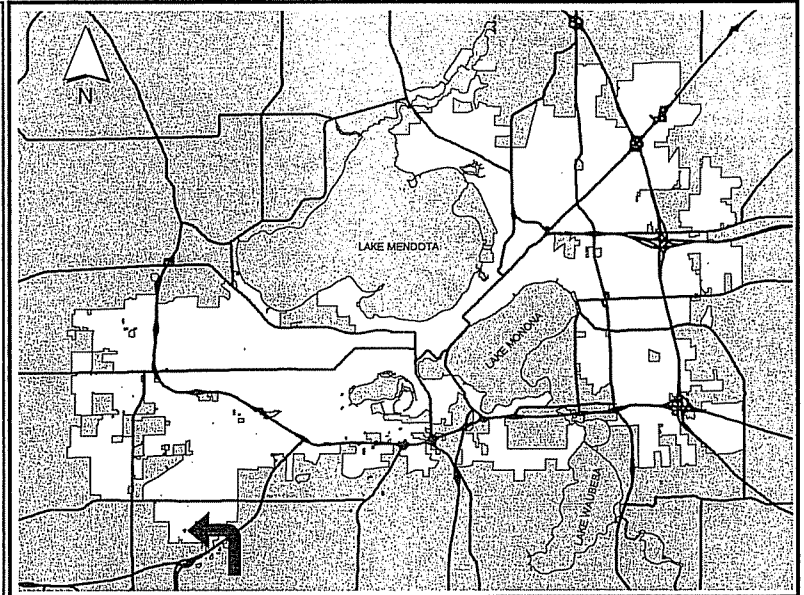


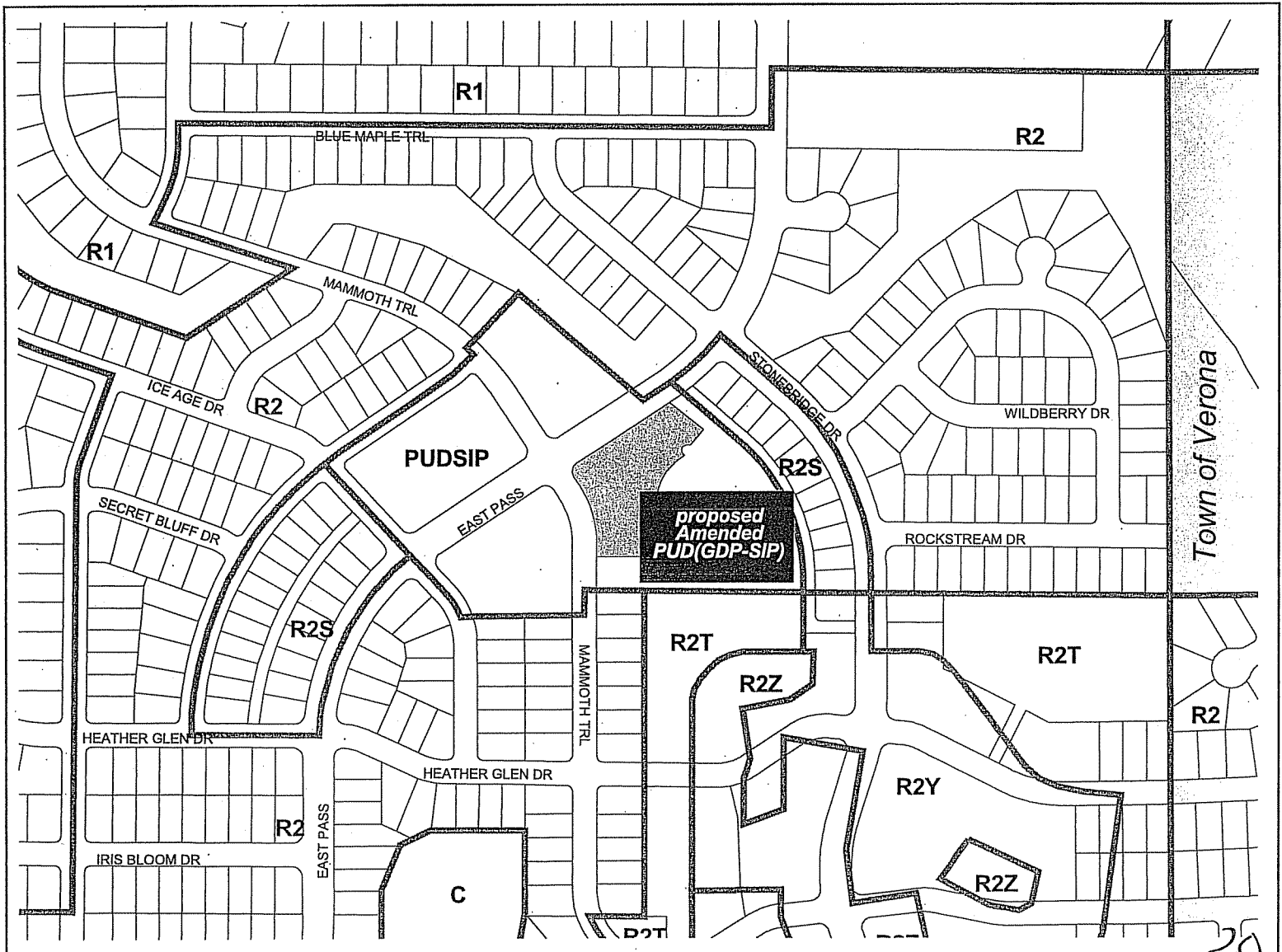
CITY OF MADISON

Proposed Rezoning

Location: 7449 East Pass
Applicant: Don Esposito - MB Real Estate Inc/
Brian Munson - Vandewalle & Associates
From PUD(SIP) District(s)
To Amended PUD(GDP-SIP) District(s)
Existing Use: Vacant
Proposed Use: 10 Townhouse Units
File No. _____
Public Hearing Dates:
Plan Commission 19 September 2005
Common Council 11 October 2005

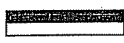


For Questions contact: Pete Olson at: 267-1150 or polson@cityofmadison.com or City Planning at 266-4635

