



April 14, 2016

City of Madison Planning Division
Department of Planning & Community & Economic Development
215 Martin Luther King Jr. Boulevard
Madison, WI 53703

Attention: Mr. Kevin Firchow

Re: 404, 408 & 410 West Washington Avenue/8, 10-12, &14 North Broom Street, Demolition, Rezoning,
Conditional Use, and Redevelopment

Dear Members of the Common Council, Plan Commission, and Urban Design Commission:

Please accept this Letter of Intent, Application, and attachments as our formal request for a rezoning and conditional use review and approval by the City of Madison for the redevelopment of the above listed six properties located at the corner of West Washington and North Broom Street.

Project Team:

Owner: Stephen Bus
Managing Principal, Up Urban Properties, LLC
Downtown: 152 W Huron, Suite 100, Chicago, IL 60654
Mailing: 2280 White Oak Circle, Suite 101, Aurora, IL 60502
312.590.9700
sbus@upcampusproperties.com

Architect: Aro Eberle
16 King Street, #202
Madison, WI 53703
Contact: Doug Pahl
608.204.7464
pahl@aroeberle.com

Civil Engineer: Kimley-Horn
200 South Executive Drive,
Suite 101, Brookfield, WI 53005
Contact: Scott Maier
Office: 262.789.6714
Cell: 262.765.0564
Scott.maier@kimley-horn.com



Landscape Architect: Ken Saiki Design, Inc.
303 South Paterson
Madison, WI 53703
Contact: Joe Porter
608.251.3600
JPorter@ksd-la.com

Project Overview:

The project site is located on the northwest corner of West Washington Avenue and North Broom Street, providing a transition from the predominantly student neighborhood along West Washington Avenue and Mifflin Street to the high-rise condominium and commercial office neighborhood located in the Downtown Core, as defined by the City of Madison Downtown Master Plan. The proposed building consists of a total of 81,228 SF with a total of 86 units including 59 studios, 1 one-bedroom, 15 two-bedrooms, and 11 three-bedrooms. Amenities include a rooftop terrace, lobby/gathering space that opens onto a large communal front porch.

The proposed building, which is located within walking distance of the Downtown and University, and is on three high frequency Metro bus lines as well as one of the Epic bus lines, is intended to be a transit oriented development (TOD). Vehicle parking is therefore limited to 34 stalls. There are 18 moped stalls in the parking garage and 75 bike stalls, with 59 located in the parking garage and 16 located at grade to the west of the building.

The proposed building will be marketed primarily to young professionals, though it will also likely attract some mature students (e.g. graduate students and upperclassmen) given its proximity to the Mifflin and Bassett neighborhoods. The high percentage of studios is intended to provide an affordable option for young professionals. The studios will be furnished with high quality built-in bed/storage units, thereby maximizing the available living area. Up Urban Properties has successfully built similar properties in both Chicago and Seattle.

The proposed building is in the Capital Neighborhoods Inc., Miffland District, and Aldermanic District 4, Ward 40.

Existing Conditions:

The existing property includes six older multi-unit homes consisting of a total of 11 units and 8-9 parking spaces serving approximately 53 residents. The current zoning is Planned Development, which was established in order to accommodate the relocation of 410 West Washington Avenue (in the back of the proposed project site) in 2000.

The Landmarks Commission has reviewed the demolition application and has determined that the six buildings have "historic value related to the vernacular context of Madison's built environment," but the buildings themselves are **"not historically, architecturally or culturally significant."** One of the buildings, however, 10-12 North Broom Street, was designed by the architect Robert Wright (no relation to Frank Lloyd Wright) for James Nevin, who lived next door at 14 North Broom Street. At the request of Preservation Staff, Up Urban Properties will transfer ownership of the building to any interested party as well as provide \$10,000 to defray the cost of moving it to another location.



Staff and Neighborhood Input:

Up Urban Properties engaged Urban Assets to coordinate and facilitate meetings with Alder Verveer, city staff, and the Miffland District Neighborhood.

In keeping with Capital Neighborhoods Inc.'s past practices, a Miffland District Neighborhood Steering Committee was convened. The Steering Committee began meeting on February 10th and has met a total of six times to date. In addition to presenting at the regularly scheduled Miffland District Neighborhood Meeting on March 2nd, a full neighborhood meeting was held on March 8th. A second neighborhood meeting will be held during the last week in April. It is the intention of the development team to work collaboratively with the neighborhood to build consensus for the proposed project.

The development team has been in regular contact with Alder Verveer, with the first meeting occurring on February 10th. Alder Verveer has also been able to participate in a number of the Steering Committee Meetings and has received the notes from the meetings with planning and zoning staff.

The development team first met with city staff on January 27th and has continued to consult with them regularly either at in-person meetings or via email or phone.

Rezoning:

At zoning staff's recommendation, we are requesting that the property be rezoned to Downtown Residential 2 District (DR-2), which will bring it in line with the surrounding properties on West Washington Avenue, North Broom Street, and West Mifflin Street. The unit mix provides an average point value of 1.25.

Mapping Setbacks:

The parking below grade encroaches into the front and back setbacks by 5' and 15', respectively. Per the Zoning Administrator's direction, we are requesting this below grade setback, which is allowable under the zoning code, be mapped.

Required Step Back:

The required side setback, according DR-2, is 5' on West Washington Avenue. In order to better respond to the existing context of the buildings and porches along West Washington Avenue, however (see Setback Context Exhibit in plan set), west end the building is designed with a 12' setback from the property line at the first floor and a 13' setback for floors 2-4; the east end of the building has a 15' setback from the property line for floors 1-4. If the additional two stories are granted, the project will be required to have a 30' step back at the fifth floor. The 30' setback at the fifth floor responds to the 13 foot setback and 15 foot setback, respectively.

Lot Coverage and Open Space:

The proposed building and impervious paving will occupy 79% of the site – 80% is allowable per DR-2 zoning. The building also features 5,025 SF of usable open space – 2,460 SF required per DR-2 Zoning. This calculation does not include the balconies as currently most do not meet the 4'6" minimum. Total balcony space, however, is 2,607 SF.

Sustainability:

An increase in density within the Downtown increases sustainability. Other sustainable features of the project include:

1. Sustainable TOD Site:
 - a. Immediately adjacent to three high frequency Metro lines (38, 82, 27) and a dedicated Epic bus line (75). There are 100+ bus arrivals per day at the West Washington & Broom intersection.
 - b. Walking distance to Capitol Square, UW Campus, State Street and lakes.
 - c. Car Alternatives: Use of intelligent mix of moped spaces, bike spaces, and transit. Site has excellent Community Connectivity.
 - d. Open Space: Project exceeds the open space requirements in the Downtown Plan.
 - e. Stormwater Design: Project increases the amount of permeable surface on the site.
2. Water Efficiency: Reduced indoor water use with installation of water-efficient fixtures and on-demand water heating systems. Landscaping designed with climate-tolerant vegetation that can survive natural amounts of rainfall, and usage of drip irrigation to maintain greenery year-round.
3. Energy & Atmosphere:
 - a. Building envelope and mechanical systems designed for optimal energy performance. "On demand" mechanical and plumbing systems reduce heat loss in non-peak usage.
 - b. Use of low-E glass.
 - c. Optimized Energy Performance vs. old existing buildings: Older buildings are notoriously energy inefficient for the number of occupants that reside in them.
4. Materials & Resources: Materials from renewable sources (wood framing), materials with high insulation coefficient (brick and stone masonry), and materials with high recycled content, including composite fiber cement board, metal panels and concrete structure. Use of durable building materials to ensure longevity without replacement and less lifetime maintenance. Potential re-use of one of the existing buildings (see "Existing Conditions" section). Storage and collection of recyclables and reduction of construction waste.
5. Indoor Environmental Quality:
 - a. Specific low-emitting materials that release fewer and less harmful chemicals to improve air quality of interior of building.
 - b. Balance of daylight access through at least one full-height window/door in all units vs. reasonable reduction in solar heat-gain through strategic placement of larger glass zones.
 - c. Natural ventilation in the form of operable windows.
 - d. Exceeding minimum transparency requirements to provide more natural daylighting and solar heat gain.

Downtown Design Guidelines:

The proposed project has been designed to meet requirements of the Downtown Design Guidelines. The proposed project meets the following specific criteria:

1. Parking is located underground.
2. Parking garage opening on Broom Street is no higher than 16' and no wider than 22'.
3. Primary entrance to the proposed project is located on West Washington Avenue.

4. The entryway is clearly visible and identifiable from the street and delineated by a recessed entryway and porch overhang.
5. The proposed building facades are articulated through the use of step backs and changing materials and patterns. The balconies reinforce the vertical intervals.
6. The ground story height is 12'. The upper story heights are 10'-9".
7. The glazing percentage required is 15%. The glazing for the proposed building façades is as follows:
 - a. North: 20.5%
 - b. South: 28%
 - c. East: 31%
 - d. West: 20.8%
8. Clear glass will be used on all windows to allow views into and out of the interior.
9. The proposed building will be constructed of durable, high quality materials including limestone, brick, metal panel, and high-density fiber cement. Wood will be used as an accent on the front porch and the balconies.
10. All rooftop equipment will be screened in compliance with the design guidelines.

Conditional Use:

The proposed building sits within the four story height district in the Downtown Height Map, but is allowed an additional two stories as a conditional use, based on the Additional Height Areas Map, in conjunction with a 30-foot step back. We are requesting the additional two stories based on meeting the following criteria:

Criteria A: The excess height is compatible with the existing or planned (if recommendations in the Downtown Plan call for changes) character of the surrounding area, including but not limited to the scale, mass, rhythm, and setbacks of buildings and relationships to street frontages and public spaces.

1. With regards to West Washington Avenue, the Downtown Plan states on page 50:

"Substantial redevelopment with larger, taller buildings is anticipated over time, and long-term preservation of older structures is not a specific recommendation, except in the case of designated landmarks."

The Downtown Plan recommends that West Washington Avenue redevelop and densify over time, with four stories by right and the potential for an additional two stories as a conditional use. The proposed building is adjacent to the Mifflin Street height district, which is six stories by right and across the street from an eight story district (please refer to Allowable Height District Comparison in the plan set). 825 West Washington, located down the block across West Washington, is five stories.

2. According to the Downtown Plan, West Washington is intended to be a "grand boulevard" leading to the Capitol. Key to this recommendation is the maintenance of the expansive, green terrace and the tree canopy.

The proposed building's set backs are in keeping with the rhythm of the terrace along West Washington. The west portion of the proposed building is set back 13' from the property line at the ground floor and 12' at levels 2-4; the east portion is set back 15'. If we assume the edge of the sidewalk is 2.5' from the property line, then those setbacks become 15.5', 14.5' and 17.5' respectively. The setbacks from the back of the

sidewalk for the existing properties along the same block range from approximately 8-19' with an average of 15'. The setback for the newer building on the southeast corner of West Washington and South Broom Street is 6'. The setback for Metropolitan Place to the east ranges from 3'4" at the tower to 11.5' in front of Maharini and east of the tower.

The area between sidewalk, building front, stairs, and communal porch is well landscaped, including the addition of four new ornamental trees, in order to further support the feeling of a "grand boulevard". There are two large, healthy trees West Washington located in front of the project site. These will be carefully protected during construction to ensure their health and longevity.

3. One of the key architectural features of West Washington Avenue that contributes to its vibrancy and sense of community are the outdoor living spaces provided by the porches. The proposed building maintains the residential feel of West Washington by placing a two-bedroom unit with a balcony on the first floor. This rhythm is carried forward along first floor of North Broom Street as well. The proposed building includes a 500 SF communal front porch at the corner, which can be expanded by opening up the glass wall to the lobby/gathering area.

Criteria B: The excess height allows for a demonstrated higher quality building than could be achieved without the additional stories.

1. Adding two stories allows us to provide the contextually sensitive setback along West Washington, providing the opportunity for more landscaping and community space, and a generous side yard setback on the west. This leaves 1,900 SF of buildable site open, which over four floors, equals 7,600 SF of buildable site left open. The additional two stories provides the opportunity to recapture this space as leasable square footage on floors 5-6 (please refer to the Building Form Exhibit in the plan set).
2. A full first story of limestone wraps the building along West Washington Avenue, North Broom Street, and the publicly accessible western side of the building. Limestone also defines the communal porch and first floor balconies, creating a warm and inviting experience for the pedestrian. More varied and higher quality materials, including limestone, brick, metal panel, wood, and high density cement panels creates a lively, attractive building that is of its time but also echoes some of the surrounding materials and colors.
3. The additional two stories and the articulation of the materials and the roofline give the building a stronger, more elegant appearance than would a simple four story building. In addition, the two additional stories create a more seamless transition from the West Washington Height District to the Mifflin Street Height District, which is six stories by right (Please refer to Allowable Height District Comparison Exhibit in the plan set).
4. A larger building with more residents creates the opportunity for more amenities, including the 500 SF communal porch that can be expanded into the lobby/gathering space with a moveable glass wall, and the 1,500 SF rooftop terrace. The communal porch will not only benefit the residents, but will also increase engagement between the property and surrounding neighborhood, and provide a sense of place and safety for pedestrians and people waiting for the bus.

5. DR-2 requires 2,460 SF of usable open space—with the additional stories, we are able to provide 5,025 SF, or more than double what is required. If the 2,607 SF of balcony space is included, the amount of usable open space increases to 7,632 SF, or more than triple what is required.
6. Two additional stories provide greater density that provides the opportunity for rooftop HVAC systems which are more energy efficient and avoids unsightly openings in the architectural skin (no “magic packs”).
7. Exceeding minimum transparency (glazing) requirements provides for more daylight for occupants and creates a more dynamic building façade. The proposed building exceeds the 15% required glazing by a range of 5 to 16%

Criteria C: The scale, massing and design of the new buildings complement and positively contribute to the setting of any landmark building with or adjacent to the project and create a pleasing visual relationship with them.

NOT APPLICABLE

Criteria D: For projects proposed in priority viewsheds and other views and vistas identified on the Views and Vistas Map in the City of Madison Downtown Plan, there are no negative impacts on the viewshed as demonstrated by the viewshed studies prepared by the applicant.

1. The proposed building does not impact views or vistas of the Capitol. Please refer to the renderings placed in context on the Set Back Exhibit in the plan set, which includes views looking east and west.

Downtown Plan, Appendix C: Additional stories are to be used as a tool to encourage and reward buildings of truly exceptional design that respond to the specific context of their location and accomplish specific objectives defined for the area.

The determination of whether or not this project can be considered “exceptional design” is the purview of the Urban Design Commission. To aid in this determination, we would like to highlight a few of the specific Downtown Plan objectives and recommendations that this proposed project addresses:

- Objective 2.4: Encourage higher density infill and redevelopment that is innovative and sustainable, and complements and enhances the areas in which they are proposed.
- Recommendation 17: Guide development to locations recommended in the plan for buildings of corresponding height and scale.
- Recommendation 18: Promote high quality architecture and craftsmanship for new buildings to reinforce Downtown as an engaging and attractive employment location.
- Recommendation 33: Increase the supply of attractive, affordable work-force housing and executive housing.
- Recommendation 53: Enhance the special character of West Washington Avenue, including the preservation of wide terraces with mature canopy trees.



- Recommendation 48: Seek to implement transit-oriented development principles in locations near existing and proposed transit stops.
- Recommendation 85: Maintain and enhance West Washington Avenue as a "grand boulevard" entryway to Downtown, with wide terraces (but not a median); large canopy street trees; consistent building setbacks; and special lighting, signage and other streetscape improvements.
- Recommendation 86: Restrict vehicle pull outs, wide driveways and street facing garages or parking areas on the West Washington frontage, and encourage cooperative solutions to vehicle access and parking, including underground parking and shared parking, to reduce driveway cuts and facilitate development of larger footprint buildings.

Project Schedule:

The project is scheduled to begin construction in the summer of 2017 with completion in August 2018.

Hours of Operation:

Yearlong operation, 24 hours per day, seven days per week.

Value of the Land: \$608,900

Estimated Project Cost: \$10,500,000

Number of Construction Jobs Created: 60-90 construction jobs

Number of Full Time Equivalent Jobs Created: 3 full-time jobs for leasing, maintenance, and management

Public Subsidy Requested: None requested.

We look forward to working with the City and Neighborhood to develop a successful project on this important gateway to the Downtown Core.

Regards,

A handwritten signature in cursive script that reads "Stephen Bus" with a small mark below it.

Stephen Bus
Managing Principal, Up Urban Properties

UP Urban Properties

400 West Washington Ave
Madison WI 53703

RESUBMITTAL 04/14/2016



Project Data

PROJECT INFORMATION
LOCATION: Capital Neighborhoods, Alder District 4, Alderman Michael E. Verveer
ZONING: DR2: Downtown Residential 2
LOT AREA: 3000 SF
LOT WIDTH: 30 FOR 1, 2 AND 3 UNIT BLDGS. 40 FOR 4- UNIT BLDGS AND HIGHER, AND FOR NON RESIDENTIAL AND MIXED USE
FRONT YARD SETBACK: 10'
SIDE YARD SETBACK: 5'
REAR YARD SETBACK: LESSER OF 20% LOT DEPTH OR 20'
MAX LOT COVERAGE: 20%
MAXIMUM HEIGHT: 2 STORIES
MAXIMUM HEIGHT: 4 STORIES * PER ADDITIONAL HT MAP SECTION 28.071 (2) (B) BUILDINGS ALONG THE FRONTAGE OF 400 AND 500 BLOCKS OF WEST WASHINGTON AVE MAY BE ALLOWED TWO (2) ADDITIONAL STORIES ABOVE THE FOUR (4) BLDG HEIGHT LIMIT PROVIDED THERE IS A 30'-0" STEPBACK
STEPBACKS: 30 FT ABOVE 4 STORIES WHEN ADJACENT TO WASHINGTON AVE.
USABLE OPEN SPACE: 20 SF PER BEDROOM REQUIRED FOR A TOTAL OF 2460 SF. 5025 SF. PROVIDED*
Does not include private balconies- most do not meet 4.5' min. dimension
PROJECT IS IN PROTECTED VIEW AND VISTAS CORRIDOR MAJOR TRANSIT EXISTS ON BOTH STREETS

Approx. Unit Areas	820	1,100	950	850	400	320	Units/Floor	Bedroom/Floor
New Construction	1x1 D.O.	3x3 D.O.	3x3	2x2	Studio D.O.	Studio		
Parking LL1								
Floor 1 (lobby - residential)	1	0	1	2	0	8	12	16
Floor 2 (residential)	1	1	3	6	6	5	16	23
Floor 3 (residential)	1	1	3	6	6	5	16	23
Floor 4 (residential)	1	1	3	6	6	5	16	23
Floor 5 (residential)	1	1	2	0	9	13	19	
Floor 6 (residential)	1	1	2	0	9	13	19	
Total	1	5	6	15	18	41	86	123
% OF TOTAL UNITS	9%	6%	4%	11%	22%	48%	Total Units	Total Bedrooms

Residential Point System

Studio (0.75)	44.25
One Bedroom (1)	1
Two Bedroom (2)	30
Three Bedroom (3)	33
Average Point Value	1.25
Average Point Value to Beat	1.25

Parking

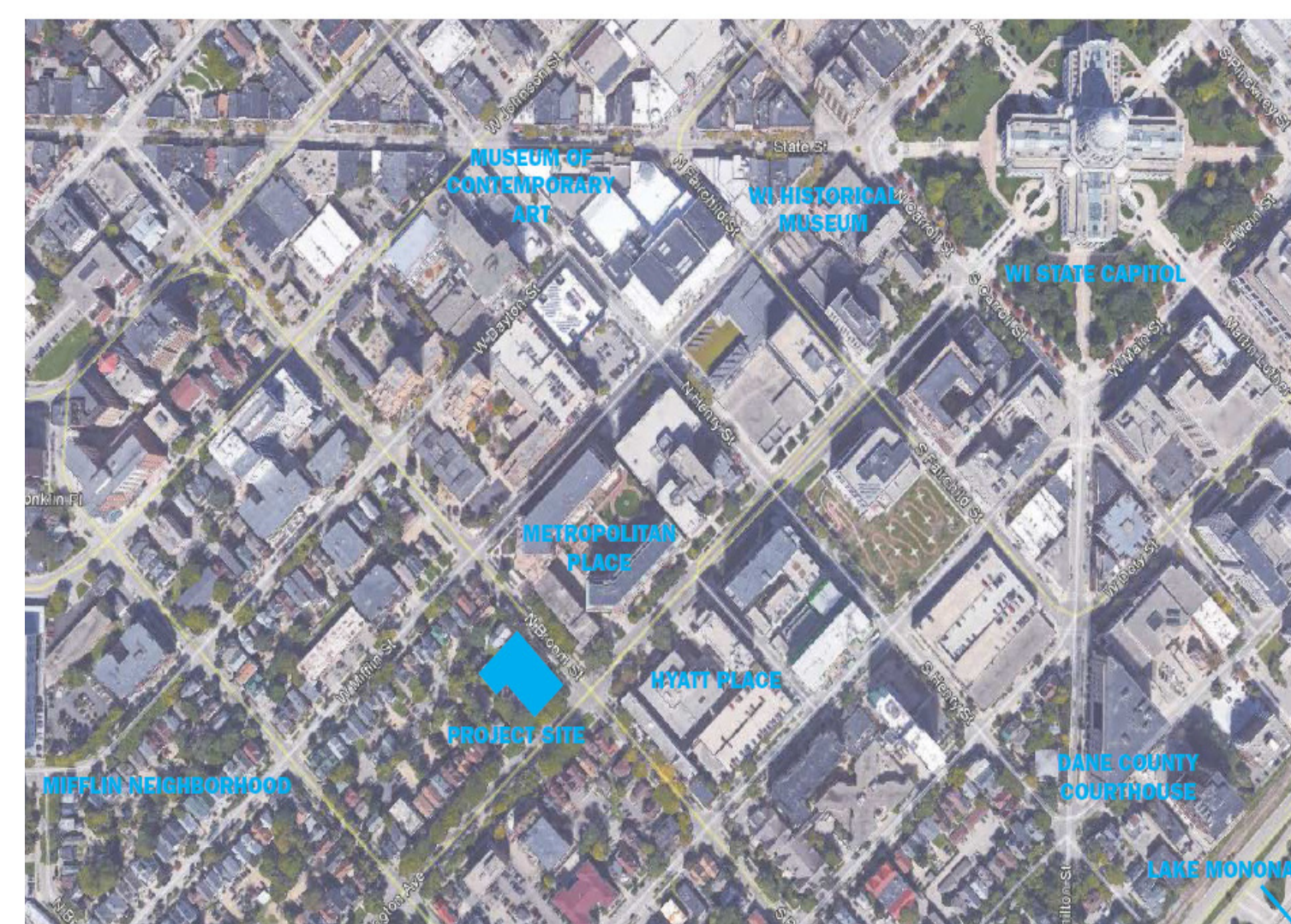
11 - Residential	34
Total	34
Moped Parking	18
Bike Parking	59
Bike Parking Surface	16

No.	Description	Date

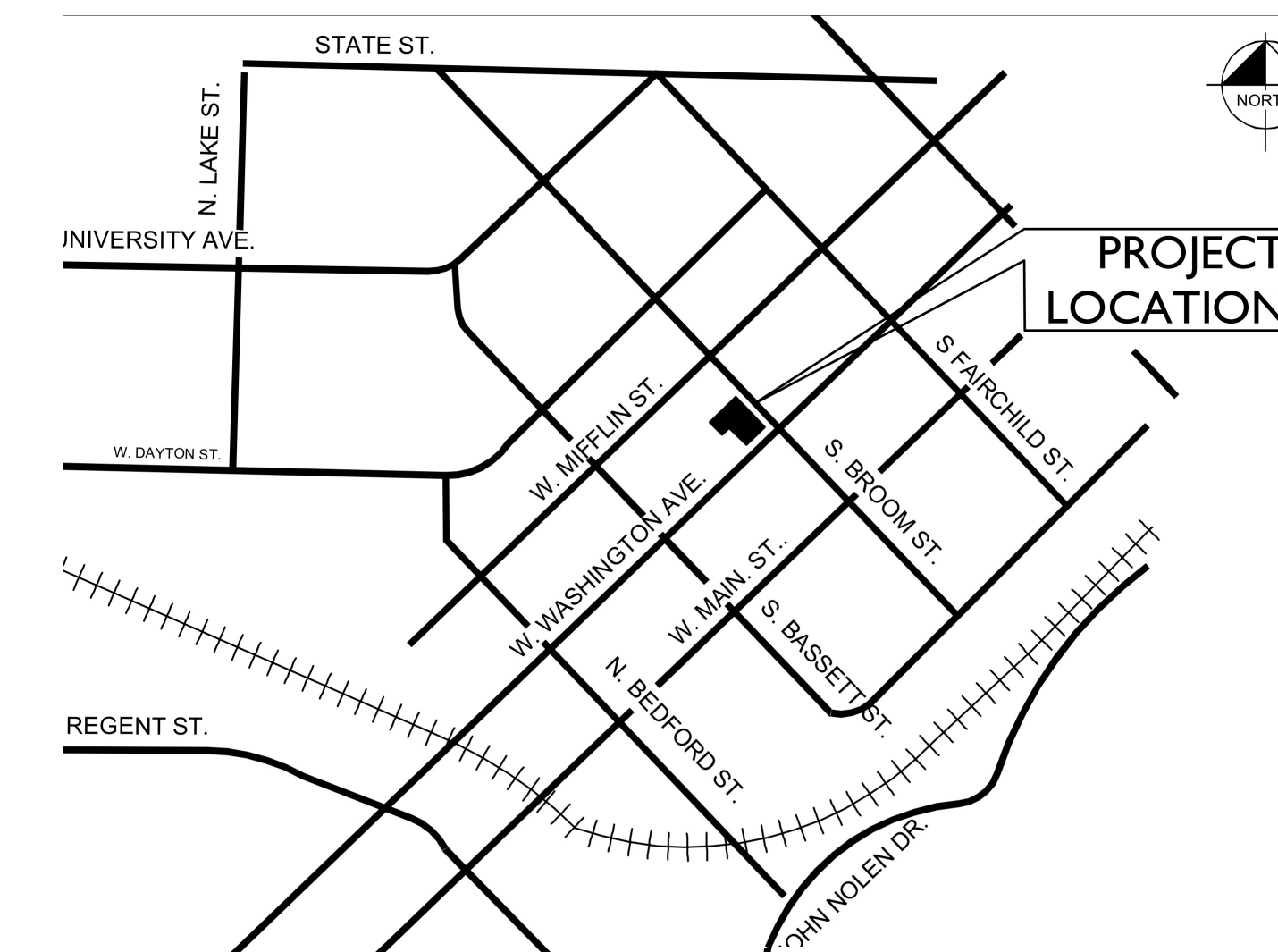
West Washington at Broom Street

SHEET INDEX

C1.0 COVER SHEET	P000 COLOR RENDERINGS
C2.0 EXISTING CONDITIONS PLAN	P100 COLOR ELEVATIONS - SOUTH
C3.0 DEMOLITION PLAN	P101 COLOR ELEVATIONS - WEST
C4.0 SITE PLAN	P102 COLOR ELEVATIONS - NORTH
C5.0 EROSION CONTROL PLAN	P103 COLOR ELEVATION - EAST
C6.0 GRADING PLAN	P104 CONTEXT IMAGERY
C7.0 DRAINAGE PLAN	P105 CONTEXT IMAGERY
C8.0 UTILITY PLAN	P106 SHADOW STUDY
C9.0 GENERAL NOTES	L100 SITE AND FIFTH FLOOR TERRACE PLANTING PLANS
C10.0 CONSTRUCTION DETAILS	L200 LANDSCAPE IMAGERY
C10.1 CONSTRUCTION DETAILS	E100 PHOTOMETRIC PLAN
A100 LOWER LEVEL	EX1 EXHIBIT: CONTEXTUAL HEIGHT ANALYSIS ELEVATIONS
A101 FIRST FLOOR	EX2 EXHIBIT: CONTEXTUAL HEIGHT ANALYSIS ELEVATIONS
A102 FLOORS TWO THROUGH FOUR	EX3 EXHIBIT: CONTEXTUAL HEIGHT ANALYSIS 3D VIEWS
A105 FLOORS FIVE AND SIX (SIM)	EX4 EXHIBIT: CONTEXTUAL HEIGHT ANALYSIS 3D VIEWS
A107 ROOF PLAN	EX5 EXHIBIT: SETBACKS
A400 SOUTH ELEVATION	EX6 EXHIBIT: BUILDABLE AREA
A401 WEST ELEVATION	
A402 NORTH ELEVATION	
A403 EAST ELEVATION	



