

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, including checklist on page 2.

To request an interpreter, translation, or accommodations, call (608)266-4910.

Para solicitar un intérprete, traducción o acomodaciones llame al (608)266-4910.

Koj muaj txoj cai tau txais kev txhais lus, kev pes lus los sis kev pab cuam txhawm rau

kev tsis taus uas tsis muaj nqi rau koj: Xav paub ntxiv tiv tauj rau (608)266-4910

如需口譯、翻譯或其他便利服務，請致電 (608)266-4910.

City of Madison

Planning Division

215 Martin Luther King Jr Blvd, Ste 017

PO Box 2985

Madison, WI 53701-2985 (608) 266-4635



1. LOCATION

Project Address: 1132 Spaight St.

Alder District: 6

2. PROJECT

Project Title/Description: Porch, Addition & Kitchen Renovation

This is an application for: (check all that apply)

☒ New Construction/Alteration/Addition in a Local Historic District or Designated Landmark (specify):

☐ Mansion Hill

☒ Third Lake Ridge

☐ First Settlement

☐ University Heights

☐ Marquette Bungalows

☐ Landmark

☐ Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify):

☐ Mansion Hill

☐ Third Lake Ridge

☐ First Settlement

☐ University Heights

☐ Marquette Bungalows

☐ Landmark

☐ Demolition

☐ Development adjacent to a Designated Landmark

☐ Variance from the Historic Preservation Ordinance (Chapter 41)

☐ Landmark Nomination/Rescission or Historic District Nomination/Amendment
(Please contact the Preservation Planner for specific Submission Requirements.)

☐ Informational Presentation

☐ Other (specify):

DPCE USE ONLY	Registrar #:
	DATE STAMP

3. APPLICANT

Applicant's Name: Melissa Destree

Company: Destree Architecture & Design

Address: 1050 E. Washington Ave., Ste #340, Madison, WI 53703

Street

City

State

Zip

Telephone: 608.268.1499

Email: [REDACTED]

Property Owner (if not applicant): Richard Slone

Address: 1132 Spaight St, Madison WI 53703

Street

City

State

Zip

Property Owner's Signature: [Signature]

Date: 12/08/2025

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be emailed by 12:00pm on the submission date with the Landmarks Commission. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled submittal date. Submission deadlines can be viewed here: https://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf

APPLICATION SUBMISSION REQUIREMENTS CHECKLIST:

In order to be considered complete, every application submission shall include at least the following information unless otherwise waived by the Preservation Planner. **All application materials should be submitted electronically to landmarkscommission@cityofmadison.com.** Please note that an individual email cannot exceed 20 MB.

- ☒ Landmarks Commission Application w/signature of the property owner.
- ☒ Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
 - ☒ Photographs of existing conditions;
 - ☒ Photographs of existing context;
 - ☒ Photographs of comparable historic resources within 200 feet of subject property;
 - ☒ Manufacturer's product information showing dimensions and materials.
- ☒ Architectural drawings reduced to 11" x 17" or smaller pages which may include:
 - ☒ Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, mechanicals, signage, and other features;
 - ☒ Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
 - ☒ Floor Plan views of levels and roof;
 - ☐ For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
- ☐ Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
 - ☐ Perspective drawing
 - ☐ Other _____

Landmarks Commission staff will preliminarily review projects for additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process to ensure the project considered by the Landmarks Commission meets Zoning requirements.

CONTACT THE PRESERVATION PLANNER:

Please contact the Preservation Planner with any questions.

City of Madison Planning Division
215 Martin Luther King Jr Blvd, Suite 017
PO Box 2985 (mailing address)
Madison, WI 53701-2985
landmarkscommission@cityofmadison.com
(608) 266-6552



12/10/2025
Madison, WI – Landmarks Commission
Regarding: 1132 Spaight Street – Letter of Intent

Dear Landmarks Commission Members,

Project Goals & Description

We propose the demolition of an existing 99 SF porch at the rear of the residence on 1132 Spaight Street, and rebuilding to expand the residence. The goal of this project is to provide a more appropriate addition that better reflects the building's character and history while serving the owner's needs.

Our primary goal is to remove the non-historic wood porch, replacing the 99 SF portion plus a modest 25 SF expansion to the existing kitchen to better access the rear yard. The existing porch's wooden structure has aged considerably and is not weatherized. Our solution is to build a historically appropriate new addition with the existing residence, utilizing brick and stucco with architectural details that accentuate the Craftsman style of the house.

