

LANDMARKS COMMISSION APPLICATION

Complete all sections of this application, including checklist on page 2.
To request an interpreter, translation, or accommodations, call (608)266-4910.
Para solicitar un intérprete, traducción o acomodaciones llame al (608)266-4910.
Koj muaj txoj cai tau txais key txhais lus, kev pes lus los sis kev pab cuam txhawm rau
kev tsis taus uas tsis muaj nqi rau koj: Xav paub ntxiv tiv tauj rau (608)266-4910
如需口譯、翻譯或其他便利服務，請致電 (608)266-4910.

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985 (608) 266-4635



LC

1. LOCATION

Project Address: 1132 Spaight St.

Alder District: 6

2. PROJECT

Project Title/Description: Porch, Addition & Kitchen Renovation

This is an application for: (check all that apply)

New Construction/Alteration/Addition in a Local Historic District

or Designated Landmark (specify):

<input type="checkbox"/> Mansion Hill	<input checked="" type="checkbox"/> Third Lake Ridge	<input type="checkbox"/> First Settlement
<input type="checkbox"/> University Heights	<input type="checkbox"/> Marquette Bungalows	<input type="checkbox"/> Landmark

Land Division/Combination in a Local Historic District

or to Designated Landmark Site (specify):

<input type="checkbox"/> Mansion Hill	<input type="checkbox"/> Third Lake Ridge	<input type="checkbox"/> First Settlement
<input type="checkbox"/> University Heights	<input type="checkbox"/> Marquette Bungalows	<input type="checkbox"/> Landmark

Demolition

Development adjacent to a Designated Landmark

Variance from the Historic Preservation Ordinance (Chapter 41)

Landmark Nomination/Rescission or Historic District Nomination/Amendment

(Please contact the Preservation Planner for specific Submission Requirements.)

Informational Presentation

Other (specify):

3. APPLICANT

Applicant's Name: Melissa Destree

Company: Destree Architecture & Design

Address: 1050 E. Washington Ave., Ste #340, Madison, WI 53703

Street

City

State

Zip

Telephone: 608.268.1499

Email: [REDACTED]

Property Owner (if not applicant): Richard Sloane

Address: 1132 Spaight St, Madison WI 53703

Street

City

State

Zip

Property Owner's Signature:

Date: 12/08/2025

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be emailed by 12:00pm on the submission date with the Landmarks Commission. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled submittal date. Submission deadlines can be viewed here: https://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf

APPLICATION SUBMISSION REQUIREMENTS CHECKLIST:

In order to be considered complete, every application submission shall include at least the following information unless otherwise waived by the Preservation Planner. **All application materials should be submitted electronically to landmarkscommission@cityofmadison.com.** Please note that an individual email cannot exceed 20 MB.

- Landmarks Commission Application w/signature of the property owner.
- Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
 - Photographs of existing conditions;
 - Photographs of existing context;
 - Photographs of comparable historic resources within 200 feet of subject property;
 - Manufacturer's product information showing dimensions and materials.
- Architectural drawings reduced to 11" x 17" or smaller pages which may include:
 - Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, mechanicals, signage, and other features;
 - Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
 - Floor Plan views of levels and roof;
 - For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
- Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
 - Perspective drawing
 - Other _____

Landmarks Commission staff will preliminarily review projects for additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process to ensure the project considered by the Landmarks Commission meets Zoning requirements.

CONTACT THE PRESERVATION PLANNER:

Please contact the Preservation Planner with any questions.

City of Madison Planning Division
215 Martin Luther King Jr Blvd, Suite 017
PO Box 2985 (mailing address)
Madison, WI 53701-2985
landmarkscommission@cityofmadison.com
(608) 266-6552



12/10/2025

Madison, WI – Landmarks Commission
Regarding: 1132 Spaight Street – Letter of Intent

Dear Landmarks Commission Members,

Project Goals & Description

We propose the demolition of an existing 99 SF porch at the rear of the residence on 1132 Spaight Street, and rebuilding to expand the residence. The goal of this project is to provide a more appropriate addition that better reflects the building's character and history while serving the owner's needs.

Our primary goal is to remove the non-historic wood porch, replacing the 99 SF portion plus a modest 25 SF expansion to the existing kitchen to better access the rear yard. The existing porch's wooden structure has aged considerably and is not weatherized. Our solution is to build a historically appropriate new addition with the existing residence, utilizing brick and stucco with architectural details that accentuate the Craftsman style of the house.

Our secondary goal is to provide a new deck and patio that the owner may utilize for outdoor activities and gatherings while addressing the owner's concerns for privacy. The new deck will utilize Deckorator Voyage Khaya decking for its rich wood look, and clear cedar for the privacy fences. The patio will utilize pervious brick pavers to improve water management.

No exemptions or special considerations are being requested for this project.

Thank you for your consideration,

Sincerely,

A handwritten signature in black ink, appearing to read "Melissa Destree".

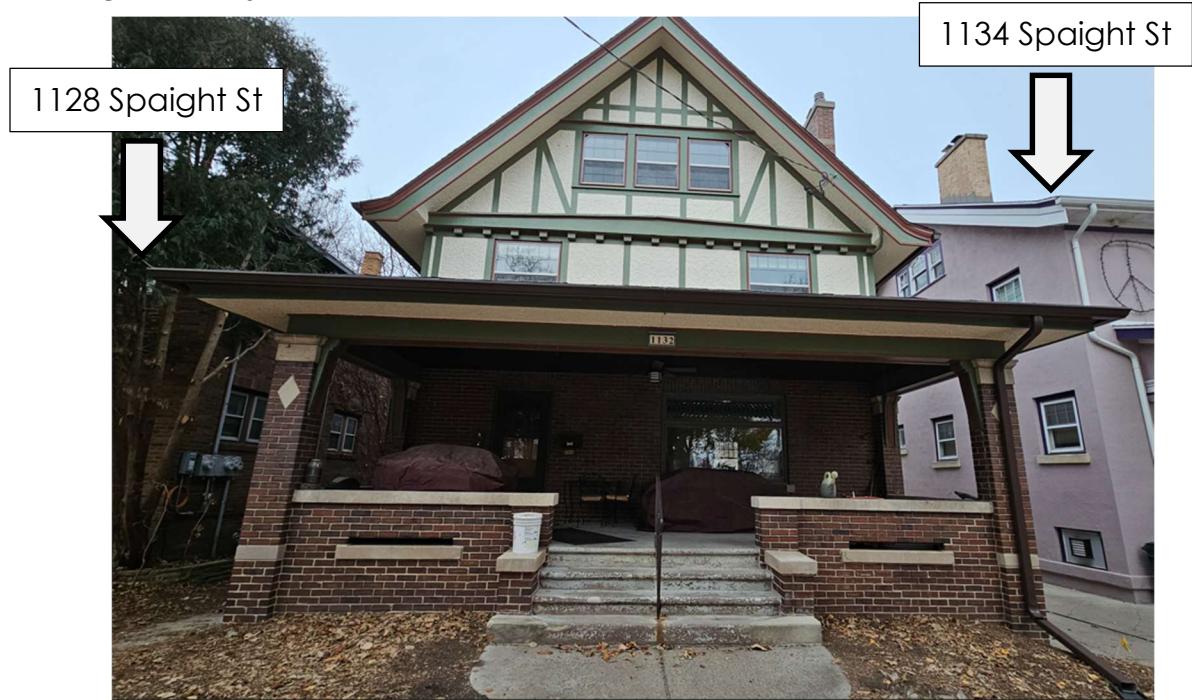
Melissa Destree



Site Location:



Existing front façade; to remain:





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View of existing porch addition to be replaced. Current porch dimensions are: 10'-8"x 9'-3". The window on the second floor above the porch will be replaced with a double hung window that will include a simulated divided lite profile matching the existing windows.