Project location



Site Map

UP Urban Properties

400 West Washington

400 W Washington Avenue
Madison, WI 53703

Project Status	
Project number	####
Date	Issue Date

UP MADISON HOUSING

FINAL ENGINEERING PLANS

400 WEST WASHINGTON MADISON, WI 53709

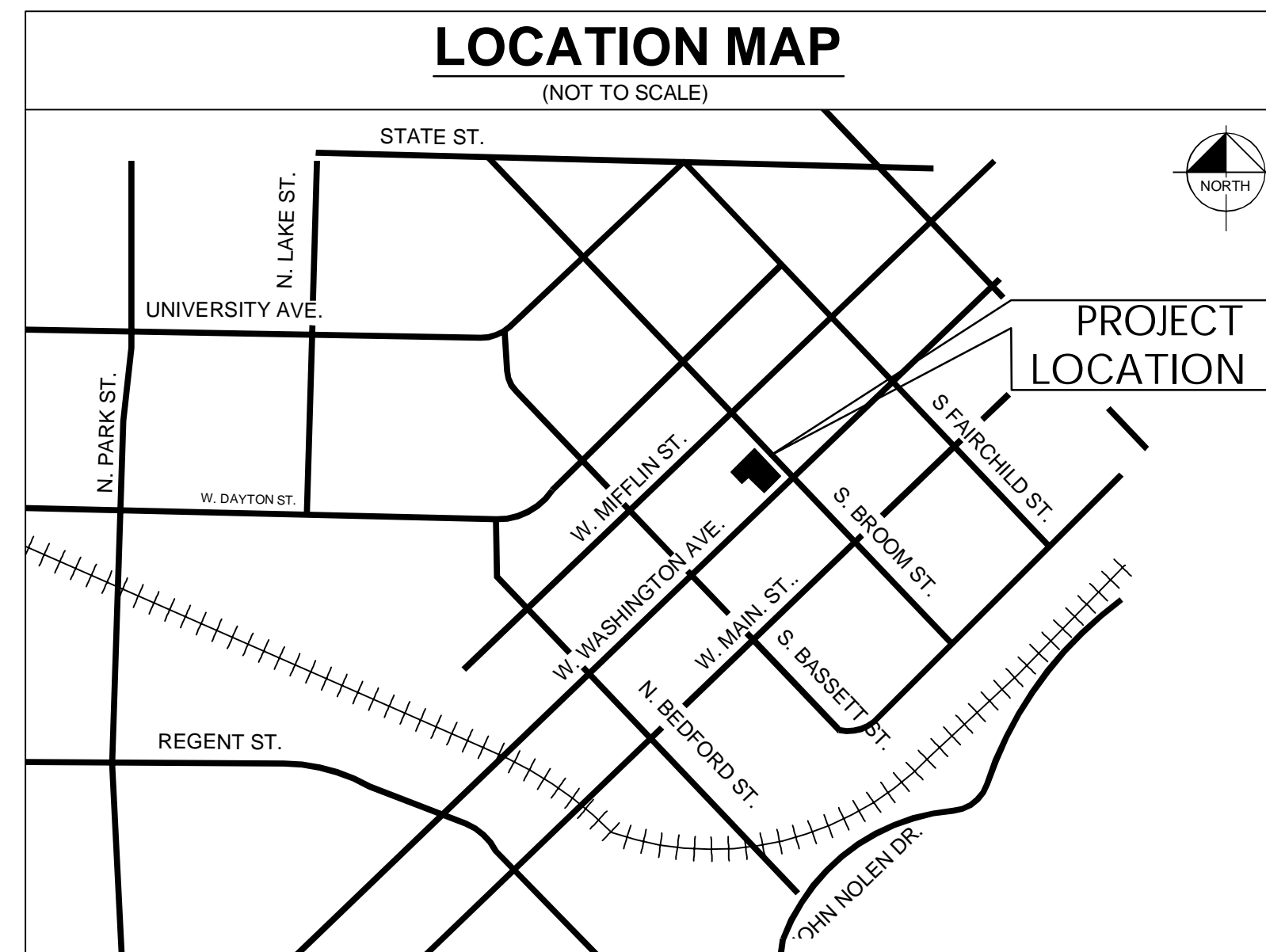
PROJECT TEAM

OWNER
UP CAMPUS PROPERTIES, LLC
2280 WHITE OAK CIRCLE, SUITE 101
AURORA, IL 60502
TEL: (312) 590-9700
CONTACT: STEPHEN BUS

CIVIL ENGINEER
KIMLEY-HORN
200 SOUTH EXECUTEVE DRIVE, SUITE 101
BROOKFIELD, WI 53005
TEL: (262) 789-6714
CONTACT: SCOTT MAIER

LANDSCAPE ARCHITECT
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303 S. PATERSON STREET, SUITE 1
MADISON, WI 53703
TEL: (608) 251-3600
CONTACT: JOE PORTER

ARCHITECT
ARO EBERLE
116 KING STREET, SUITE 202
MADISON, WI 53703
TEL: (608) 204-7464
CONTACT: LINDA PAGE



INDEX OF SHEETS

Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS PLAN
C3.0	DEMOLITION PLAN
C4.0	SITE PLAN
C5.0	EROSION CONTROL PLAN
C6.0	GRADING PLAN
C7.0	DRAINAGE PLAN
C8.0	UTILITY PLAN
C9.0	GENERAL NOTES
C10.0	CONSTRUCTION DETAILS
C10.1	CONSTRUCTION DETAILS

LEGAL DESCRIPTION

LEGAL DESCRIPTION

Parcel A:
The Southeast 33 feet of the Northwest 66 feet of Lot 10, And the Southeast 33 feet or the Northwest 66 feet of Lot 11, and the Northwest 33 feet of Lot 10 and the Northwest 33 feet of Lot 11, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.
(10-14 N. Broom St., 410 W. Washington Ave., Madison, WI)
Tax ID No. 251/0709-231-1602-8

Parcel B:
The Northeast one-half of the Southeast 99 feet of Lot 11, and the Southwest 3 feet of the Southeast 99 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.
(408 W. Washington Ave., Madison, WI)
Tax ID No. 251/0709-231-1640-8

Parcel C:
The Northwest 33 feet of the Northeast 63 feet of the Southeast 99 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.
(8 N. Broom St., Madison, WI)
Tax ID No. 251/0709-231-1601-0

Parcel D:
The Southeast 66 feet of the Northeast 63 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.
(404 W. Washington Ave., Madison)

BASIS OF BEARINGS
Bearings are referenced to the Northwest line of Washington Avenue which issued to bear N44°54'49"E.
Vertical datum is based on North American Vertical Datum of 1988 (NAVD 88)



116 King St, Suite 202 (608) 204-7464
Madison, WI 53703 AroEberle.com



LANDSCAPE ARCHITECTS



No.	Description	Date
1	BUILDING MDOIFICATION	4/12/16

UP Campus Properties

400 West Washington

400 W Washington Avenue
Madison, WI 53703

COVER SHEET

CIVIL ENGINEERING PLANS	
Project number	168454000
Date	03/23/16

C1.0

ALTA/NSPS LAND TITLE SURVEY

CLIENT

UP Campus Properties, LLC

SITE ADDRESS

8, 10-12 & 14 N. Broom Street, 404, 408 & 410 W. Washington Avenue, City of Madison, Dane County, Wisconsin.

LEGAL DESCRIPTION

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The Southeast 33 feet of the Northwest 66 feet of Lot 10, And the Southeast 33 feet or the Northwest 66 feet of Lot 11, and the Northwest 33 feet of Lot 10 and the Northwest 33 feet of Lot 11, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.
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Parcel C:

The Northwest 33 feet of the Northeast 63 feet of the Southeast 99 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.
(8 N. Broom St., Madison, WI)
Tax ID No. 251/0709-231-1601-0

Parcel D:

The Southeast 66 feet of the Northeast 63 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.
(404 W. Washington Ave., Madison)

TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-778772-MAD, effective date of February 19, 2016 which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5 & 8 visible evidence shown, if any.
- 4, 6, 7, 9, 13, 14 & 15 not survey related.
10. Agreement for Driveway Easement recorded July 21, 1947, Volume 204 of Records, Page 268, as Document No. 748626. **Affects site by location, shown.**
11. Driveway Agreement recorded May 26, 1960, Volume 348 of Records, Page 447, as Document No. 1002949. **Affects site by location, shown.**
12. Right-of-Way Grant Underground Electric granted to Madison Gas and Electric Company recorded November 29, 1990, Volume 15108 of Records, Page 51, as Document No. 2235838. **Affects site by location, shown.**

TABLE "A" ITEMS

11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20160902381. This survey represents the underground utilities that participated with the request and were marked on the time of the survey. Additional utilities may exist, but were non-responsive to the request.
16. There is no visible evidence of earth moving, building construction or building additions within recent months.
17. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
19. There were no offsite easements or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

BASIS OF BEARINGS

Bearings are referenced to the Northwest line of Washington Avenue which issued to bear N44°54'49"E.

Vertical datum is based on North American Vertical Datum of 1988 (NAVD 88)

PARKING SPACES

There are 0 regular parking spaces and 0 handicap space marked on this site.

FLOOD NOTE

According to the flood insurance rate map of the County of Dane, Community Panel No. 55025C0409G, effective date of January 2, 2009, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

LAND AREA

The Land Area of the subject property is 18,584 square feet or 0.4266 acres.

TO: UP Campus Properties, LLC
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(c), 8, 9, 11, 13, 14, 16, 17, 19, 20, 21 and 22 of Table A thereof. The field work was completed on March 9, 2016.

Date of Map: March 10, 2016.

Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

CHAPUT LAND SURVEYS LLC
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com

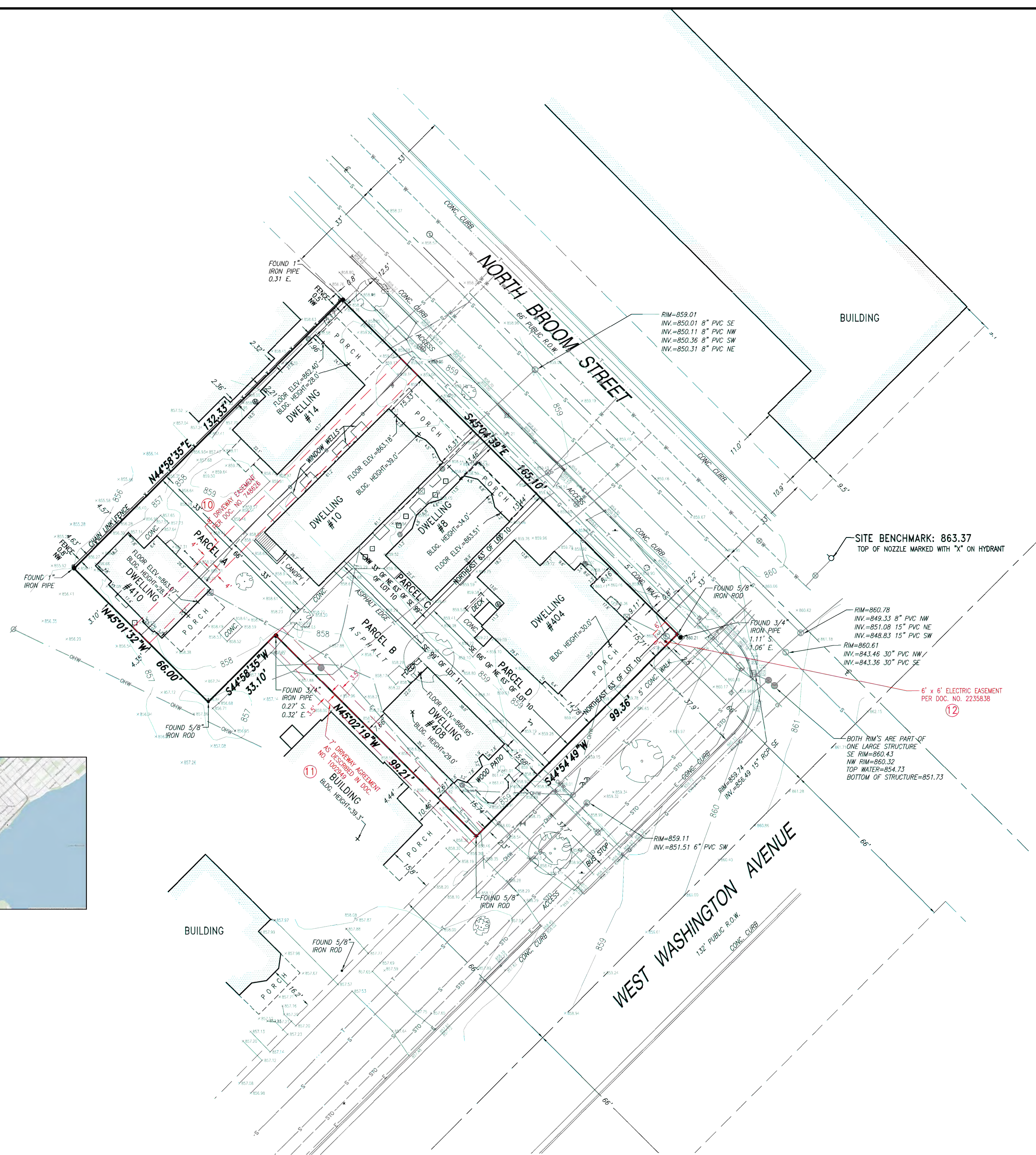
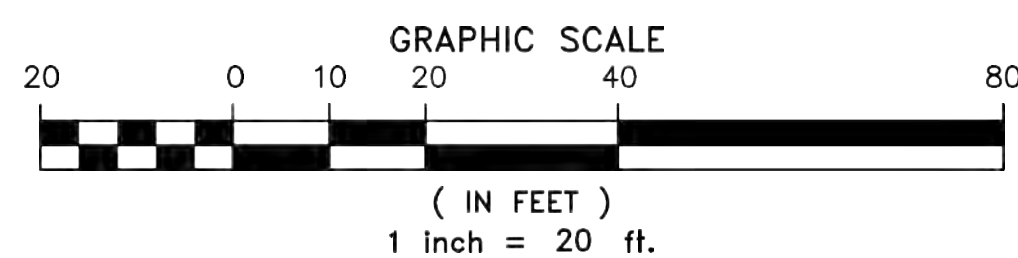
Drawing No. 2232-grb

LEGEND

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- + INDICATES FOUND CHISELED CROSS
- ⊕ SANITARY MANHOLE
- ⊖ SANITARY CLEANOUT OR VENT
- ⊙ M.I.S. MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ STORM MANHOLE
- INLET (ROUND)
- ⊕ INLET (SQUARE)
- ⊖ CURE INLET
- ⊙ STORM SEWER END SECTION
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER MANHOLE
- ⊕ WATER SERVICE CURB STOP
- ⊕ WELL HEAD
- ⊕ STAND PIPE
- ⊕ WALL INDICATOR VALVE
- ⊕ POST INDICATOR VALVE
- ⊕ LIGHT POLE
- ⊕ SPOT/YARD LIGHT
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ CABLE PEDESTAL
- ⊕ CONTROL BOX
- ⊕ FIBER OPTIC SIGN
- ⊕ TRAFFIC LIGHT
- ⊕ COMMUNICATION MANHOLE
- ⊕ BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⊕ WATER SURFACE
- ⊕ WETLANDS FLAG
- ⊕ MARSH
- ⊕ FLAGPOLE
- ⊕ PARKING METER
- ⊕ SIGN
- ⊕ MAILBOX
- ⊕ RAILROAD CROSSING SIGNAL
- ⊕ HANDICAP SPACE
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE

- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- FENCE

STARTING BENCHMARK: 850.60
BRASS CAP MONUMENT MARKING THE WEST 1/4
CORNER OF SEC. 23, T7N, R9E.
(INTERSECTION OF REGENT ST. AND MILL ST.)



MUNICIPAL ZONING

Municipal Code: Sec. 28.098
Site is zoned: PD (Planned Development District)

4) General Requirements.

The Planned Development District shall identify the following information:

- (a) All proposed land uses; these shall become permitted or conditional uses upon the approval of the Planned Development by the Common Council.
- (b) Placement of buildings and structures.
- (c) Density, height, floor area, and dimensional requirements for lots or building sites.
- (d) Street layout, including connections to external streets, paths and trails. The Planned Development should maintain the existing street grid where present and restore the street grid where it has been disrupted. In newly developing areas, streets shall be designed to maximize connectivity in each cardinal direction, except where environmental or physical constraints make this infeasible.

UP Campus Properties

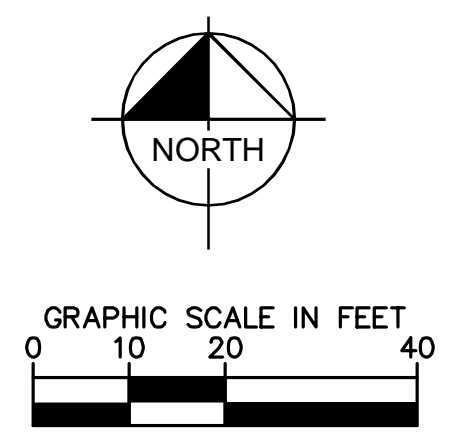
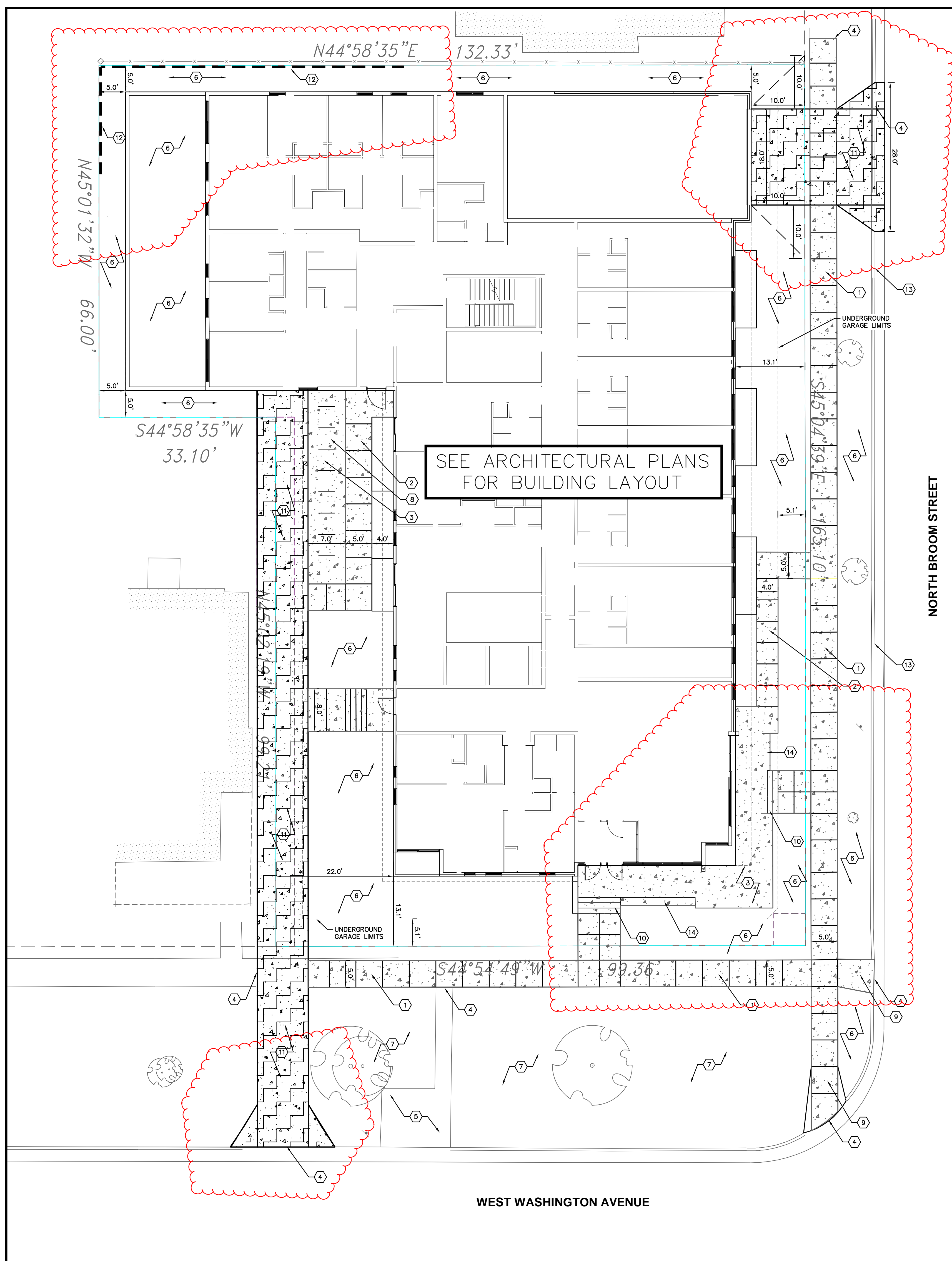
400 West Washington

400 W Washington Avenue
Madison, WI 53703

EXISTING CONDITIONS PLAN

CIVIL ENGINEERING PLANS	
Project number	168454000
Date	03/23/16

C2.0



GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

KEY NOTES

- ① CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- ② CONCRETE HANDICAP RAMP (REF. ARCHITECTURAL PLANS)
- ③ CONCRETE HARDSCAPE AREA
- ④ CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- ⑤ EXISTING HARDSCAPE TO REMAIN
- ⑥ LANDSCAPE AREA (REFERENCE LANDSCAPE PLANS)
- ⑦ PROTECTED LANDSCAPE AREA TO REMAIN
- ⑧ BIKE RACKS (SEE LANDSCAPE PLAN FOR DETAILS)
- ⑨ EXISTING STREET CURB RAMP TO REMAIN
- ⑩ CONCRETE STEPS
- ⑪ CONCRETE DRIVE
- ⑫ LANDSCAPE RETAINING WALL
- ⑬ CONCRETE CURB
- ⑭ CONCRETE SEATING STEPS
- ⑮ HEAVY DUTY POROUS PAVER DRIVE

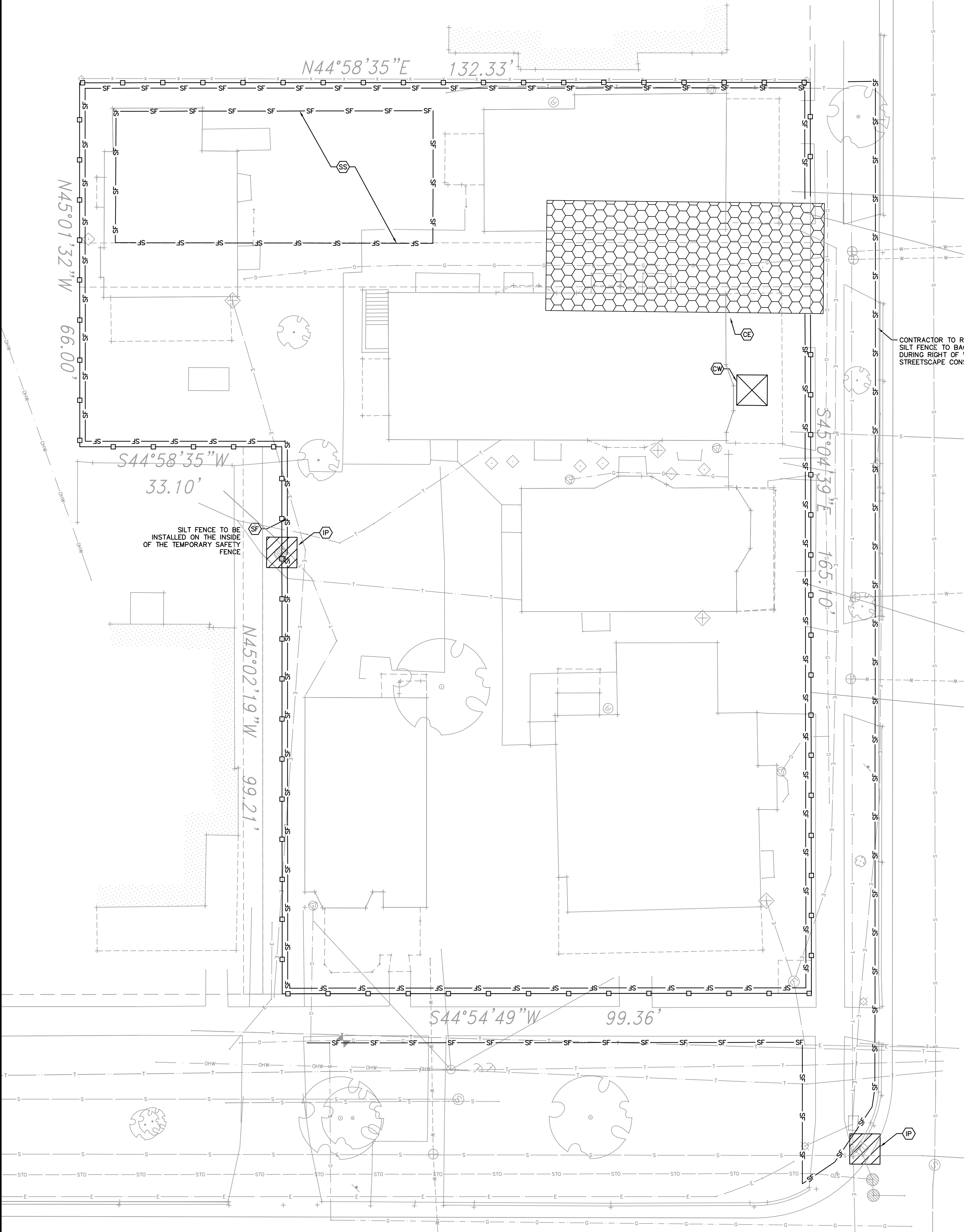
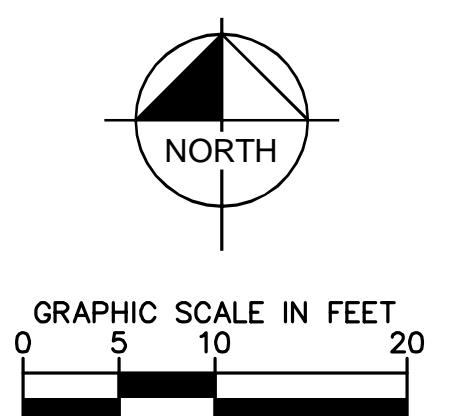
PAVING AND CURB LEGEND