Our secondary goal is to provide a new deck and patio that the owner may utilize for outdoor activities and gatherings while addressing the owner's concerns for privacy. The new deck will utilize Deckorator Voyage Khaya decking for its rich wood look, and clear cedar for the privacy fences. The patio will utilize pervious brick pavers to improve water management.

No exemptions or special considerations are being requested for this project.

Thank you for your consideration,

Sincerely,

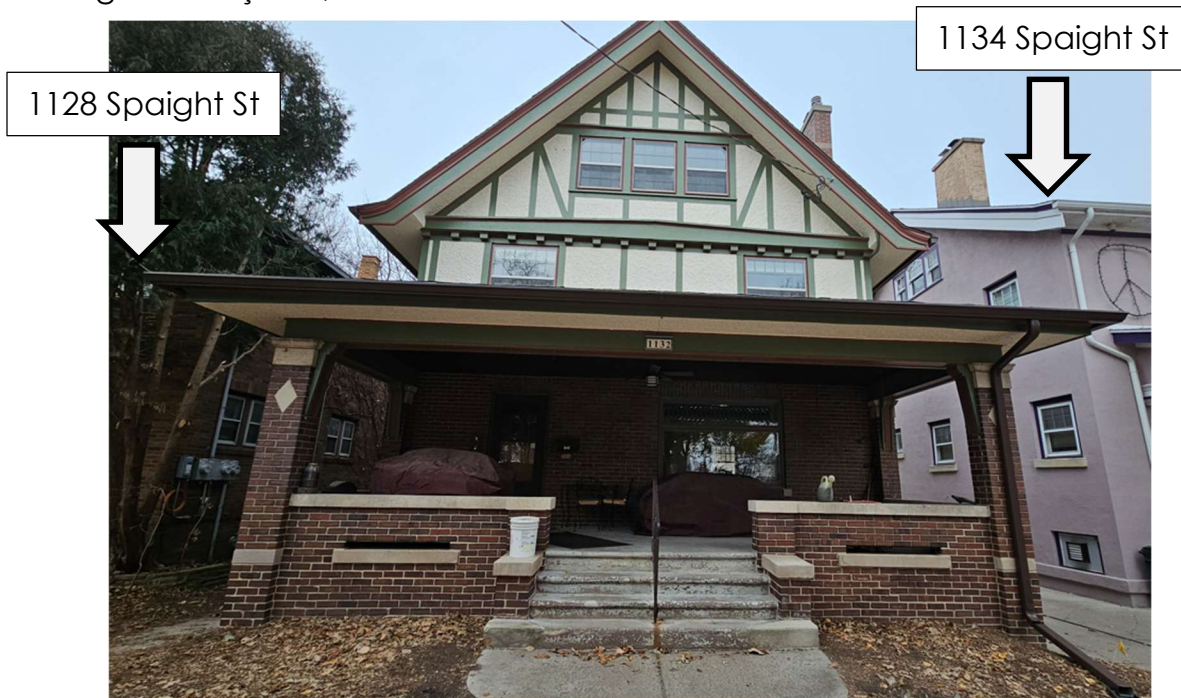
A handwritten signature in black ink, appearing to read 'Melissa Destree', with a long, sweeping horizontal line extending to the right.

Melissa Destree

Site Location:



Existing front façade; to remain:



View of existing porch addition to be replaced. Current porch dimensions are: 10'-8"x 9'-3". The window on the second floor above the porch will be replaced with a double hung window that will include a simulated divided lite profile matching the existing windows.



Historic Examples Within 200'. View of neighboring residence rear yard: 1134 Spaight Street.



Manufacturer's Product Information:

See attached for manufacturer's specifications with additional materials and dimensions.

New Windows –

Marvin Ultimate Windows:

- Double Hung – Proportions to coordinate with existing windows H/W ratios are similar.
- Sim divided lite profile 7/8" w/ space bar
- Clad exterior – color to match existing windows – Wineberry
- Wood interior
- Glass – Low E1 Dual Pane with Argon

Exterior Side Door –

- Simpson exterior wood door
- Stained Red Oak
- ¼ Lite
- 7/8" Simulated divided lite profile w/ spacer bar.

New Stucco at New Addition – Texture not to match existing texture. Color tinted to match new acrylic coating as existing stucco.

