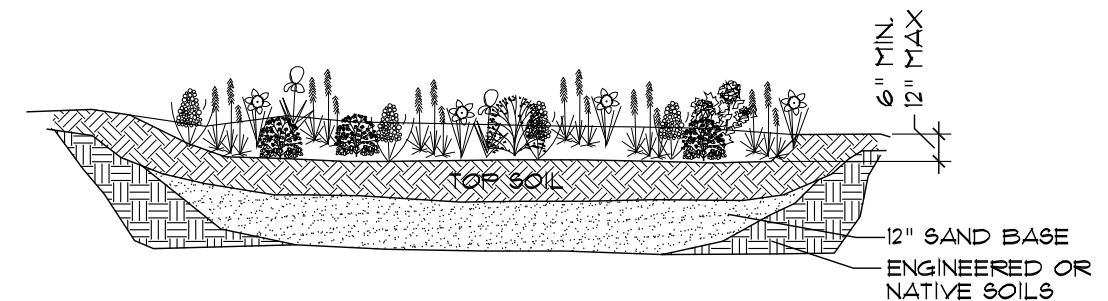
RAIN GARDEN PLANTING LIST

Plan Genus/Species Code	Common Name	Number per 100 sq/ft
Jt	Juncus torreyi	1
Sa	Scirpus atrovirens	1
Em	Aster novae-angliae	3
Ha	Helenium autumnale	4
Lp	Liatris pycnostachya	3
Lc	Lobelia cardinalis	3
Ll	Lobelia siphilitica	3
Mf	Monarda fistulosa	4
Pg	Phlox glaberrima	4
Fv	Phlox pilularis	13
Sr	Solidago rigida	4
Vv	Veronicastrum virginicum	1
Za	Zizia aurea	3
	Total	100



GENERAL PLANTING PLAN NOT TO SCALE

AREA	A	B
100 sq/ft	20'	5'



2 RAIN GARDEN DETAILS C-15 SCALE: NO SCALE

RAIN GARDEN SECTION NOT TO SCALE

NOTE: ACTUAL PLANTING ARRANGEMENT & PLANT VARIETIES WILL BE DETERMINED AT TIME OF PLANTING. RAIN GARDEN SHAPE AND CONFIGURATION WILL BE DETERMINED AT TIME OF CONSTRUCTION.

CONSTRUCTION NOTES

CONTRACTOR SHALL OVER EXCAVATE GARDENS TO A MINIMUM DEPTH OF 2'-0" BELOW FINISH GRADE.

IF CLAY IS ENCOUNTERED DURING RAIN GARDEN CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE, REMOVE AND REPLACE WITH CLEAN ON SITE SAND/TOPSOIL. MIX SO THAT THE RAIN GARDEN IS HYDRAULICALLY CONNECTED TO ACCEPTABLE PERMEABLE LAYERS BELOW.

CONTRACTOR SHALL USE CONSTRUCTION MEANS AS NOT TO COMPACT RAIN GARDEN AREAS.

GENERAL NOTES:

RAIN GARDEN AREAS SEEDED AT 10 LB/ACRE WITH SEED MIX AS APPROVED BY ARCHITECT.

ANNUAL ??? SHALL BE SEEDED AT 5 LB/ACRE WITH THE SEED MIX IN THE RAIN GARDEN AREAS FOR EROSION CONTROL.

FERTILIZER SHALL BE SPREAD CONSISTENT WITH RECOMMENDATIONS FROM NURSERY.

STRAW MULCH SHALL BE PLACED IN THE RAIN GARDEN AREAS USING WISCONSIN DOT SPECIFICATION 627.32J (METHOD A) LOCATED IN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE CITY OF MADISON.

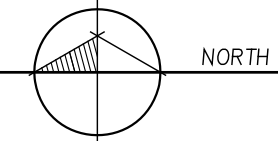
LANDSCAPE CONTRACTOR TO PROVIDE ADDITIONAL RAIN GARDEN TREE PLANTS IN THIS AREA SHOWN DASHED. (8'-0" x 20'-0") SEE SHEET C-14 FOR CATCH BASIN INFO.

GAMMON ROAD

PROPOSED RETAIL BUILDING 8,000 SQ. FEET

SCHROEDER ROAD

1 PROPOSED LANDSCAPE PLAN C-15 SCALE: 1" = 10'



634 West Main Street
Madison, WI 53710
608-257-1090
FAX 608-257-1092

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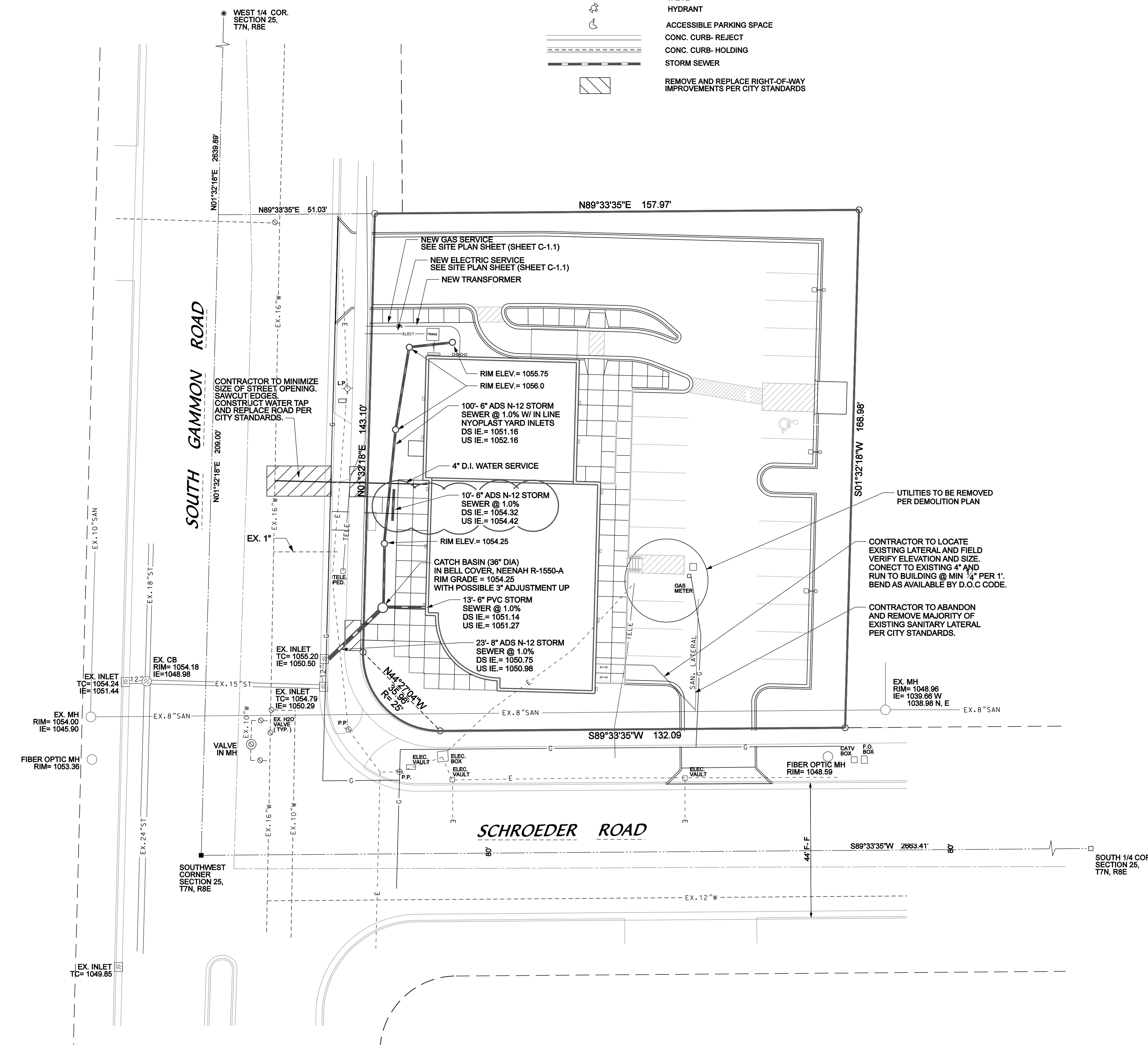
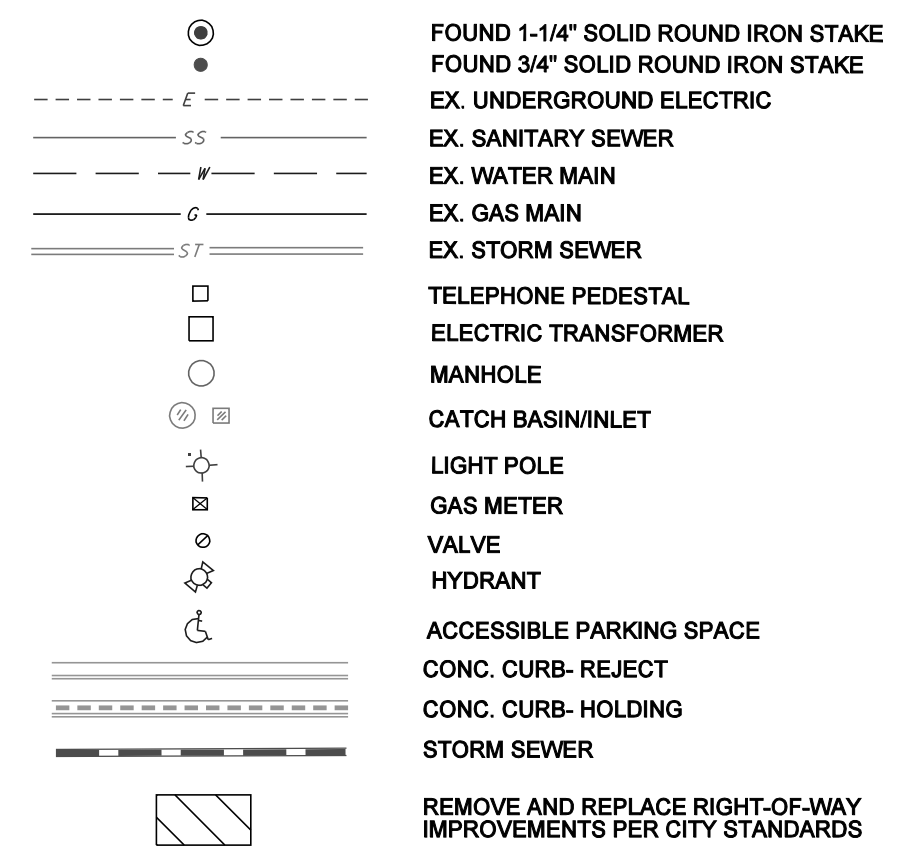
PROPOSED FACILITY FOR:
SJR ENTERPRISES, LLC