- DECORATIVE POROUS PAVERS**
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION.
- CONCRETE SIDEWALK**
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
*SEE LANDSCAPE PLANS FOR SCOURING PATTERN
(ALL PUBLIC SIDEWALKS SHALL MEET CITY OF MADISON SPECIFICATIONS)
- HEAVY DUTY CONCRETE PAVEMENT**
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION

SITE DATA TABLE

LOT SIZE (OVERALL)		18,584 S.F.	0.43 AC
BUILDING SETBACKS	FRONT(E)	5'	5'
	FRONT (S)	5'	5'
	SIDE (N)	5'	5'
	SIDE (W)	5'	5'

No.	Description	Date
1	BUILDING MDOIFICATION	4/12/16



EROSION CONTROL NOTES

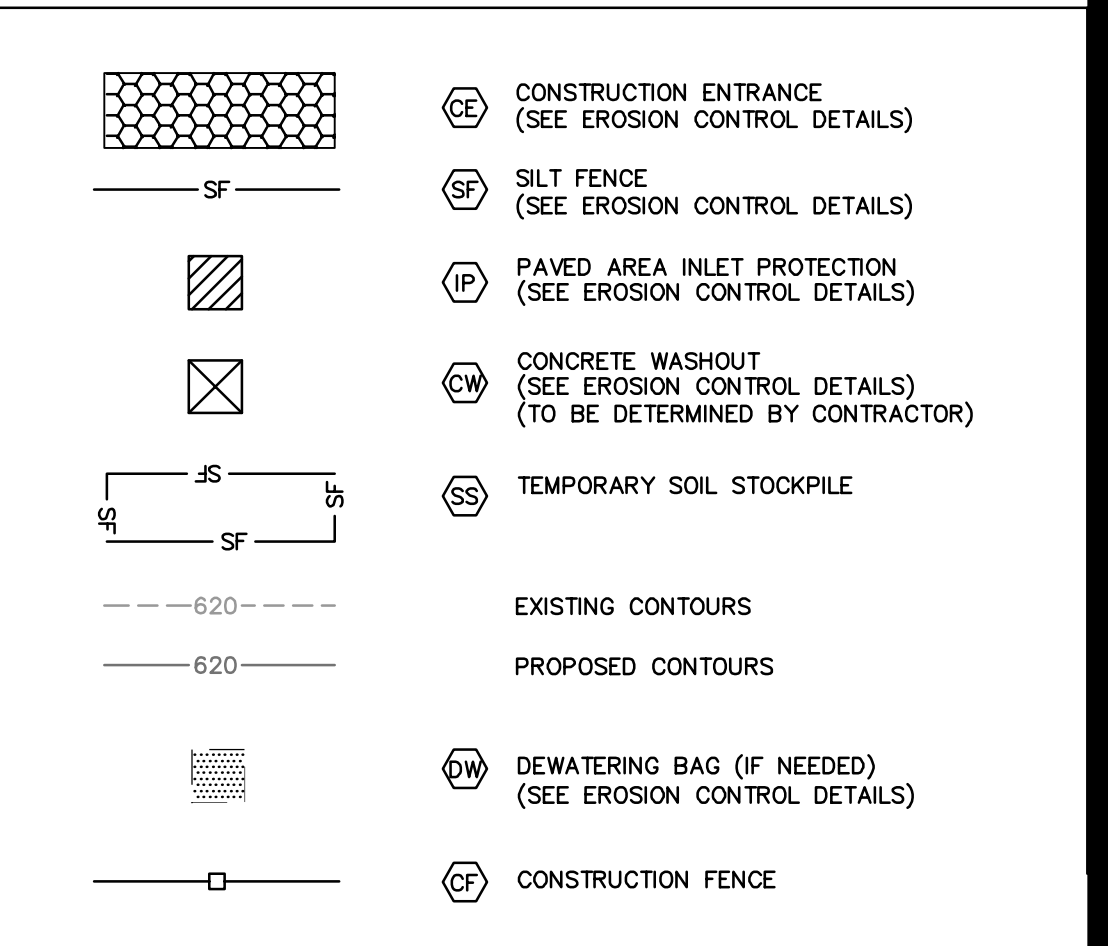
SITE GENERAL NOTES

- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.

TEMPORARY EROSION CONTROL NOTES

- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
- PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
- PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
- ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
- ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
- SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE WOPES PERMIT NO. W-5087831-4 PROGRAM REQUIREMENTS.
- PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
- STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
- ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.

EROSION CONTROL LEGEND



CITY REQUIREMENTS

- ANY CONSTRUCTION/TRENCH DEWATERING MUST BE PERMITTED THROUGH THE CITY OF MADISON. ALL DEWATERING MUST MEET CITY OF MADISON AND WDRR. THE MEANS AND METHODS SHALL COMPLY WITH WDRR TECHNICAL STANDARD 1061
- ANY FLUSHING OR TESTING OF THE WATER SYSTEMS MUST BE COORDINATED WITH THE CITY ENGINEERING TO AVOID EROSION OR SOILS OR OTHER DISCHARGE ISSUES. CONTRACTOR TO CALL CITY ENGINEERING AT 608-266-4751 TO COORDINATE THESE ITEMS.

EROSION CONTROL SCHEDULE AND SEQUENCING:

- ROUGH GRADING** CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION.
- UTILITY INSTALLATION** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED.
- PAVING** ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
- FINAL GRADING/SOIL STABILIZATION/LANDSCAPING** ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY.

No.	Description	Date
1	BUILDING MODIFICATION	4/12/16

UP Campus Properties
400 West Washington

400 W Washington Avenue
Madison, WI 53703

EROSION CONTROL PLAN

CIVIL ENGINEERING PLANS

Project number 168454000
Date 03/23/16

C5.0

No.	Description	Date
1	BUILDING MODIFICATION	4/12/16

UP Campus Properties

400 West Washington

400 W Washington Avenue
Madison, WI 53703

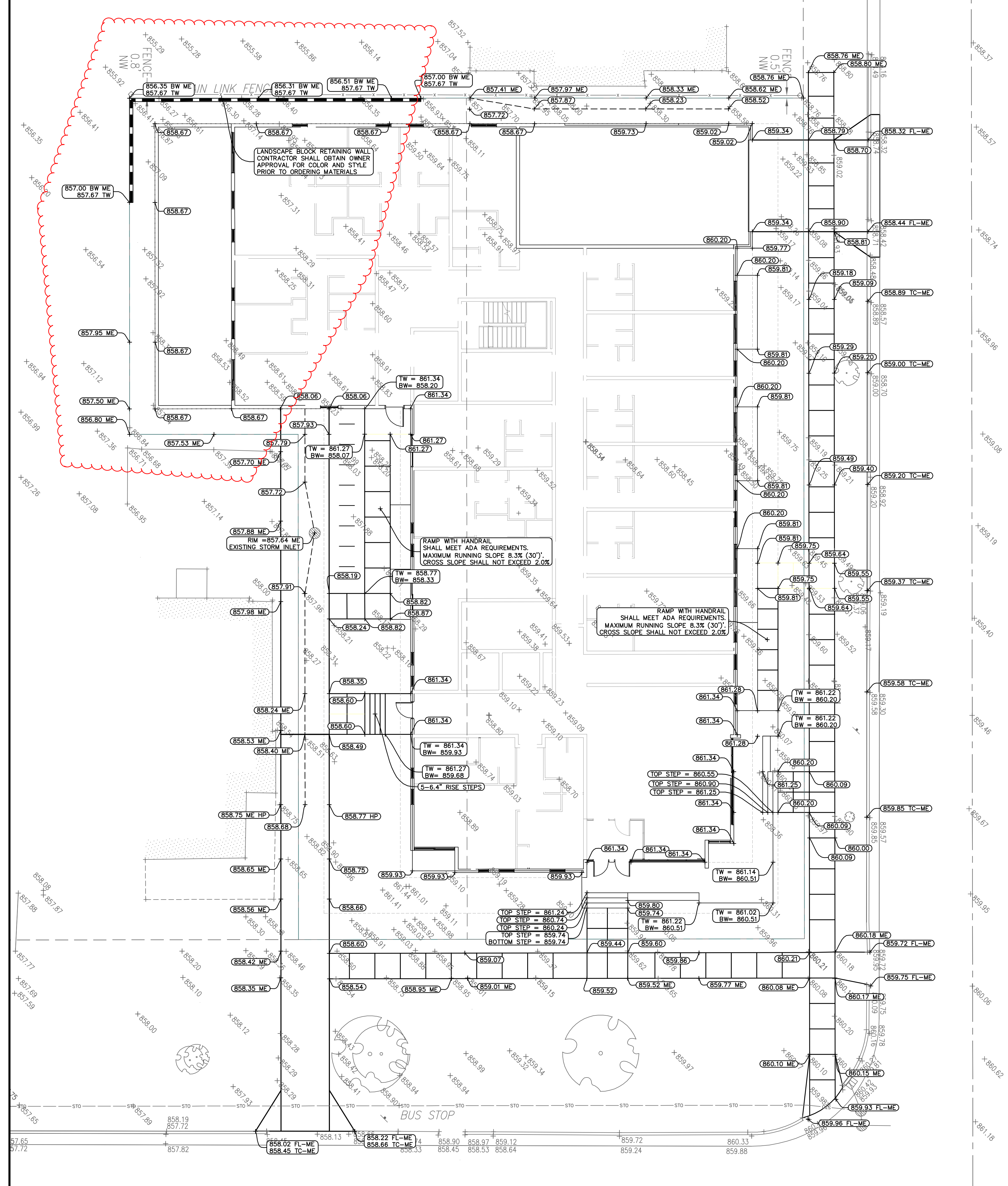
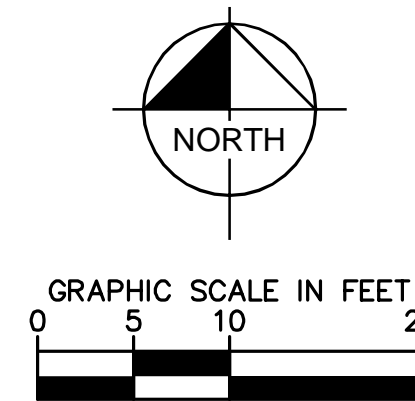
GRADING PLAN

CIVIL ENGINEERING PLANS

Project number 168454000

Date 03/23/16

C6.0



GRADING NOTES

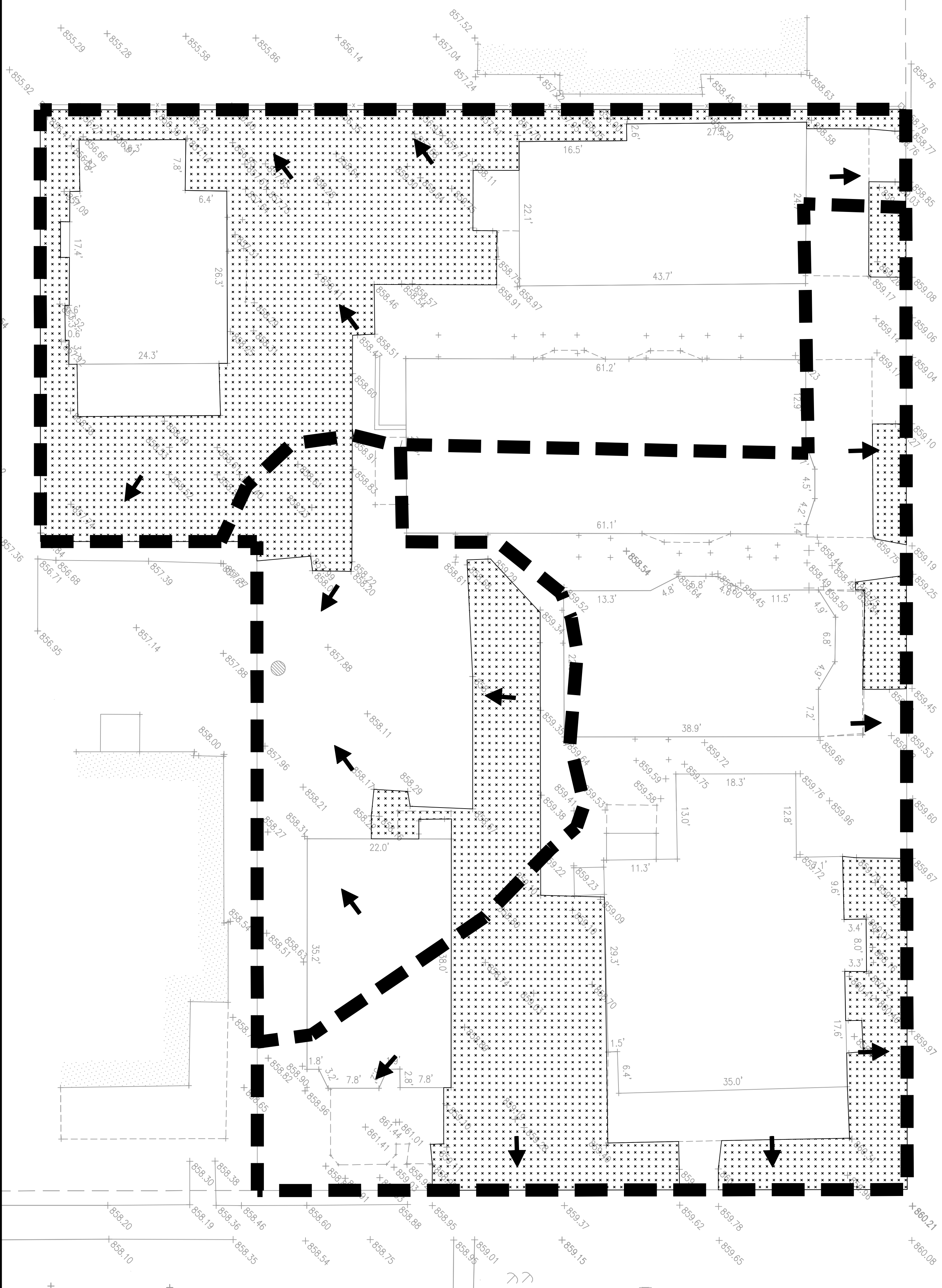
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 4:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES. BUILDING DOOR LANDINGS SHALL HAVE A MAXIMUM 2% CROSS SLOPE IN ALL DIRECTIONS EXTENDING 60" FROM THE FACE OF THE DOOR.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
- PROPOSED CONTOURS ARE NOT SHOWN ON THIS FOR CLARITY PURPOSES.
- SEVERAL EXISTING UTILITIES ARE LOCATED WITHIN THE ROW. CONTRACTOR SHALL TAKE CARE TO NOT DAMAGE ANY EXISTING UTILITIES. A FIBER OPTIC LINE IS KNOWN TO BE LOCATED IN THE BEDFORD ROW, BUT NOT SHOWN. CONTRACTOR SHALL COORDINATE WITH THE CITY TO LOCATE THE LINE PRIOR TO STARTING CONSTRUCTION OR DEMOLITION.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TOP OF CURB LOCATIONS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

UTILITY LEGEND

	EX. HYDRANT
	EX. WATER VALVE
	EX. SANITARY SEWER MANHOLE
	EX. SANITARY SEWER CLEANOUT
	EX. STORM MANHOLE
	EX. STORM CATCH BASIN/INLET
	EX. GAS METER
	EX. LIGHT POLE
	PROPOSED STORM STRUCTURE
	PROPOSED SANITARY MANHOLE
	PROPOSED SANITARY CLEANOUT
	PROPOSED WATER STRUCTURE
	PROPOSED LIGHT POLE

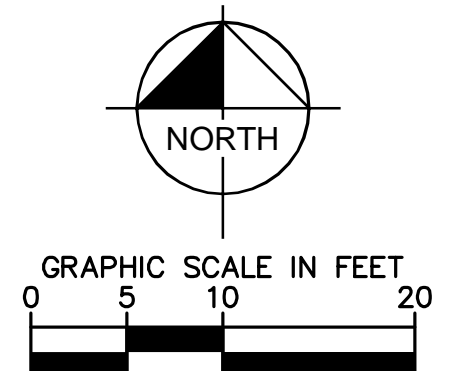
GRADING LEGEND

EP	EDGE OF PAVEMENT
TC	TOP OF CURB
ME	MATCH ELEVATION
TF	TOP OF FOUNDATION
R	RIM ELEVATION
TW	TOP OF WALL
BW	BOTTOM OF WALL
FL	FLOW LINE
—620—	PROPOSED CONTOUR
—RIDGE—	RIDGE LINE
—2% MAX.	SLOPE AND FLOW DIRECTION



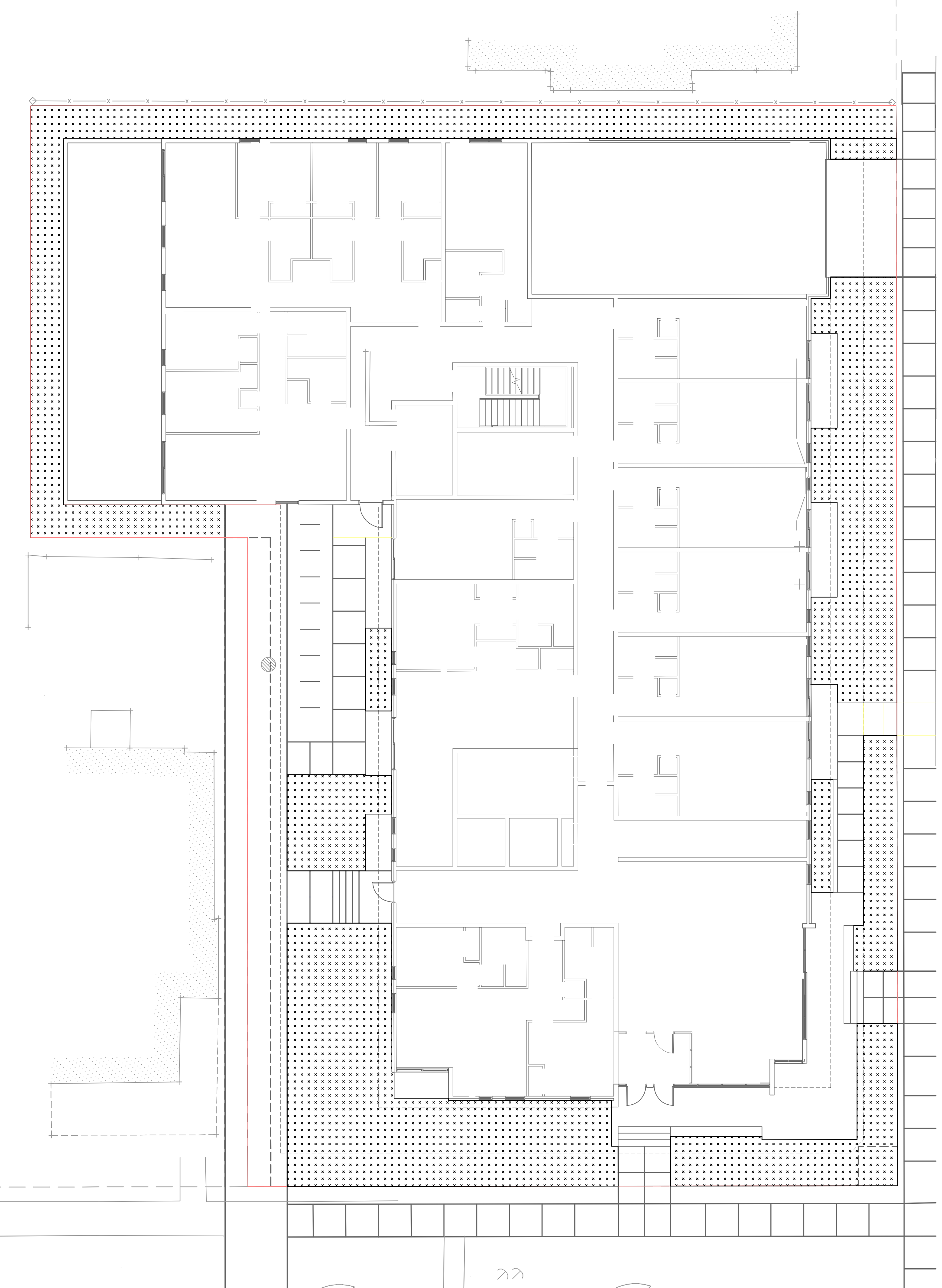
**EXISTING CONDITIONS
DRAINAGE AREA MAP**

TOTAL PROPERTY AREA = 18,584 SF
IMPERVIOUS AREA = 12,876 SF
PERVIOUS AREA = 5,708 SF
****AREA CALCULATIONS EXCLUDE ROW IMPROVEMENTS****



LEGEND

- PERVIOUS AREA
- 100 - YEAR OVERLAND OVERFLOW ARROW
- DRAINAGE AREA LIMITS



**PROPOSED CONDITIONS
DRAINAGE AREA MAP**

TOTAL PROPERTY AREA = 18,584 SF
PERVIOUS AREA (LANDSCAPE) = 3,800 SF
PERVIOUS AREA (BUILDING TERRACE) = 311 SF
TOTAL PERVIOUS AREA: 4,111 SF
****AREA CALCULATIONS EXCLUDE ROW IMPROVEMENTS****

No.	Description	Date
1	BUILDING MDOIFICATION	4/12/16

UP Campus Properties

400 West Washington

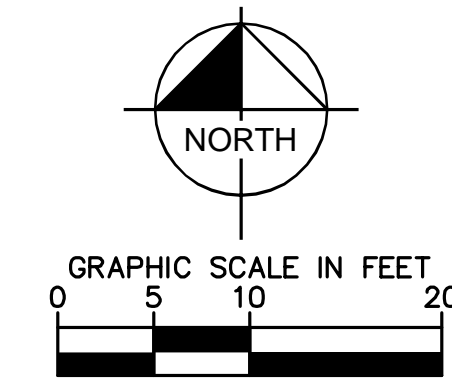
400 W Washington Avenue
Madison, WI 53703

DRAINAGE PLAN

CIVIL ENGINEERING PLANS

Project number	168454000
Date	03/23/16

C7.0



UTILITY LEGEND	
— W —	EX. WATER LINE
⊕	EX. HYDRANT
⊕	EX. WATER VALVE
— S —	EX. SANITARY SEWER LINE
⊕	EX. SANITARY SEWER MANHOLE
⊕	EX. SANITARY SEWER CLEANOUT
— SD —	EX. STORM DRAIN LINE
⊕	EX. STORM MANHOLE
⊕	EX. STORM STRUCTURE/INLET
— G —	EX. GAS LINE
⊕	EX. GAS METER
— ELEC —	EX. UNDERGROUND ELECTRIC LINE
— TEL —	EX. UNDERGROUND TELEPHONE LINE
⊕	EX. LIGHT POLE
— ELEC —	PROPOSED UNDERGROUND ELECTRIC LINE
— GAS —	GAS LINE (BY GAS COMPANY)
— TEL —	PROPOSED PHONE LINE
—	PROPOSED STORM SEWER LINE
⊕	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
⊕	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)
⊕	PROPOSED OPEN LID CURB STRUCTURE
—	PROPOSED SANITARY SEWER LINE
⊕	PROPOSED SANITARY MANHOLE
— W —	PROPOSED STORM/SANITARY CLEANOUT
—	PROPOSED WATER LINE
⊕	PROPOSED VALVE VAULT
⊕	PROPOSED VALVE BOX
⊕	PROPOSED FIRE HYDRANT
⊕	PROPOSED LIGHT POLE
⊕	PROPOSED TRANSFORMER PAD (BY OTHERS)

CITY OF MADISON NOTES

GENERAL UTILITY NOTES

- COORDINATE ALL UTILITY WORK WITH AMERICAN TRANSMISSION COMPANY. IN PARTICULAR, THE WATER WORK AND SANITARY SEWER WORK IS IN CLOSE VICINITY TO 2 EXISTING AMERICAN TRANSMISSION COMPANY 89 KV PIPES. CONTACT DOUG VOSSER 3 DAYS PRIOR TO THE START OF THE CONSTRUCTION WORK AT 608-877-7650 (OFFICE) OR UNDERGROUND FACILITIES.
- CONTRACTOR TO POTHOLE EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION. A FIBER OPTIC LINE IS KNOWN TO BE IN THE AREA, BUT IS NOT SHOWN. ATC MUST BE CONTACTED TO ARRANGE FOR ONSITE PERSONNEL DURING ATC LOCATE. CONTACT ATC AT NUMBER PROVIDED IN NOTE 1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ANY REQUIRED RELOCATION OR ADJUSTING OF PRIVATE UTILITY FACILITIES, SUCH AS STRUCTURES, CASTINGS, OR HANDHOLES, WITH PRIVATE UTILITY COMPANIES.
- THE CONTRACTOR SHALL NOT REMOVE TRAFFIC SIGNS. FOR REMOVAL OR REPLACEMENT OF TRAFFIC AND PARKING SIGNS, CONTACT THE CITY OF MADISON TRAFFIC ENGINEERING FIELD OPERATIONS, 1120 SAYLE STREET, 508-266-4767, 8:00 A.M. TO 4:00 P.M., A MINIMUM OF ONE (1) WORKING DAY IN ADVANCE OF WHEN ANY EXISTING SIGNS NEED TO BE REMOVED. THIS SERVICE IS PROVIDED FREE OF CHARGE. IF THE CONTRACTOR REMOVES THE SIGNS, THE CONTRACTOR WILL BE BILLED FOR THE REINSTALLATION OF, AND ANY DAMAGE TO, THE SIGNING EQUIPMENT.
- WATER SERVICE SHALL BE DUCTILE IRON WITH MECHANICAL AND RESTRAINED JOINTS, WITH POLY WRAPPINGS. ALL CONSTRUCTION SHALL MEET CITY OF MADISON 2015 STANDARD AND SPECIFICATIONS. CONTRACTOR TO BORE UNDER EXISTING UTILITIES. CONTACT CITY OF MADISON WATER UTILITY TO OBTAIN CONNECTION PERMIT FOR WATER SERVICE.