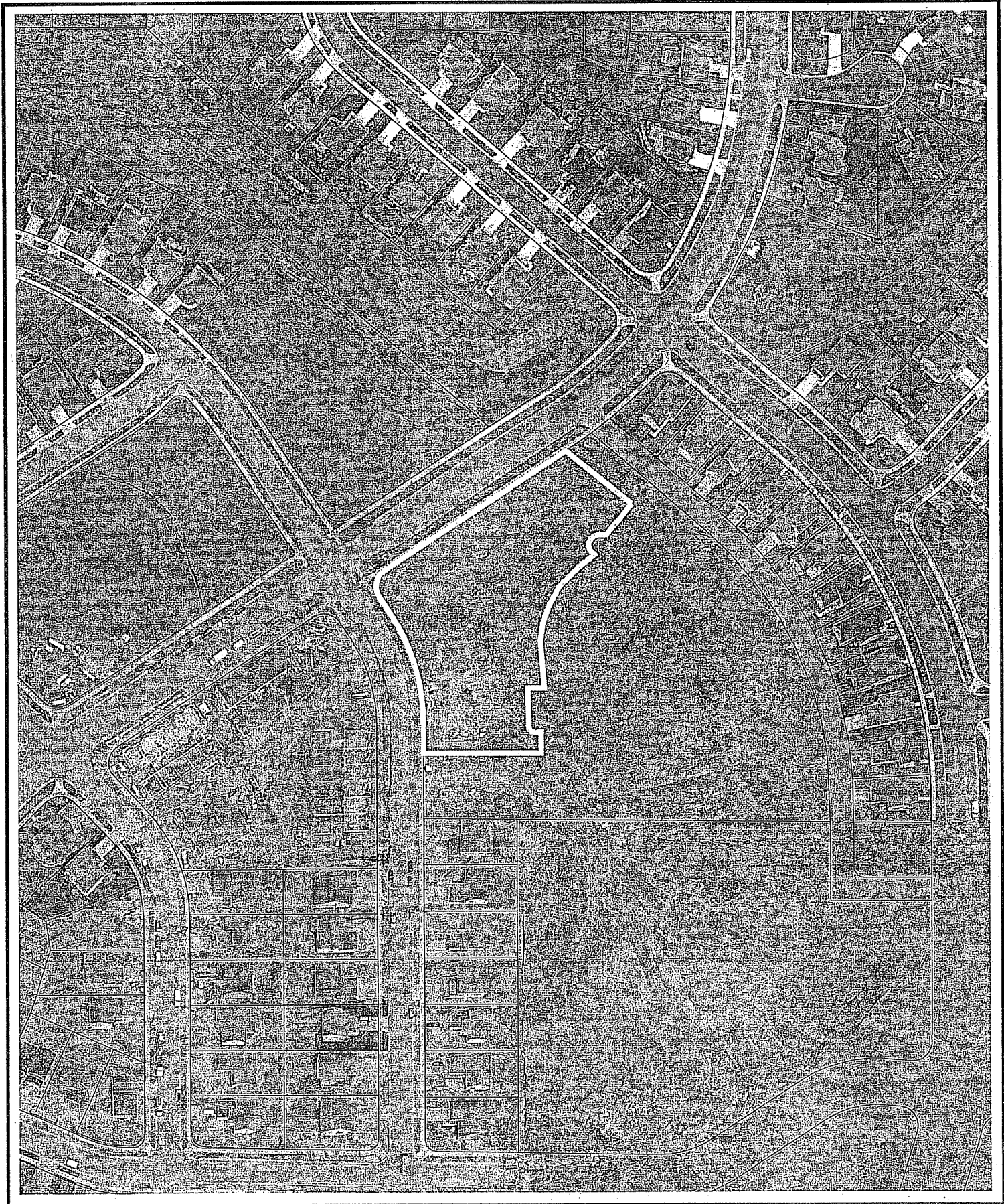


7449 East Pass

0 100 Feet



Date of Aerial Photography - April 2003



LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid 1450 Receipt No. 6208C
 Date Received 6/22/05
 Received By _____
 Parcel No. 0608-114-1508-8
 Aldermanic District 7-BRANDON
 GQ PUDSIP
 Zoning District PUDSIP
For Complete Submittal
 Application Letter of Intent
 IDUP _____ Legal Descript. _____
 Plan Sets _____ Zoning Text _____
 Alder Notification 4/27/5 Waiver _____
 Ngrbrd. Assn Not. _____ Waiver _____
 Date Sign Issued 6/22/5

1. **Project Address:** 7449 East Pass **Project Area in Acres:** 1.46

Project Title (if any): Glacier Crossing - Lot 164

2. **This is an application for:** (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input checked="" type="checkbox"/> Rezoning from PUD:SIP to PUD:SIP	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Don Esposito Company: MB Real Estate Inc., LLC.
 Street Address: 6801 South Towne City/State: Madison, WI Zip: 53713
 Telephone: (608) 226-3100 Fax: (608) 226-0600 Email: _____

Project Contact Person: Brian Munson Company: Vandewalle & Associates
 Street Address: 120 East Lakeside Street City/State: Madison, WI Zip: 53715
 Telephone: (608) 255-3988 Fax: (608) 355-0814 Email: bmunson@vandewalle.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: see attached

Development Schedule: Commencement Fall 2005 Completion 2006

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ _____ See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:


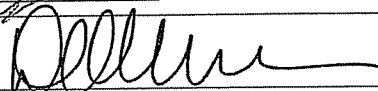
- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - The site is located within the limits of Cross Country Neighborhood Plan, which recommends: low-medium density residential for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
 - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Ald. Zach Brandon, Neighborhood Association President, David Hull
27 April 2005
 If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
 - Planner Brad Murphy Date June 6, 2005 Zoning Staff _____ Date _____

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Brian Munson Date June 22, 2005
 Signature  Relation to Property Owner Agent
 Authorizing Signature of Property Owner  Date 6/22/05

June 22, 2005

Mr. Brad Murphy
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985

Re: Specific Implementation Plan
Glacier Crossing – Lot 164 Row Houses

Dear Mr. Murphy:

On behalf of Veridian Homes, we are pleased to submit the attached Major Amendment for the Glacier Crossing – Lot 164 Row Houses SIP. The SIP identifies the detailed building and parking plans and locations.

Owners:

MB Real Estate Inc., LLC.