821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

C-15

7.2.07

LEGEND



- NOTE: 1. WORK WITHIN THE CITY OF MADISON R.O.W. SHALL BE COMPLETED IN CONFORMANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.
2. ALL SIDEWALK SHALL BE REMOVED AND REPLACED BETWEEN THE SAWCUT LINES PER CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO ABANDON EXISTING 1" WATER SERVICE PER CITY OF MADISON STANDARDS.
4. TERRACE AND SIDEWALK DISTURBANCE AS A RESULT OF NEW GAS & ELECTRIC INSTALLATION SHALL BE REPAIRED PER CITY SPECIFICATIONS.
5. ROOF DRAIN PIPE CONNECTION TO CATCH BASIN TO BE MADE BY PLUMBING CONTRACTOR TO GUARANTEE SLOPE/INVERT COORDINATION.

SITE UTILITY PLAN

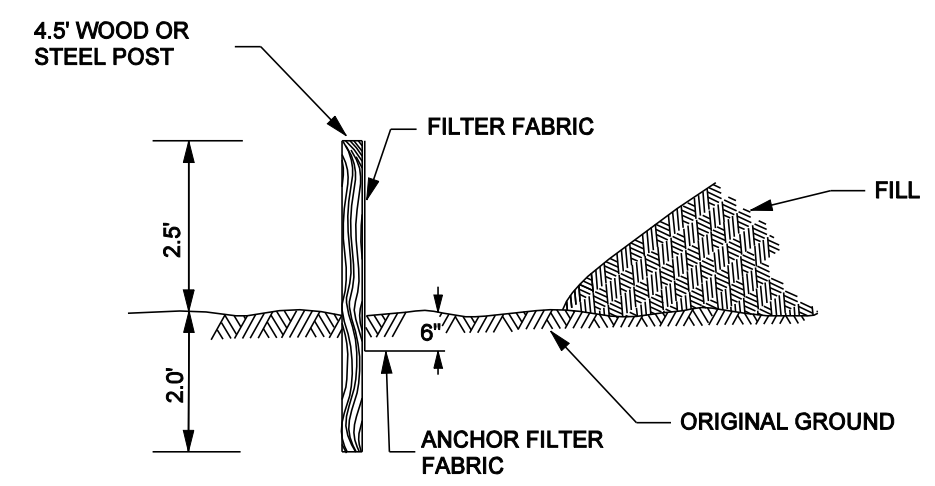
DATE: 06-06-07
REV.: 07-02-07
FN: 07-05-120 REV.: 07-18-07

SCALE:
1" = 20'

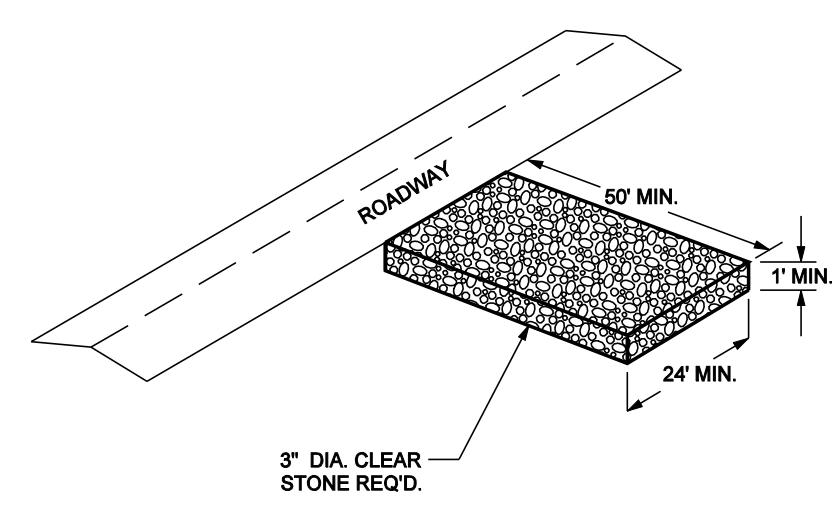
D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