UTILITY NOTES

GENERAL UTILITY NOTES

- ALL WATER LINES SHALL BE DUCTILE IRON PIPE, CLASS 52 WITH 72" MINIMUM COVER PER STATE AND LOCAL SPECS.
- ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 60" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL "DIGGERS HOTLINE" (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE CITY OF MADISON SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
- SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
- STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.
- UTILITY CONTRACTOR SHALL OBTAIN A CONNECTION AND EXCAVATION PERMIT, PRIOR TO COMMENCING ANY UTILITY CONSTRUCTION.
- ANY DEWATERING REQUIRES A DEWATERING PERMIT.

No.	Description	Date
1	BUILDING MODIFICATION	4/12/16

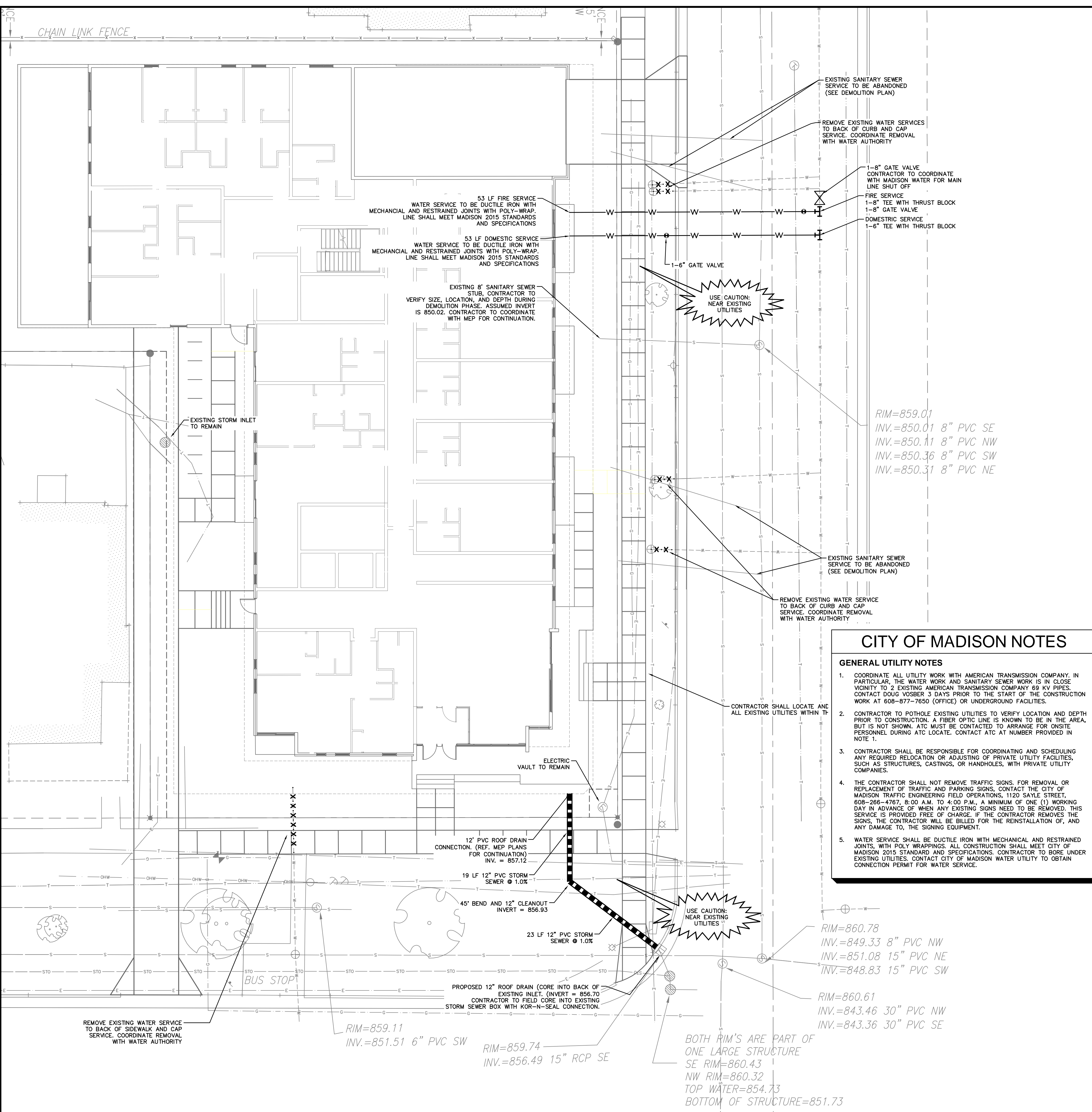
UP Campus Properties
400 West Washington

400 W Washington Avenue
Madison, WI 53703

UTILITY PLAN

CIVIL ENGINEERING PLANS
Project number 168454000
Date 03/23/16

C8.0



USE CAUTION:
NEAR EXISTING
UTILITIES

RIM=860.78
INV.=849.33 8" PVC NW
INV.=851.08 15" PVC NE
INV.=848.83 15" PVC SW

RIM=860.61
INV.=843.46 30" PVC NW
INV.=843.36 30" PVC SE

BOTH RIM'S ARE PART OF
ONE LARGE STRUCTURE
SE RIM=860.43
NW RIM=860.32
TOP WATER=854.73
BOTTOM OF STRUCTURE=851.73

RIM=859.11
INV.=851.51 6" PVC SW

RIM=859.74
INV.=856.49 15" RCP SE

BUS STOP

REMOVE EXISTING WATER SERVICE
TO BACK OF SIDEWALK AND CAP
SERVICE. COORDINATE REMOVAL
WITH WATER AUTHORITY

PROPOSED 12" ROOF DRAIN (CORE INTO BACK OF
EXISTING INLET. (INVERT = 856.70
CONTRACTOR TO FIELD CORE INTO EXISTING
STORM SEWER BOX WITH KOR-N-SEAL CONNECTION.

23 LF 12" PVC STORM
SEWER @ 1.0%

45" BEND AND 12" CLEANOUT
INVERT = 856.93

19 LF 12" PVC STORM
SEWER @ 1.0%

12" PVC ROOF DRAIN
CONNECTION. (REF. MEP PLANS
FOR CONTINUATION)
INV. = 857.12

ELECTRIC
VAULT TO REMAIN

CONTRACTOR SHALL LOCATE AND
ALL EXISTING UTILITIES WITHIN THE

REMOVE EXISTING WATER SERVICE
TO BACK OF CURB AND CAP
SERVICE. COORDINATE REMOVAL
WITH WATER AUTHORITY

EXISTING SANITARY SEWER
SERVICE TO BE ABANDONED
(SEE DEMOLITION PLAN)

RIM=859.01
INV.=850.01 8" PVC SE
INV.=850.11 8" PVC NW
INV.=850.36 8" PVC SW
INV.=850.31 8" PVC NE

USE CAUTION:
NEAR EXISTING
UTILITIES

EXISTING 8" SANITARY SEWER
STUB. CONTRACTOR TO
VERIFY SIZE, LOCATION, AND DEPTH DURING
DEMOLITION PHASE. ASSUMED INVERT
IS 850.02. CONTRACTOR TO COORDINATE
WITH MEP FOR CONTINUATION.

53 LF DOMESTIC SERVICE
WATER SERVICE TO BE DUCTILE IRON WITH
MECHANICAL AND RESTRAINED JOINTS WITH POLY-WRAP.
LINE SHALL MEET MADISON 2015 STANDARDS
AND SPECIFICATIONS

53 LF FIRE SERVICE
WATER SERVICE TO BE DUCTILE IRON WITH
MECHANICAL AND RESTRAINED JOINTS WITH POLY-WRAP.
LINE SHALL MEET MADISON 2015 STANDARDS
AND SPECIFICATIONS

EXISTING SANITARY SEWER
SERVICE TO BE ABANDONED
(SEE DEMOLITION PLAN)

REMOVE EXISTING WATER SERVICES
TO BACK OF CURB AND CAP
SERVICE. COORDINATE REMOVAL
WITH WATER AUTHORITY

1-8" GATE VALVE
CONTRACTOR TO COORDINATE
WITH MADISON WATER FOR MAIN
LINE SHUT OFF

FIRE SERVICE
1-8" TEE WITH THRUST BLOCK
1-8" GATE VALVE

DOMESTIC SERVICE
1-6" TEE WITH THRUST BLOCK

1-6" GATE VALVE

EXISTING STORM INLET
TO REMAIN

CHAIN LINK FENCE

GENERAL NOTES

- 1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:
CHAPUT LAND SURVEYS LLC
234 N. FLORIDA STREET
MILWAUKEE, WI 53204
TEL: (414) 274-8068
CONTRACT NO. 150000005
COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

PAVING NOTES

- 1. GENERAL
1.1. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTON; PLACE OF SUBBASE OR BASE COURSE MATERIALS, BITUMINOUS INLET AND/OR SURFACE COURSES; FORMING, FINISHING AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.

EARTHWORK NOTES

- 1. GENERAL
1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.

SANITARY SEWER NOTES

- 1. GENERAL
1.1. SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-35), CONFORMING TO ASTM D3034 AND D2241.

WATERMAIN NOTES

- 1. WATERMAIN PIPE: ALL WATERMAIN PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATERMAIN PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-35), CONFORMING TO ASTM D3034 AND D2241.

SEWER

- 15.1.2.1. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

ARO EBERLE ARCHITECTS
116 King St, Suite 202 (608) 204-7464
Madison, WI 53703
AroEberle.com
UP URBAN PROPERTIES
UrbanAssets
KIMSARKI DESIGN LANDSCAPE ARCHITECTS
Kimley»Horn
FNK HOREJSH, L.L.C. STRUCTURAL ENGINEERS
UP Campus Properties
400 West Washington
400 W Washington Avenue
Madison, WI 53703
GENERAL NOTES
CIVIL ENGINEERING PLANS
Project number 168454000
Date 03/23/16
C9.0

No.	Description	Date
1	BUILDING MODIFICATION	4/12/16

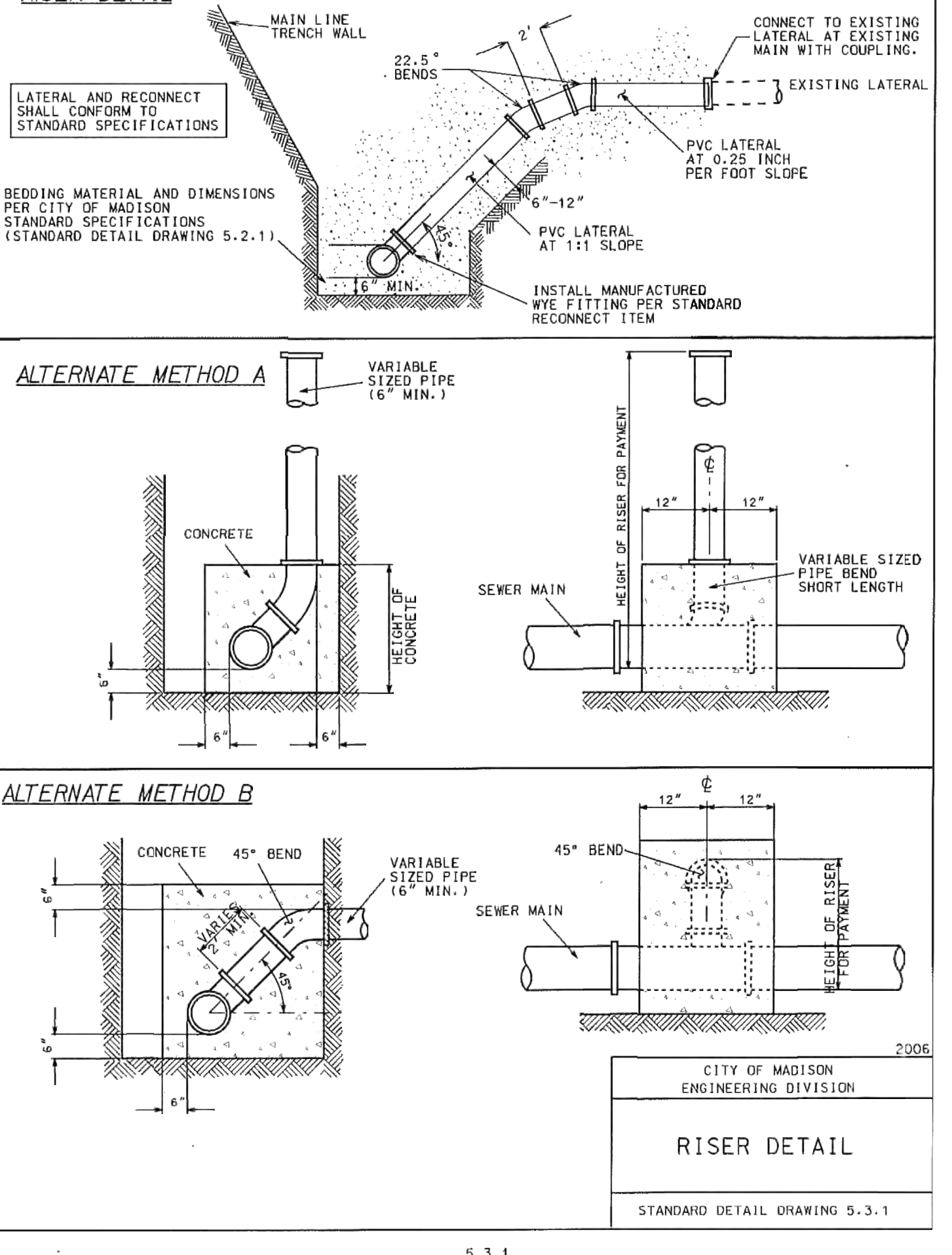
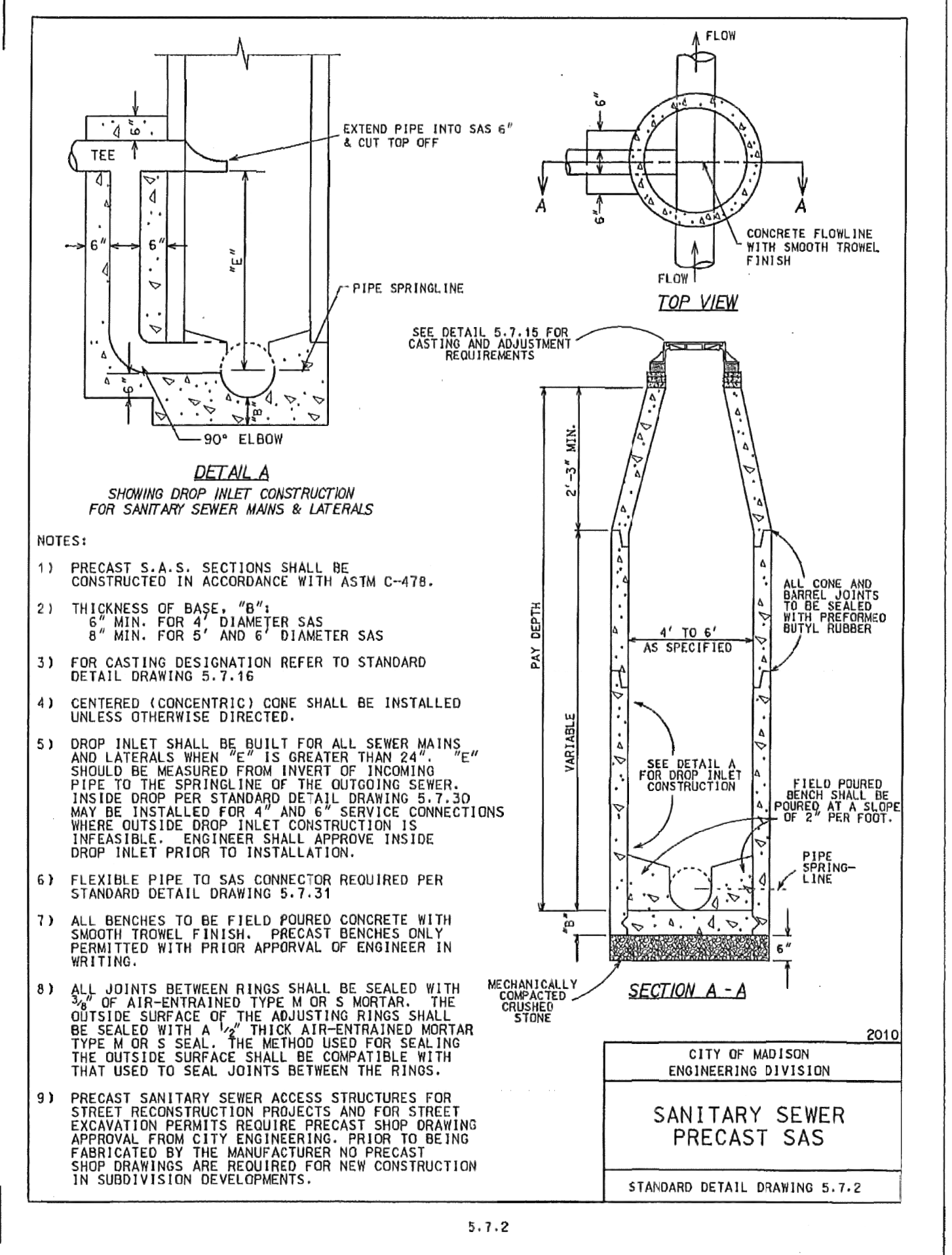
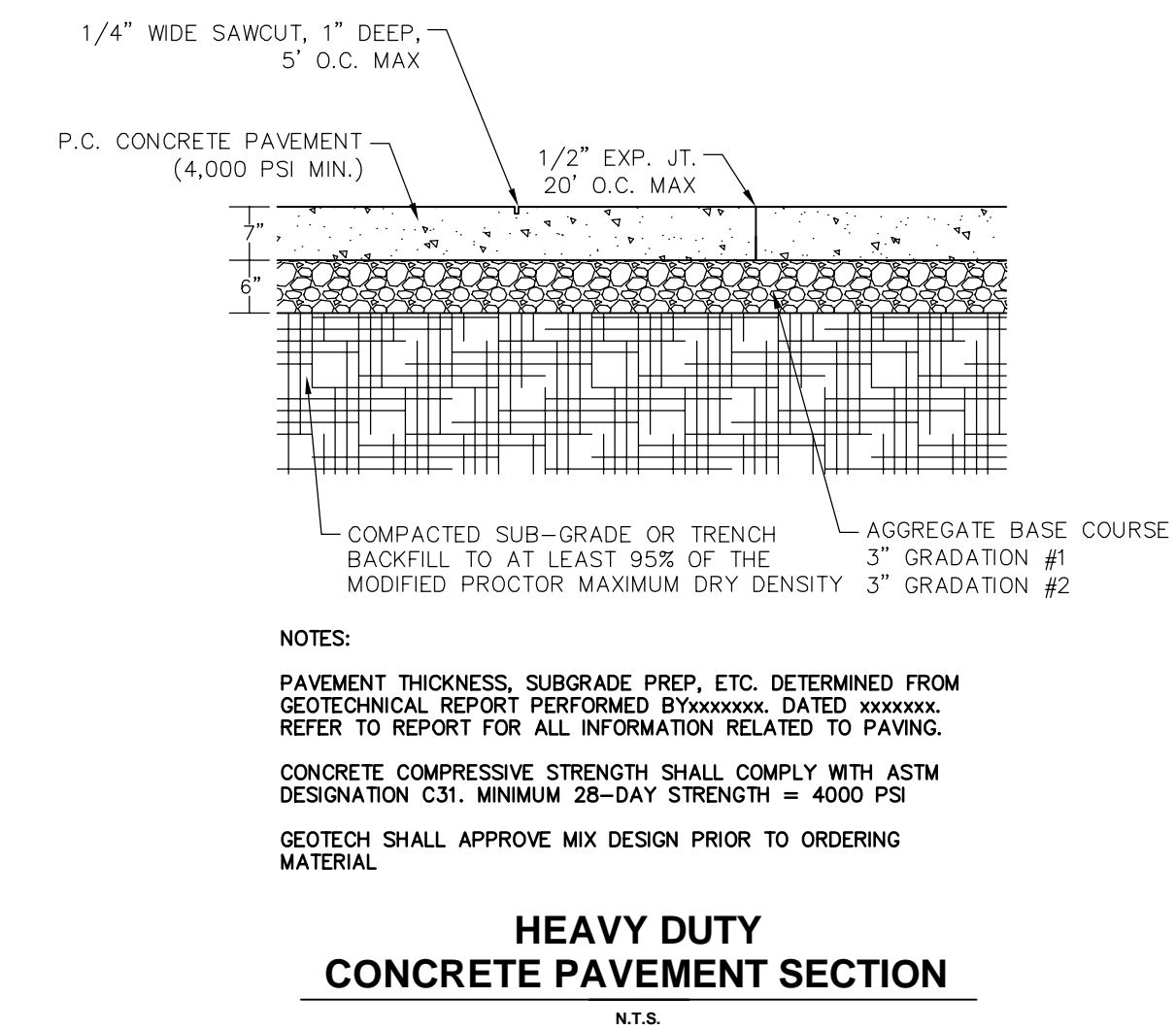
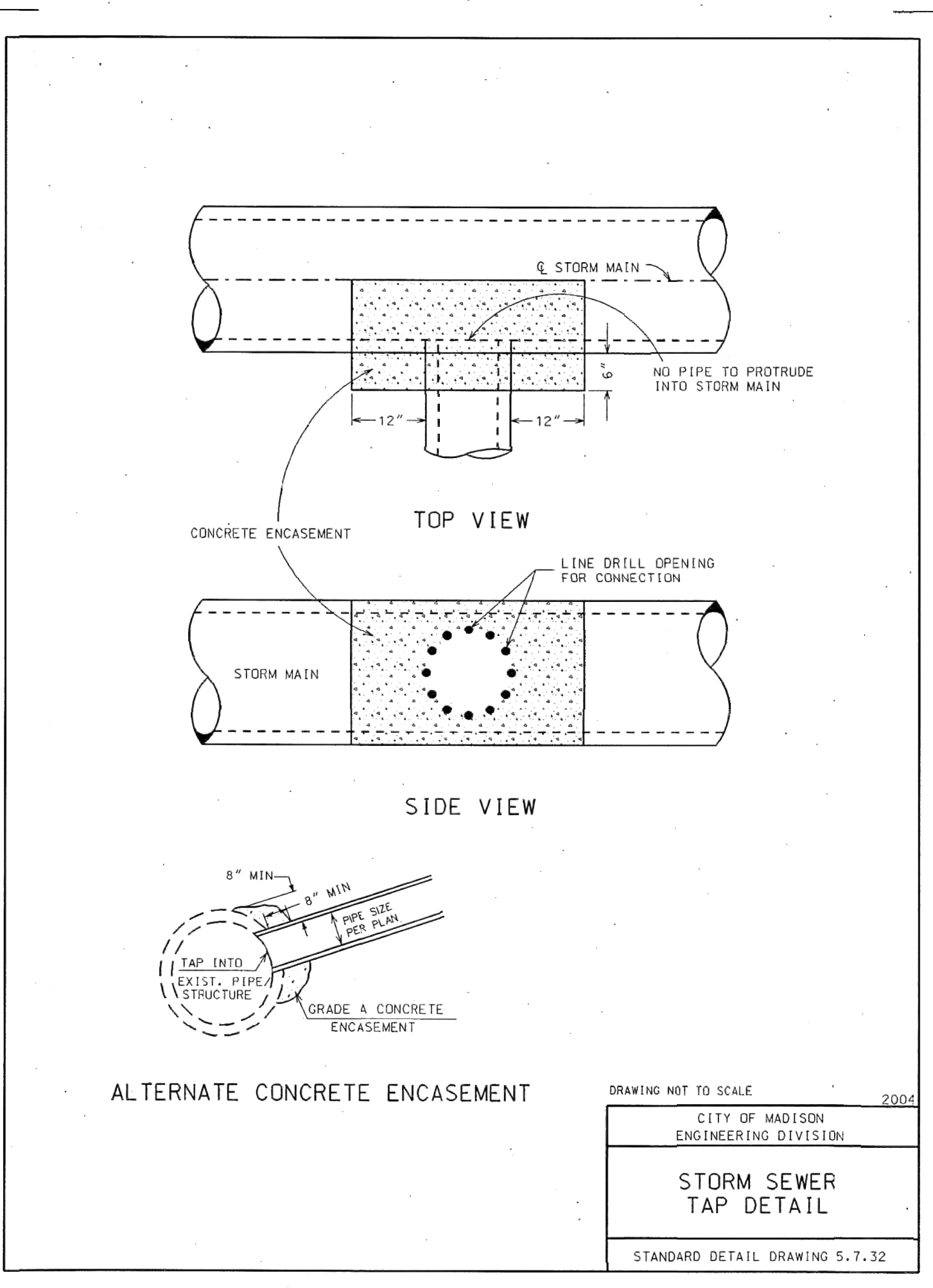
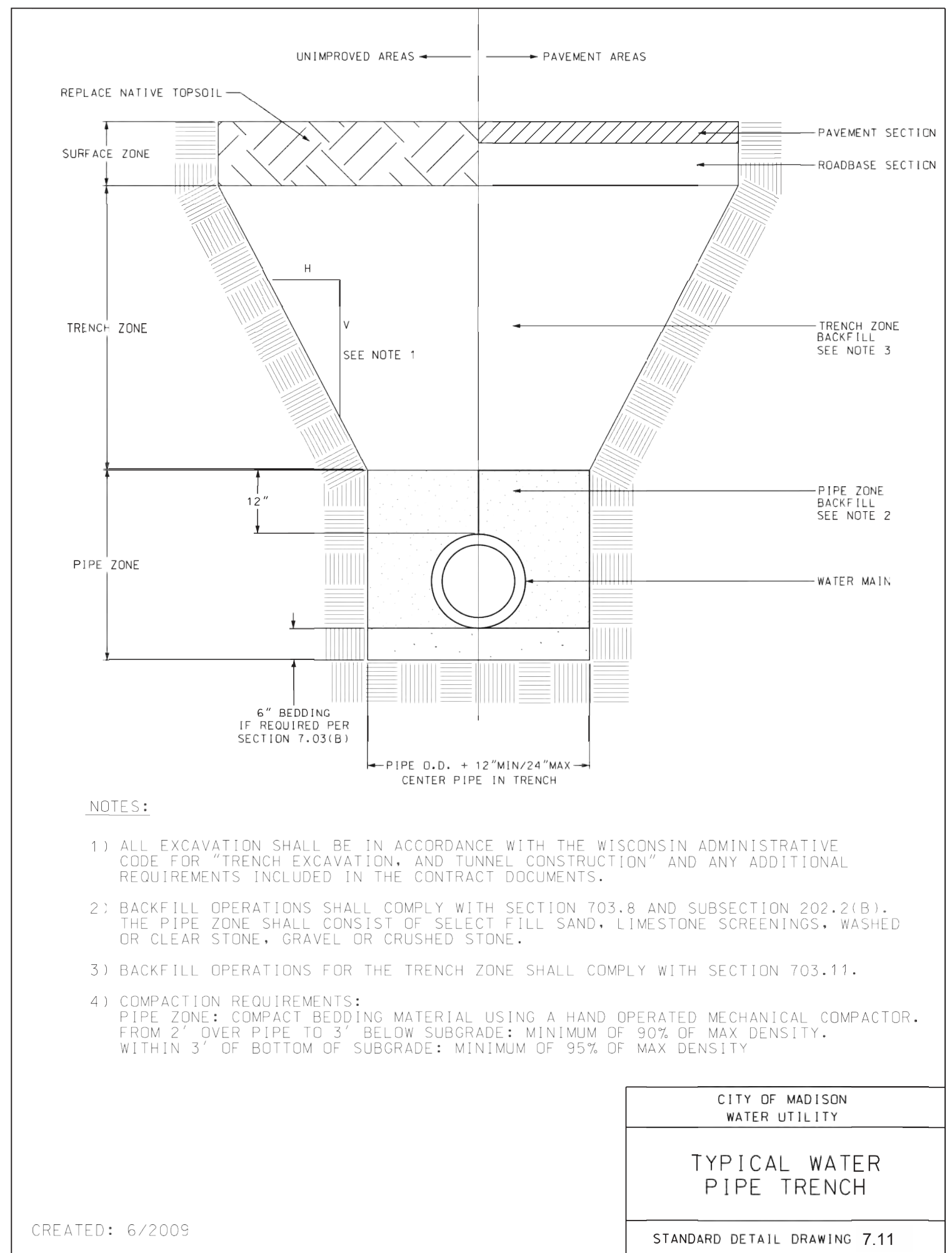
UP Campus Properties
400 West Washington