Design Team:

Vandewalle & Associates
120 East Lakeside Street
Madison, Wisconsin 53715
Tel: (608) 255-3988
Fax: (608) 255-0814

Mr. Brian Munson

D'Onofrio Kottke
7530 Westward Way
Madison, Wisconsin 53717
Tel: (608) 833-7530
Fax: (608) 833-1089

Mr. Dan Day

Eppstein Uhen Architects
333 East Chicago Street
Milwaukee, Wisconsin 53202
Tel: (414) 271-5350
Fax: (414) 298-2254

Mr. Joseph Lee

Zoning Text: General Development Plan – Specific Implementation Plan
Project Name: Glacier Crossing City Center

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of townhouses. The district is intended to provide medium density housing alternatives in a cohesive, pedestrian-friendly neighborhood.
- B. **Permitted Uses:**
 - a. Lot 1 CSM Doc. # 4064297:
 - i. GDP/SIP plan shows 10 townhouses
 - ii. A total density of approximately 7 DU/acre.
- C. **Lot Area:** As shown on approved plans.
- D. **Height Regulations:**
 - a. Lot 164: No building shall exceed 3 stories of 35' in height.
- E. **Yard Requirements:** Yard areas will be provided as shown on approved SIP plans.
- F. **Site Landscaping:** Site landscaping will be provided as shown on approved SIP plans.
- G. **Usable Open Space Requirements:** Usable open space will be required on each lot to be determined at the SIP approval.
- H. **Parking and Loading:** Accessory parking and loading will be provided as shown on approved SIP plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in the City of Madison Zoning Code for the R-4 zoning district.
- J. **Signage:** Signage will be provided as approved on the SIP plans.
- K. **Alterations and Revisions:** No alteration or revision of this PUD shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approval by the City Plan Commission.

CERTIFIED SURVEY MAP

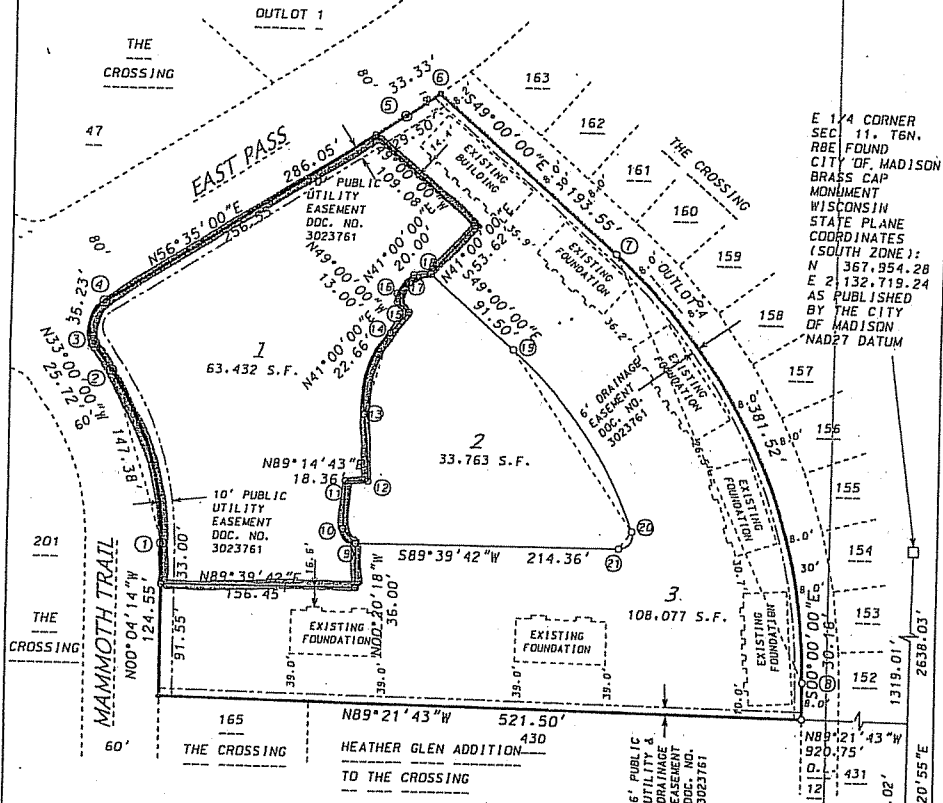
LOT 164, THE CROSSING

LOCATED IN THE NE1/4 AND NW1/4 OF THE SE1/4 OF SECTION 11, T6N, R8E,
CITY OF MADISON, DANE COUNTY, WISCONSIN

LEGEND

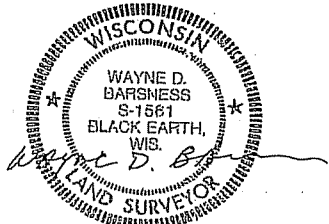
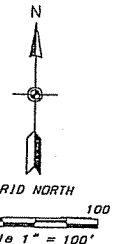
- ⊙ FOUND 1-1/4" S.D.I.D. ROUND IRON STAKE
- FOUND 3/4" IRON STAKE
- PLACED 3/4" x 24" S.D.I.D. ROUND IRON STAKE WEIGHING 1.50 lbs/ft.

UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.



E 1/4 CORNER SEC. 11, T6N, R8E FOUND CITY OF MADISON BRASS CAP MONUMENT WISCONSIN STATE PLANE COORDINATES (SOUTH ZONE):
N 367,954.28
E 2,132,719.24
AS PUBLISHED BY THE CITY OF MADISON "NAD27 DATUM"