LEGEND

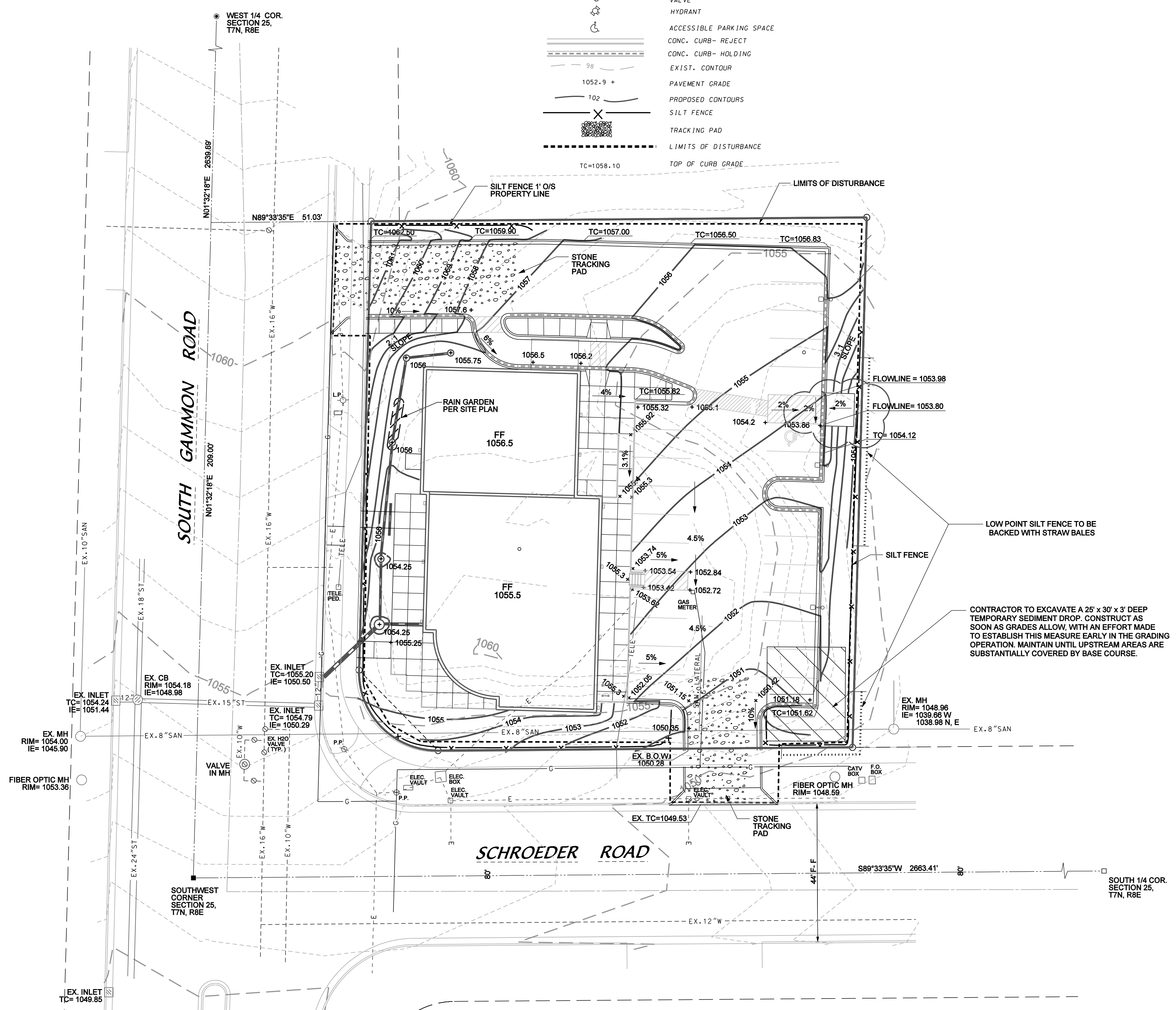
	FOUND 1-1/4" SOLID ROUND IRON STAKE
	FOUND 3/4" SOLID ROUND IRON STAKE
	UNDERGROUND ELECTRIC
	SANITARY SEWER
	WATER MAIN
	GAS MAIN
	STORM SEWER
	TELEPHONE PEDESTAL
	ELECTRIC TRANSFORMER
	MANHOLE
	CATCH BASIN/INLET
	LIGHT POLE
	GAS METER
	VALVE
	HYDRANT
	ACCESSIBLE PARKING SPACE
	CONC. CURB- REJECT
	CONC. CURB- HOLDING
	EXIST. CONTOUR
	PAVEMENT GRADE
	PROPOSED CONTOURS
	SILT FENCE
	TRACKING PAD
	LIMITS OF DISTURBANCE
	TOP OF CURB GRADE



SILT FENCE DETAIL
NOT TO SCALE



STONE TRACKING PAD DETAIL
NOT TO SCALE



SITE GRADING AND EROSION CONTROL NOTES

- Spot grades and parking lot slopes have been rounded off to the nearest tenth.
- All site grading and erosion control shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
- Area disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
- Disturbed areas outside the street right-of-way shall be restored with seed, fertilizer and mulch or in accordance with an approved landscape plan. All slopes 4:1 and greater to be restored with double net straw erosion mat.
- Public streets and adjacent parking lots shall be cleaned daily as necessary.
- Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum measures that will be acceptable.
- The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
- Schedule:
Erosion Control = August 9, 2007 (Silt fence, Tracking pad.)
Land Disturbance (removal of existing base course, backfilling of removed building, stump grinding and grading) = August 9, 2007
Does not include building demolition, tree cutting, or bituminous milling.
Parking Lot Base Course = September 21, 2007
Parking Lot Pavement = Per Contractor's Schedule
Restore Lawn at north and east side of site = October 1, 2007
Final Landscaping Around Building = November 15, 2007
- City of Madison Standard inlet protection shall be placed in the inlet and catch basin as soon as the structure is set.
- Preventing tracking onto Gammon and Schroeder Roads shall be the utmost concern. The period of greatest risk is during demolition and excess soil removal. The contractor shall take extra steps as warranted by field conditions to prevent tracking. Possible efforts include, but are not limited to, extending length of tracking pad, refreshing tracking pad more often than usual, street cleaning several times a day, or stopping work during wet conditions.

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SITE GRADING AND EROSION CONTROL PLAN

DATE: 06-06-07
REV.: 07-02-07
FN: 07-05-120 REV.: 07-18-07

SCALE:
1" = 20'

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

PROPOSED FACILITY FOR:
SJR ENTERPRISES, LLC
821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

LEGAL DESCRIPTION

A parcel of land located in the SW/4 of the SW/4 of Section 25, T1N, R2E, City of Madison, Dane County, Wisconsin, to-wit: Commencing at the southwest corner of said Section 25; thence N01°32'18"E along the west line of said SW/4, 203.00 feet; thence N89°33'35"E, 51.03 feet to the point of beginning; thence continuing N89°33'35"E, 51.91 feet; thence S01°32'18"W, 168.98 feet; thence S89°33'35"W, 132.09 feet to a point of curve; thence northwesterly on a curve to the right which has a radius of 25.00 feet and a chord which bears N44°21'04"W, 35.36 feet; thence N01°32'18"E, 143.10 feet to the point of beginning. Containing 26,532 square feet.

PARKING LOT PLAN SITE INFORMATION BLOCK

SITE ADDRESS	821 SOUTH GAMMON ROAD
SITE ACREAGE (TOTAL)	26,544 SQ FT = .609 ACRES
NUMBER OF BUILDING STORIES (ABOVE GRADE)	2
BUILDING HEIGHT	29'-0" HIGH PARAPET
TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS)	TYPE 5B BUSINESS
TOTAL SQUARE FOOTAGE OF BUILDING	8,000 SQ FEET
USE OF PROPERTY	MULTI-TENANT RETAIL
GROSS SQUARE FEET OF OFFICE	N/A
GROSS SQUARE FEET OF RETAIL AREA	8,000 SQ FEET
NUMBER OF EMPLOYEES IN WAREHOUSE	N/A
NUMBER OF EMPLOYEES ON PRODUCTION AREA	N/A
CAPACITY OF RESTAURANT / PLACE OF ASSEMBLY	N/A
NUMBER OF BICYCLE STALLS SHOWN	2
NUMBER OF PARKING STALLS (TOTAL SITE)	
STALLS SHOWN	23
ACCESSIBLE	1
TOTAL	24
NUMBER OF TREES SHOWN	SEE LANDSCAPE PLAN

SITE INFORMATION

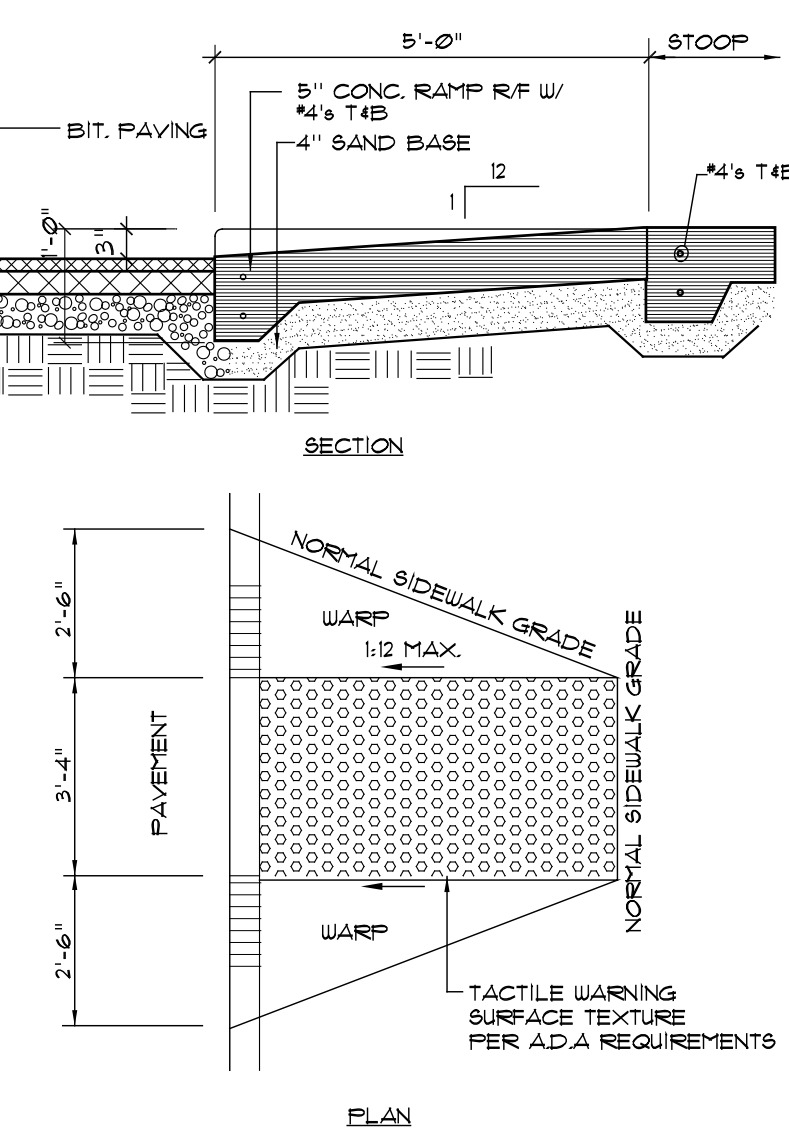
SITE SIZE	24,544 SQ FT
BLDG AREA (FOOTPRINT)	5,891 SQ FT
FLOOR AREA RATIO	24%
PARKING AND WALKS	19,573 SQ FT
IMPERVIOUS SURFACE AREA	19,410 SQ FT
IMPERVIOUS SURFACE RATIO	79%