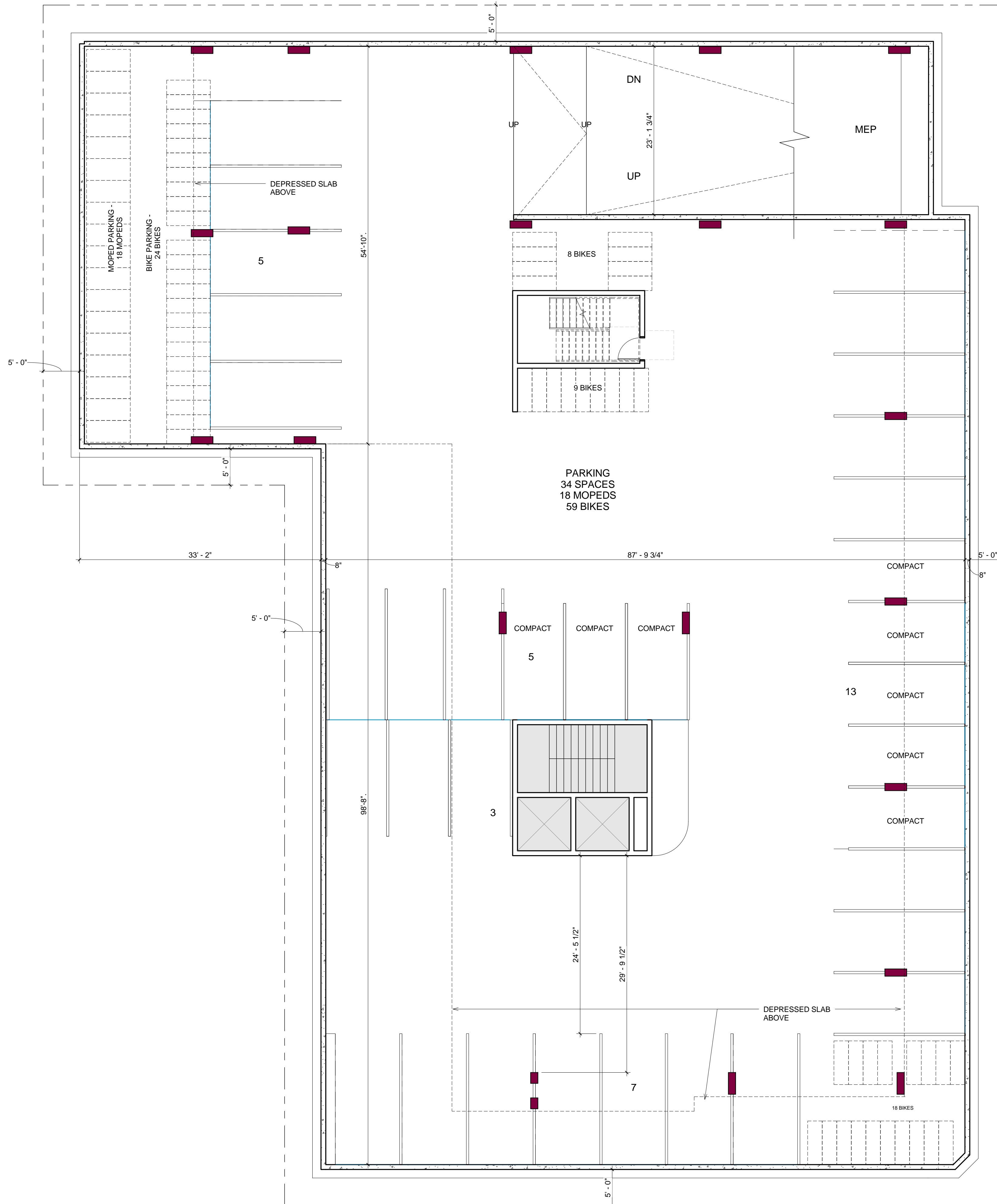
400 W Washington Avenue
Madison, WI 53703

**CONSTRUCTION
DETAILS**

CIVIL ENGINEERING PLANS	
Project number	168454000
Date	03/23/16

C10.1





BROOM STREET (ABOVE)

No.	Description	Date

UP Urban Properties

402 West Washington

402 W Washington Avenue
Madison, WI 53703

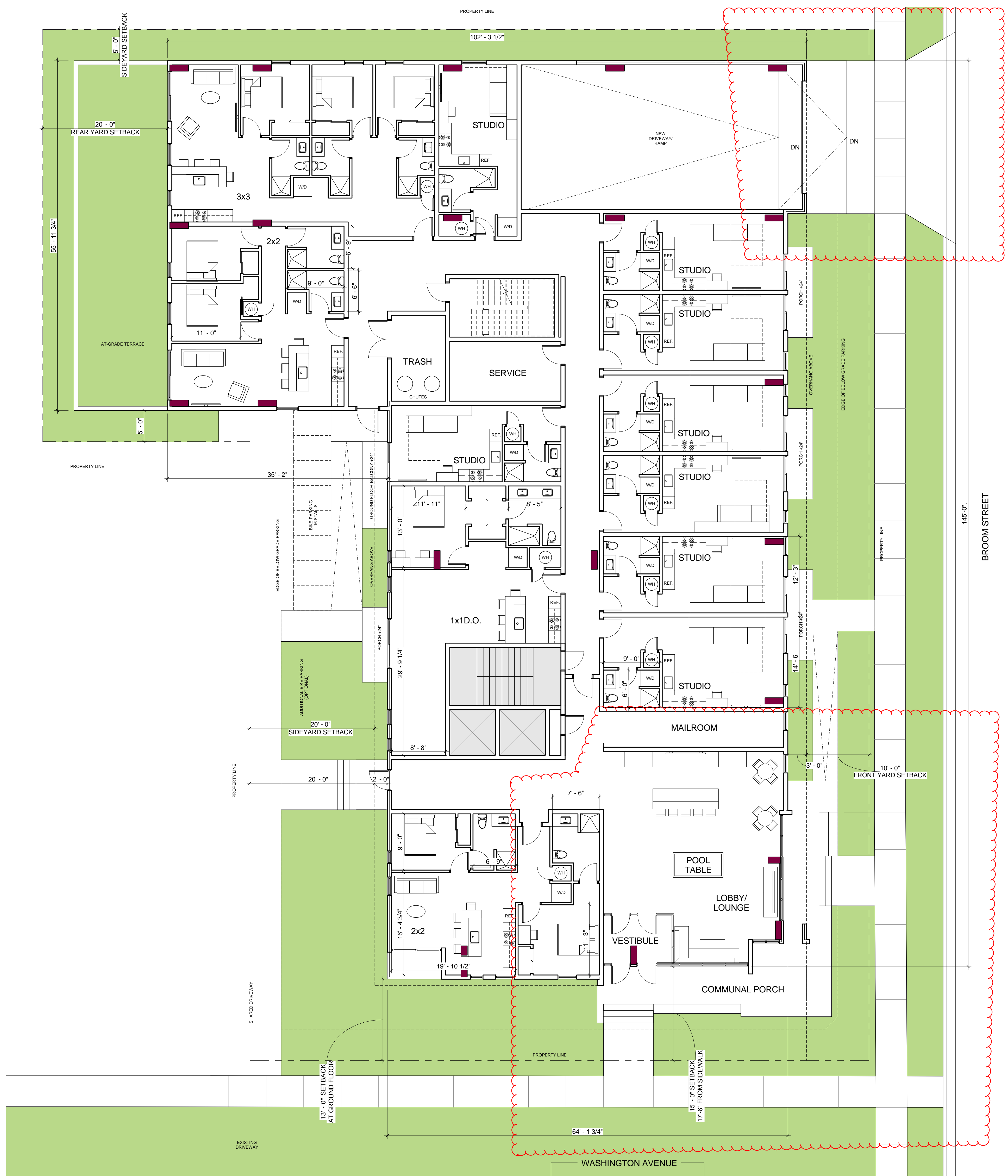
LOWER LEVEL

Project Status	
Project number	####
Date	4.12.16

A100

4/13/2016 5:45:24 PM

1 FLOOR 1
1/8" = 1'-0"



No.	Description	Date

UP Urban Properties

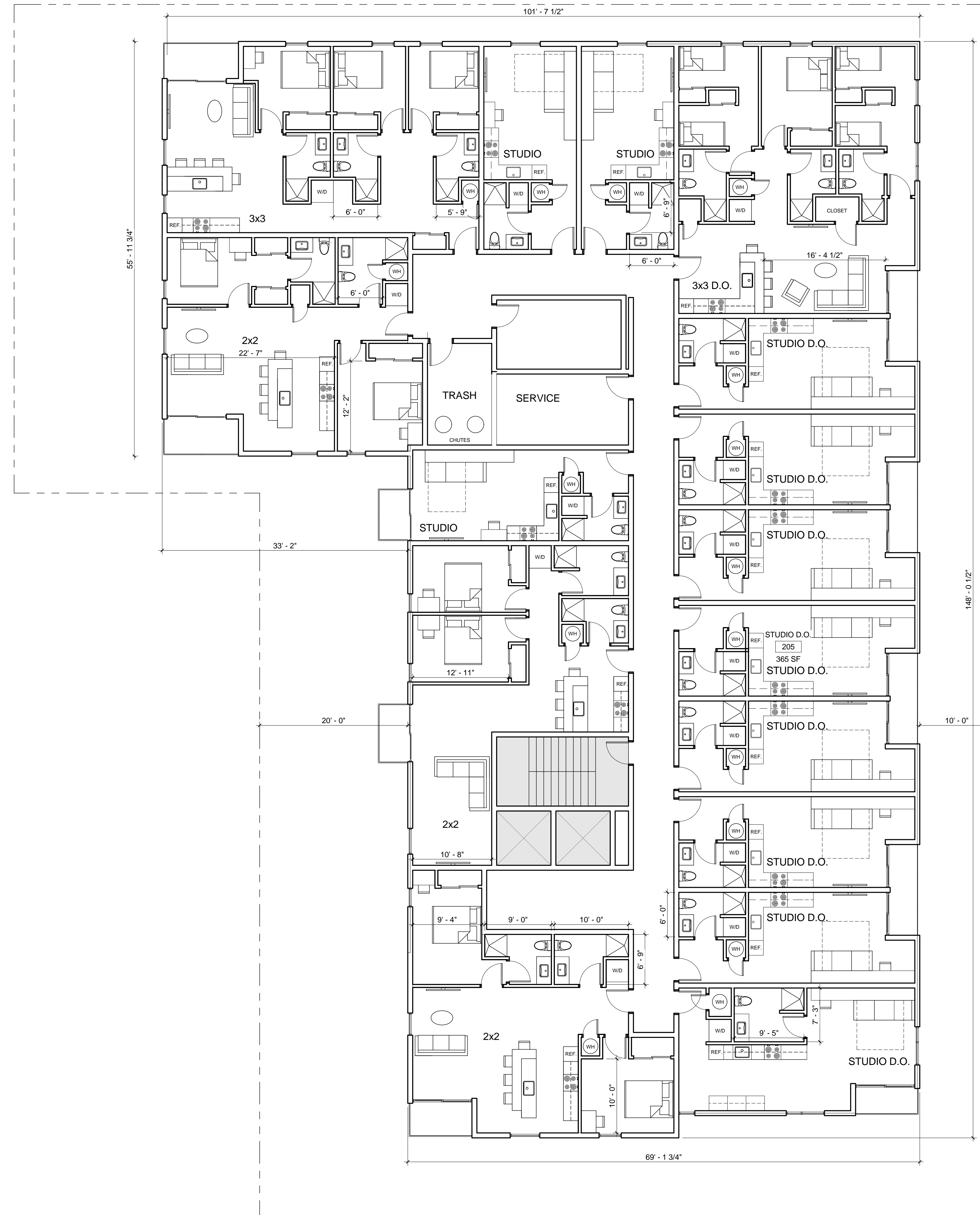
402 West Washington

402 W Washington Avenue Madison, WI 53703

FIRST FLOOR

Project Status
Project number ###
Date 4.12.16

A101



No.	Description	Date

UP Urban Properties

402 West Washington

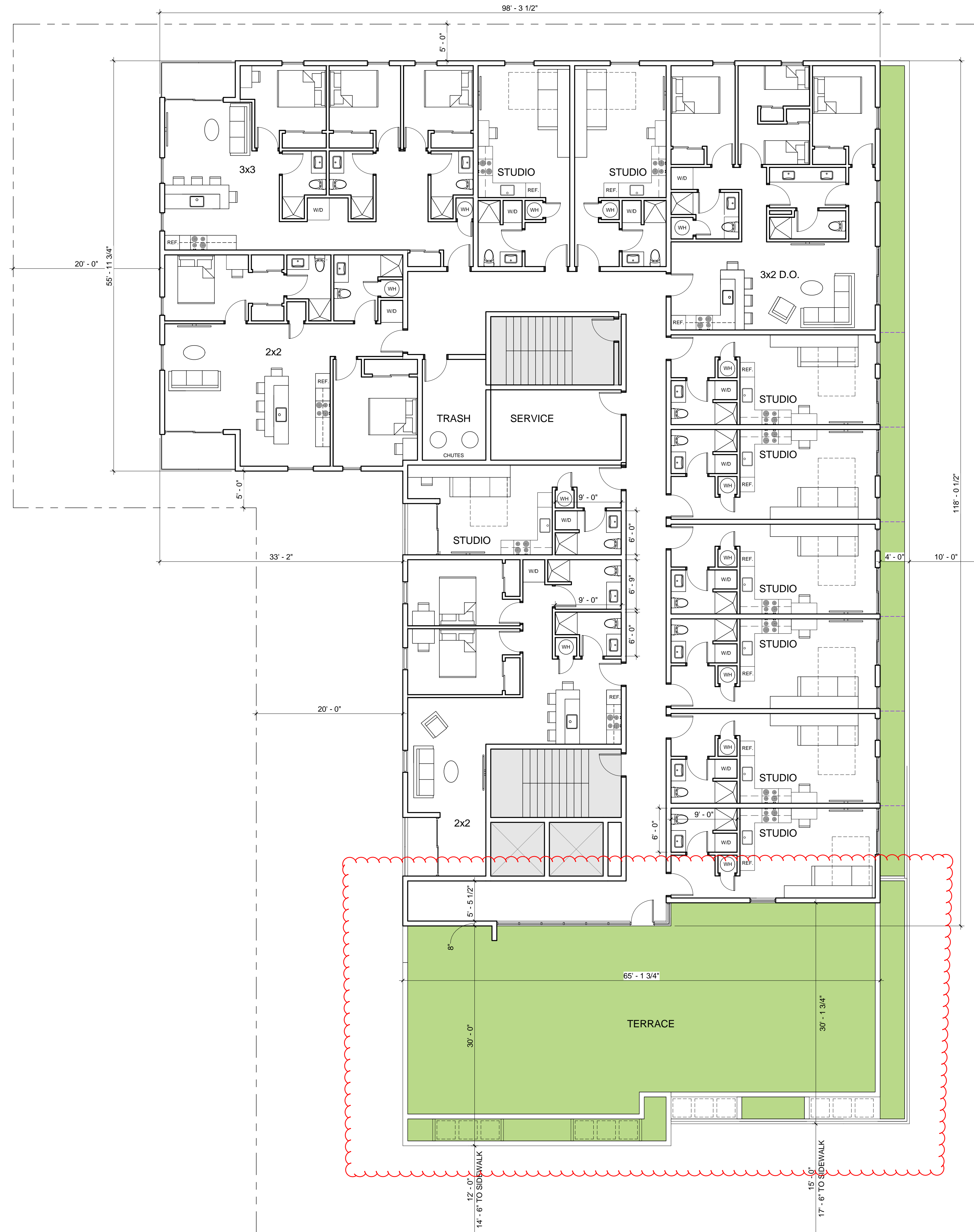
402 W Washington Avenue
Madison, WI 53703

FLOORS TWO THROUGH FOUR

Project Status	
Project number	####
Date	4.12.16

A102

1 FLOORS 2-4
1/8" = 1'-0"



No.	Description	Date

UP Urban Properties

402 West Washington

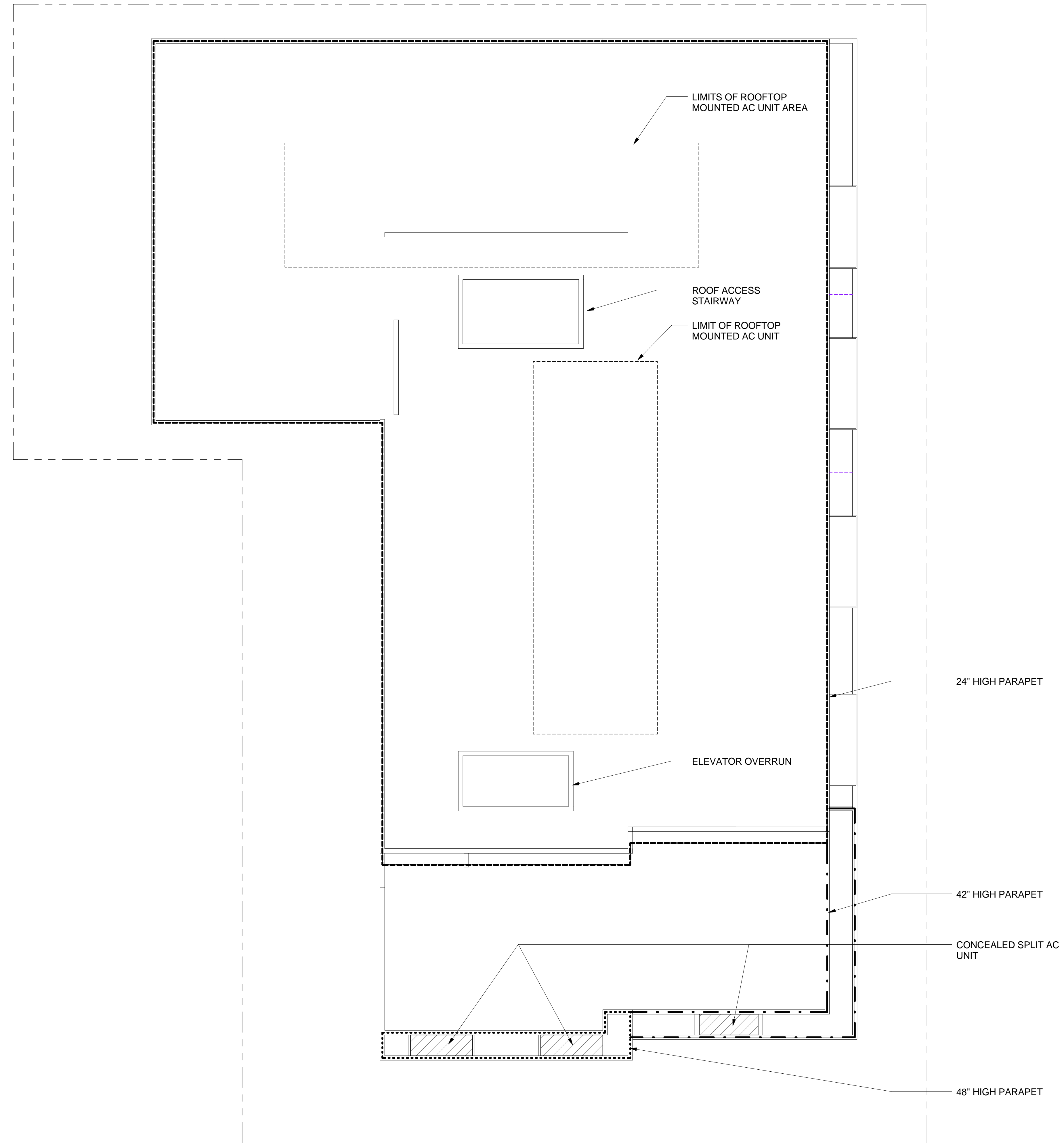
402 W Washington Avenue
Madison, WI 53703

FLOORS FIVE AND SIX (SIM)