SE CORNER SEC. 11, T6N, R8E FOUND CITY OF MADISON BRASS CAP MONUMENT

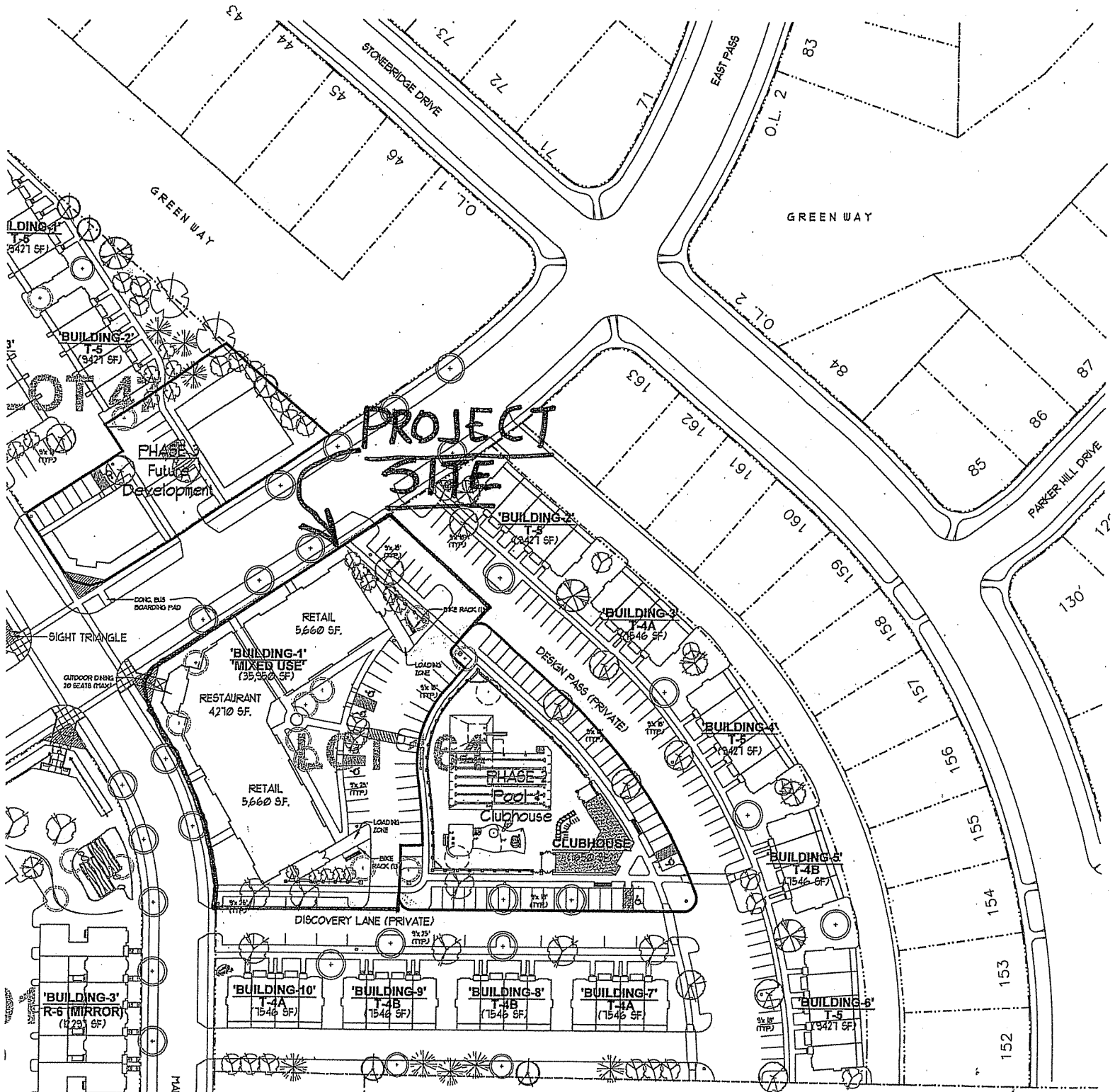


D'ONOFRIO, KOTKKE AND ASSOCIATES, INC.
7530 WESTWARD WAY
MADISON, WISCONSIN 53717
TEL: 608-833-7690
FAX: 608-833-1089

DATE: MARCH 7, 2005
REV.: MAY 26, 2005
F.N.: 05-07-104
C.S.M. NO. 11419
DOC. NO. 4064297
VOL. 69 SHEET 200

SHEET 1 OF 4

PREVIOUS SIP APPROVAL



23 ARCHITECTURAL SITE PLAN

1" = 50' - 0"

SITE PLAN NOTES

1. SEE CIVIL DRAWINGS FOR ELEVATIONS, DIMENSIONS, SETBACKS, EASEMENTS, ETC.
2. SEE LANDSCAPE DRAWINGS FOR INFORMATION ON PLANTING AREAS.