GENERAL NOTES:

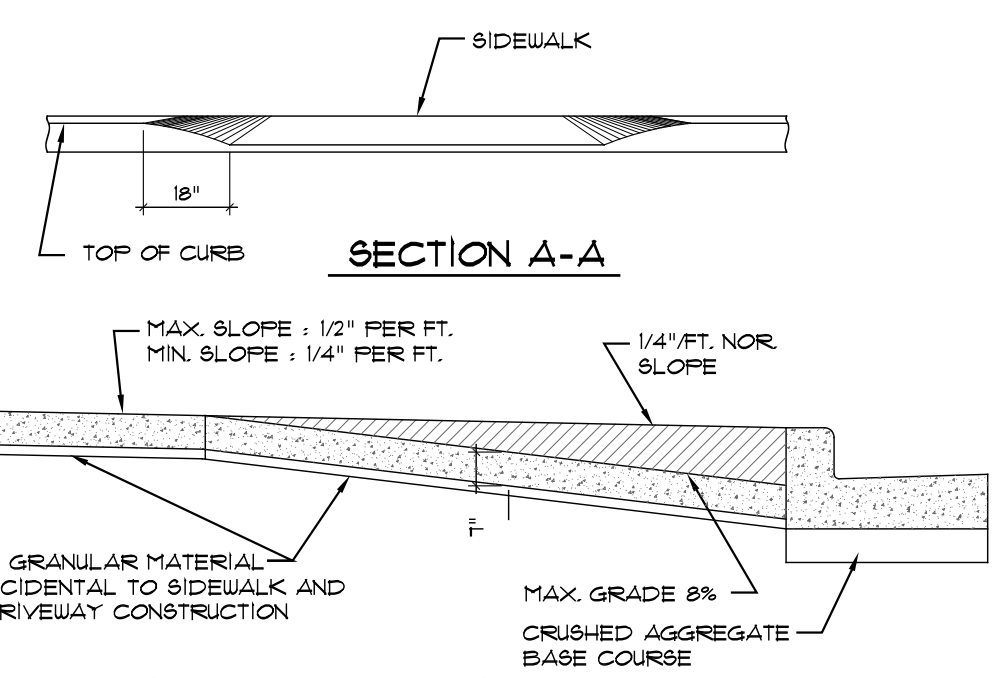
- ALL PAINT STRIPING SHALL BE 6" WIDE, YELLOW.
- H.C. CURB CUTS AND RAMPS PER ADA SEC. 411 MAX. SLOPE TO BE 1:12, MIN. WIDTH TO BE 36". TRUNCATED DOMES ARE TO BE INSTALLED ON EACH SIDE, DIAMOND MESH SURFACE FULL WIDTH AND DEPTH OF RAMP.
- ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
- BITUMINOUS PAVING IS 3" SURFACE COURSE ON 8" COMPACTED STONE BASE.
- ALL EXTERIOR CONCRETE SIDEWALKS TO BE 6" BAG MIX WITH WESTERN FINISH 4" THICK W/ W/RF REINFORCING ON 6" COMPACTED FILL.
- WATER SERVICE MATERIAL SHALL BE 1 1/2" COPPER.
- SEWER AND WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION.
- SIDEWALKS AND DRIVEWAY APRON CONSTRUCTION WITHIN THE PUBLIC RIGHTS OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- EXISTING WATERMAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION.
- SLOPES GREATER THAN 3:1 SHALL BE LINED WITH EROSION MATTING.
- TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY.
- BENCHMARKS TO BE "MADMAX" BENTLEY BAKK (1) - RACKS TOTAL INSTALLED PER CITY OF MADISON REQUIREMENTS.

LIGHT FIXTURE KEY

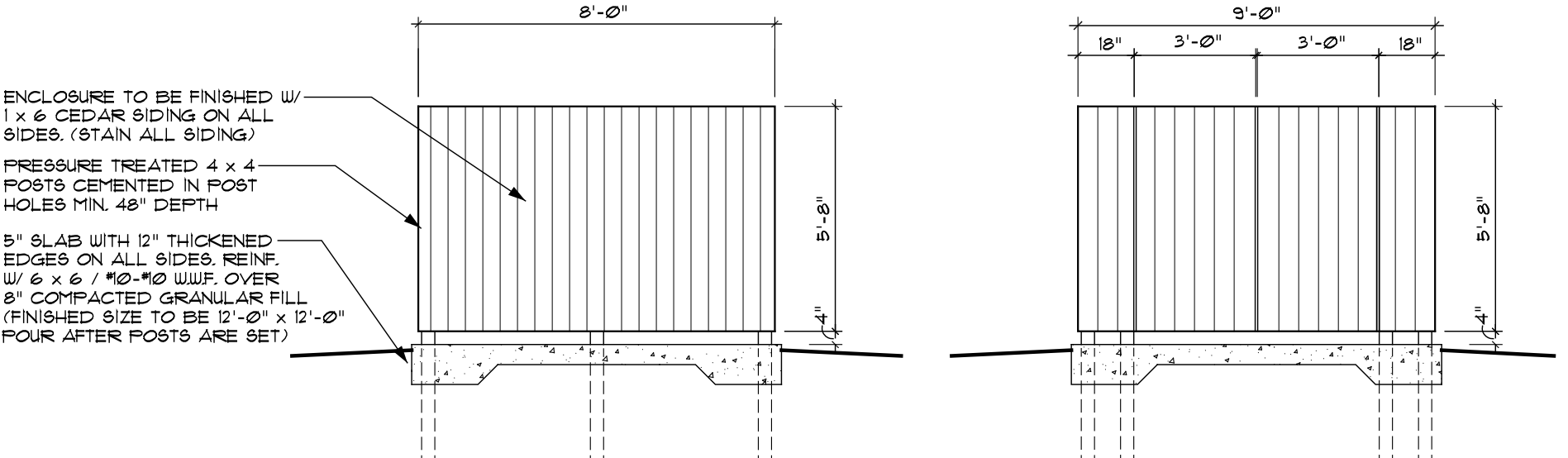
- ▲ RUID 180W MH RECESSED CAN LIGHT FIXTURE RUID CATALOG # RT30 PROVIDE REFLECTOR # RT30 LIGHT FIXTURE IS 11'-4" FROM GRADE
- COOPER LIGHTING WALL SCONCE CATALOG # VUS-10-14-21-28
- RUID 250W MH SINGLE HEAD PARKING LOT LIGHT ON 5' X 20' POLE, MODEL #AVVA0492-M 8BL-AVVA28 (20'-0" FROM GRADE)