Historic Examples Within 200'. View of neighboring residence rear yard: 1134 Spaight Street.



Manufacturer's Product Information:

See attached for manufacturer's specifications with additional materials and dimensions.

New Windows –

Marvin Ultimate Windows:

- Double Hung – Proportions to coordinate with existing windows H/W ratios are similar.
- Sim divided lite profile 7/8" w/ space bar
- Clad exterior – color to match existing windows – Wineberry
- Wood interior
- Glass – Low E1 Dual Pane with Argon

Exterior Side Door –

- Simpson exterior wood door
- Stained Red Oak
- 1/4 Lite
- 7/8" Simulated divided lite profile w/ spacer bar.

New Stucco at New Addition – Texture not to match existing texture. Color tinted to match new acrylic coating as existing stucco.

- Parex Armorwall 300 Watermaster HE Three-Coat Stucco Assembly in Sand Coarse



Sand Coarse

Or

- Omega Super Cement System – 3 Coat Stucco Assembly in Medium Sand Float

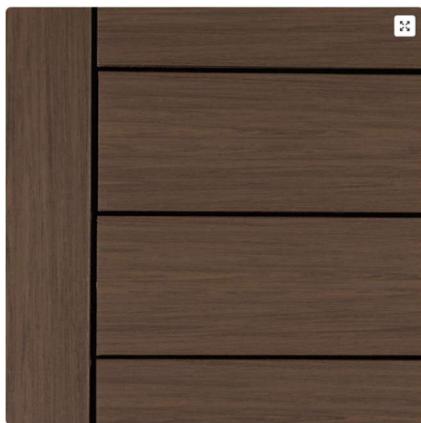


16 20 MEDIUM SAND FLOAT

Roofing – Fibertite Slate Grey membrane roofing.

Decking –

- Deckorators Voyage Khaya





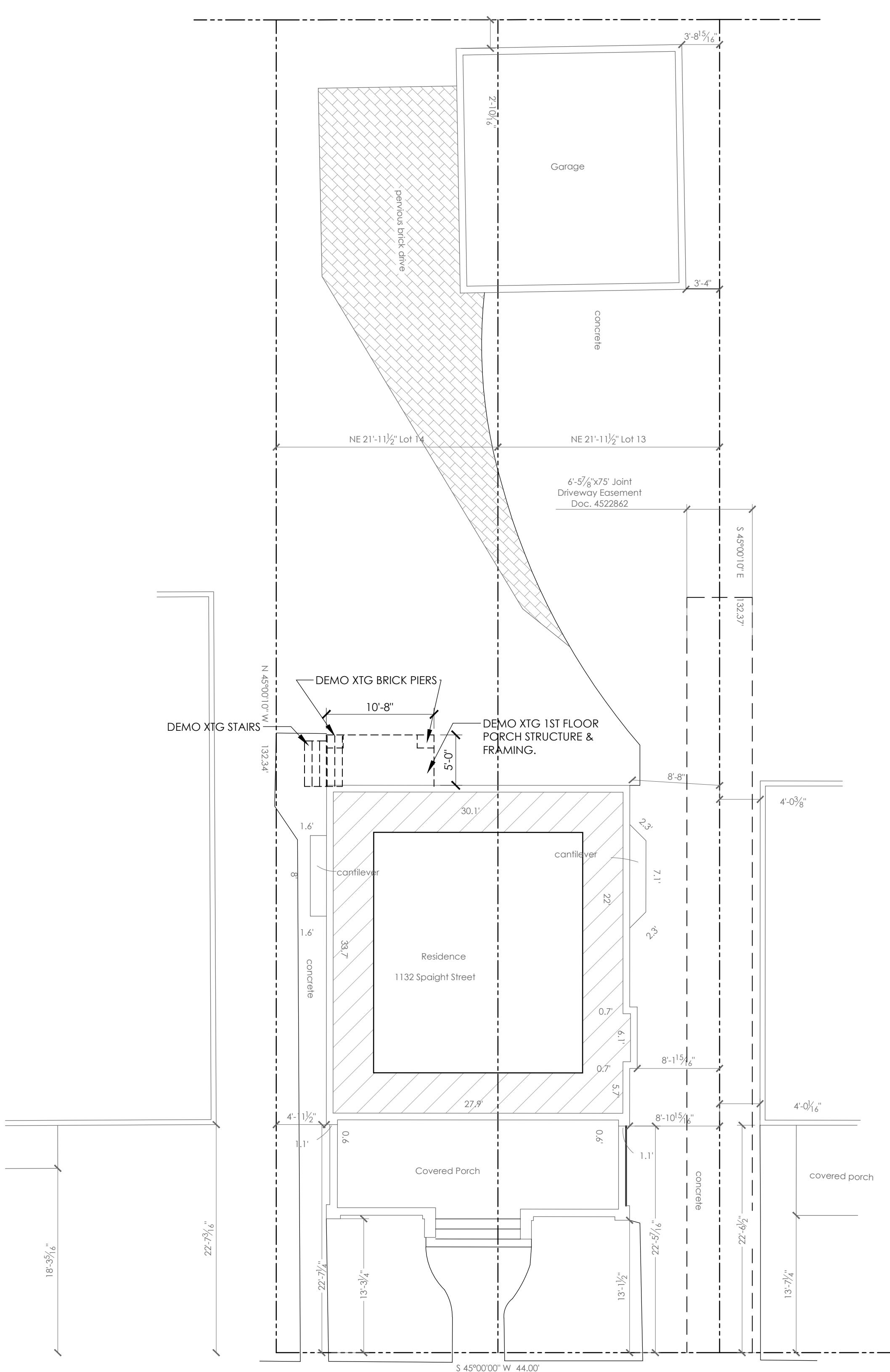
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Older Photo of House from Spaight St