- Parex Armorwall 300 Watermaster HE Three-Coat Stucco Assembly in Sand Coarse



Sand Coarse

Or

- Omega Super Cement System – 3 Coat Stucco Assembly in Medium Sand Float

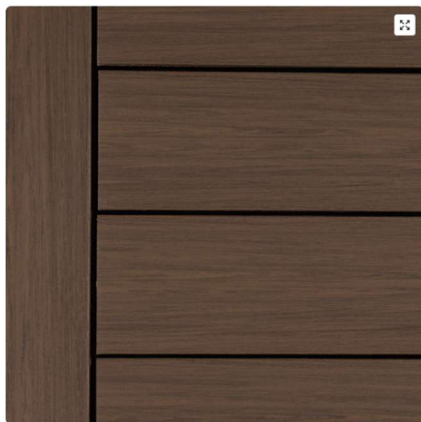


16 20 MEDIUM SAND FLOAT

Roofing – Fibertite Slate Grey membrane roofing.

Decking –

- Deckorators Voyage Khaya



Older Photo of House from Spaight St



SLONE RENOVATION

RICHARD SLONE

1132 SPAIGHT ST

MADISON, WI 53703

ARCHITECT:
DESTREE DESIGN ARCHITECTS, INC.
1050 EAST WASHINGTON AVE, SUITE 340
MADISON, WI 53703
PH: 608.268.1499
WWW.DESTREEARCHITECTS.COM

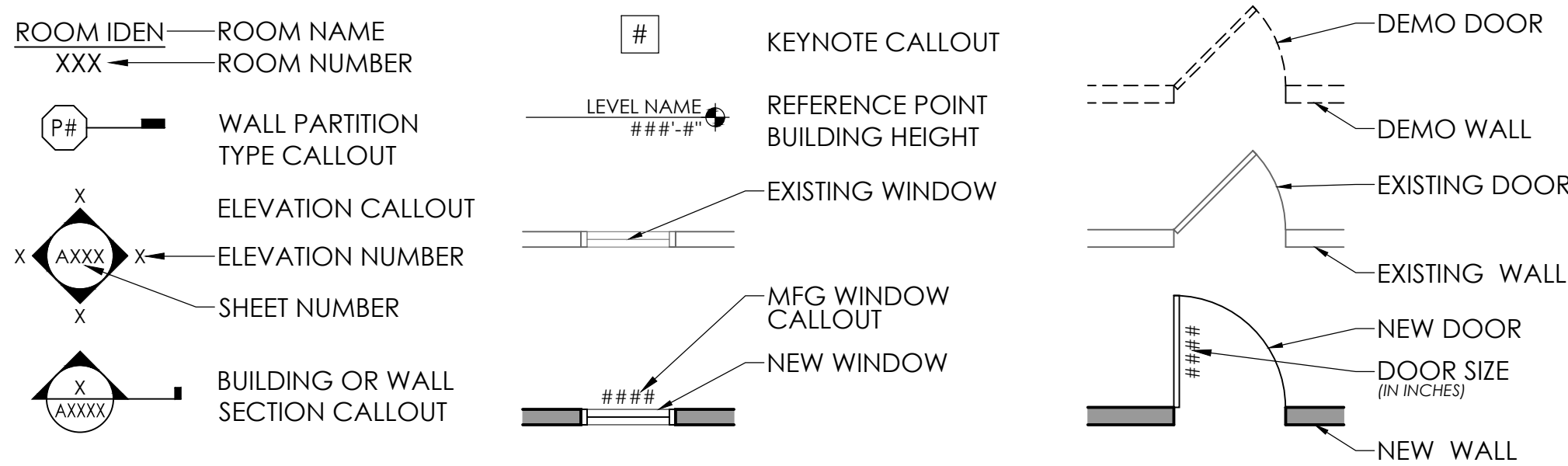
OWNER:
RICHARD SLONE
1132 SPAIGHT ST
MADISON, WI 53703

CONTRACTOR:
ARTISAN EXTERIORS
5797 VALLEY RD
AVOCA, WI 53506
PH: 608.575.5516
WWW.ARTISANEXTERIORS.BUILD

DEFINITIONS:

AFF	ABOVE FINISHED FLOOR
BLDG	BUILDING
CAB	CABINET
CPT	CARPET
CSWK	CASEWORK
CLG	CEILING
CL	CENTERLINE
CM	CONSTRUCTION MANAGEMENT
COOR	COORDINATE
DEMO	DEMOLITION
DBL	DOUBLE
EW	EACH WAY
ELEV	ELEVATION
EQ	EQUAL
XTG	EXISTING
FD	FLOOR DRAIN
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
GA	GAUGE
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSUM WALL BOARD
HDWD	HARDWARE
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING
HGT	HEIGHT
HM	HOLLOW METAL
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OVHG	OVERHANG
PT	PAINT
REQ	REQUIRED
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WDB	WOOD BASE
WD	WOOD/WOOD VENEER