2 TYP. CURB RAMP DETAIL
C-11 NOT TO SCALE

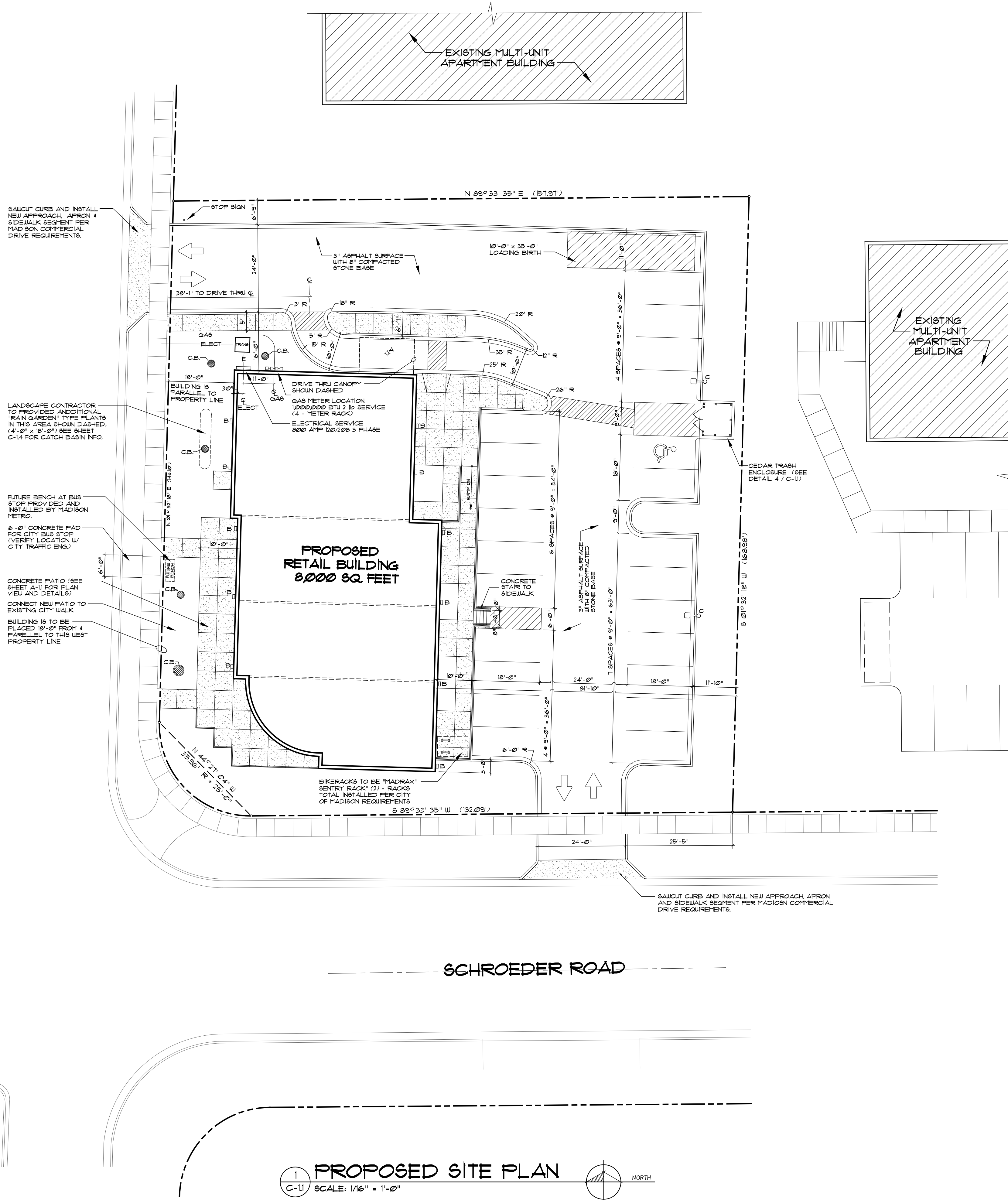


3 DRIVEWAY DETAIL
C-11 SCALE: 1/8" = 1'-0"



4 DUMPSTER ENCLOSURE DETAIL
C-11 SCALE: 1/4" = 1'-0"

GAMMON ROAD



1 PROPOSED SITE PLAN
C-11 SCALE: 1/16" = 1'-0"



634 West Main Street
Madison, WI 53703
608-257-1090
FAX 608-257-1092

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SJR ENTERPRISES, LLC
821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

C-11
7.2.07

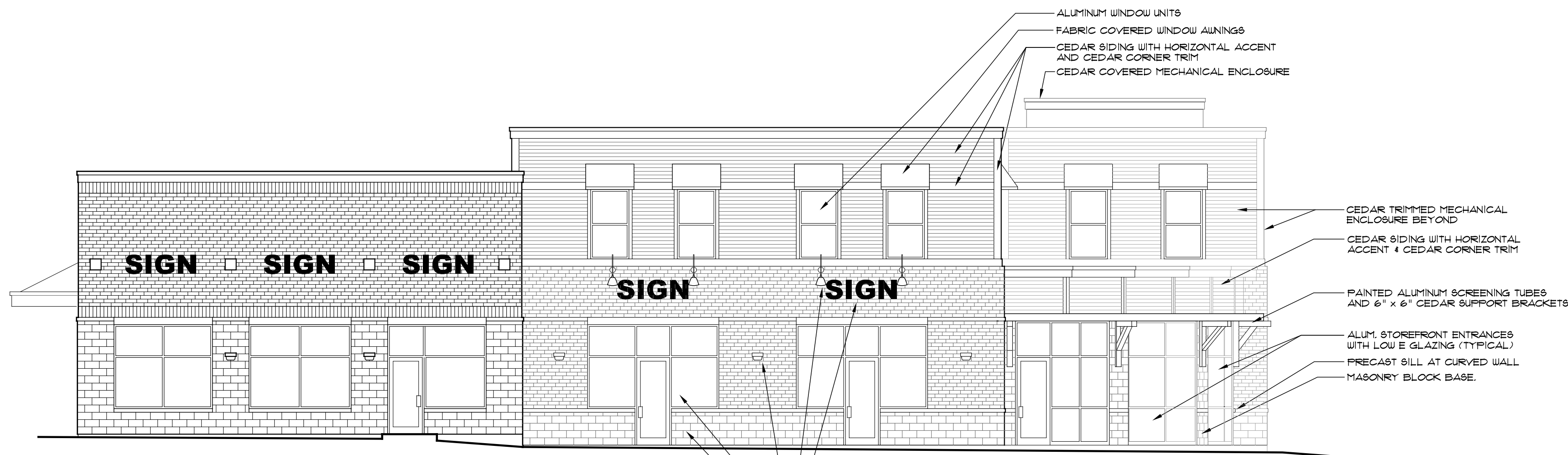
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PROPOSED FACILITY FOR:
SJR ENTERPRISES, LLC
821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

A-2.1

7.3.21



1 WEST ELEVATION
SCALE: 1/8" = 1' - 0"

- FUTURE TENANT SIGNAGE
- GOOSENECK LIGHT FIXTURES ABOVE SIGNAGE
- 150 WATT M.H. DECORATIVE WALL SCONCE
- ALUM. STOREFRONT ENTRANCES
- MASONRY BLOCK BASE

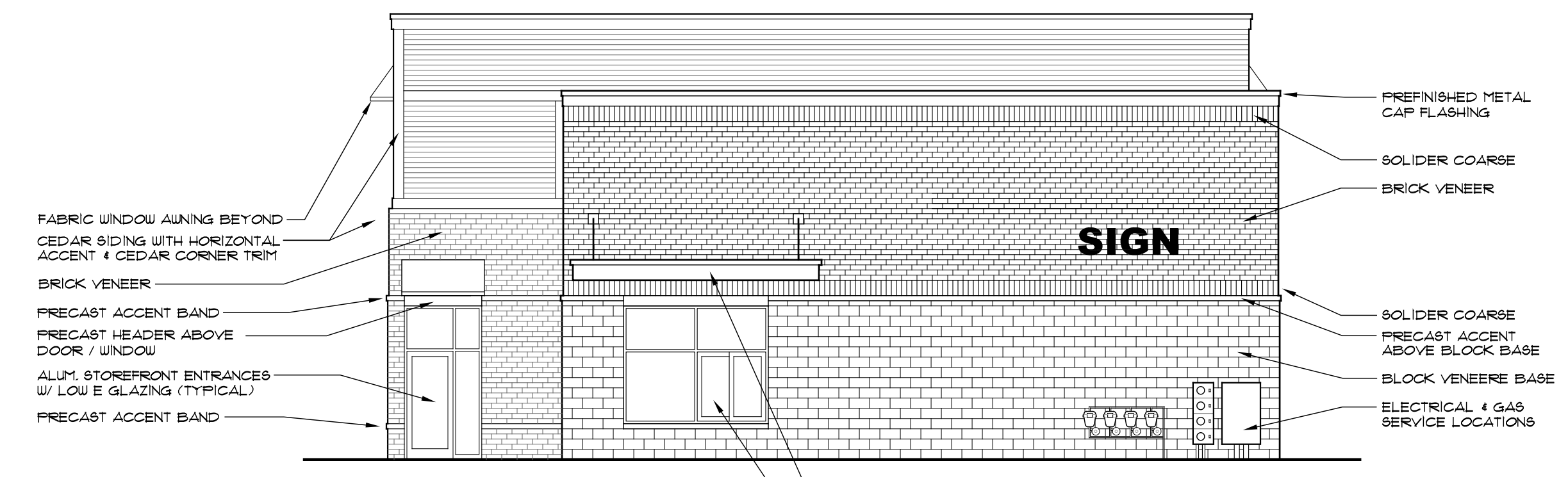


2 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"