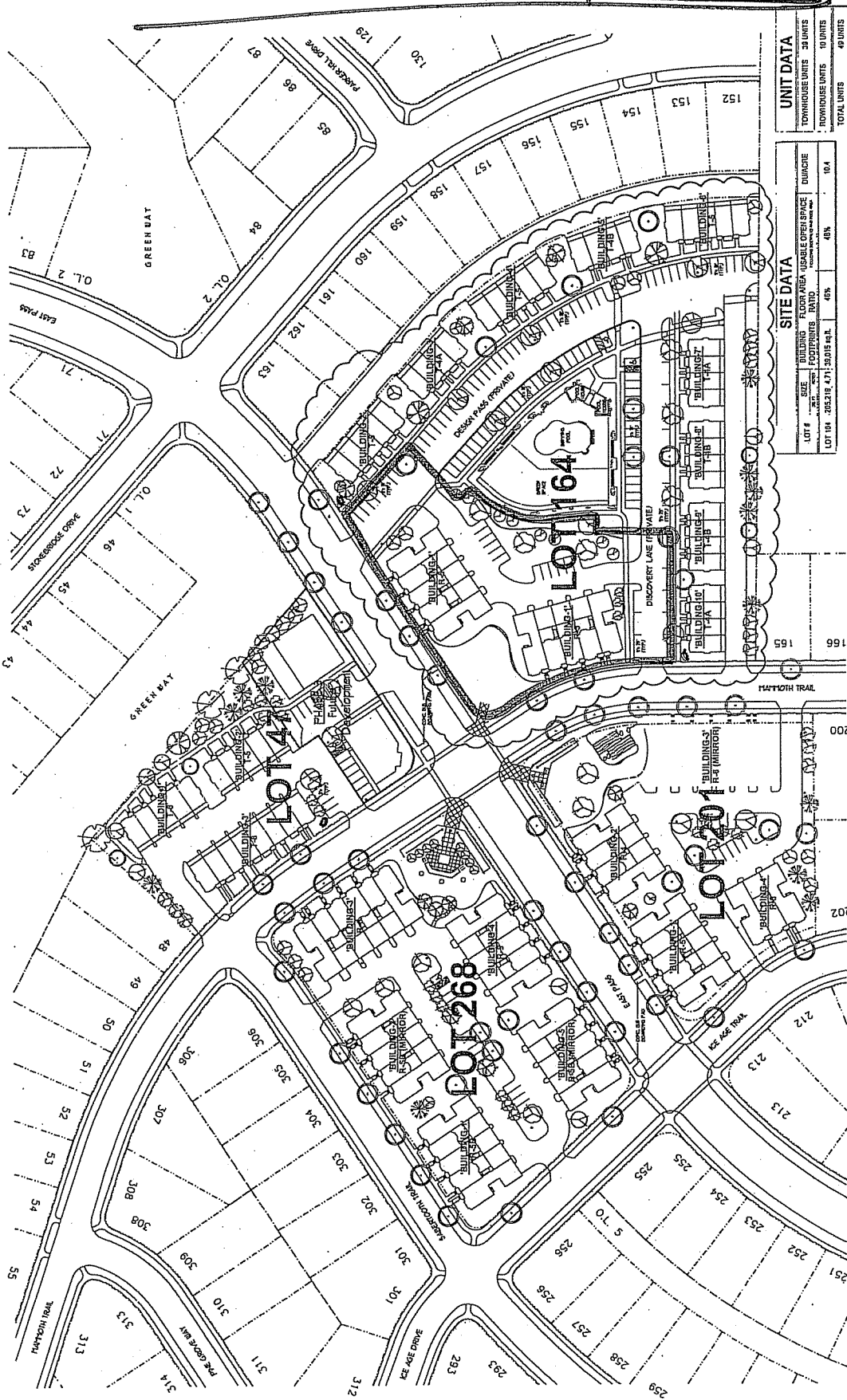
LOT 41 & LOT 164 DEVELOPMENT NOTE

OWNER REQUESTS FOR ISSUANCE OF BUILDING PERMITS WILL BE VOLUNTARILY WITHHELD UNTIL THE CITY OF MADISON PLAN COMMISSION & COMMON COUNCIL APPROVE THE SUBMITTAL FOR THE PHASE II POOL & CLUBHOUSE.

NEW DEVELOPMENT PROPOSAL



F.P. FOSTER, UHFEN
ARCHITECTS, INC.
REGISTERED ARCHITECTS



UNIT DATA	
TOWNHOUSE UNITS	30 UNITS
TOWNHOUSE UNITS	10 UNITS
TOTAL UNITS	40 UNITS

SITE DATA	
LOT #	164
BUILDING FLOOR AREA - USABLE OPEN SPACE	10,4
PERMITTED FLOOR AREA	48%
PERMITTED FLOOR AREA	40%

PARKING DATA				
USE	SIZE	CRITERIA	REQUIRED SPACES	AVAILABLE SPACES
POOL FACILITY	100 people	10% of capacity	10	22
TOWNHOUSE UNITS	Assuming 1 per townhouse unit		13	83
TOTALS			23	115

LOT 164 SIP AMENDMENT

1 ARCHITECTURAL SITE PLAN

GENERAL NOTES

- The Contractor shall verify all utility locations and depths prior to excavation and shall be responsible for any damage to existing utilities. The contractor shall be responsible for any damage to existing utilities.
- All existing structures shall be shown as they exist. The contractor shall be responsible for any damage to existing structures.
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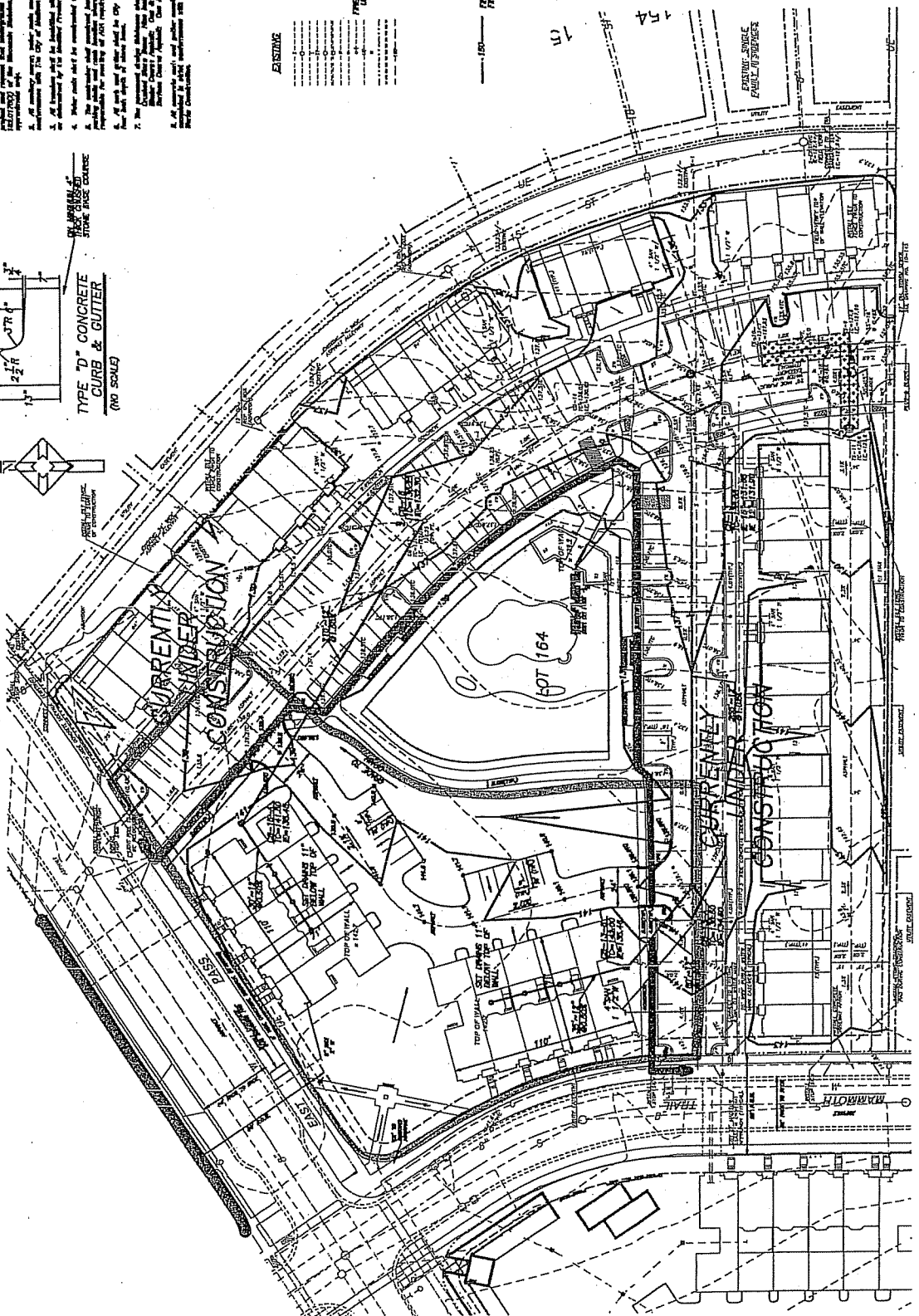
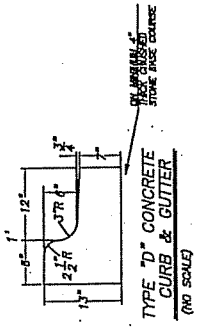
LEGEND