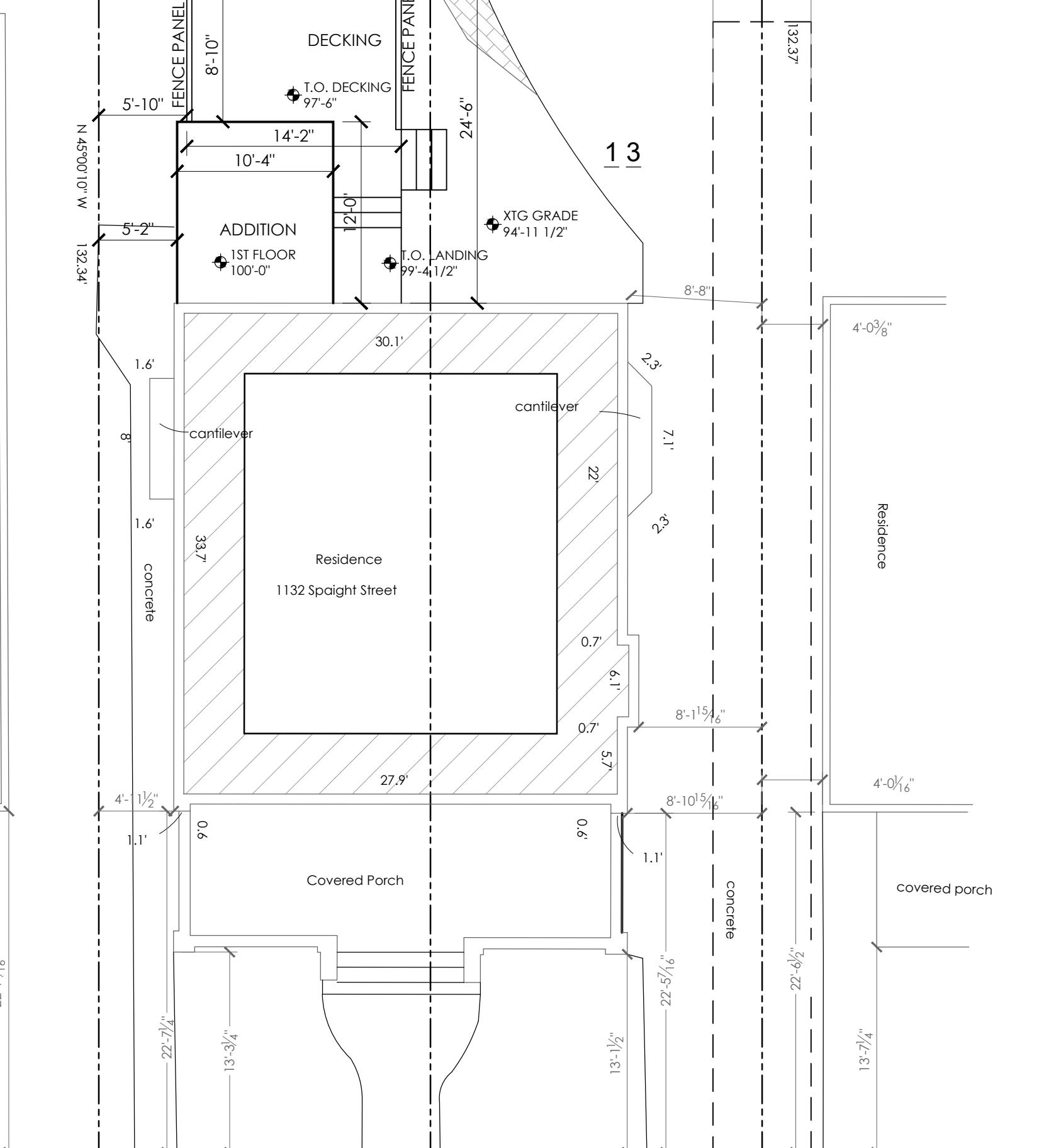
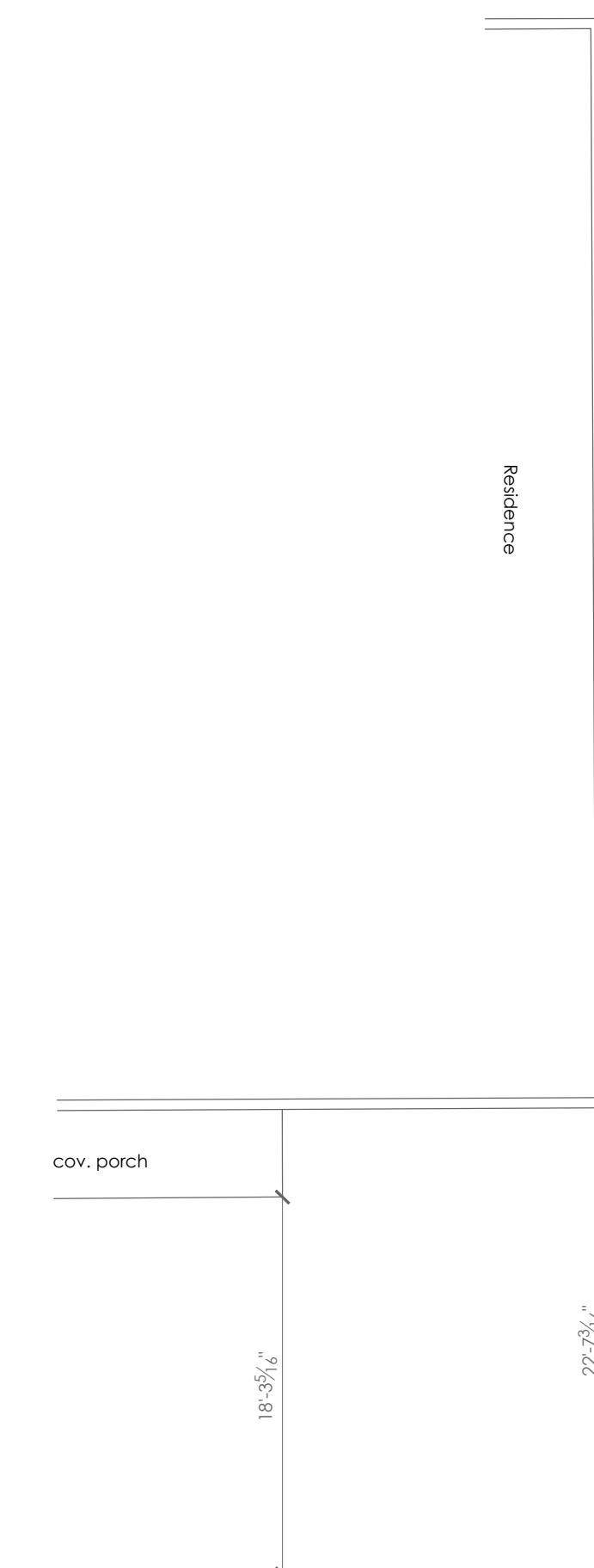


N 44°57'39" E 44.00

N 44°57'39" E 44.00

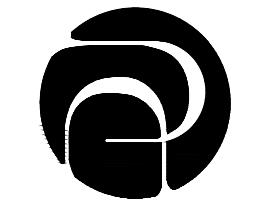
SPAIGHT
STREET1 EXISTING/DEMO SITE PLAN
1/8" = 1'-0"ORIGINAL PLAT
(FARWELL'S REPLAT)

BLOCK 181

SPAIGHT
STREET20' 0' 20'
1 SITE PLAN
1/8" = 1'-0"SLONE RENOVATION
RICHARD SLONE
1132 SPAIGHT ST
MADISON, WI 53703ISSUANCES:
12/10/2025 LANDMARKSDesign Development Phase:
This drawing indicates the size and character of the entire project as to materials, architectural elements, structural, mechanical and electrical systems, and such other essentials as may be appropriate. This drawing is not for construction.