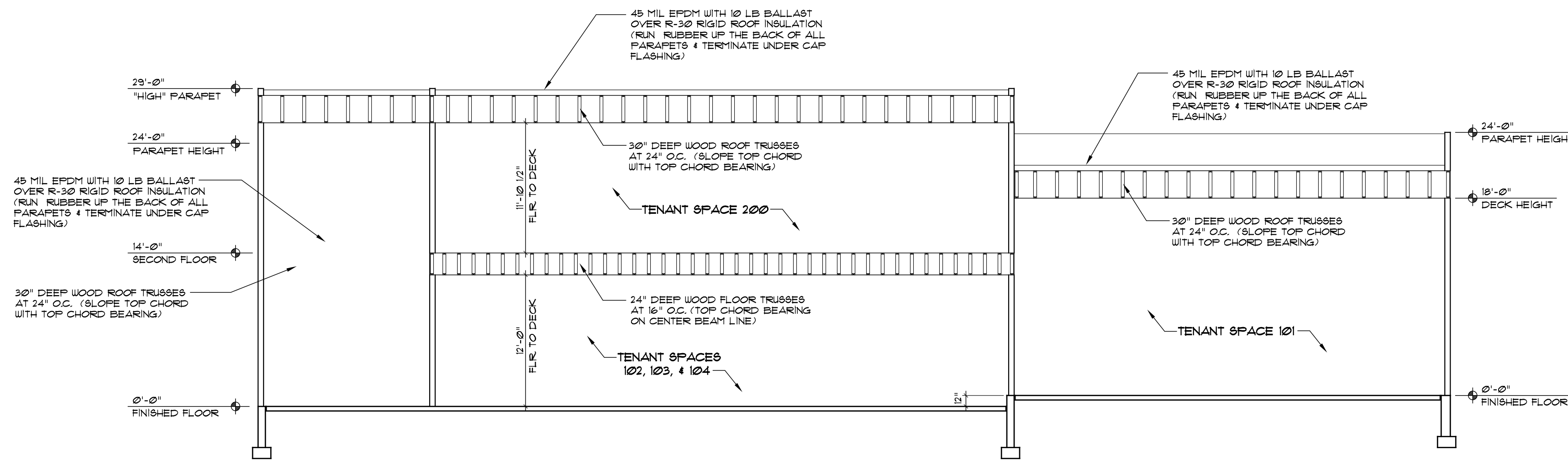
3 EAST ELEVATION
SCALE: 1/8" = 1' - 0"

- FUTURE TENANT SIGNAGE
- GOOSENECK LIGHT FIXTURES ABOVE SIGNAGE
- 150 WATT M.H. DECORATIVE WALL SCONCE
- ALUM. STOREFRONT ENTRANCES
- MASONRY BLOCK BASE



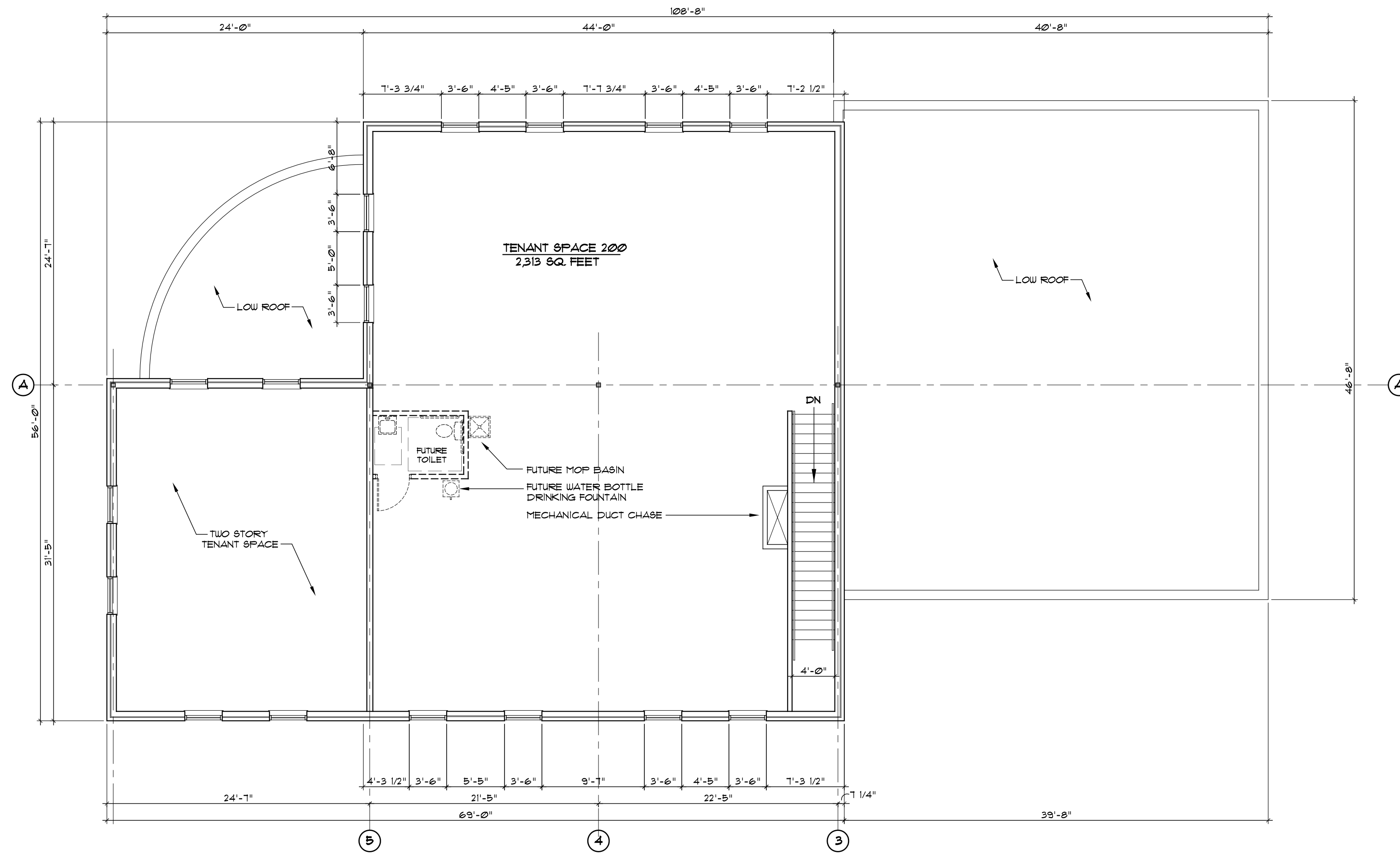
4 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"

MATERIAL LIST	
BLOCK BASE:	TRENDWYTH INDUSTRIES, MESASTONE, "LINCOLN" WITH 8" RETURNS
PRECAST SILLS AND ACCENTS:	EDWARDS CAST STONE, 25, "TAN"
FIELD BRICK:	GLEN GERY BRICK, UTILITY (4x4x12), "CABERNET"
ALUMINUM STOREFRONT AND WINDOW SYSTEM:	KAUWEER, "CLEAR ANODIZED"
EXTERIOR INSUL FINISH SYS (EIFS):	FAREX, # 10414, "KHAKI"
CEDAR SIDING TRIM & ACCENTS:	SHERWIN WILLIAMS, # 6W 3520, "FIGUS"
FABRIC COVERED WINDOW AWNINGS:	DICKSON, # 8166, "BOSTON"
METAL CAP FLASHING / METAL TRIM:	TO MATCH ADJACENT FINISH