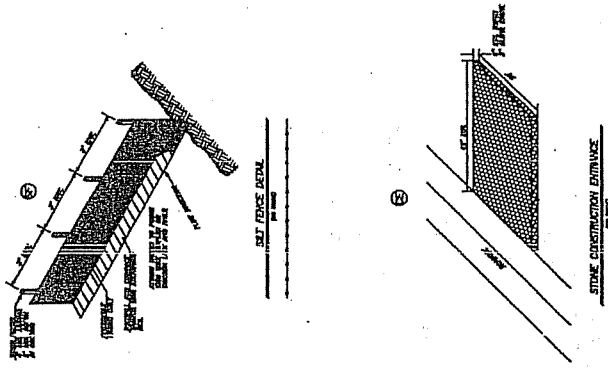
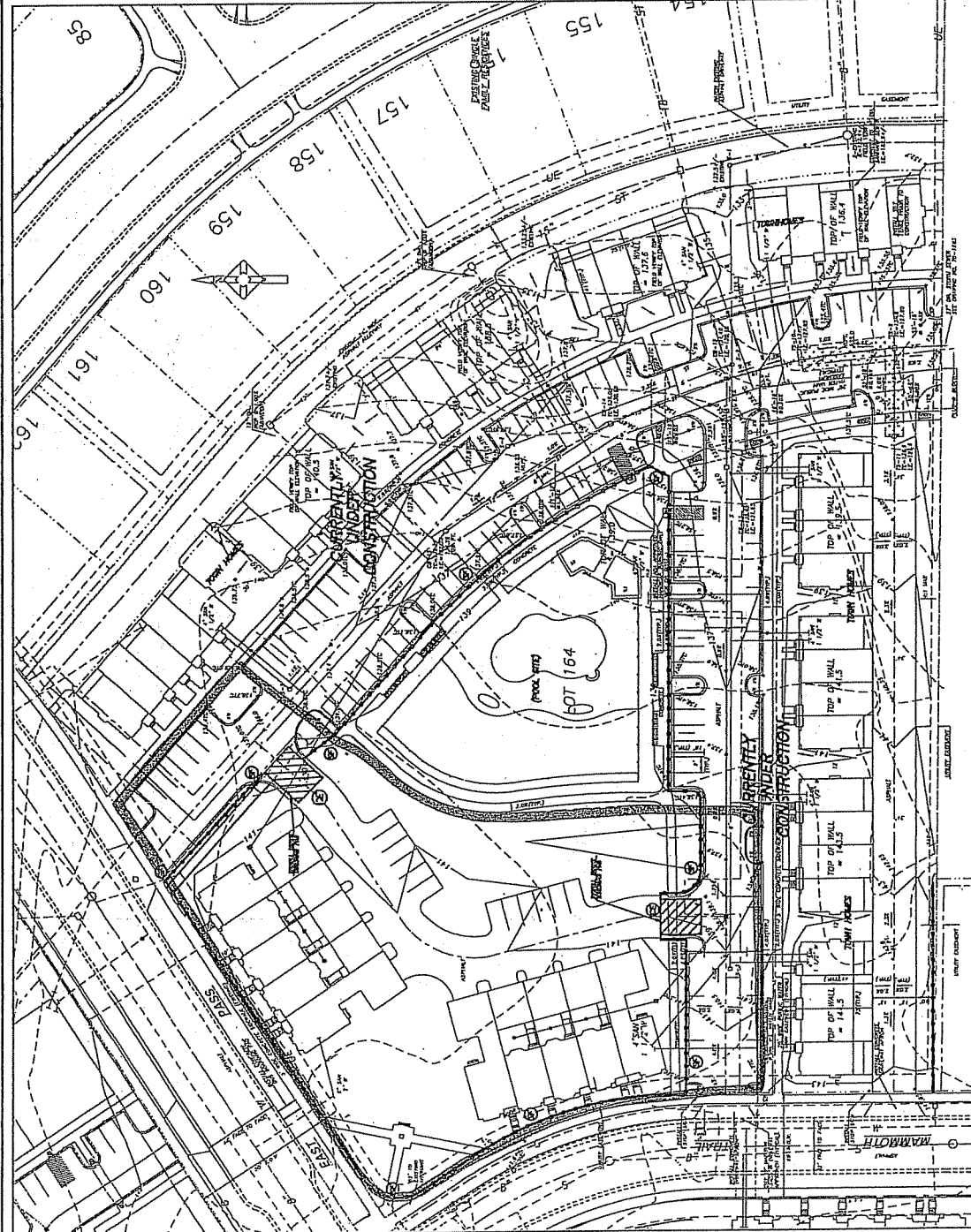
EXISTING

- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING CURB
- EXISTING GUTTER
- EXISTING UTILITY
- EXISTING CONCRET
- EXISTING ASPHALT
- EXISTING GRAVEL
- EXISTING SAND
- EXISTING SOIL
- EXISTING ROCK
- EXISTING TREE
- EXISTING FENCE
- EXISTING WALL
- EXISTING WINDOW
- EXISTING DOOR
- EXISTING PORCH
- EXISTING PATIO
- EXISTING DECK
- EXISTING STAIR
- EXISTING ELEVATOR
- EXISTING MECHANICAL
- EXISTING ELECTRICAL
- EXISTING PLUMBING
- EXISTING TELEPHONE
- EXISTING CABLE
- EXISTING FIBER OPTIC
- EXISTING GAS
- EXISTING WATER
- EXISTING SEWER
- EXISTING RAIN
- EXISTING STORM
- EXISTING DRAIN
- EXISTING SLOPE
- EXISTING ELEVATION
- EXISTING DISTANCE
- EXISTING AREA
- EXISTING VOLUME
- EXISTING WEIGHT
- EXISTING FORCE
- EXISTING PRESSURE
- EXISTING TEMPERATURE
- EXISTING HUMIDITY
- EXISTING WIND
- EXISTING RAIN
- EXISTING SNOW
- EXISTING ICE
- EXISTING FOG
- EXISTING MIST
- EXISTING DRAINAGE
- EXISTING IRRIGATION
- EXISTING LIGHTING
- EXISTING SECURITY
- EXISTING ACCESS
- EXISTING EGRESS
- EXISTING ENTRANCE
- EXISTING EXIT
- EXISTING SIGN
- EXISTING MARKING
- EXISTING PAINT
- EXISTING FINISH
- EXISTING MATERIAL
- EXISTING COLOR
- EXISTING TEXTURE
- EXISTING SOUND
- EXISTING TASTE
- EXISTING SMELL
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- EXISTING FEEL
- EXISTING HEAR
- EXISTING SEE
- EXISTING KNOW
- EXISTING UNDERSTAND
- EXISTING BELIEVE
- EXISTING TRUST
- EXISTING RESPECT
- EXISTING CARE
- EXISTING LOVE
- EXISTING HATE
- EXISTING FEAR
- EXISTING ANGER
- EXISTING SADNESS
- EXISTING HAPPINESS
- EXISTING PEACE
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- EXISTING LOVE
- EXISTING HATE
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- EXISTING ANGER
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- EXISTING HAPPINESS
- EXISTING PEACE
- EXISTING WAR