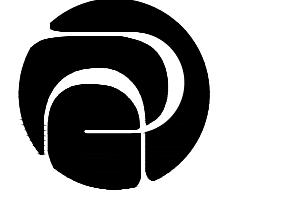
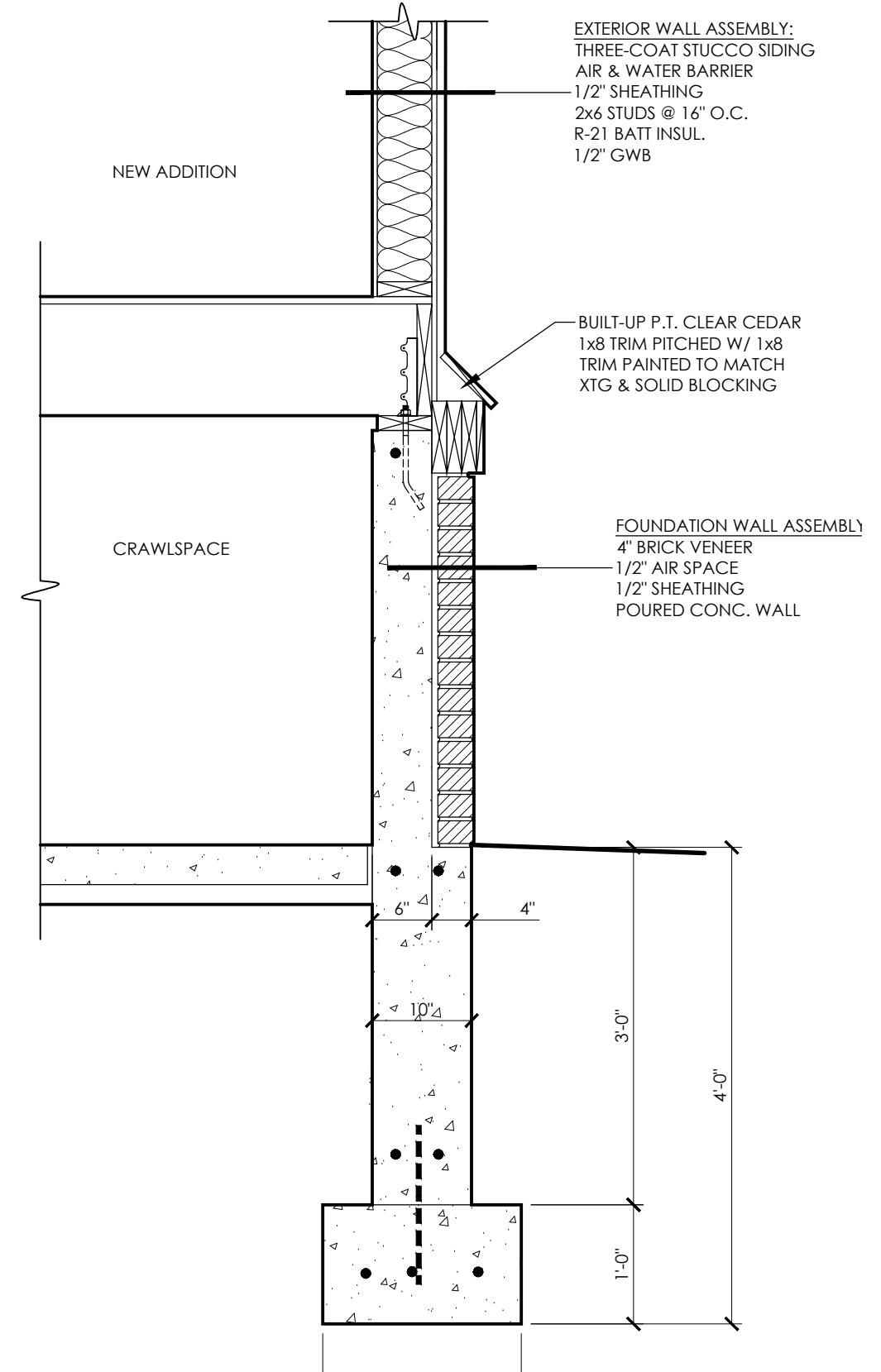
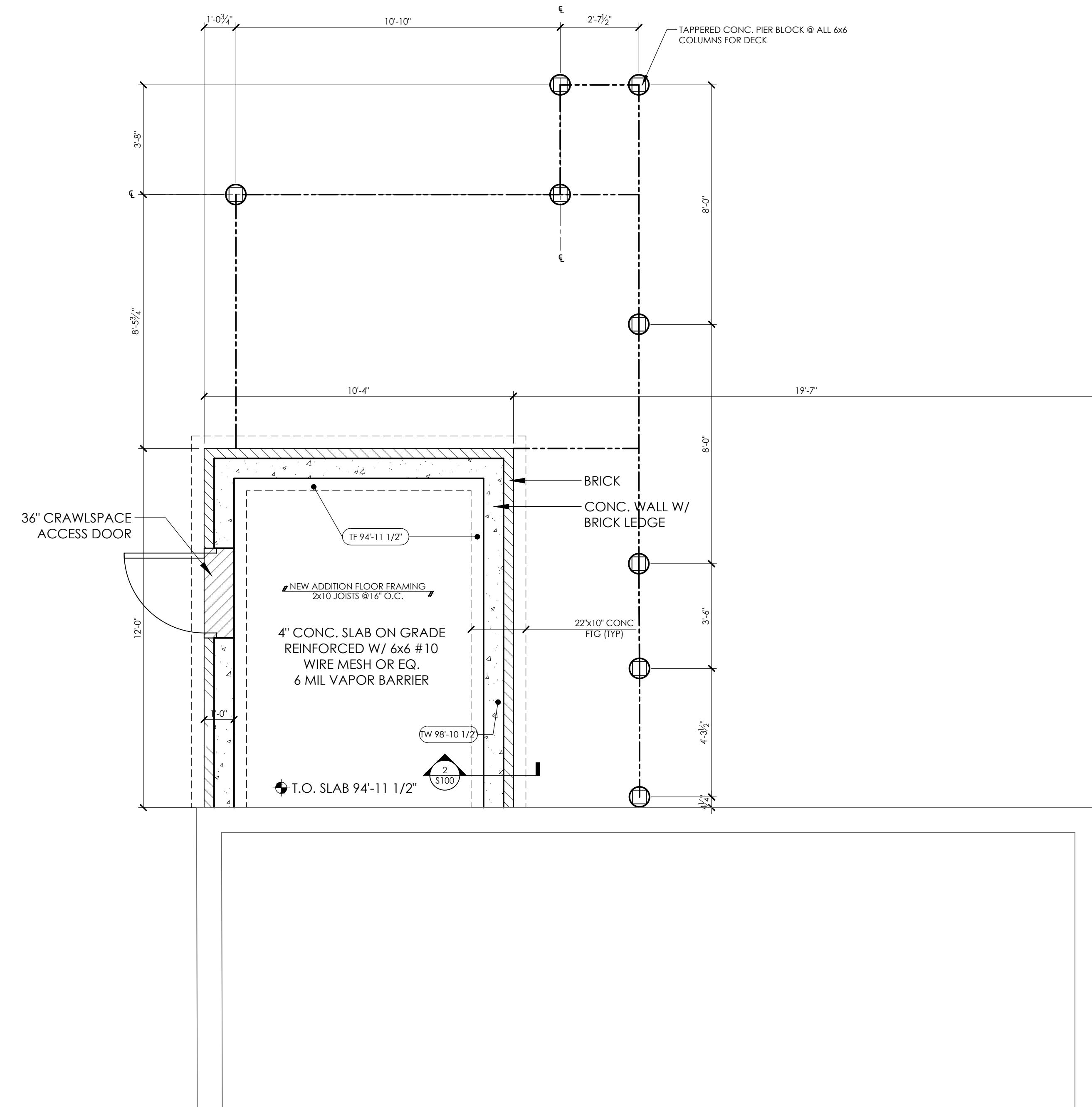
SHEET NUMBER