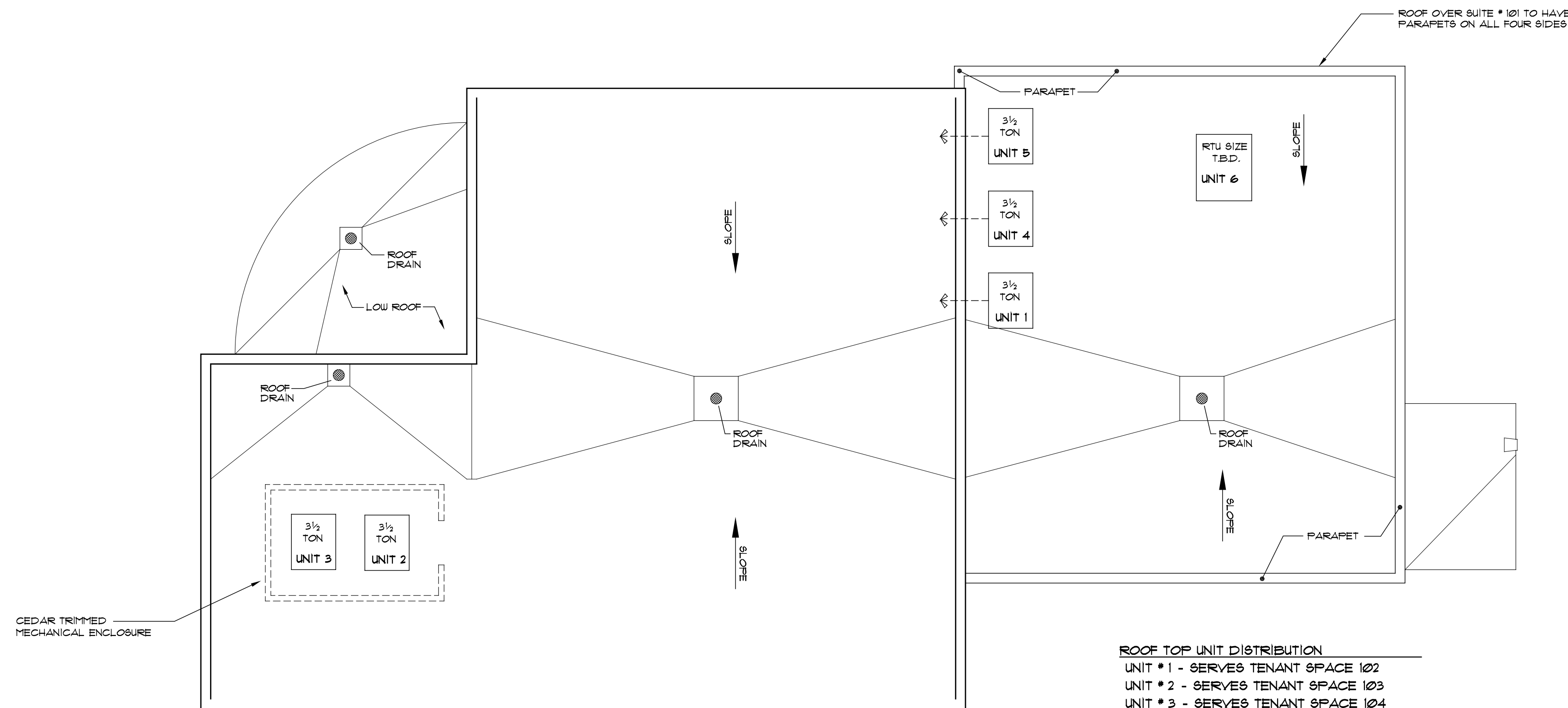


5 FRAMING SECTION
SCALE: 1/8" = 1' - 0"

REVISION	DATE
	7/18/07



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1' - 0"
NORTH



2 ROOF PLAN / RTU PLACEMENT
SCALE: 1/8" = 1' - 0"
NORTH

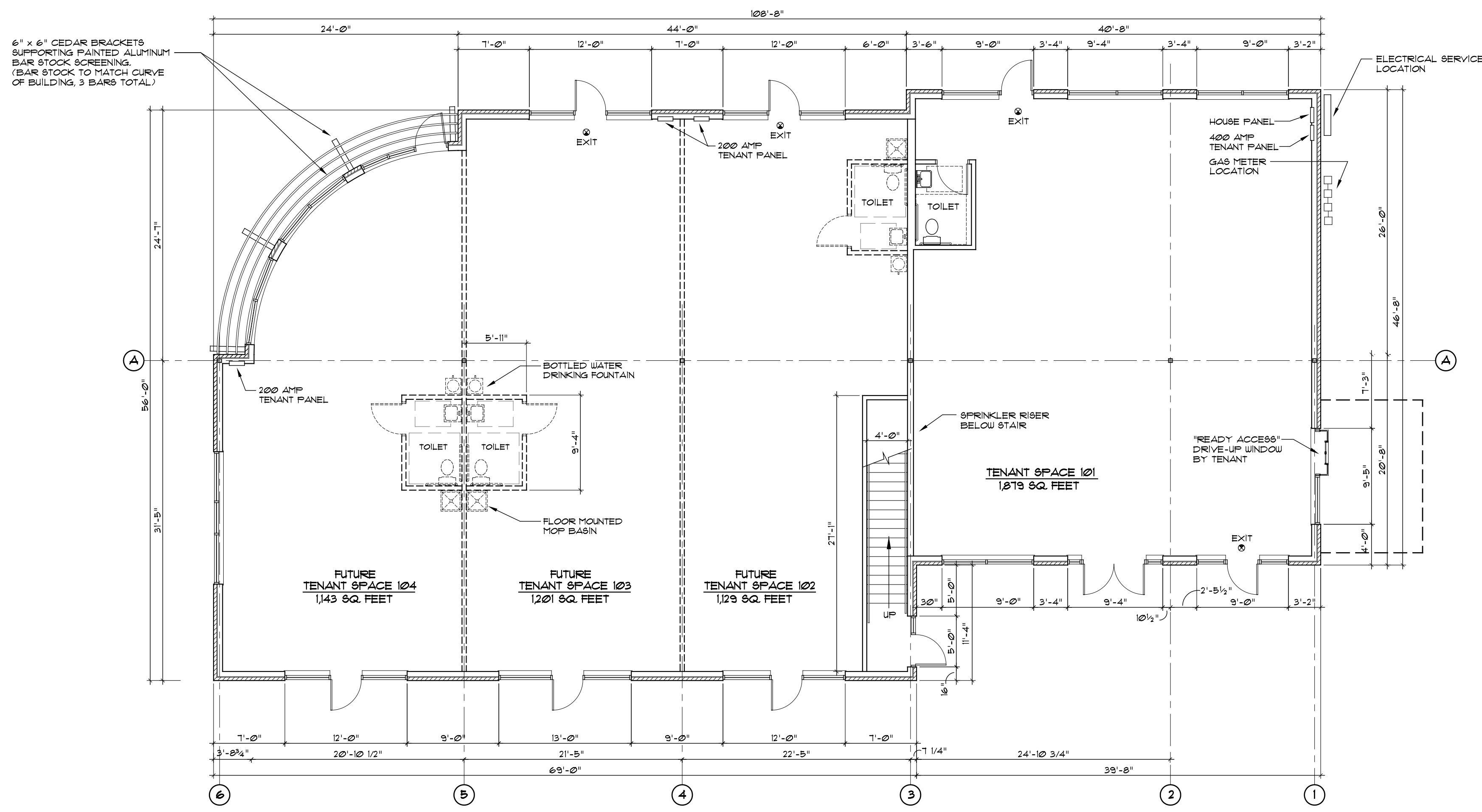
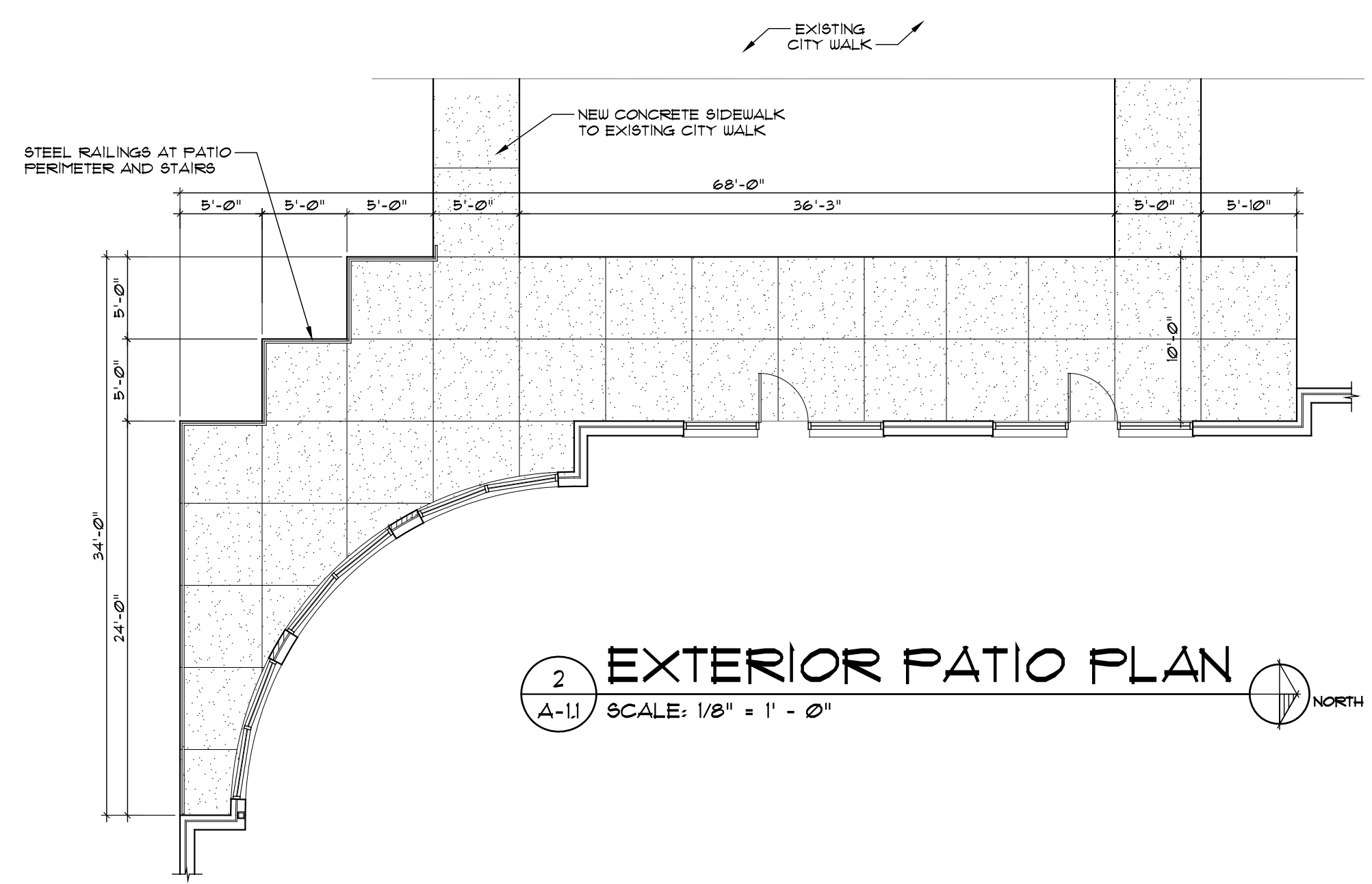
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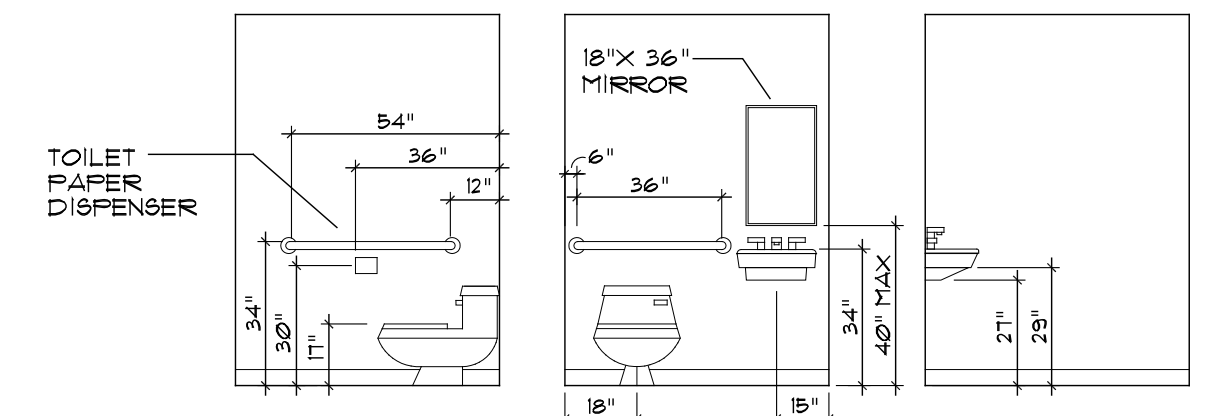
A-1.2