PROPOSED

- PROPOSED DRIVE
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED GUTTER
- PROPOSED UTILITY
- PROPOSED CONCRET
- PROPOSED ASPHALT
- PROPOSED GRAVEL
- PROPOSED SAND
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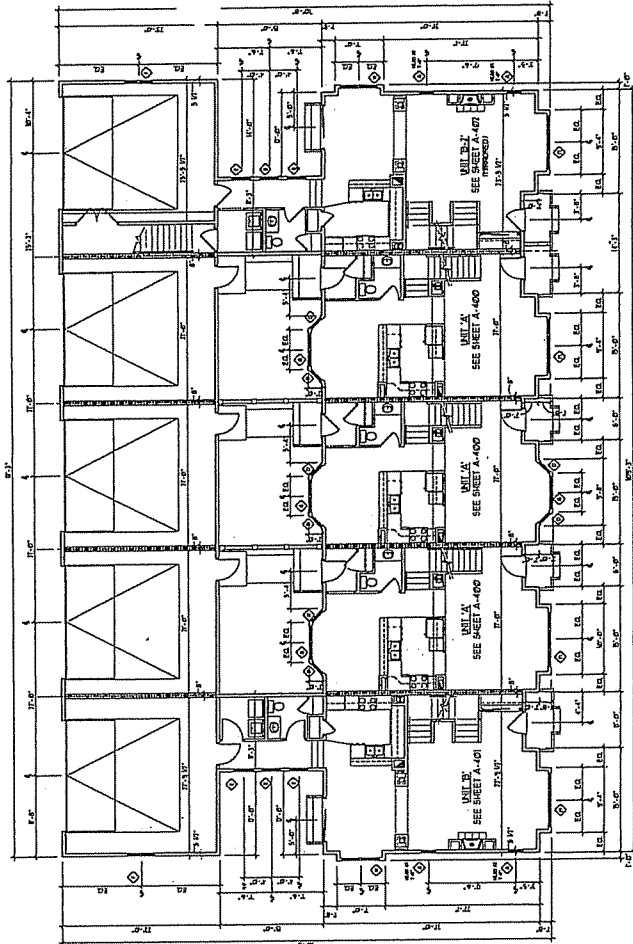




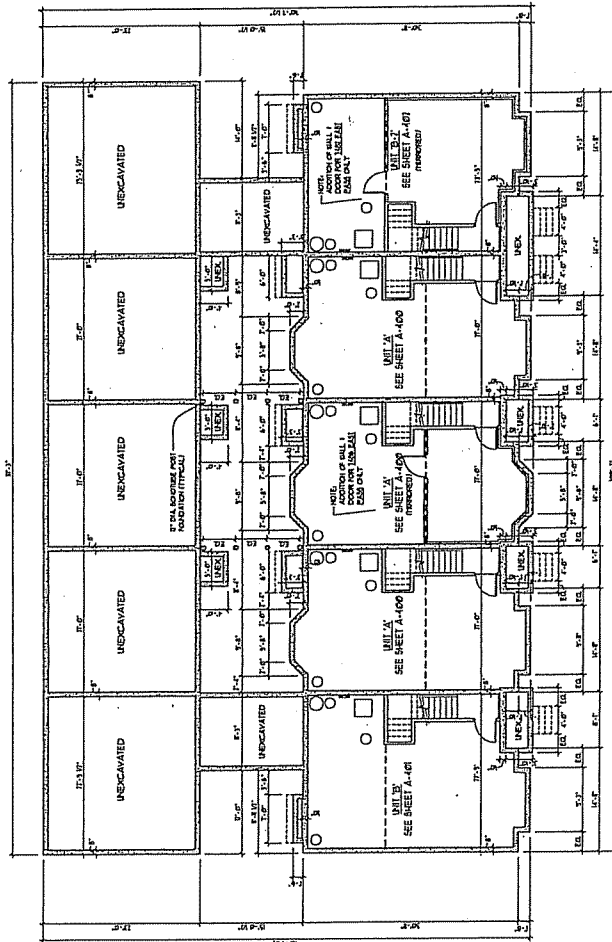
EROSION CONTROL NOTES

- The Contractor is responsible for maintaining and monitoring of erosion control during the construction of the project.
- Erosion control measures shall be installed and maintained in accordance with the specifications and standards of the local jurisdiction.
- All erosion control measures shall be installed and maintained in accordance with the specifications and standards of the local jurisdiction.