C000

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GENERAL FOUNDATION NOTES

1. G.C. TO VERIFY ALL LEDGE HEIGHTS W/ PLANNED & XTG GRADES.
2. 10' FOUNDATION WALLS TO HAVE 20"x10" FOOTINGS; 8' WALLS TO HAVE 16"x10" FOOTINGS UNLESS NOTED OTHERWISE.
3. SEE LATERAL BRACING CALCULATIONS AND DRAWINGS FOR SPECIAL FOUNDATION TO SUPERSTRUCTURE ANCHORAGE.

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DESIGN ARCHITECTS, INC.SLONE RENOVATION
RICHARD SLONE
1132 SPAIGHT ST
MADISON, WI 537032 WALL SECTION
3/4" = 1'-0"1 FOUNDATION PLAN
3/8" = 1'-0"ISSUANCES:
12/10/2025 LANDMARKS

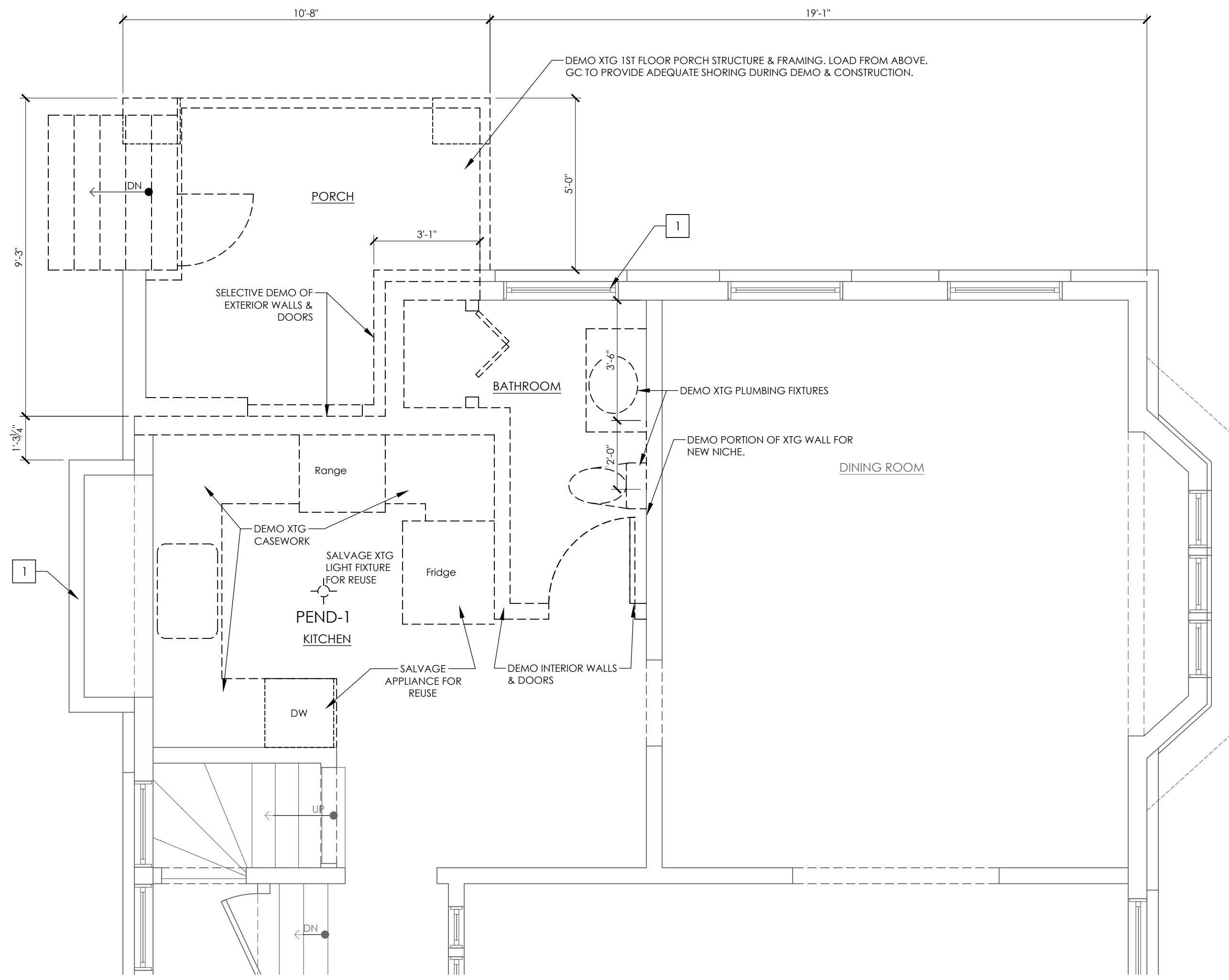
----Design Development Phase:
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S100

GENERAL DEMOLITION NOTES

1. DASHED LINES DENOTE SELECTIVE DEMOLITION.
2. GC TO VERIFY ALL EXISTING CONDITIONS.
3. GC TO VERIFY ALL NEW DOOR AND WINDOW OPENINGS IN EXISTING WALLS AND COORDINATE FINAL SIZING.
4. NEW FINISHED 1ST FLOOR TO ALIGN WITH EXISTING FINISHED 1ST FLOOR.
5. COORDINATE WITH OWNER ON ALL MATERIALS TO BE SALVAGED, INCLUDING BUT NOT LIMITED TO: DOORS, WINDOWS, INTERIOR DOOR & WINDOW INTERIOR, BASE, TRIM, EQUIPMENT, LIGHT FIXTURES, ETC.
6. CONTRACTOR SHALL VERIFY ALL STRUCTURAL BEARING CONDITIONS PRIOR TO REMOVING ANY WALLS.
7. ALL PLUMBING AND GAS SUPPLIES SHALL BE PROPERLY CAPPED OFF.

