



City of Madison

Conditional Use Alteration

Location
425 West Washington Aveue

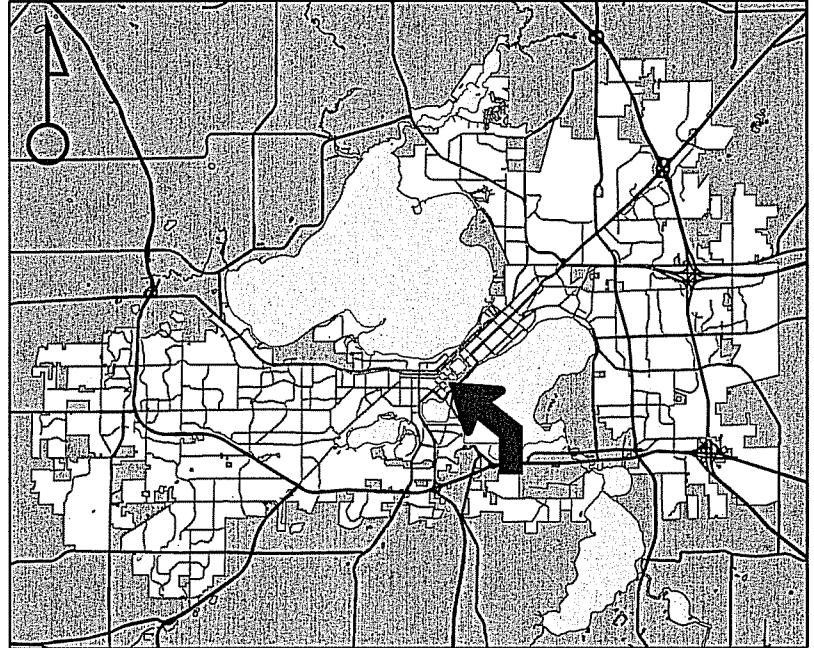
Project Name
Washington Plaza

Applicant
Erik Minton/John W. Sutton-
Sutton Architecture

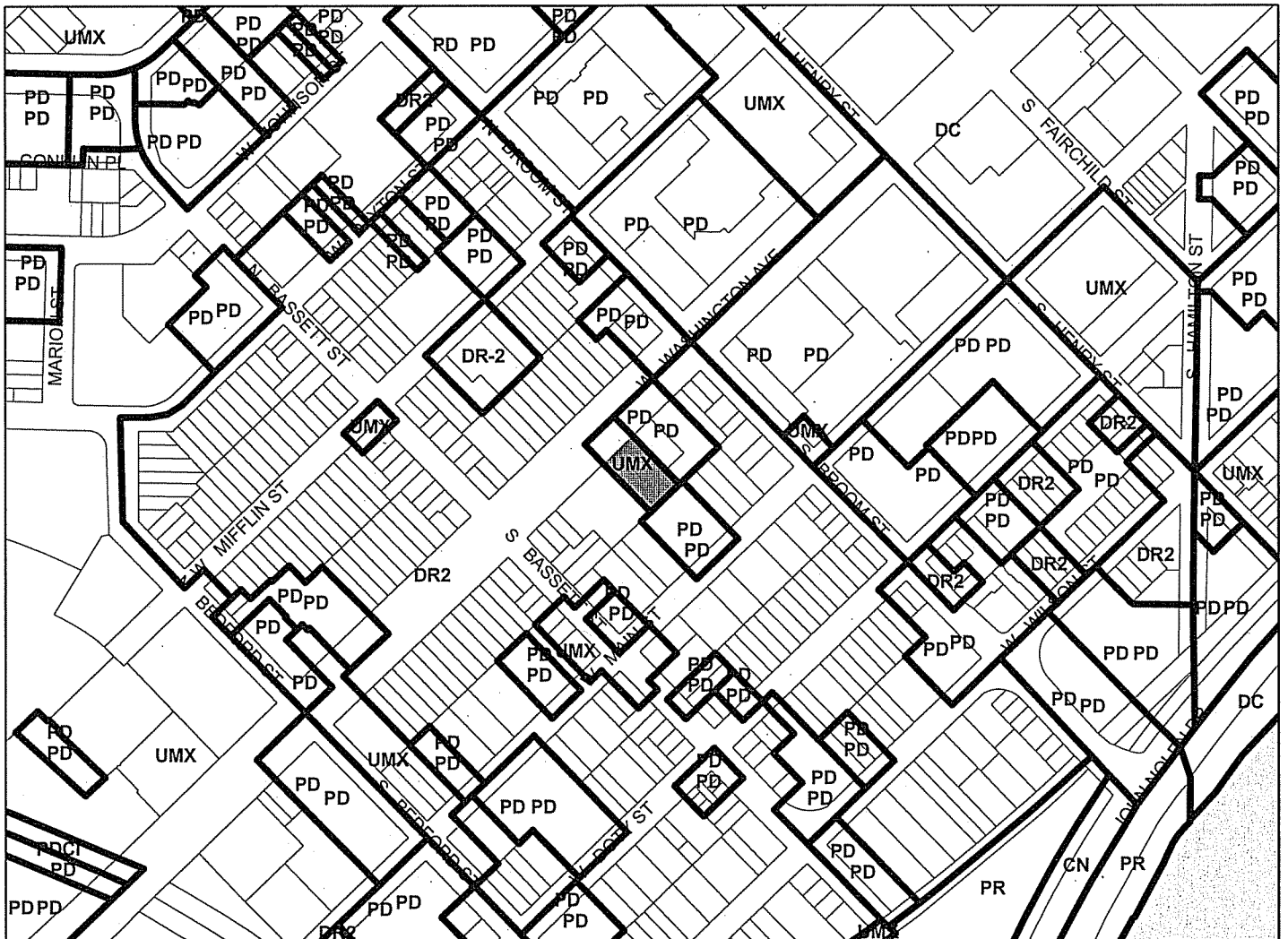
Existing Use
Mixed-Use building

Proposed Use
Approve alterations to exterior and
landscaping of existing mixed-use building