SYMBOL LEGEND:



GENERAL NOTES:

1. FIELD VERIFY ALL DIMENSIONS, CONSULT ARCHITECT w/ INCONSISTENCIES.
2. CONTRACTOR TO COMPLY WITH ALL APPLICABLE BUILDING CODES.
4. DIMENSIONS ARE TO FACE OF SHEATHING AT EXTERIOR WALLS AND EDGE OF STUD AT INTERIOR PARTITIONS.
5. PROVIDE BLOCKING FOR ALL CABINETRY AND SHELVING.
6. ALL CABINET AND MILLWORK DRAWINGS TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION.
7. PROVIDE SMOKE & CARBON MONOXIDE DETECTORS AS REQUIRED BY STATE AND LOCAL CODES.

ELECTRICAL/DATA NOTES:

1. SCHEDULE PRELIMINARY WALK-THRU W/ OWNER & ARCHITECT PRIOR TO INSTALL.
2. CONTRACTOR TO COORDINATE SUBMITTAL OF ALL NECESSARY DRAWINGS AND CALCULATIONS FOR APPROVAL.
3. SEE REFLECTED CEILING PLAN FOR LAYOUT PURPOSES. ENGINEERING OF LIGHTING, SWITCHING AND CIRCUITS BY ELECTRICIAN.
4. COORDINATE POWER REQUIREMENTS PROPERTY OWNER/ARCHITECT.
5. LIGHTING FIXTURES TO BE BUILDING STANDARDS, OR AS NOTED ON LIGHT FIXTURE SCHEDULE

PLUMBING NOTES:

1. CONTRACTOR TO COORDINATE SUBMITTAL FOR ALL NECESSARY DRAWINGS AND CALCULATIONS FOR APPROVAL.

HVAC NOTES:

1. CONTRACTOR TO COORDINATE SUBMITTAL OF ALL NECESSARY DRAWINGS AND CALCULATIONS FOR APPROVAL.
2. ALL DUCTWORK TO BE SEALED.

SQUARE FOOTAGES

NEW BUILDING FOOTPRINT = 1,937.08 SF
LOT SIZE = 5,822.96 SF
FIRST FLOOR ADDITION = 124 SF

Sheet Index

SHEET NUMBER	SHEET TITLE
T000	TITLE SHEET
C000	ARCHITECTURAL SITE PLAN
S100	FOUNDATION PLAN & DETAILS
A101	1ST FLOOR PLAN & DEMO
A102	2ND FLOOR PLAN & DEMO
A300	EXTERIOR ELEVATIONS
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS



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SLONE RENOVATION
RICHARD SLONE
1132 SPAIGHT ST
MADISON, WI 53703

ISSUANCES:

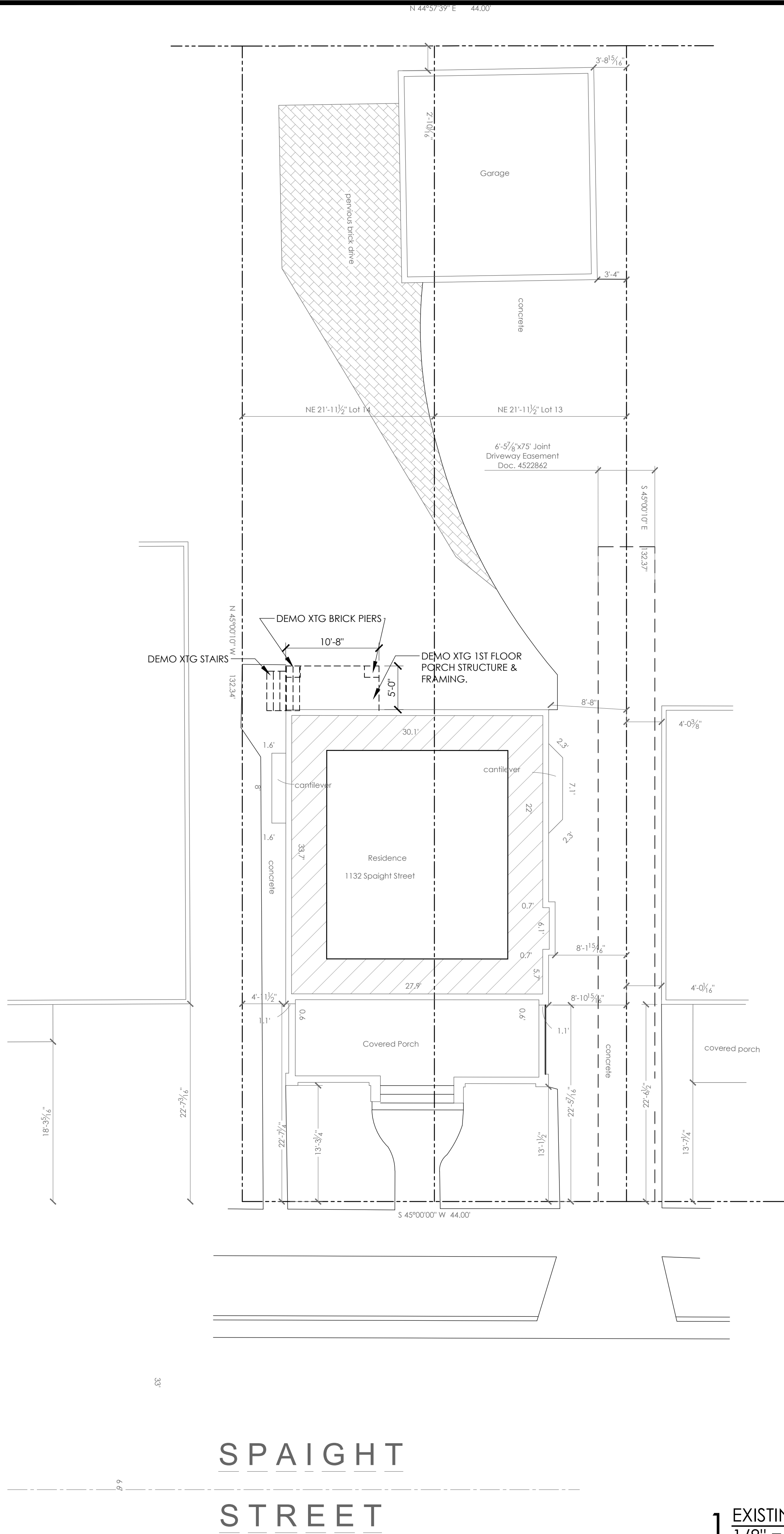
12/10/2025 LANDMARKS

Design Development Phase:

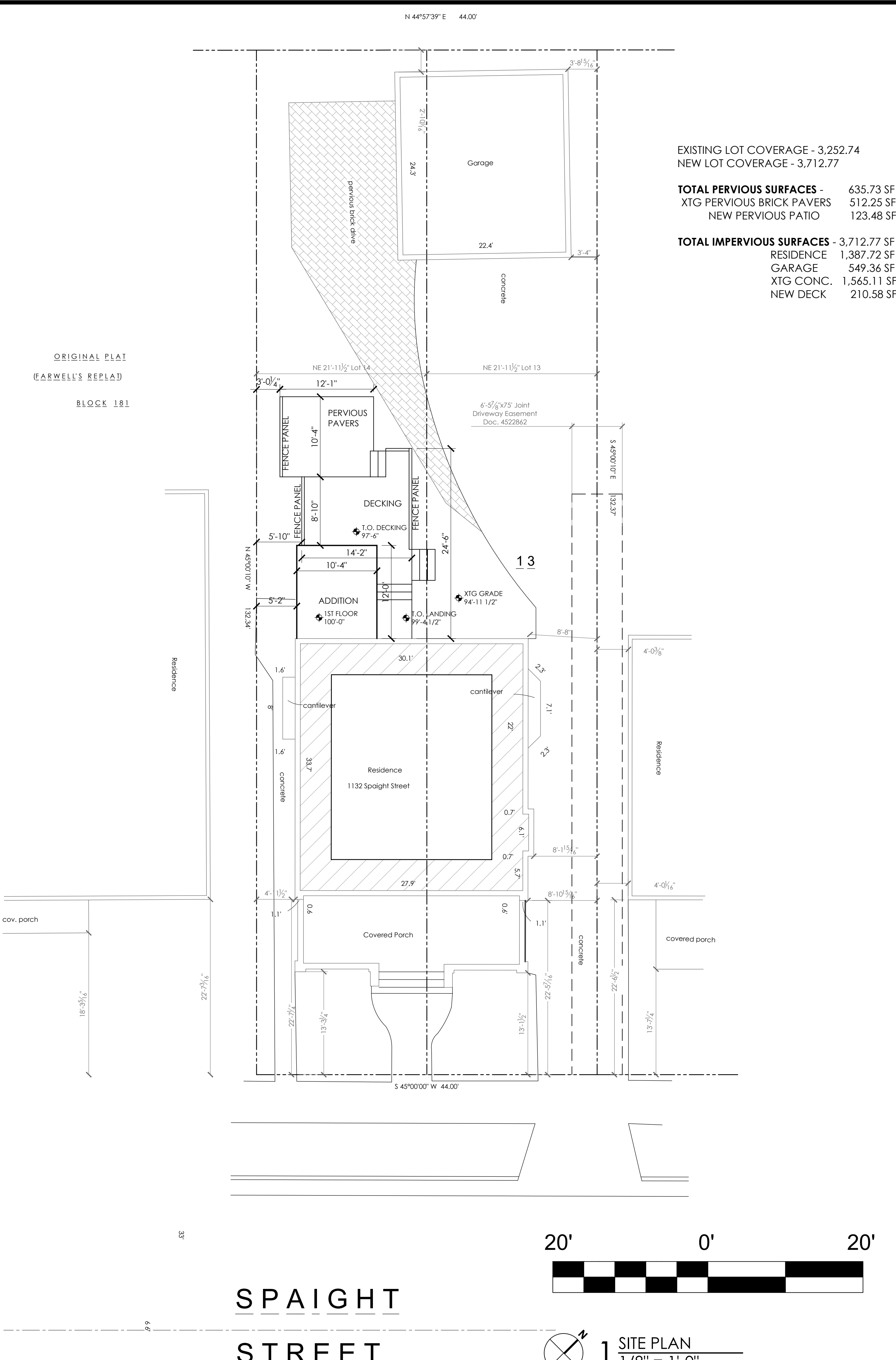
This drawing indicates the size and character of the entire project as to materials, architectural elements, structural, mechanical and electrical systems, and such other essentials as may be appropriate. This drawing is not for construction.

SHEET NUMBER

T000



ORIGINAL PLAT
(EARWELL'S REPLAT)
BLOCK 181



EXISTING LOT COVERAGE - 3,252.74
NEW LOT COVERAGE - 3,712.77

TOTAL PERVIOUS SURFACES - 635.73 SF
XTG PERVIOUS BRICK PAVERS 512.25 SF
NEW PERVIOUS PATIO 123.48 SF

TOTAL IMPERVIOUS SURFACES - 3,712.77 SF
RESIDENCE 1,387.72 SF
GARAGE 549.36 SF
XTG CONC. 1,565.11 SF
NEW DECK 210.58 SF

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SHEET NUMBER

C000

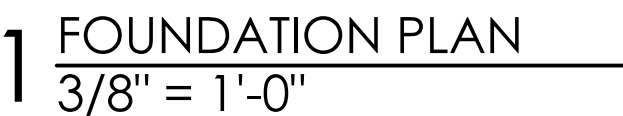
SLOANE RENOVATION
RICHARD SLOANE
1132 SPAIGHT ST
MADISON, WI 53703

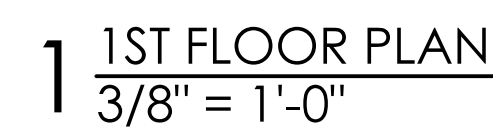
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\$100

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1. G.C. TO VERIFY ALL LEDGE HEIGHTS W/ PLANNED & XTG GRADES.
2. 10" FOUNDATION WALLS TO HAVE 20"x10" FOOTINGS; 8" WALLS TO HAVE 16"x10" FOOTINGS UNLESS NOTED OTHERWISE.
3. SEE LATERAL BRACING CALCULATIONS AND DRAWINGS FOR SPECIAL FOUNDATION TO SUPERSTRUCTURE ANCHORAGE.