KEYNOTES

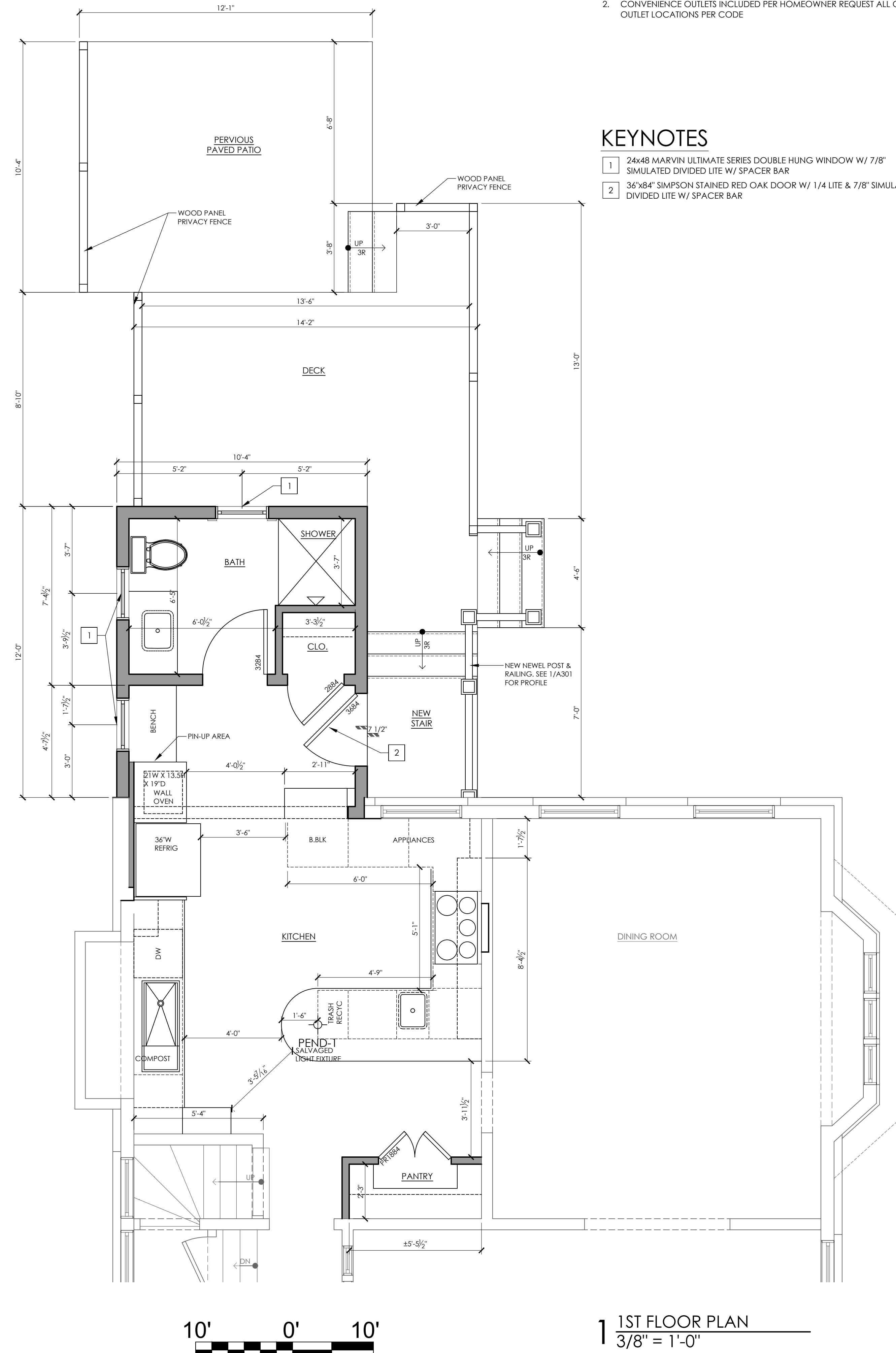
1 RETAIN AND PROTECT XTG WINDOW



2 1ST FLOOR DEMOLITION 3/8" = 1'-0"

GENERAL NOTES

1. (2)2x10 HEADER TYPICAL UNLESS NOTED OTHERWISE.
2. CONVENIENCE OUTLETS INCLUDED PER HOMEOWNER REQUEST ALL OTHER OUTLET LOCATIONS PER CODE