Project Status	
Project number	####
Date	4.12.16

A105

1 FLOOR 5
1/8" = 1'-0"



No.	Description	Date

UP Urban Properties

402 West Washington

402 W Washington Avenue
Madison, WI 53703

ROOF PLAN

Project Status	
Project number	####
Date	4.12.16

A107

1 ROOF
1/8" = 1'-0"

TOTAL FACADE AREA: 7045 S.F.
TOTAL GLAZED AREA: 1524 S.F.
PERCENTAGE OF GLAZING: 21.63%



No.	Description	Date

UP Urban Properties

402 West Washington

402 W Washington Avenue
Madison, WI 53703

NORTH ELEVATION

Project Status	
Project number	####
Date	4.12.16

A402

1 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

No.	Description	Date

UP Urban Properties

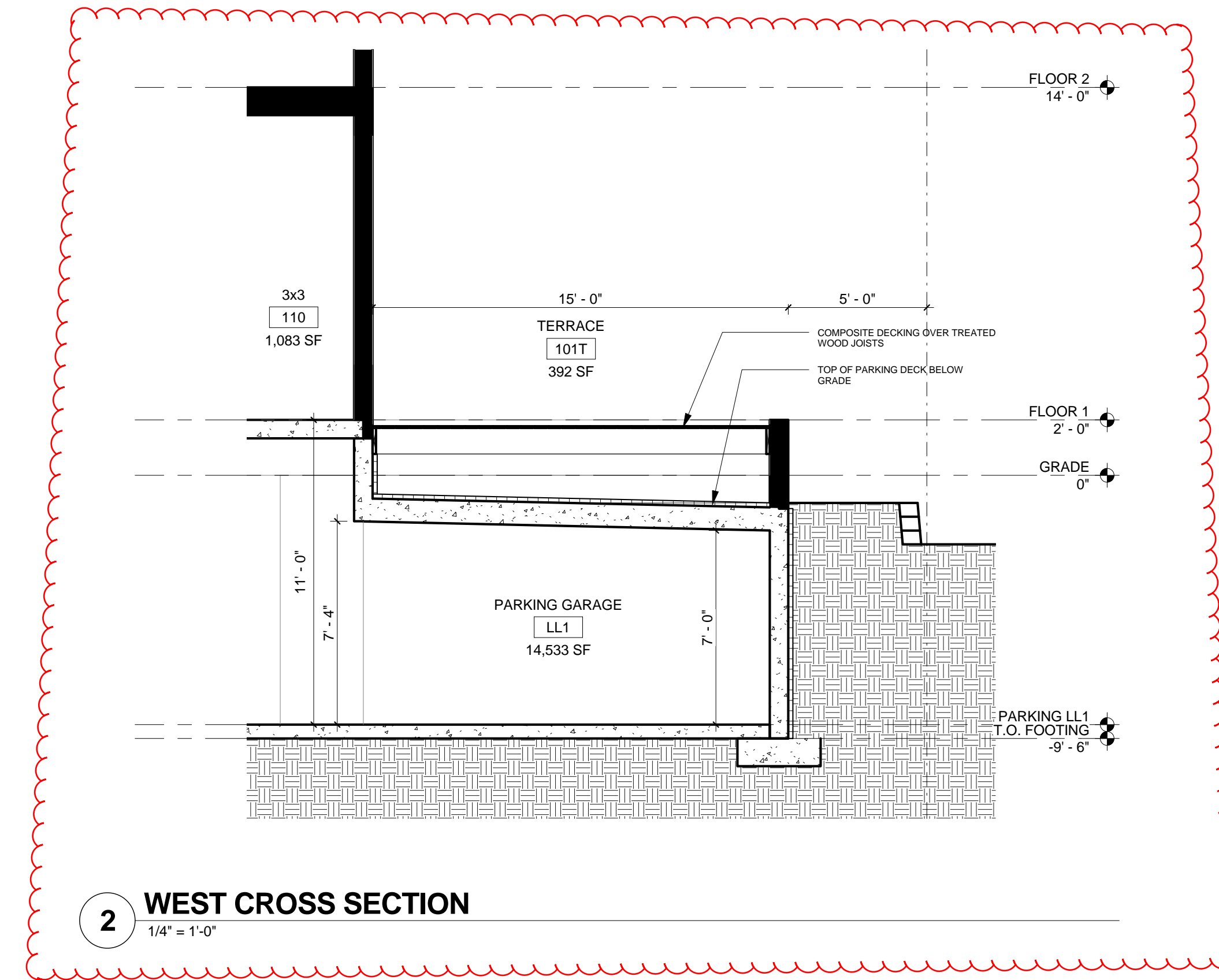
402 West Washington

402 W Washington Avenue
Madison, WI 53703

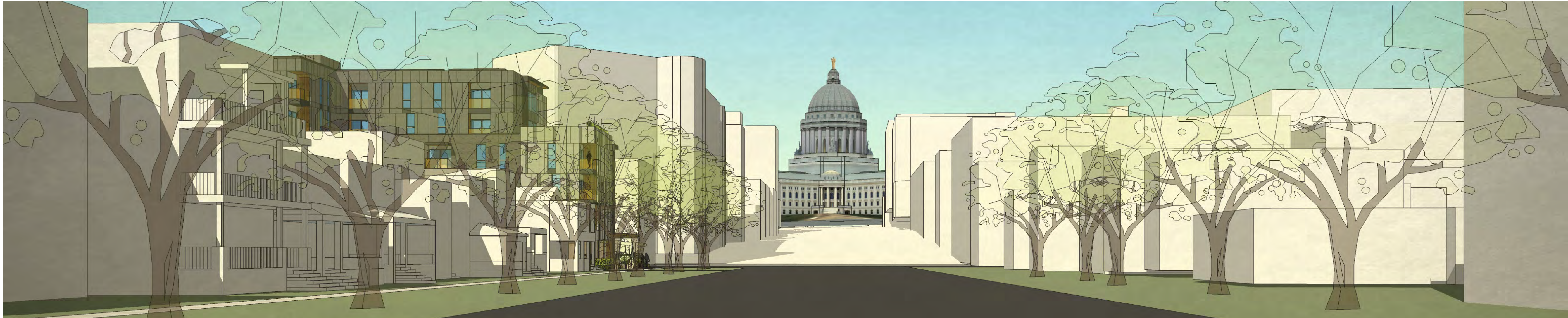
WEST ELEVATION

Project Status	
Project number	####
Date	4.12.16

A401



UP Urban Properties



ARO EBERLE
ARCHITECTS

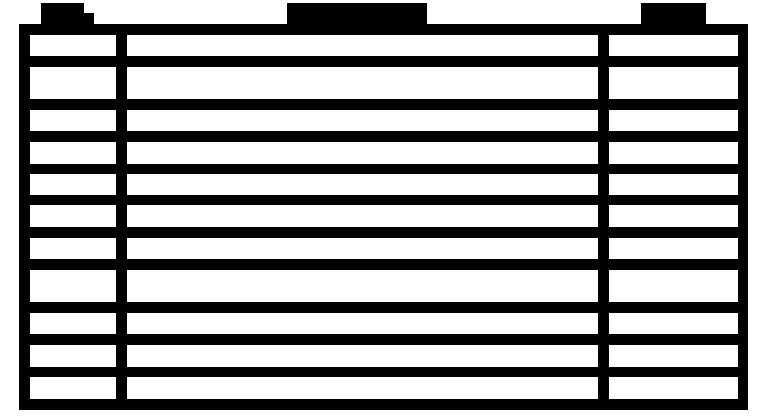
URBAN
PROPERTIES

UrbanAssets

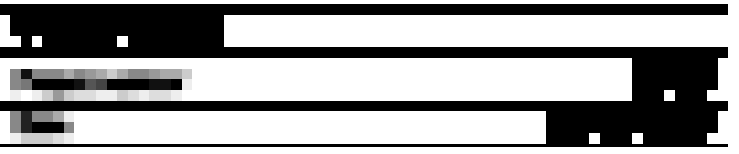
KEN SAKI DESIGN
LANDSCAPE
ARCHITECTS

Kimley-Horn

TRK MORISHI, LLC



UP Urban Properties
400 West Washington
Seattle, WA

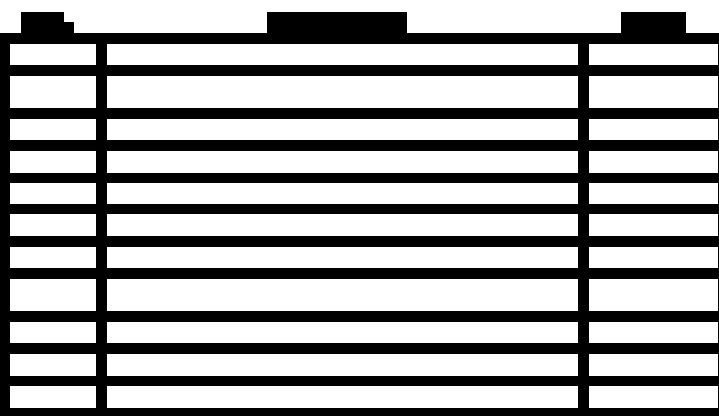
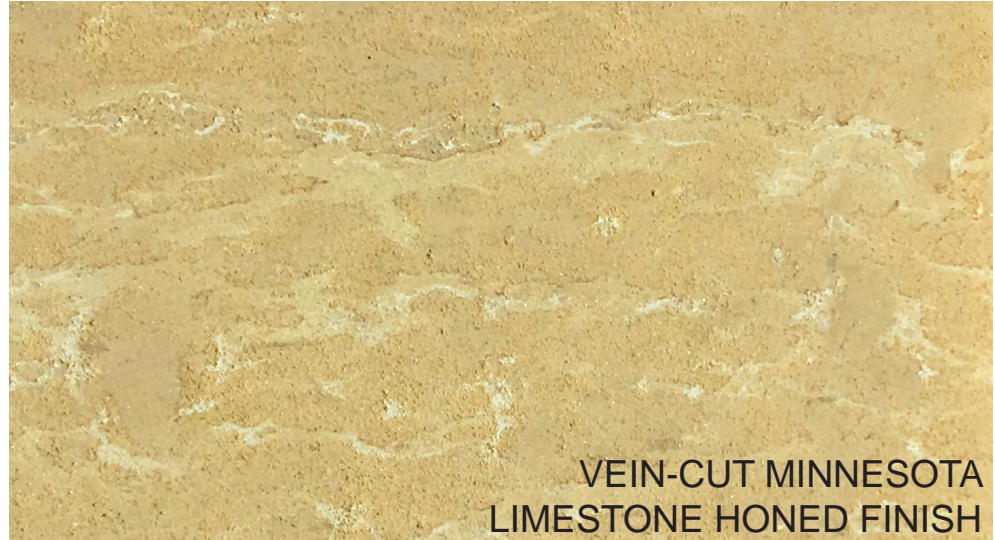
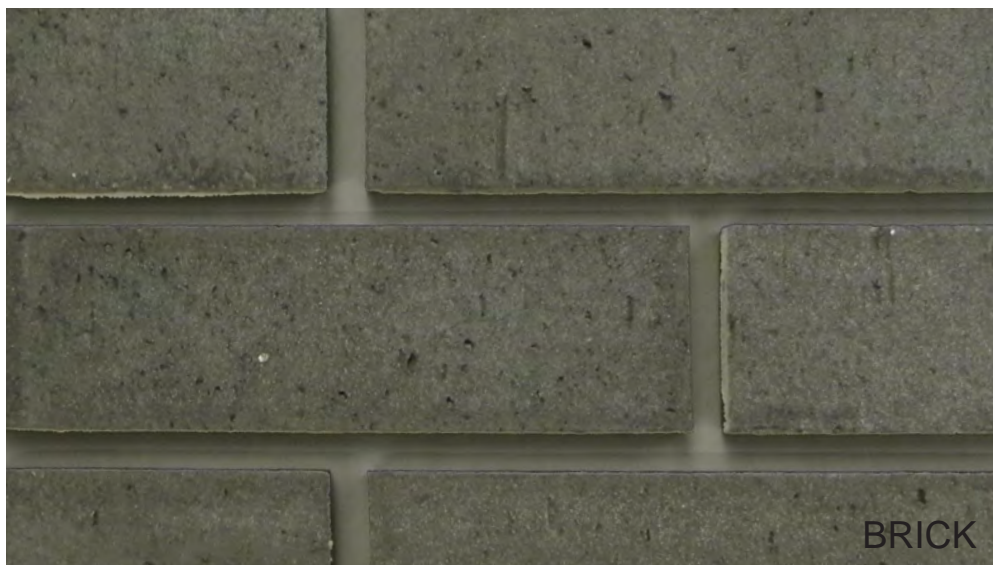
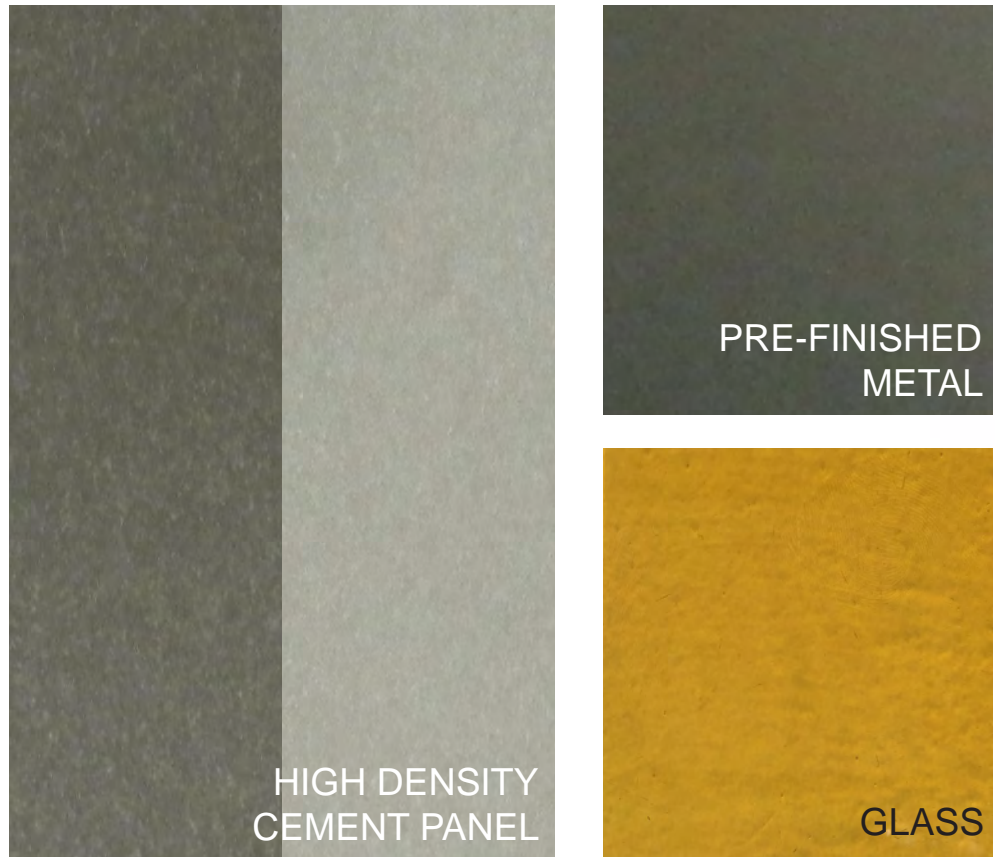


P000

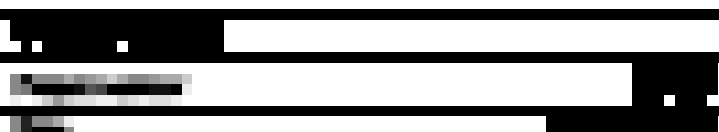
UP Urban Properties

SOUTH ELEVATION

PROPOSED BUILDING MATERIALS



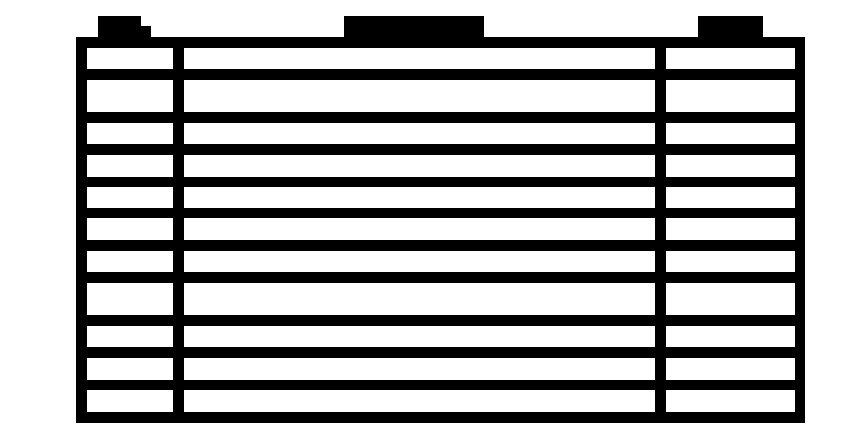
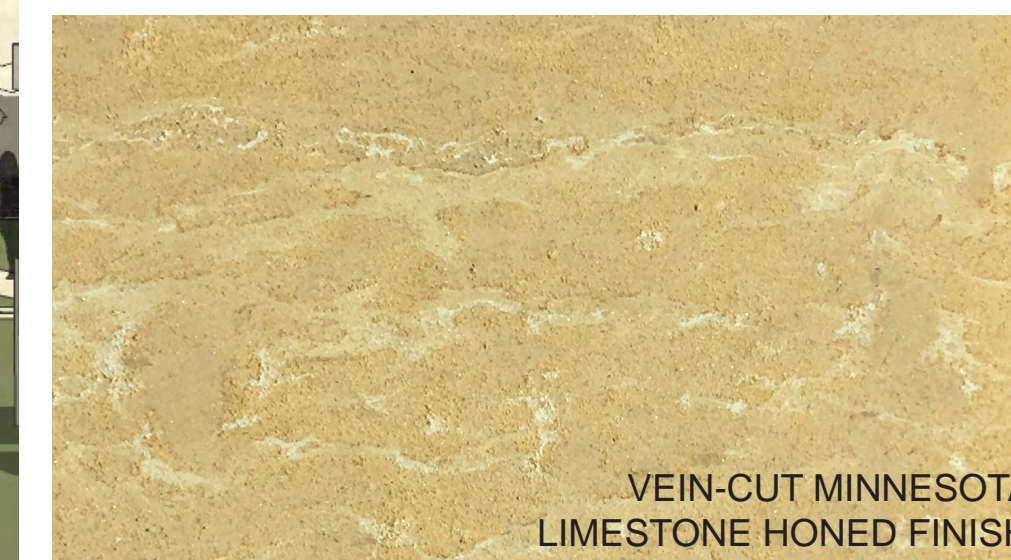
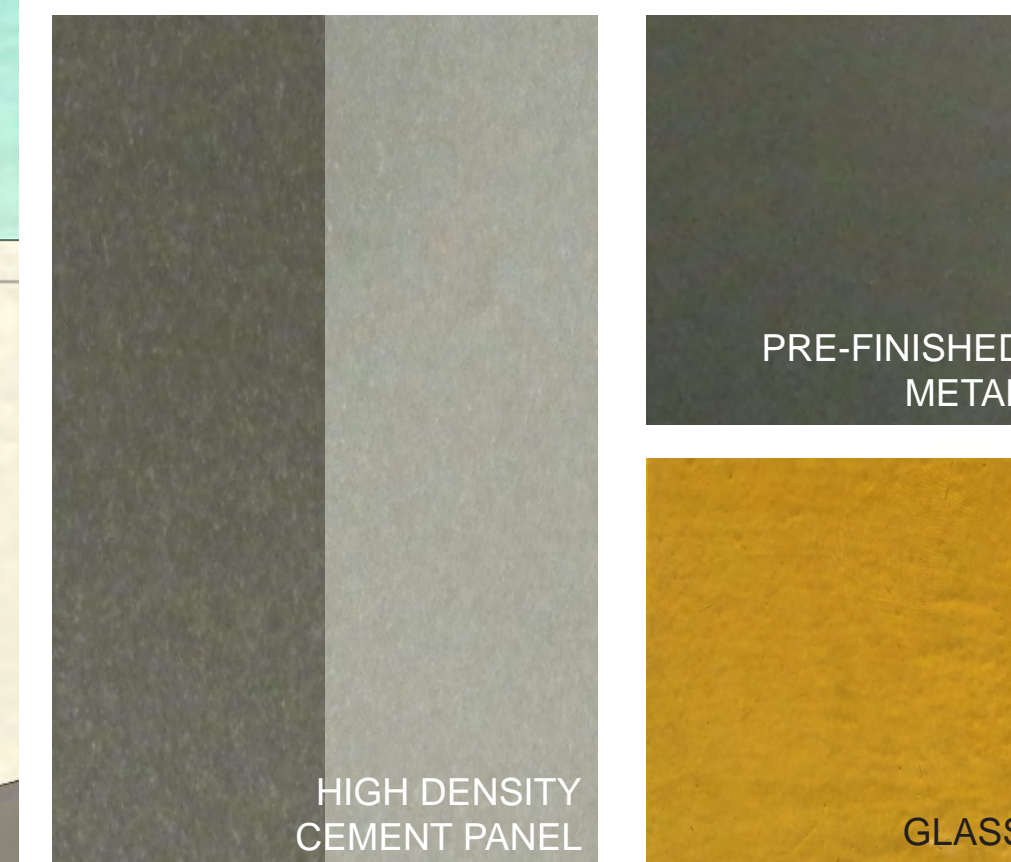
UP Urban Properties
 400 West Washington
 Denver, CO



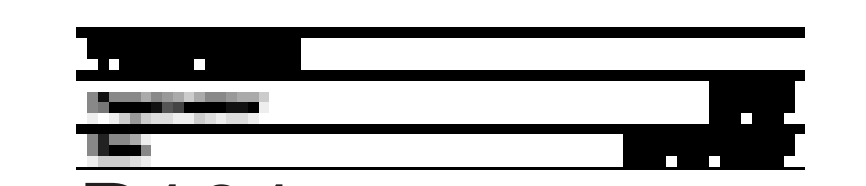
UP Urban Properties

WEST ELEVATION

PROPOSED BUILDING MATERIALS



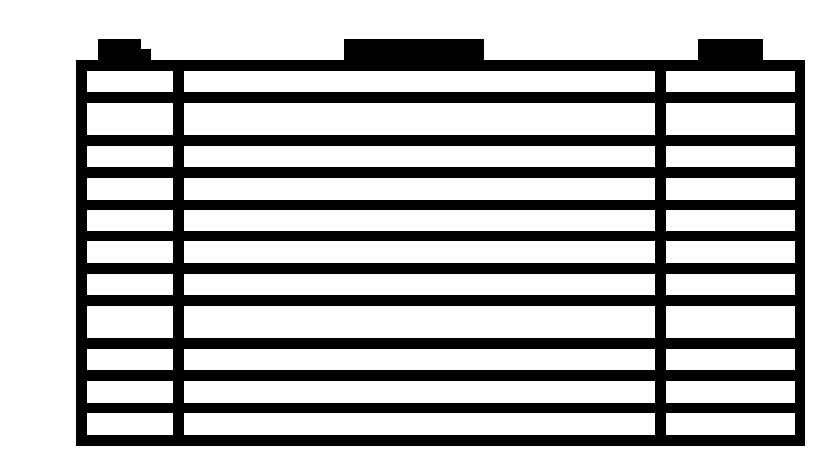
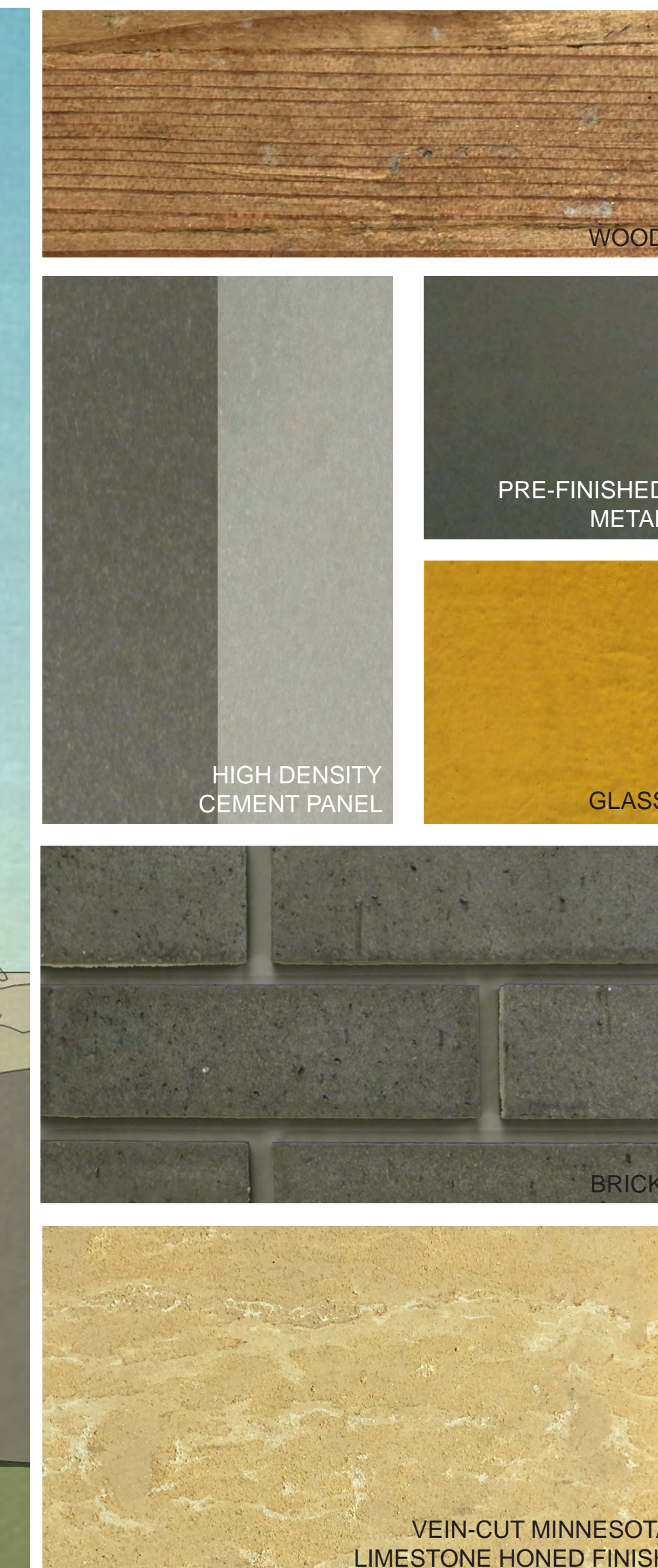
UP Urban Properties
400 West Washington
Chicago, IL 60601