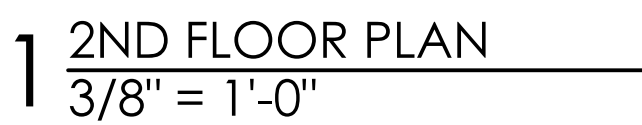
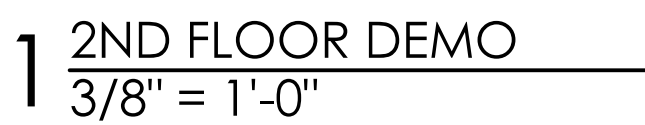




SLOANE RENOVATION
RICHARD SLOANE
1132 SPAIGHT ST
MADISON, WI 53703

1. (2)2x10 HEADER TYPICAL UNLESS NOTED OTHERWISE.
2. CONVENIENCE OUTLETS INCLUDED PER HOMEOWNER REQUEST ALL OTHER OUTLET LOCATIONS PER CODE

1 36x48 MARVIN ULTIMATE SERIES DOUBLE HUNG WINDOW W/ 7/8" SIMULATED DIVIDED LITE W/ SPACER BAR



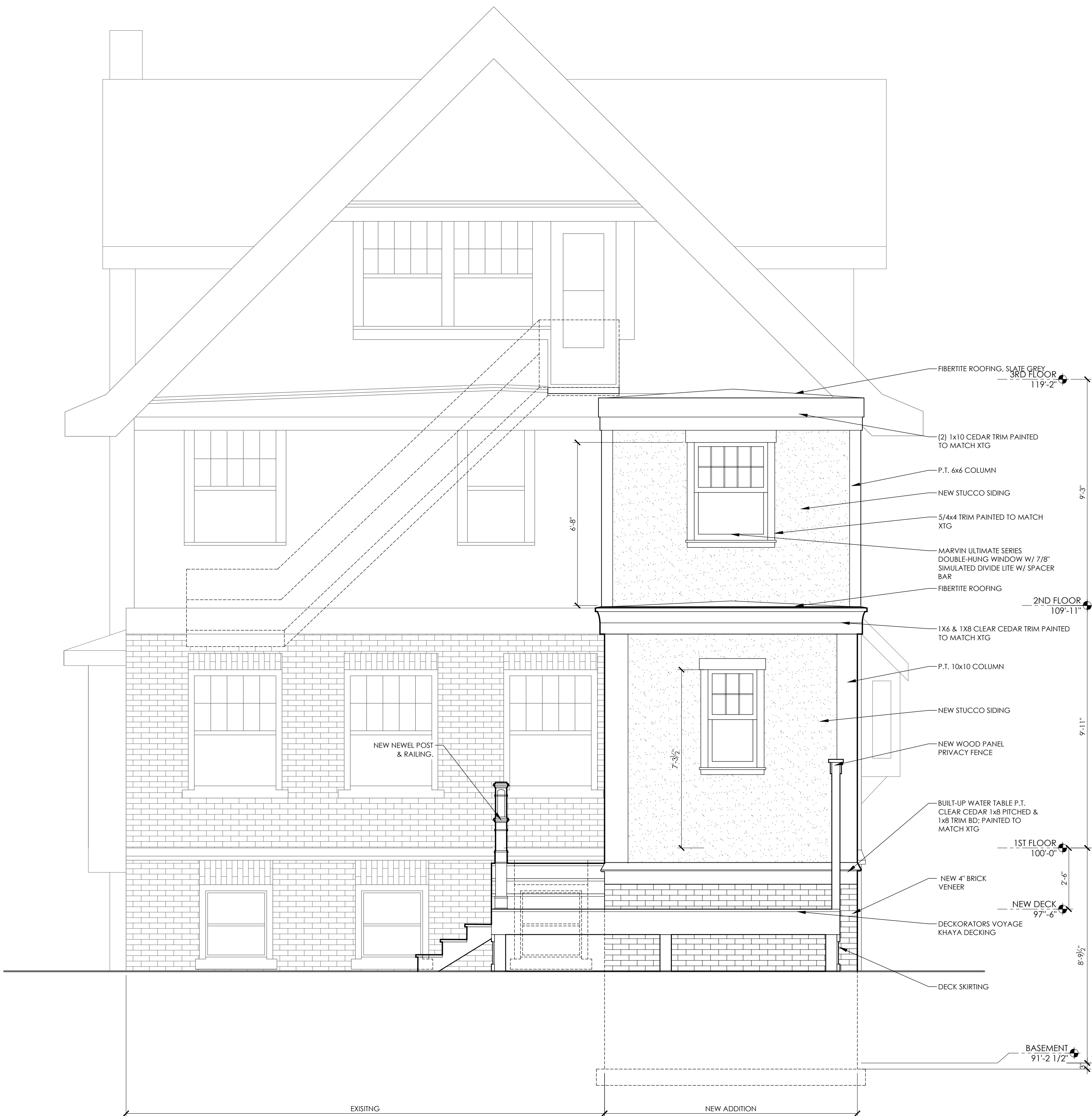
12/10/2025 LANDMARKS

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SHEET NUMBER

A102



1 EXTERIOR ELEVATION