20



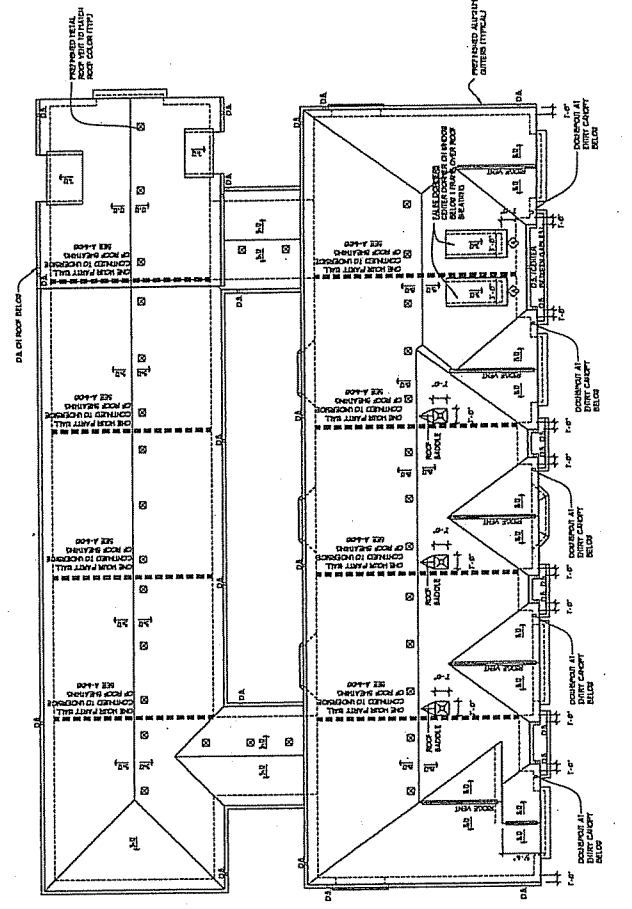
2 ROWHOUSE - FIRST FLOOR



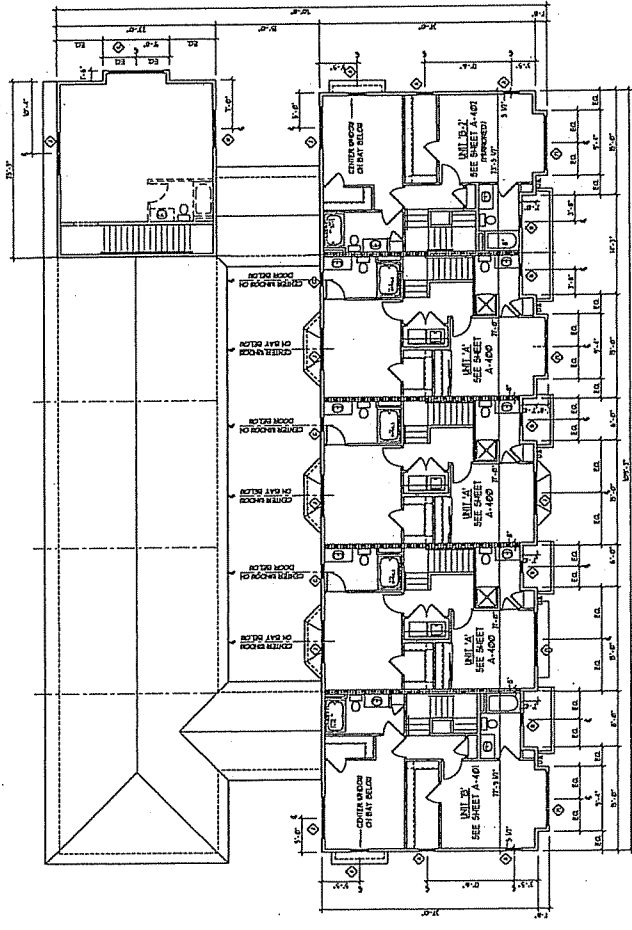
1 ROWHOUSE - BASEMENT



LOT 164 SIP AMENDMENT



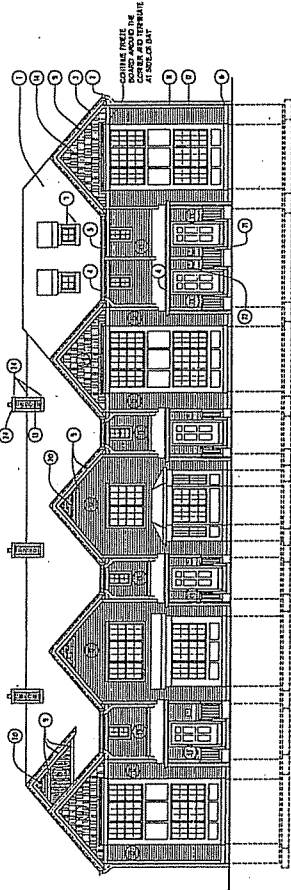
1 ROWHOUSE - SECOND FLOOR PLAN
18'-0" x 12'



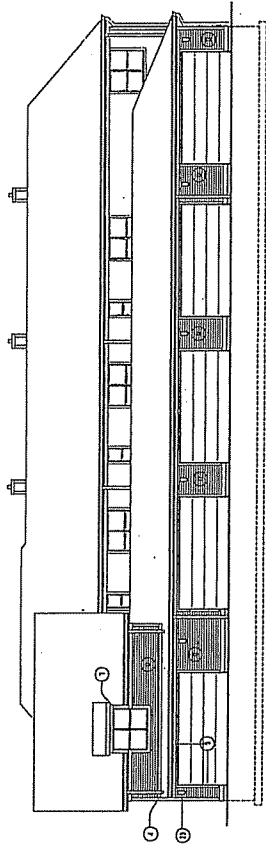
2 ROWHOUSE - ROOF PLAN
18'-0" x 12'



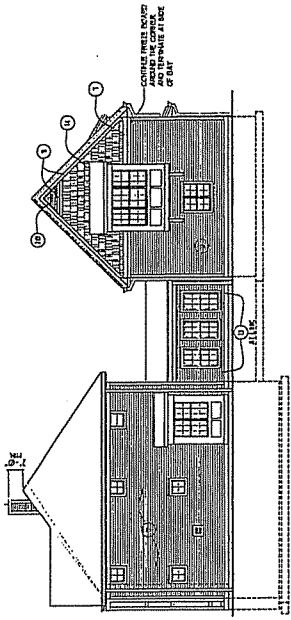
LOT 164 SIP AMENDMENT



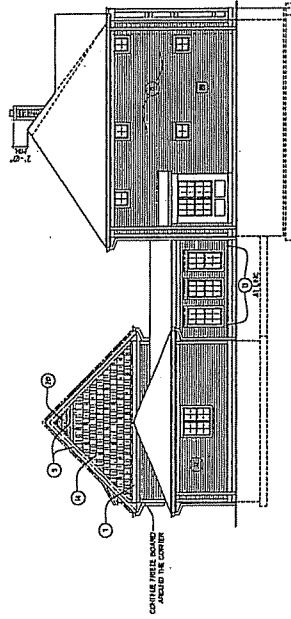
1 ROWHOUSE - FRONT ELEVATION
1/8" = 1'-0"



2 ROWHOUSE - GARAGE ELEVATION
1/8" = 1'-0"



4 ROWHOUSE - SIDE ELEVATION
1/8" = 1'-0"



5 ROWHOUSE - SIDE ELEVATION
1/8" = 1'-0"

ROWHOUSE MATERIAL KEY

1	BRICK, FULL BODIED, 2 1/2" x 3 1/2" x 8" (SEE SPEC. FOR FINISHES)	1	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	1	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	1	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)
2	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	2	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	2	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	2	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)
3	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	3	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	3	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	3	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)
4	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	4	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	4	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	4	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)
5	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	5	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	5	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)	5	WOOD, 2" x 4" (SEE SPEC. FOR FINISHES)

LOT 164 SIP AMENDMENT