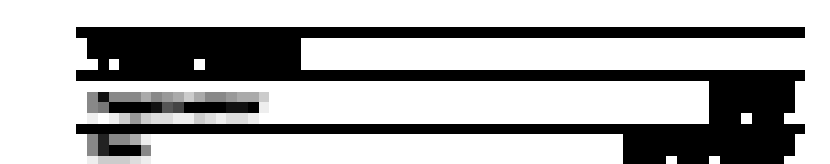
UP Urban Properties

NORTH ELEVATION

PROPOSED BUILDING MATERIALS



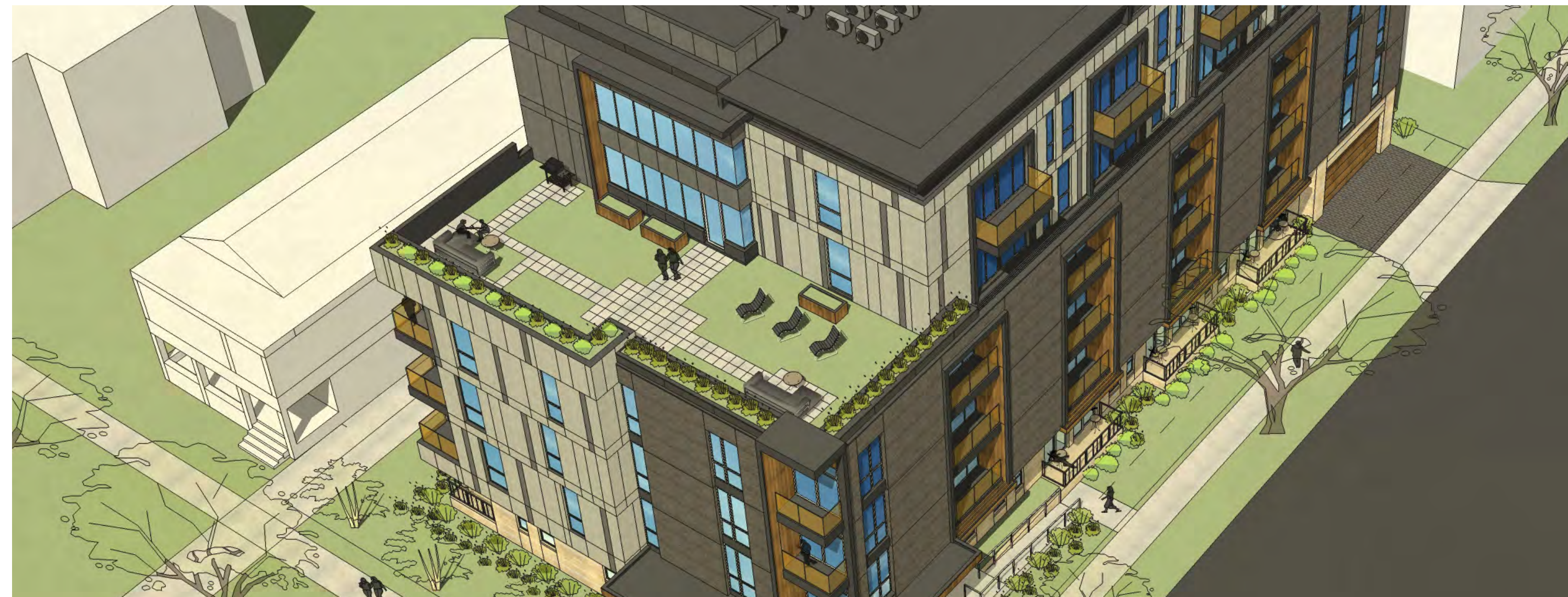
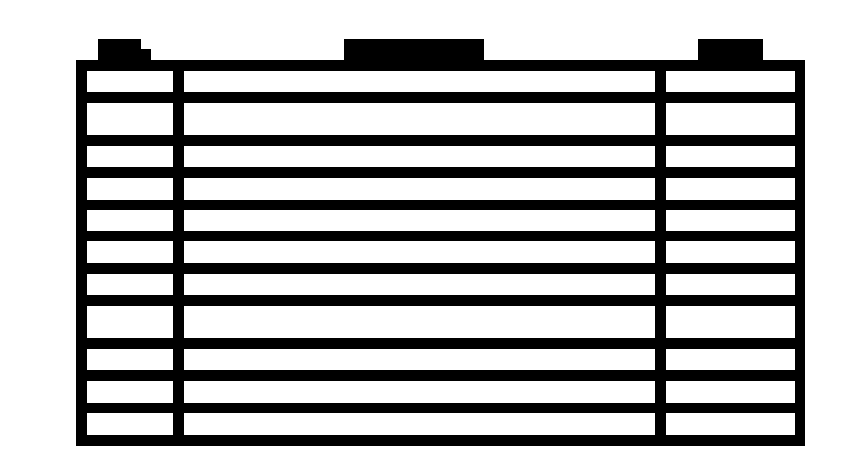
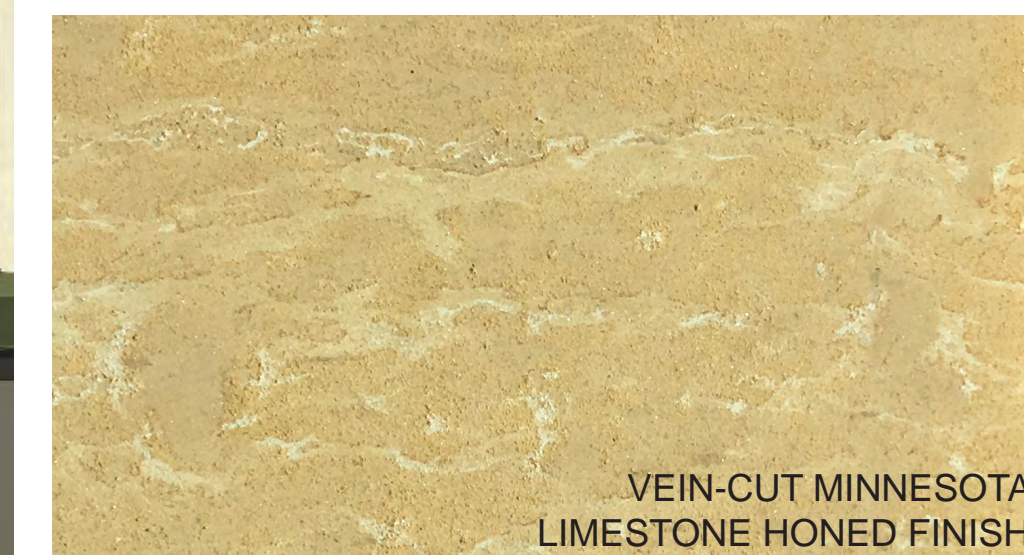
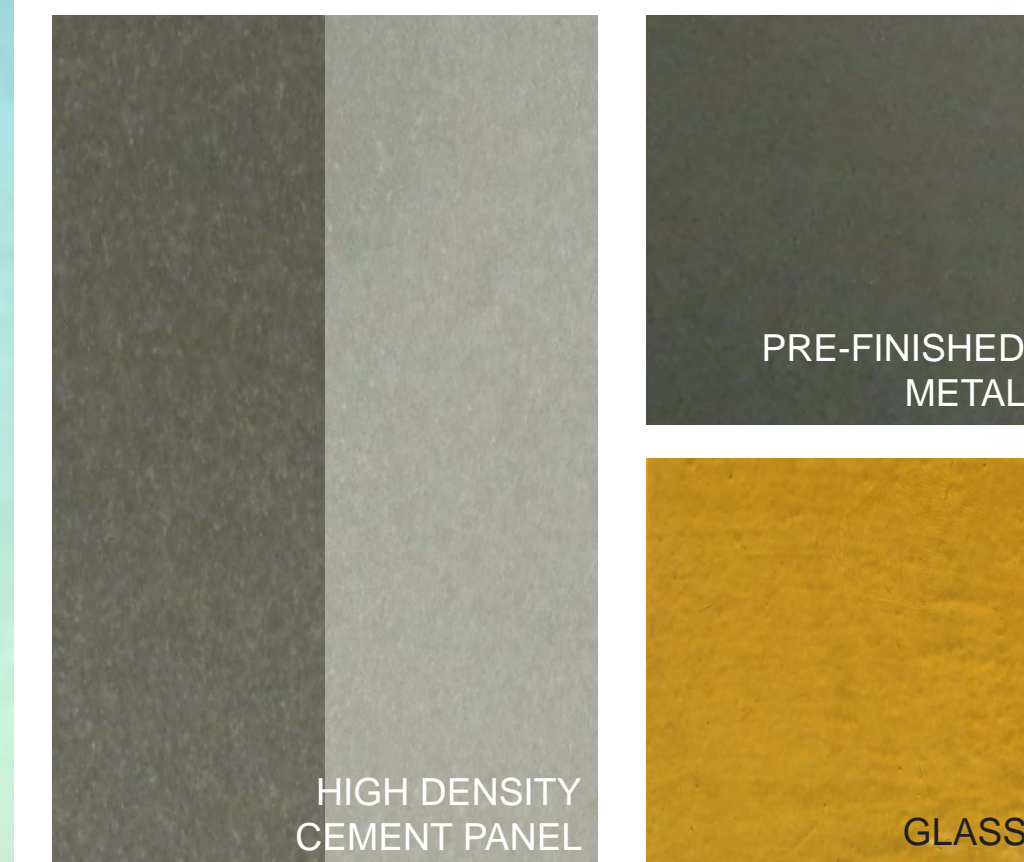
UP Urban Properties
 400 West Washington
 Minneapolis, MN



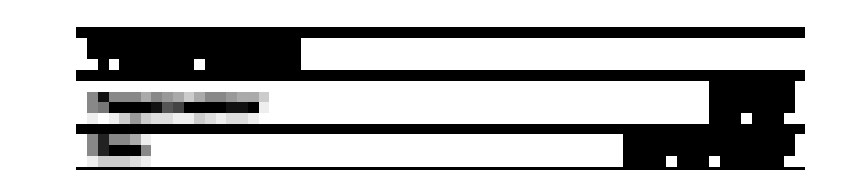
UP Urban Properties

EAST ELEVATION

PROPOSED BUILDING MATERIALS



UP Urban Properties
400 West Washington
Chicago, IL 60601





SITE LOCATOR



CONTEXT ACROSS BROOM STREET

No.	Description	Date



CONTEXT ALONG WEST WASHINGTON



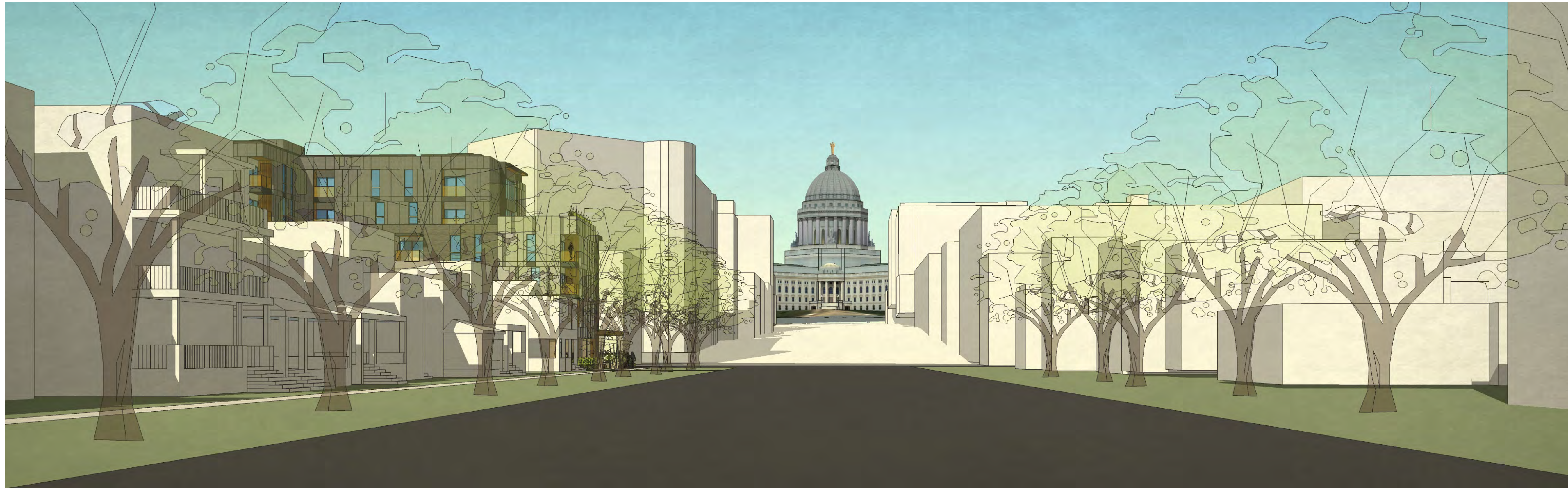
UP Campus Properties

400 West Washington

400 W Washington Avenue
Madison, WI 53703

P104

Project Status	
Project number	####
Date	Issue Date



SITE CORRIDOR - VIEW TO CAPITAL FROM WEST WASHINGTON



WEST WASHINGTON SETBACKS



AERIAL PHOTO



VIEW FROM BROOM

No.	Description	Date

UP Campus Properties

400 West Washington

400 W Washington Avenue
Madison, WI 53703

Project Status
Project number #####
Date Issue Date

P105



SPRING EQUINOX 8:00 AM



FALL EQUINOX 8:00 AM



FALL EQUINOX 12:00 PM



WINTER SOLSTICE 8:00 AM



SPRING EQUINOX 12:00 PM



SUMMER SOLSTICE 8:00 AM



FALL EQUINOX 5:00 PM



WINTER SOLSTICE 5:00 PM



SPRING EQUINOX 5:00 PM



SUMMER SOLSTICE 12:00 PM



WINTER SOLSTICE 12:00 PM



SUMMER SOLSTICE 5:00 PM

No.	Description	Date

UP Campus Properties

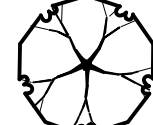
400 West Washington

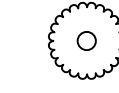
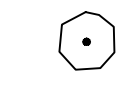
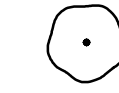
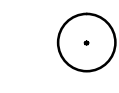
400 W Washington Avenue
Madison, WI 53703

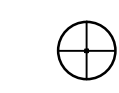
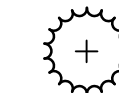
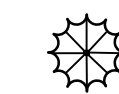
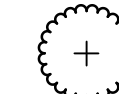
P106

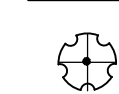
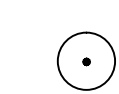

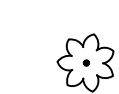
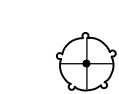
Project Status	
Project number	####
Date	Issue Date




PLANT SCHEDULE - SITE

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	FIELD4	QTY
	ASF	Amelanchier laevis 'Spring Flurry' / Spring Flurry Serviceberry	B & B	2.5" Cal	10' HT. (MIN.)	Tree Form	3


DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Dcn	Deutzia gracilis 'Nikko' / Slender Deutzia	3 gal			4
	Fbc	Fothergilla gardenii 'Beaver Creek' / Dwarf Witchhazel	3 gal			24
	Ha	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal			19
	Sbt	Spiraea betulifolia 'Tor' / Birchleaf Spirea	3 gal			16


EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Bg	Buxus x 'Green Gem' / Green Gem Boxwood	3 gal			19
	Jc	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfizer Juniper	5 gal			6
	Jcs	Juniperus chinensis 'Spartan' / Spartan Juniper	B & B		6' H (MIN.)	23
	Tmt	Taxus x media 'Tauntoni' / Tauton Yew	3 gal			12

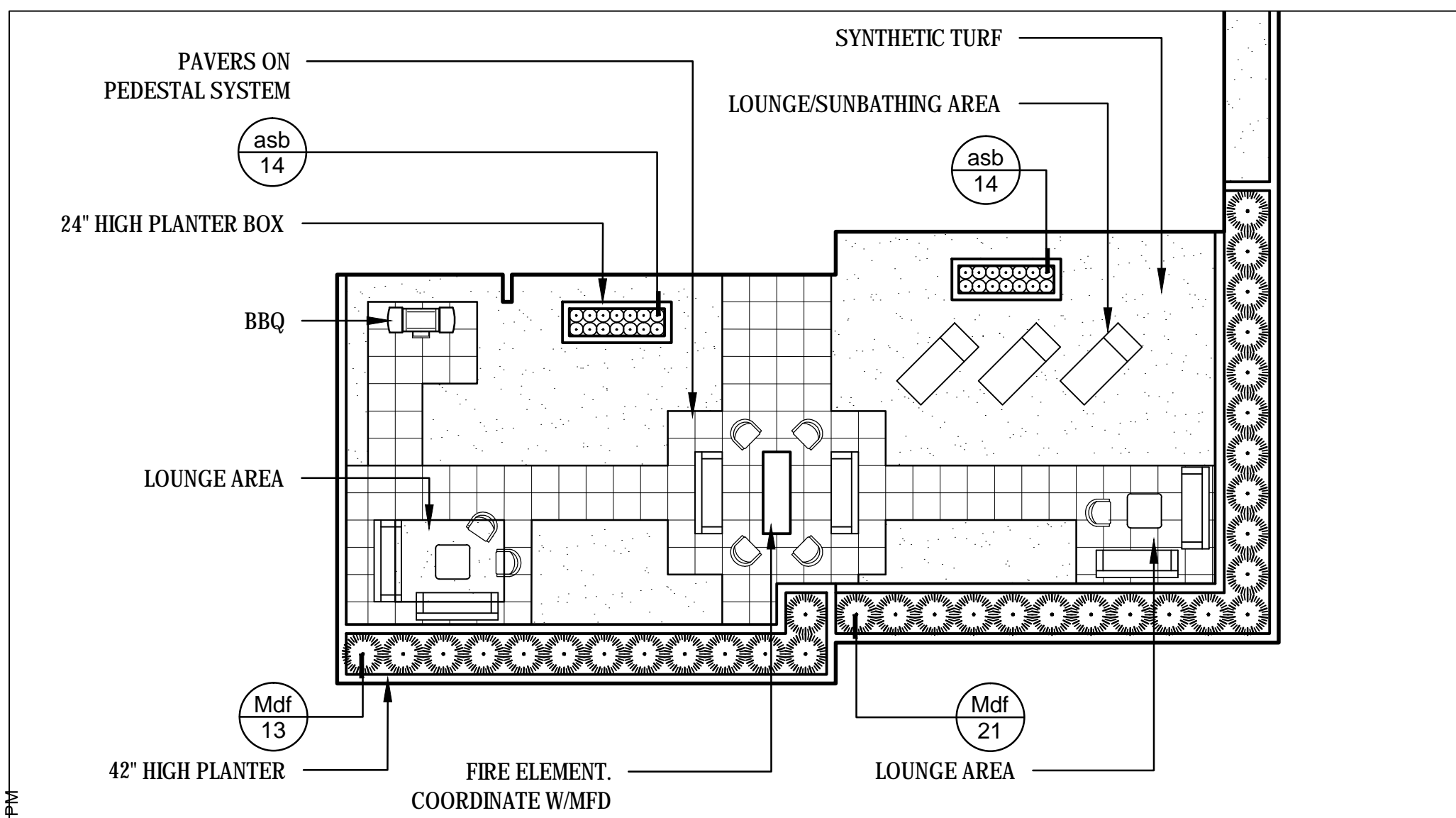
HERBACEOUS PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	ab2	Agastache x 'Blue Fortune' / Anise Hyssop	1 gal			23
	asb	Allium tanguticum 'Summer Beauty' / Summer Beauty Globe Lily	1 gal			57
	hhr	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	1 gal			26
	hg	Hosta x 'Guacamole' / Guacamole Hosta	1 gal			12
	saj	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal			14

ORNAMENTAL GRASSES AND SEDGES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	cid	Carex x 'Ice Dance' / Ice Dance Sedge	1 gal			12
	pnw	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 gal			18
	pvs	Panicum virgatum 'Shenendoah' / Burgundy Switch Grass	1 gal			25

PLANT SCHEDULE - 5TH FLOOR TERRACE

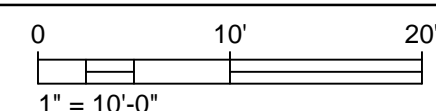
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Mdf	Microbiota decussata 'ConDavis' / Fuzzball Siberian Carpet Cypress	3 gal	34

HERBACEOUS PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	asb	Allium tanguticum 'Summer Beauty' / Summer Beauty Globe Lily	1 gal	28



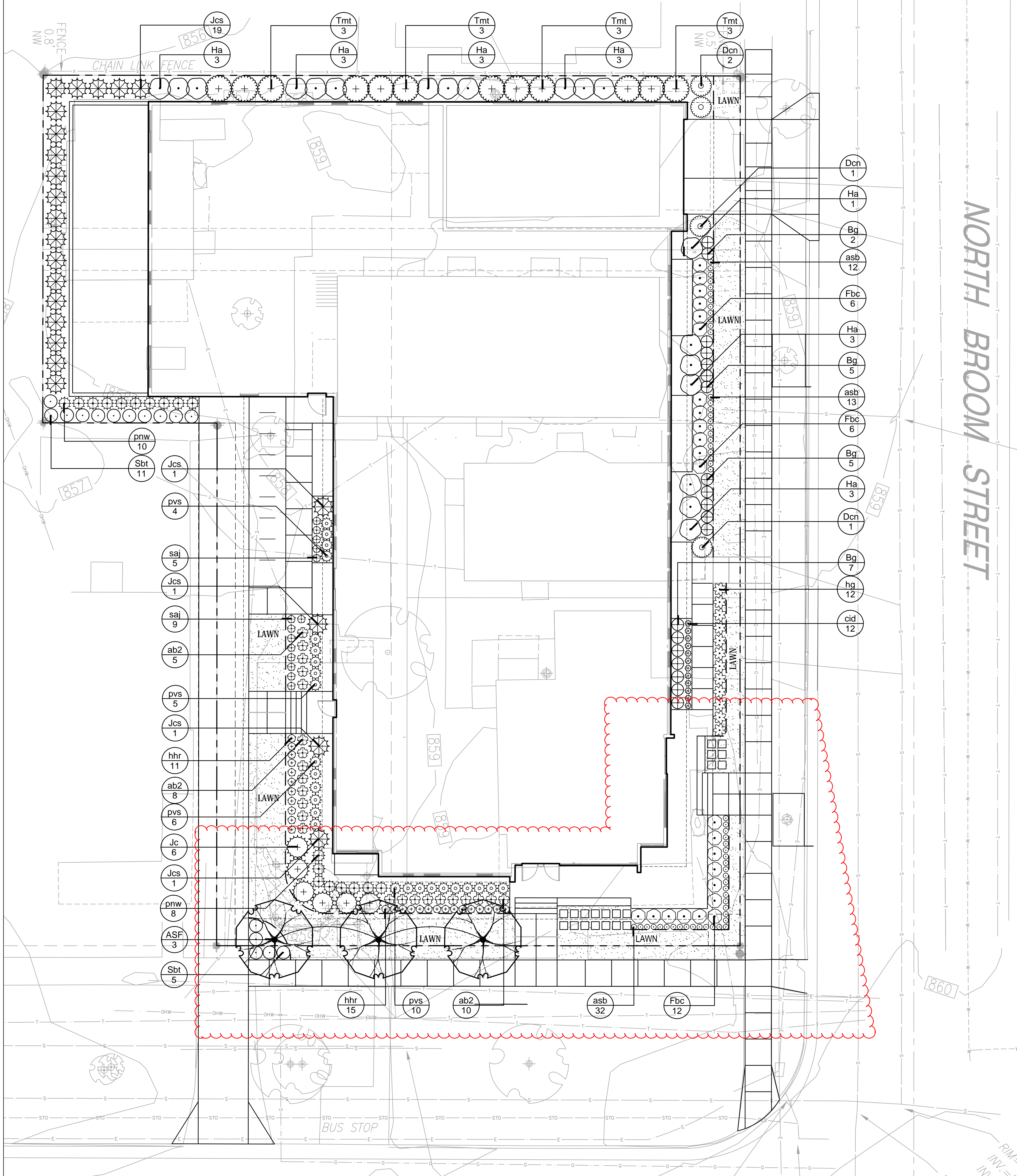
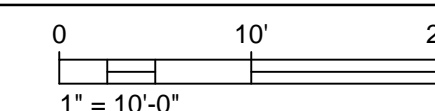
5TH FLOOR TERRACE - PLANTING PLAN

SCALE: 1" = 10'-0"



SITE - PLANTING PLAN

SCALE: 1" = 10'-0"



116 King St, Suite 202 (608) 204-7464
Madison, WI 53703 AroEberle.com



No.	Description	Date

UP Campus Properties

400 West Washington

400 W Washington Avenue
Madison, WI 53703

Site and 5th Floor
Terrace Planting Plans

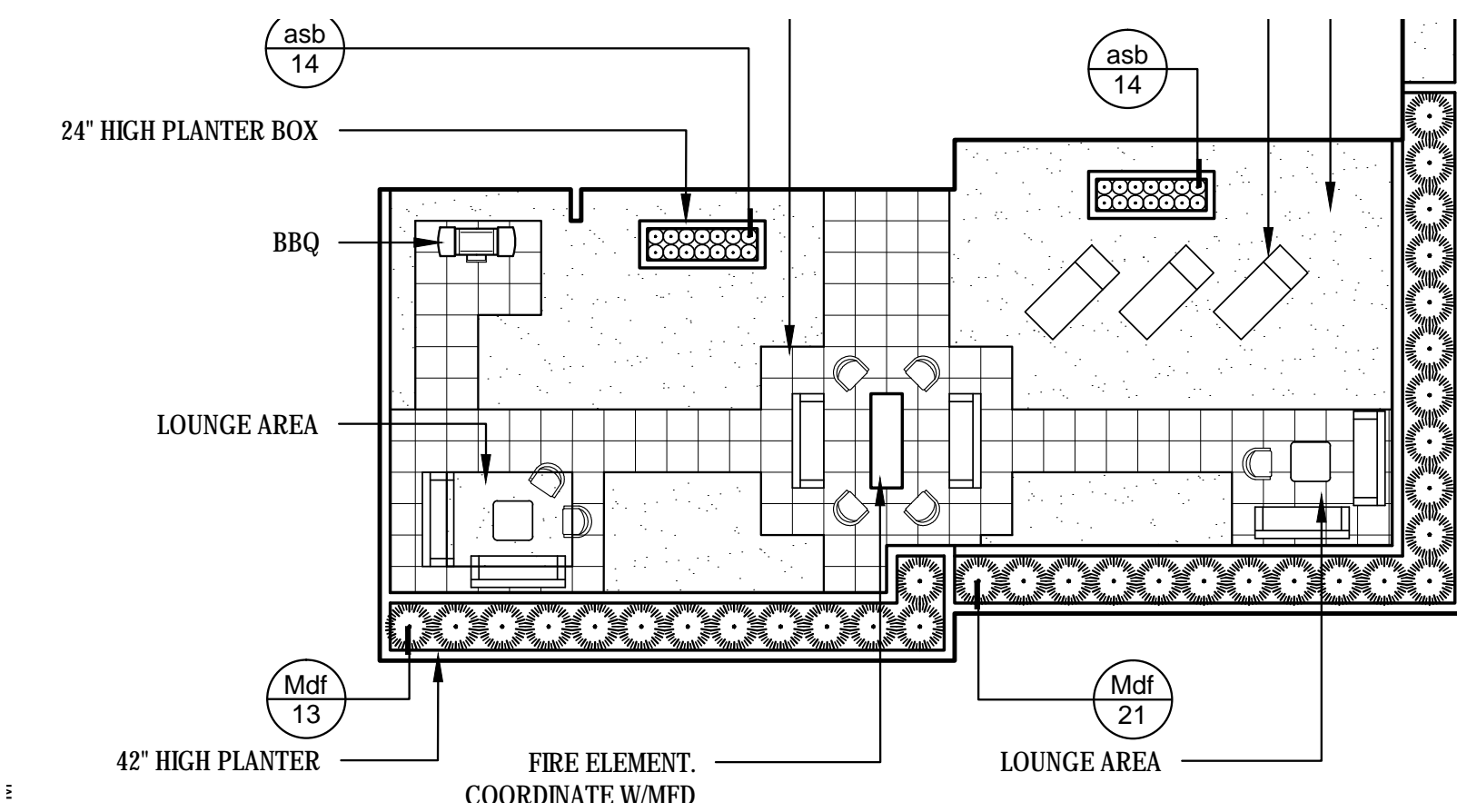
Project Status	
Project number	2016-026
Date	04/13/16