Public Hearing Date
Plan Commission
08 August 2016

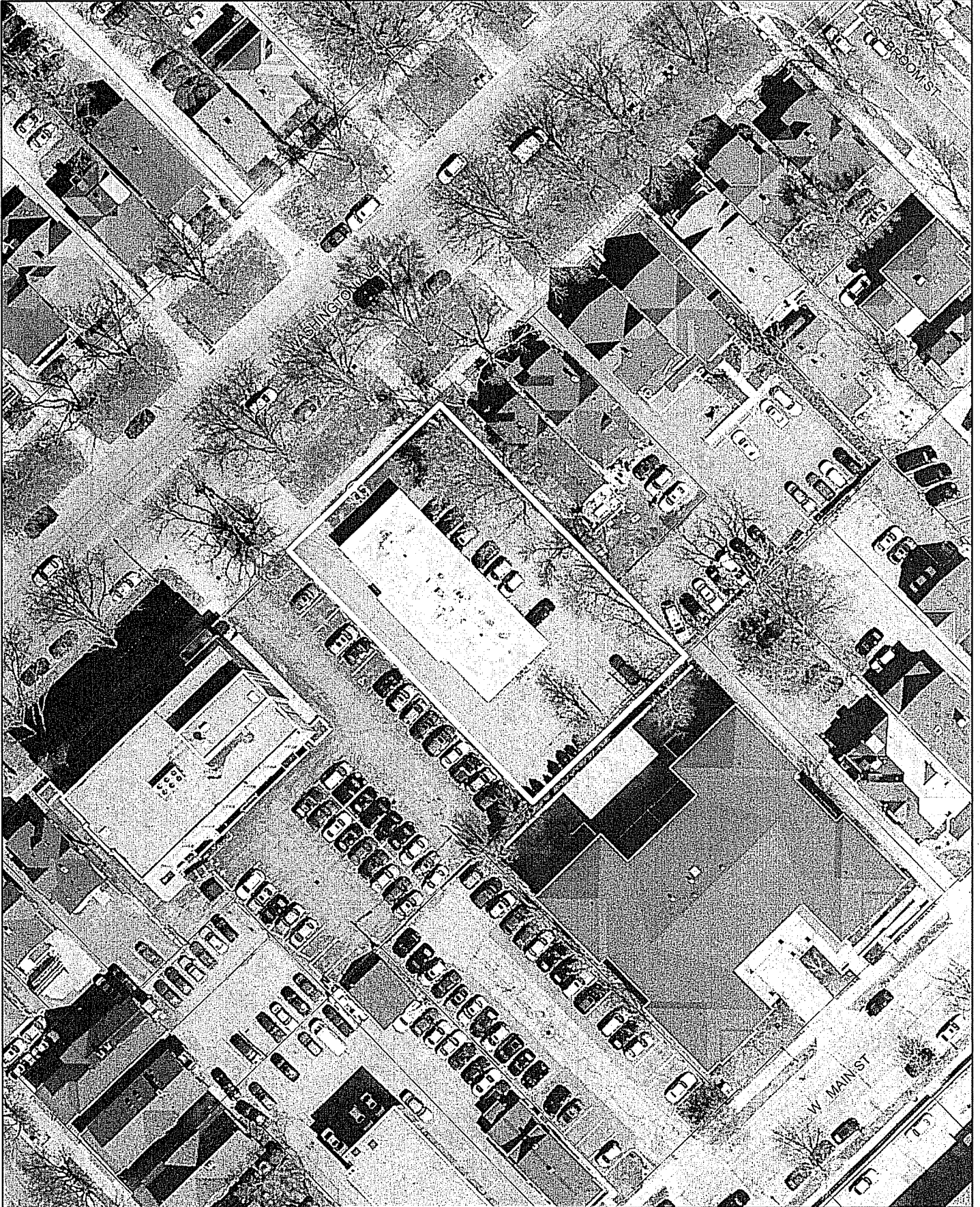


For Questions Contact: Jay Wendt at: 267-8741 or jwendt@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 29 July 2016





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid	\$ 500 Receipt No. 3017-
Date Received	4/15/15 0004
Received By	[Signature]
Parcel No.	0709-231-2214-0
Aldermanic District	4-Michael Vervaeke
Zoning District	UMX
Special Requirements	all
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 425 WEST WASHINGTON AVE.
Project Title (if any): WASHINGTON PLAZA

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: JOHN W. SUTTON Company: SUTTON ARCHITECTURE
Street Address: 104 KING STREET City/State: MADISON WI Zip: 53703
Telephone: (608) 469-2528 Fax: () Email: JOHN@SUTTONARCHITECTURE.COM

Project Contact Person: JOHN W. SUTTON Company: _____
Street Address: _____ City/State: _____ Zip: _____
Telephone: () Fax: () Email: _____

Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: SEE ATTACHED COVER LETTER

Development Schedule: Commencement _____ Completion _____

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- X • **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: _____ Date: _____ Zoning Staff: _____ Date: _____

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant JOHN W. SUTTON Relationship to Property: ARCHITECT
Authorizing Signature of Property Owner [Signature] 425 Washington Ave Date 4/15/15
2015 LLC

LETTER OF INTENT
March 23, 2016

REVISIONS

Major Alteration Submission - THE **Washington Plaza**
residential

Submitted by

Erik Minton and Dr. John Bonsett-Veal
21 North Butler Street
Madison, WI 53703

(608) 256-1400

Prepared by

Sutton Architecture
104 King Street
Madison, WI 53703

(608) 255-1245

This is in response to the city staff requesting as built showing all components for the Washington Plaza project. As a result, we were asked to submit 4 items to be reviewed by UDC. First was a wooden trellis on the rooftop terrace. This will be removed instead. Second was the railing for the rooftop terrace as it was built higher than approved and in different material. It has been redesigned to be lowered to the original height with the top rail in metal and finish to match the approved design. Third was the modification of the landscape plan to replace concrete sidewalk and planting area with brick pavers for individual tenant patio areas. We verified that we did not exceed the 90% area covered. Fourth is the addition of privacy fencing not on the original submission. This has been redesigned to match architecture.

All submitted items have been reviewed with the neighborhood steering committee and city staff and modified to satisfy their concerns.

We still are showing all items on the as built as requested by city staff, with explanation to their purpose and how they came about.