1 1ST FLOOR PLAN

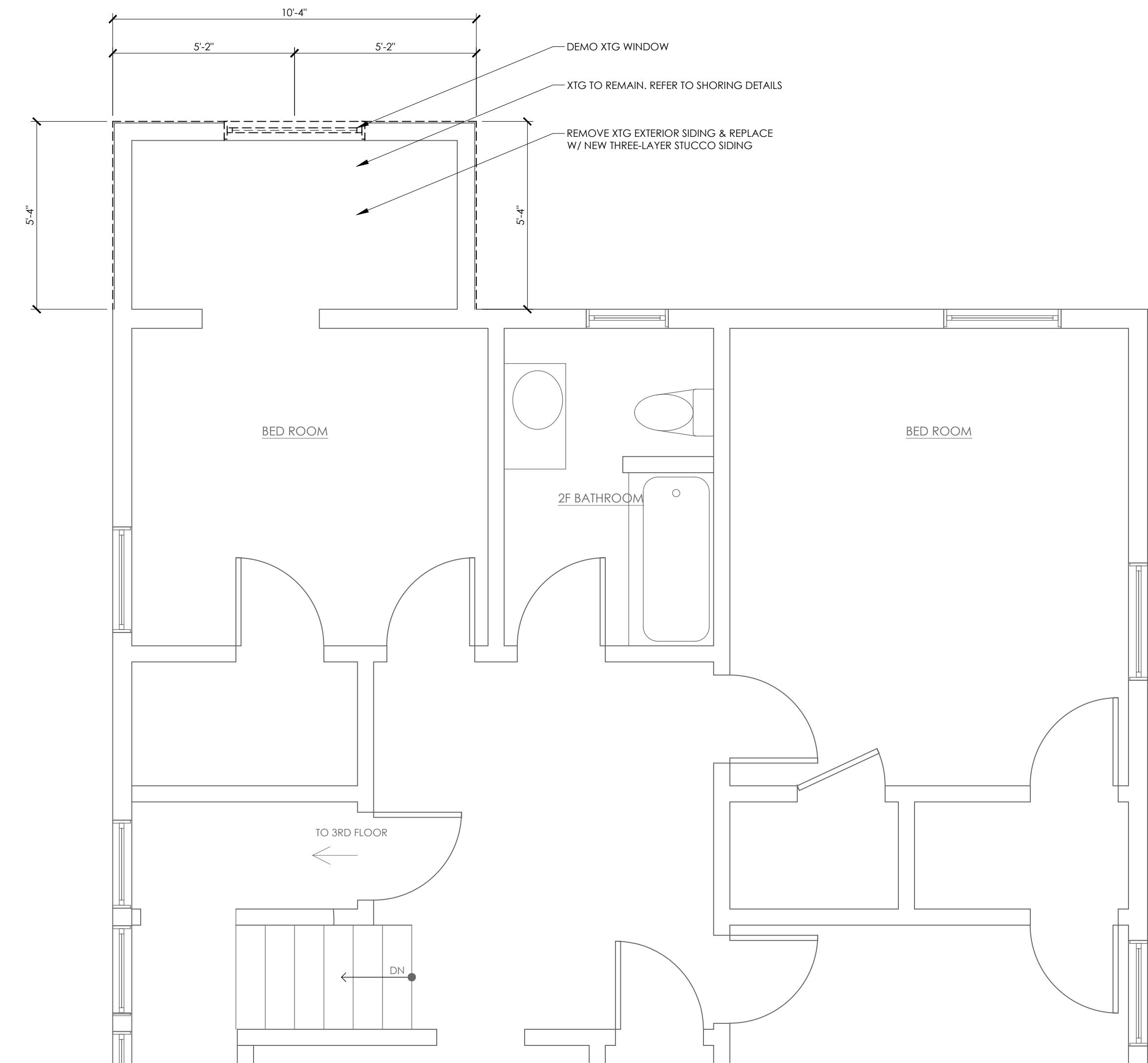
ONE RENOVATION
RICHARD SLONE
1132 SPAIGHT ST
MADISON, WI 53703

ISSUANCES:

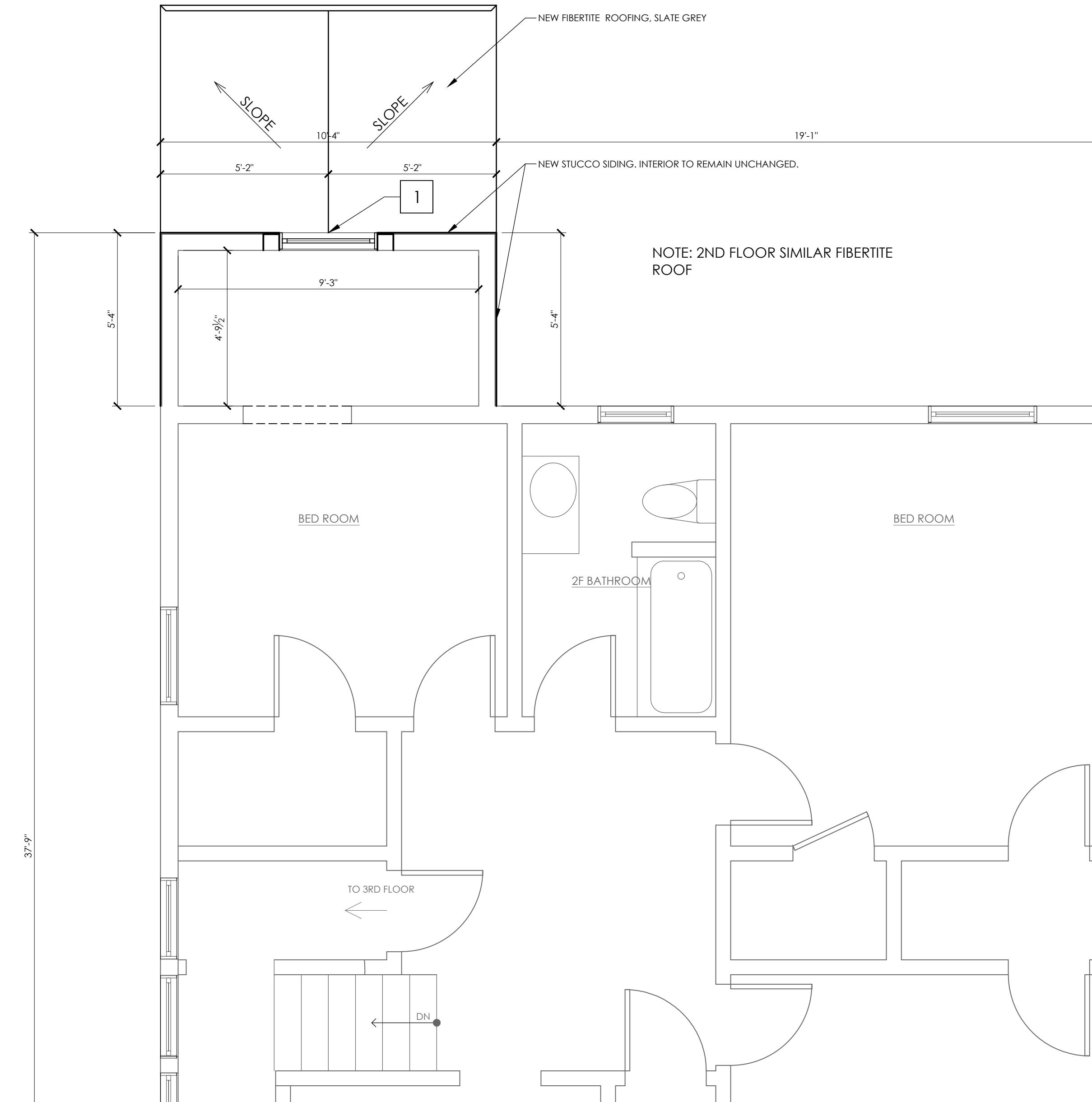
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SHEET NUMBER

A101



1 2ND FLOOR DEMO
3/8" = 1'-0"



1 2ND FLOOR PLAN
3/8" = 1'-0"

10' 0' 10'

GENERAL NOTES

- (2) 2x10 HEADER TYPICAL UNLESS NOTED OTHERWISE.
- CONVENIENCE OUTLETS INCLUDED PER HOMEOWNER REQUEST. ALL OTHER OUTLET LOCATIONS PER CODE.