3/8" = 1'-0"



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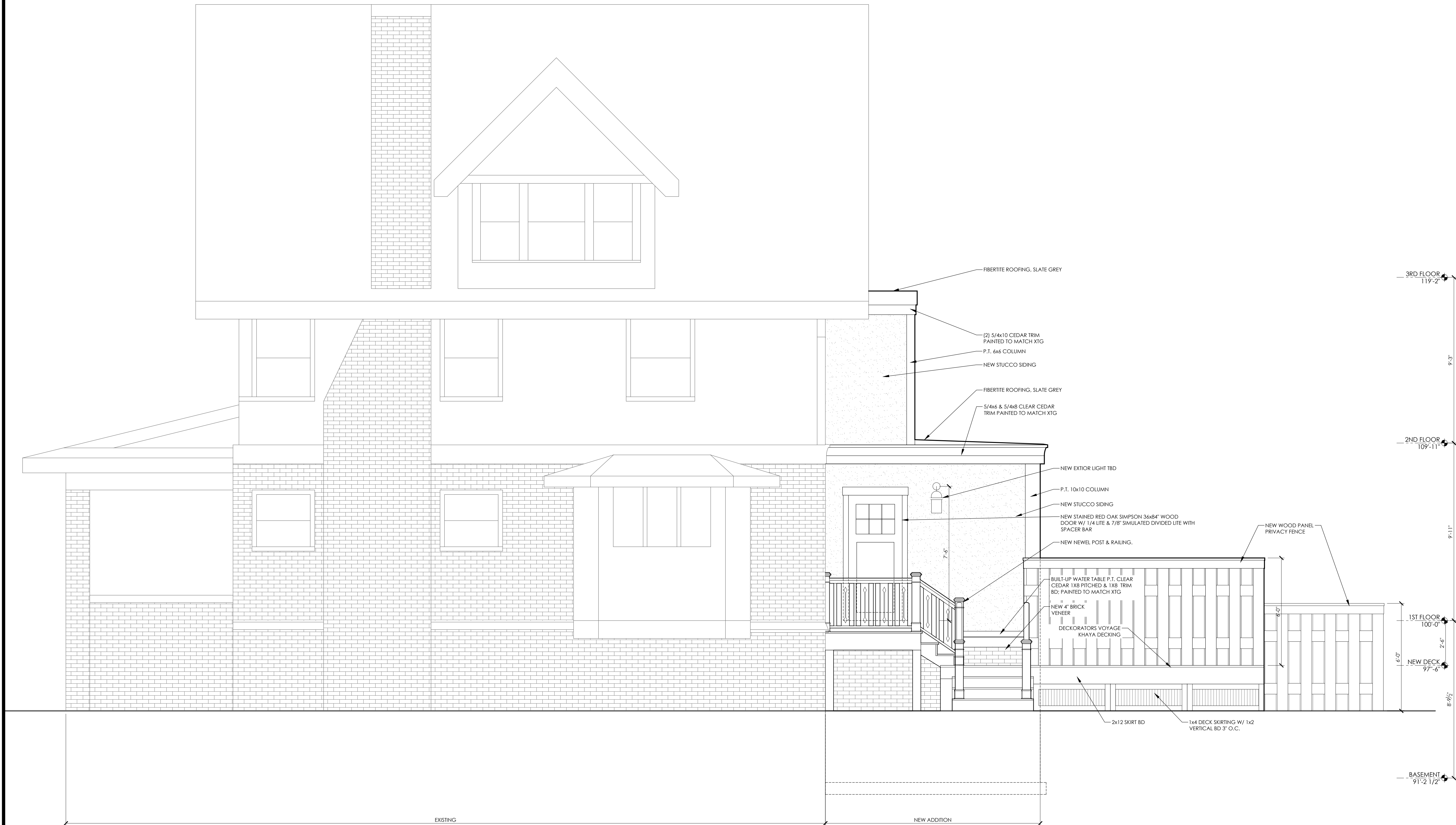
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ISSUANCES:
12/10/2025 LANDMARKS

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SHEET NUMBER
A300



1 EXTERIOR ELEVATION
3/8" = 1'-0"

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12/10/2025 LANDMARKS

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1 EXTERIOR ELEVATIONS
3/8" = 1'-0"



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SHEET NUMBER

A302