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GENERAL NOTES

- TYPICAL EXTERIOR WALL MASONRY OR BRICK VENEER. (SEE ELEVATIONS). 1" AIR SPACE. AIR INFILTRATION BARRIER, 1/8" O.S.B. SHEATHING, 2 x 6 WOOD STUDS AT 24" O.C. WITH R-19 FIBERGLASS BATT INSULATION IN STUD CAVITIES. VAPOR BARRIER.
- MASON TO USE COLORED MORTAR TO MATCH ADJACENT BLOCK. BLOCK COLOR. VERIFY COLOR WITH ARCHITECT PRIOR TO INSTALL.
 - ALL GLAZING WITHIN A 2'-0" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 5'-0" ABOVE THE WALKING SURFACE ARE TO BE TEMPERED SAFETY GLASS (TYPICAL)



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MADISON, WISCONSIN

PROPOSED FACILITY FOR:

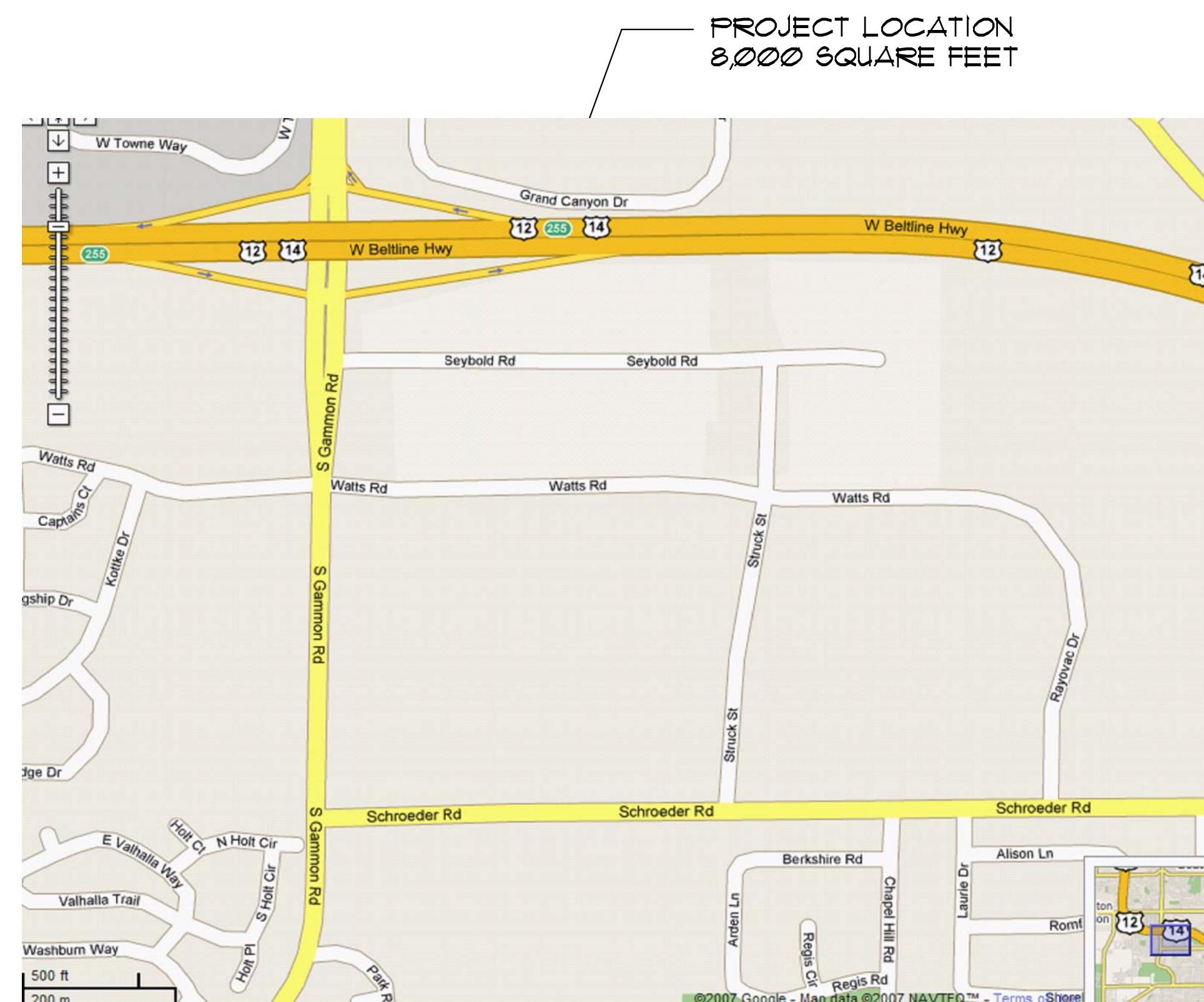
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SITE LOCATION MAP
NOT TO SCALE