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SLONE RENOVATION
RICHARD SLOWE
1132 SPAIGHT ST
MADISON, WI 53703

ISSUANCES:
12/10/2025 LANDMARKS

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A102



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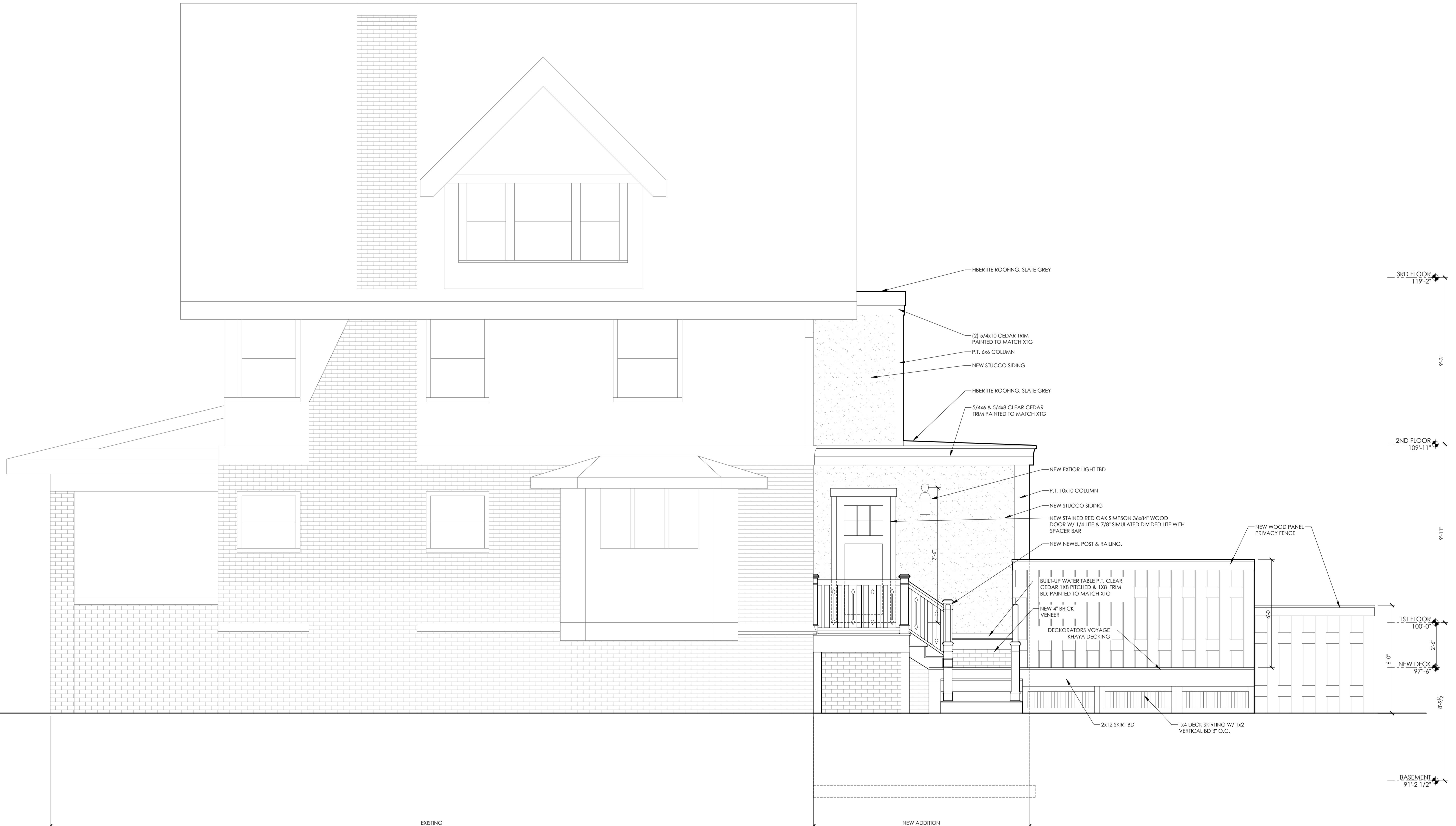
SLONE RENOVATION
RICHARD SLOWE
1132 SPRIGHT ST
MADISON, WI 53703

ISSUANCES:
12/10/2025 LANDMARKS

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SHEET NUMBER

A301



1 EXTERIOR ELEVATION
3/8" = 1'-0"

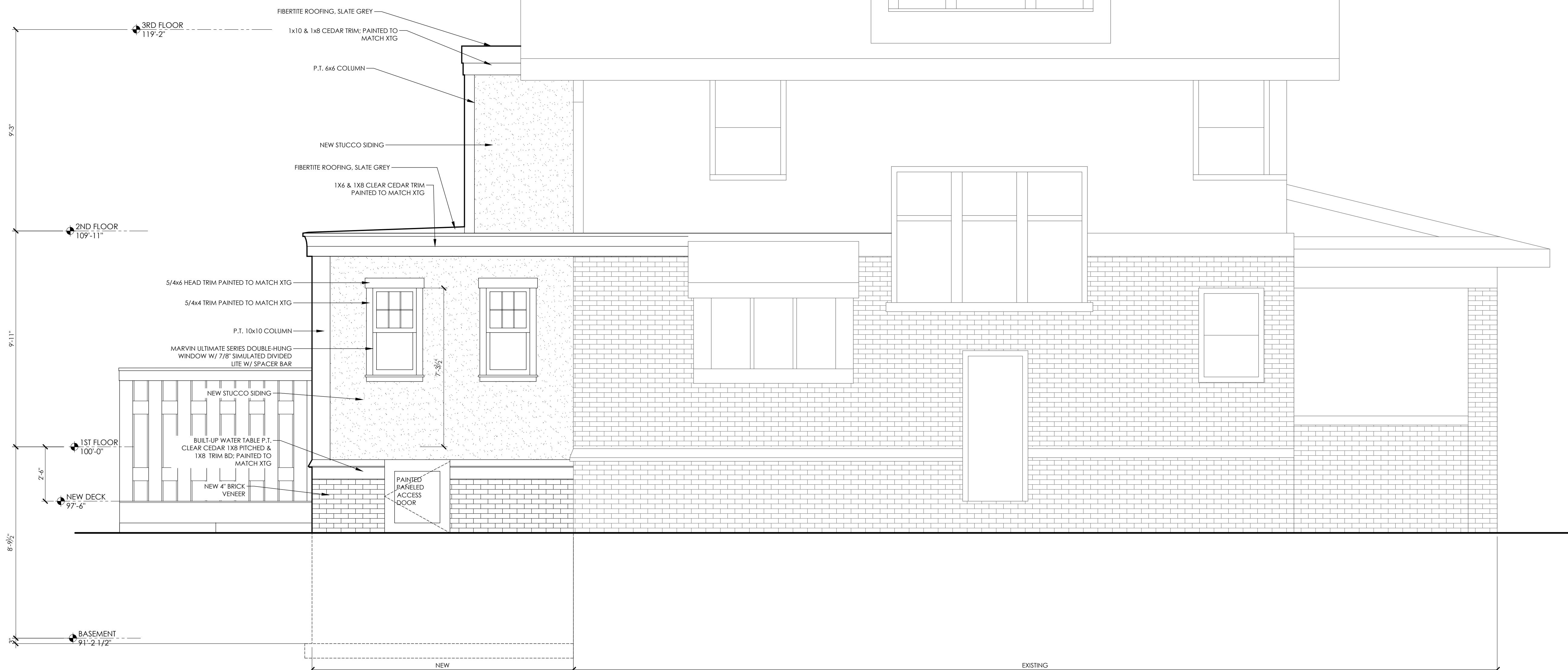


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SLONE RENOVATION
RICHARD SLOWE
1132 SPAIGHT ST
MADISON, WI 53703



1 EXTERIOR ELEVATIONS
3/8" = 1'-0"

ISSUANCES:
12/10/2025 LANDMARKS

Design Development Phase:
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SHEET NUMBER

A302