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TERRACE AERIAL



TERRACE PLAN



TERRACE INSPIRATION AND MATERIALS

ARO EBERLE ARCHITECTS

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UP URBAN PROPERTIES

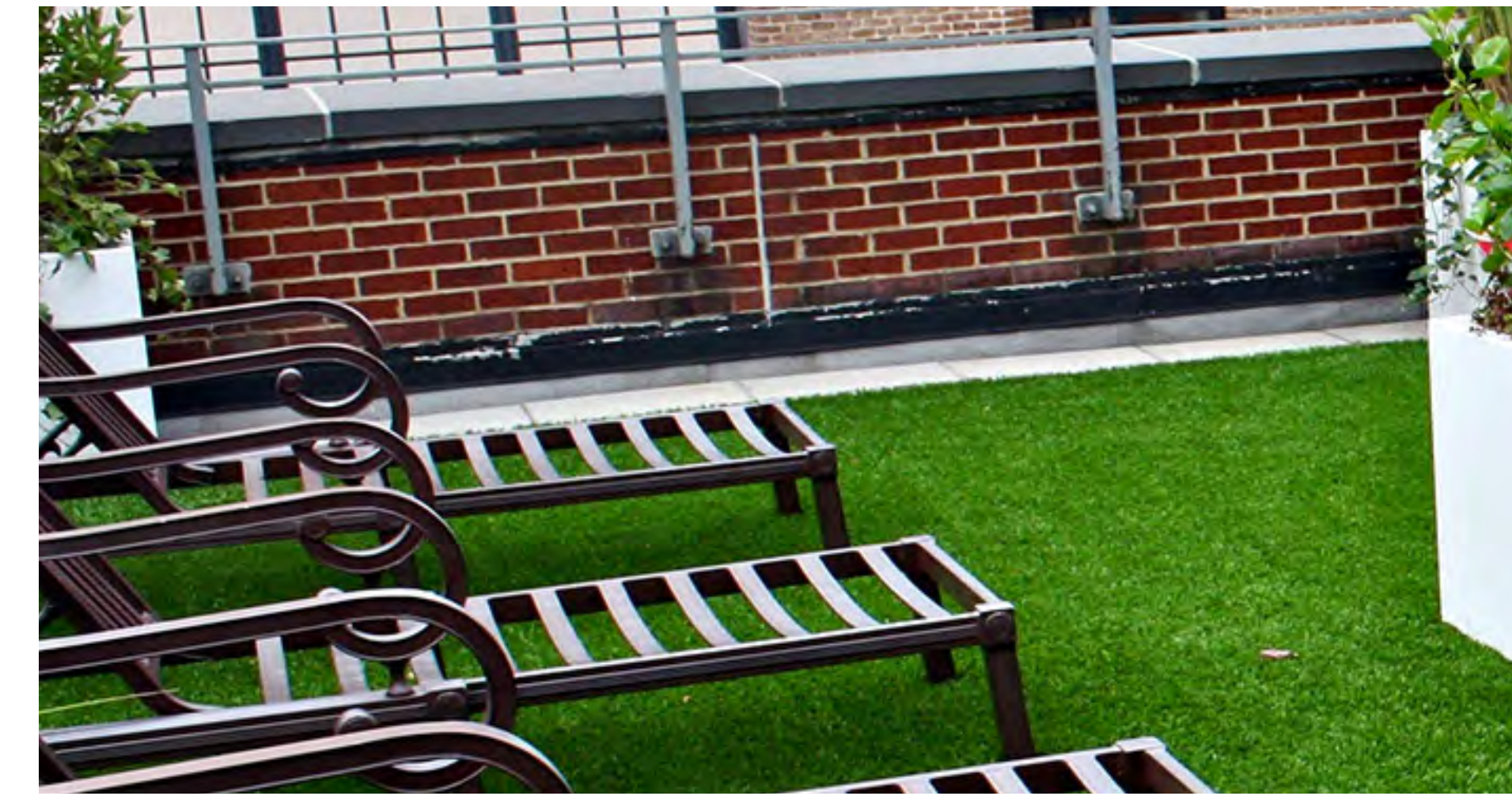
UrbanAssets

KEN SAIKI DESIGN
LANDSCAPE ARCHITECTS

Kimley»Horn

FINK HOREJSH, LLC
STRUCTURAL ENGINEERS

No.	Description	Date



UP Campus Properties

400 West Washington

400 W Washington Avenue
Madison, WI 53703

Project Status _____
Project number #####
Date _____ Issue Date _____

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ALLOWABLE HEIGHT DISTRICT COMPARISON
PROPOSED BUILDING

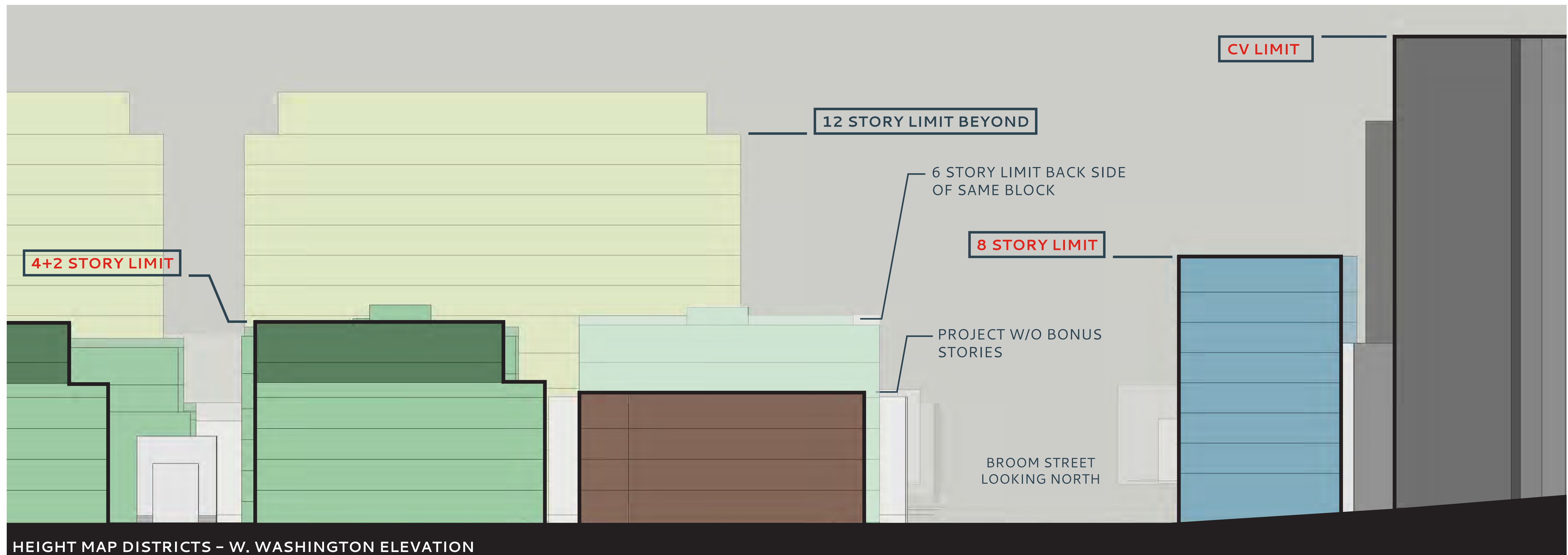
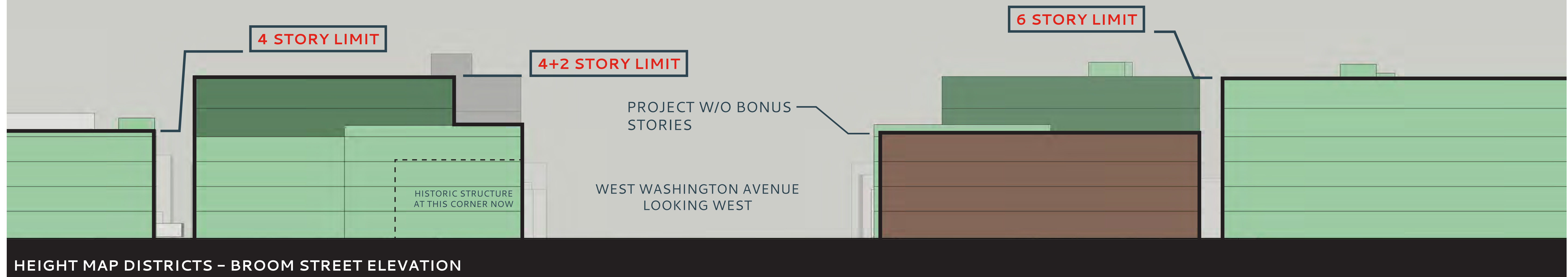


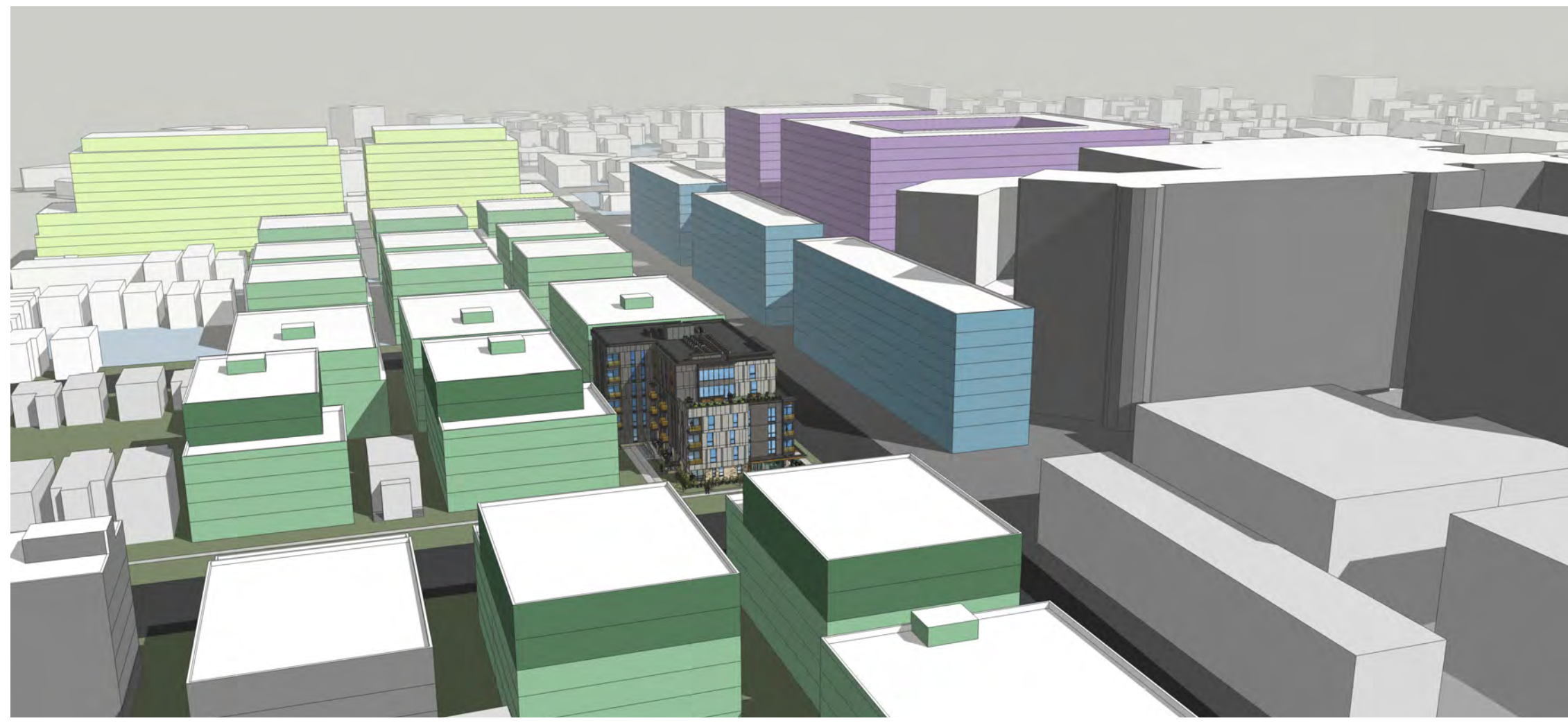
HEIGHT MAP DISTRICTS - BROOM STREET ELEVATION



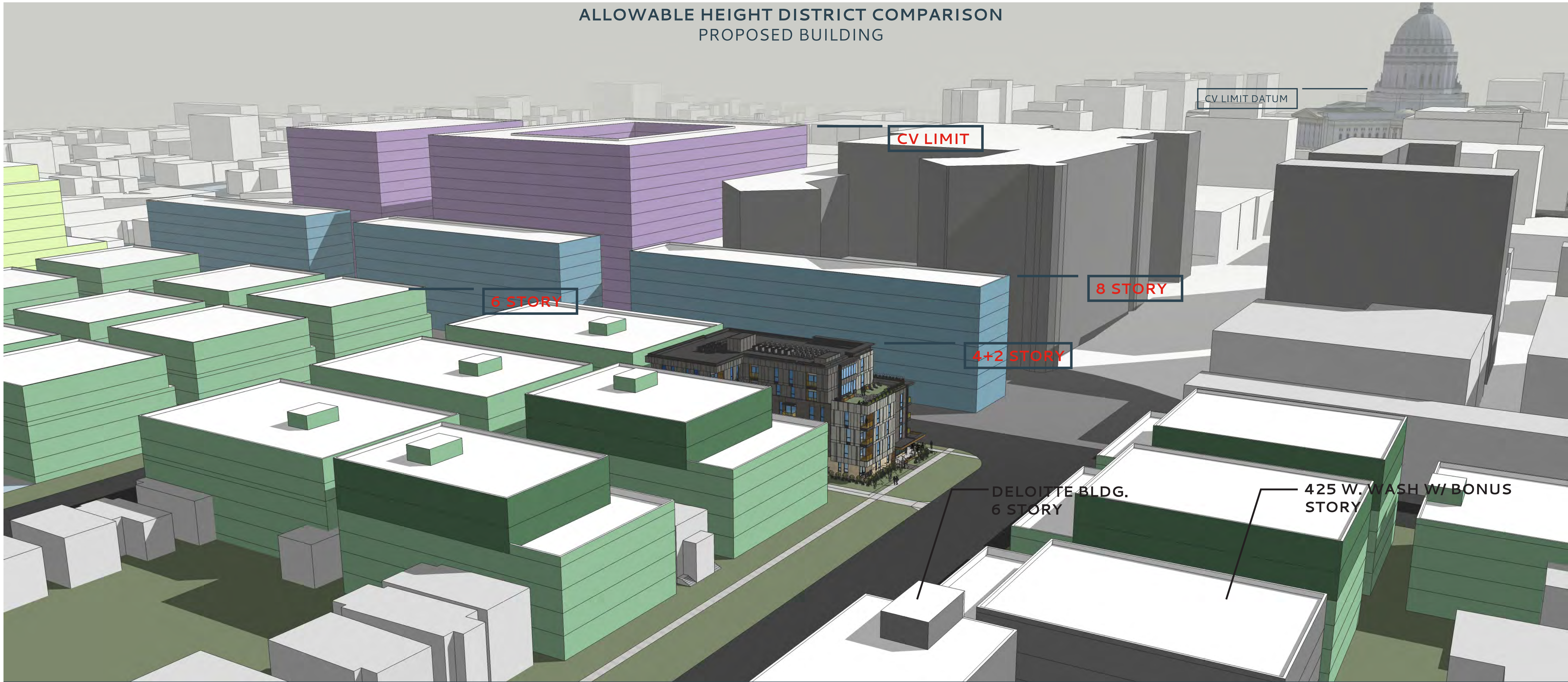
HEIGHT MAP DISTRICTS - W. WASHINGTON ELEVATION

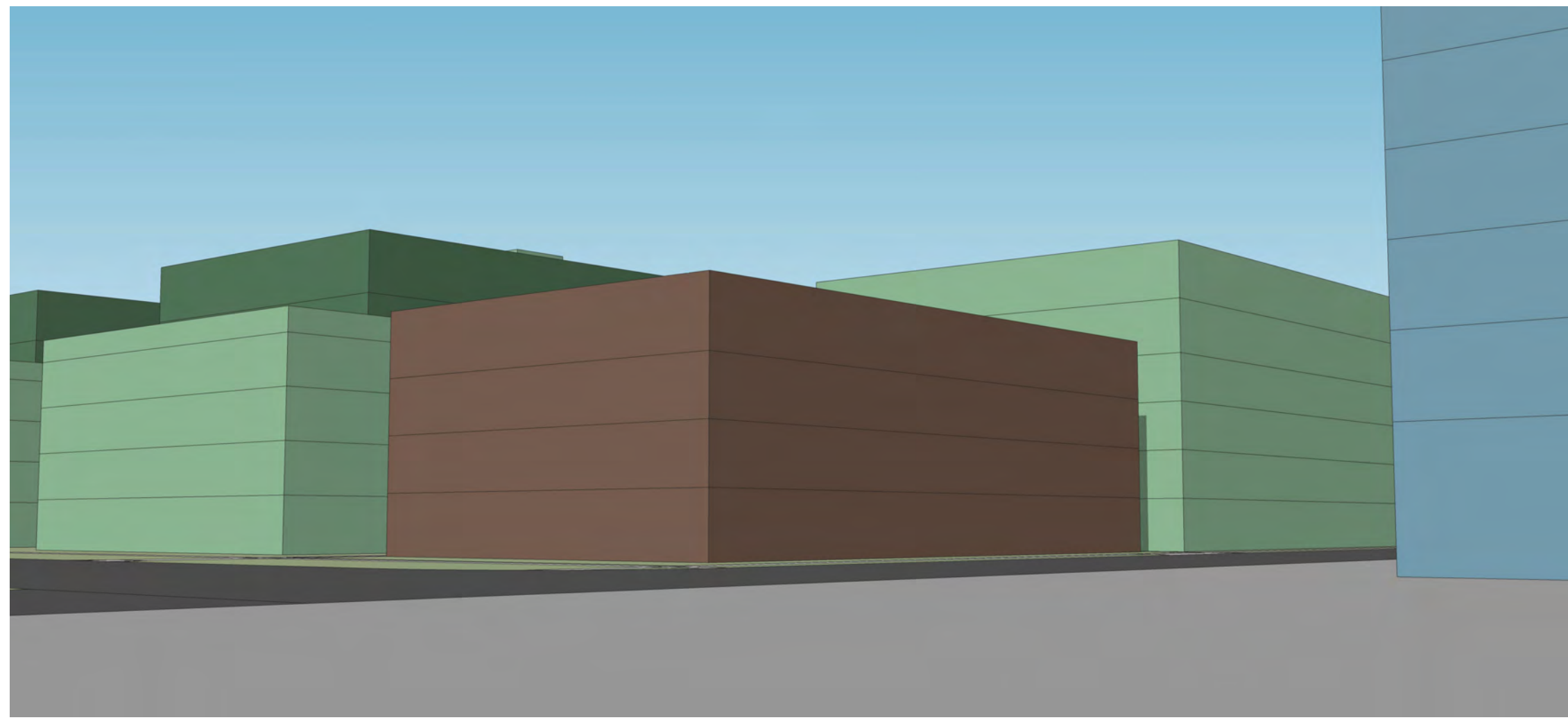
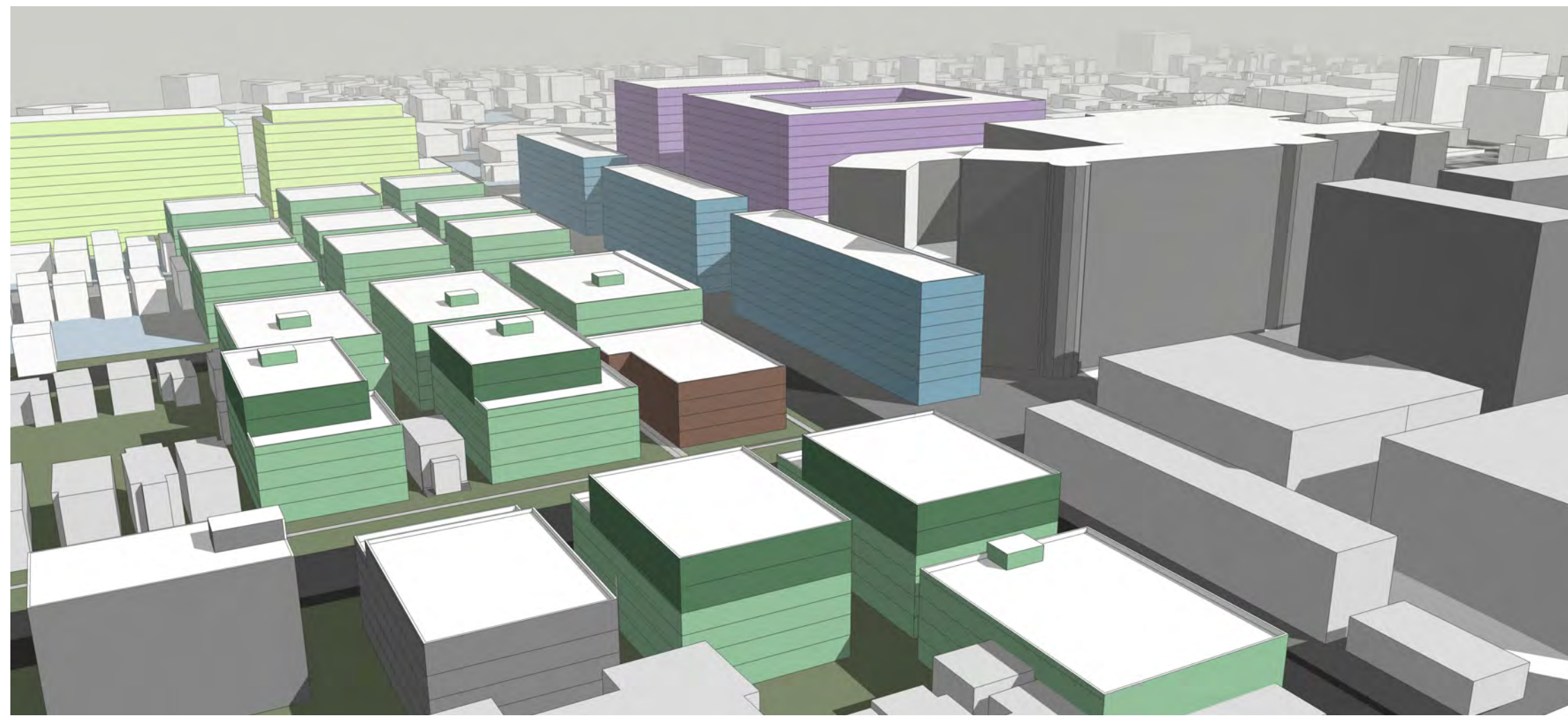
ALLOWABLE HEIGHT DISTRICT COMPARISON
AT FOUR STORIES





ALLOWABLE HEIGHT DISTRICT COMPARISON
PROPOSED BUILDING





ALLOWABLE HEIGHT DISTRICT COMPARISON
AT FOUR STORIES

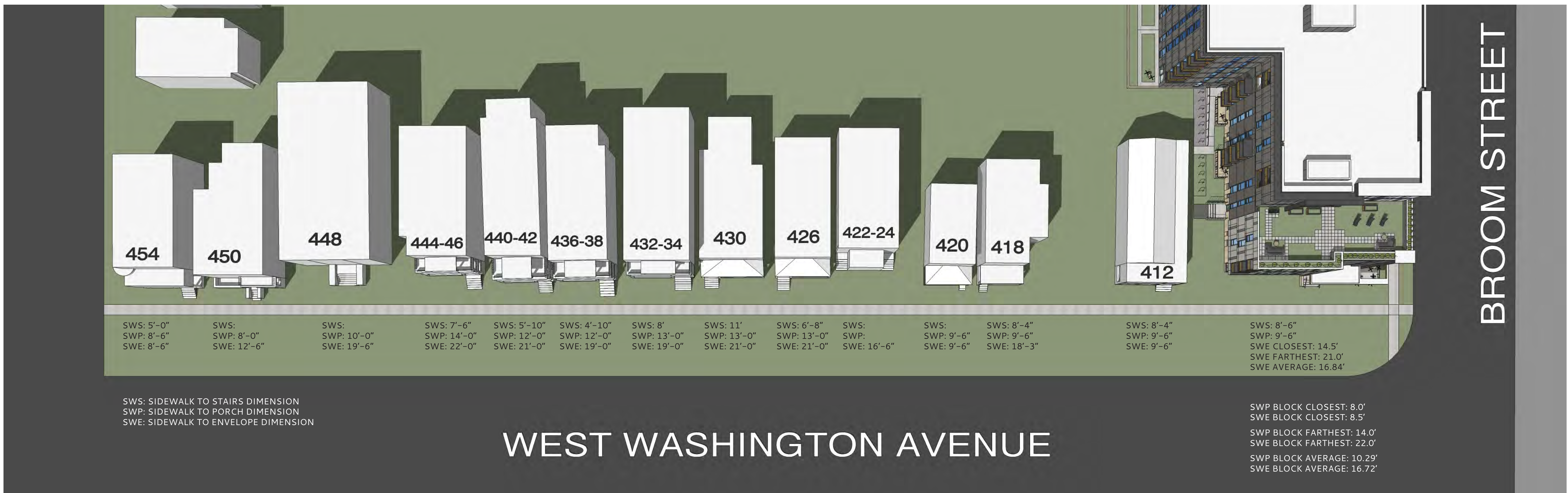




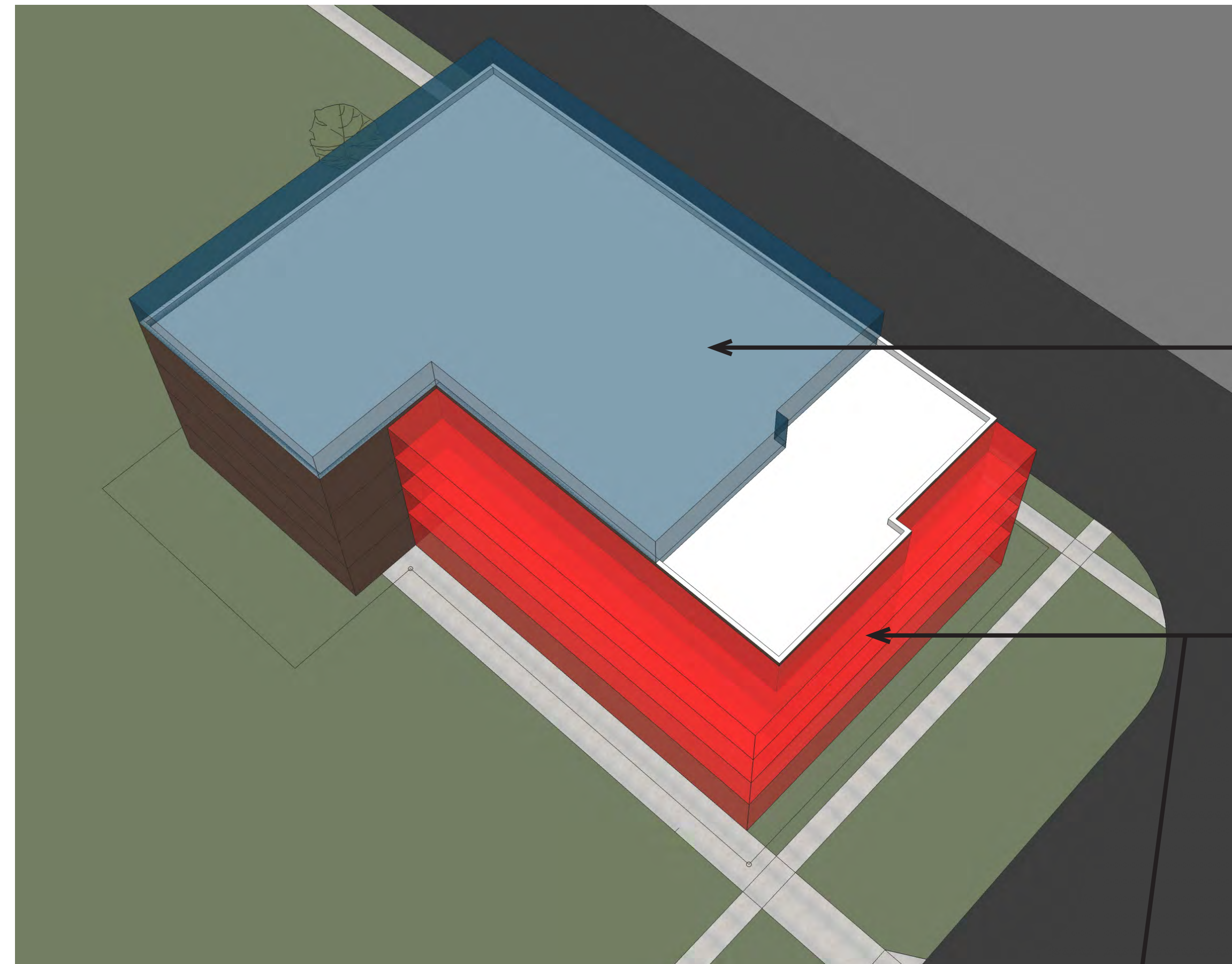
SETBACK CONTEXT LOOKING EAST



SETBACK CONTEXT LOOKING WEST



SETBACK CONTEXT PLANOMETRIC VIEW



BLUE FORM REPRESENTS AREA EQUIVALENT TO PORTION OF AREA PROVIDED BY BONUS STORIES APPROXIMATELY 8,000 S.F.

RED FORM REPRESENTS BUILDABLE AREA AT FOUR STORIES PER DR2 ZONING - FOOTPRINT OF 1900 S.F. OVER FOUR FLOORS