March 23, 2016

Washington Plaza
425 W. Washington Avenue
Components added or not shown on Conditional Use Application

CITY DEPARTMENT REQUIREMENTS

- 1A Railing installed according to Fire Department direction.
- 1B Additional equipment for back-up generator required by code.
- 1C Building code limitation on openings allowed per floor.
- 1D Fire Department required hose connection.

MEPS DESIGNED AFTER APPROVALS

- ~~2A* Apartment HVAC vents did not fit in allowed width and had to be relocated.~~ **
- 2B Additional HVAC was required for commercial space.
- 2C Intake and exhaust required for design.
- 2D Dryer vents located where structure allowed access.
- 2E Security cameras.
- 2F MG&E required location for transformer replaced one planter.

OWNER IMPROVEMENTS

- 3A 6 foot wood fence for ground floor apartments to screen lights from adjacent parking lots and provide security due to lower elevation.
- 3B Remove ground cover plantings and replace with pavers for tenant use of apartments on ground floor.
- 3C Add metal angles to protect masonry at garage entrance in place of raised curb.
- 3D Replace and add masonry retaining wall to improve site drainage.

ELEVATIONS NOT MATCHING PLANS

- 4A Window could not be installed due to conflict with structural column in same location.

** Apartment HVAC vents are not part of this application.

June 24, 2016

ADDENDUM to Letter of Intent dated March 23, 2016

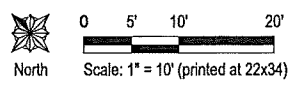
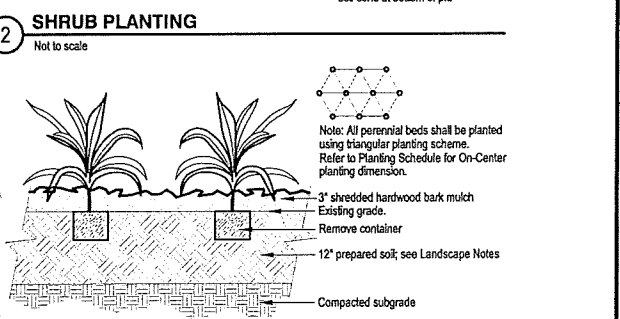
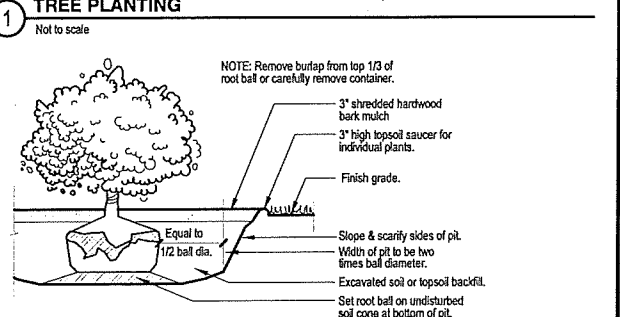
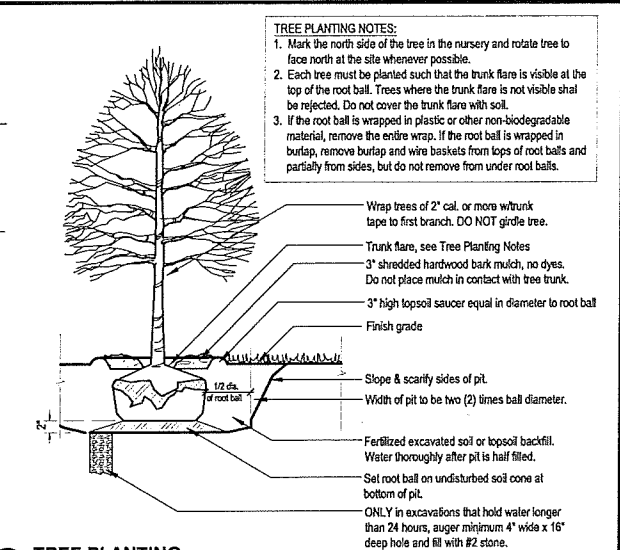
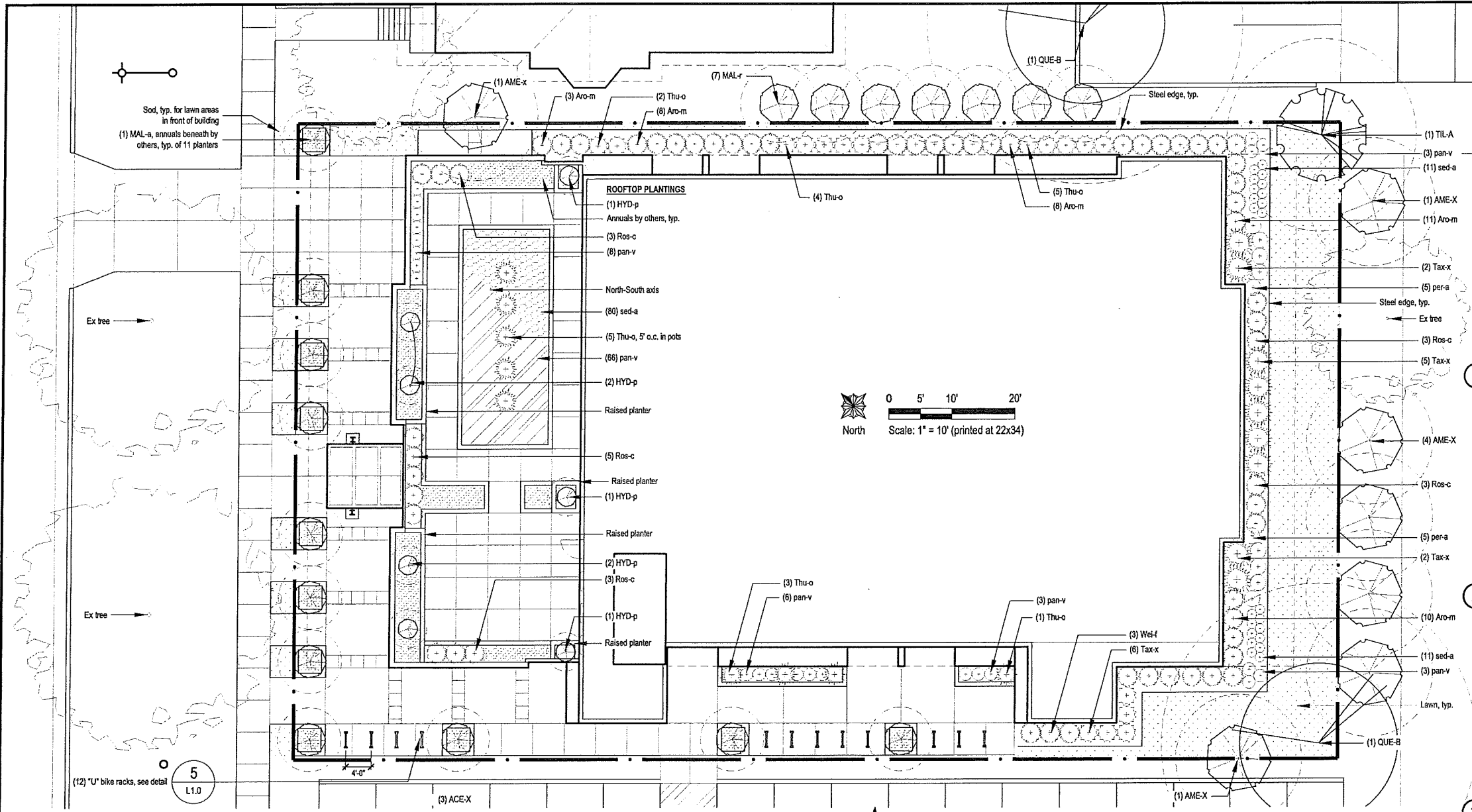
At UDC June 1, 2016, we were asked to provide more details regarding fencing changes. With this submission we have: Added detailed fence section and elevation with dimensions and notes.

Wood fence reduced to 4' height and stained dark bronze.

Add metal mesh module to the top of the wood fence matching the existing deck detail also in dark bronze.

Added sheet with colored photos showing the existing fence, rail and deck.

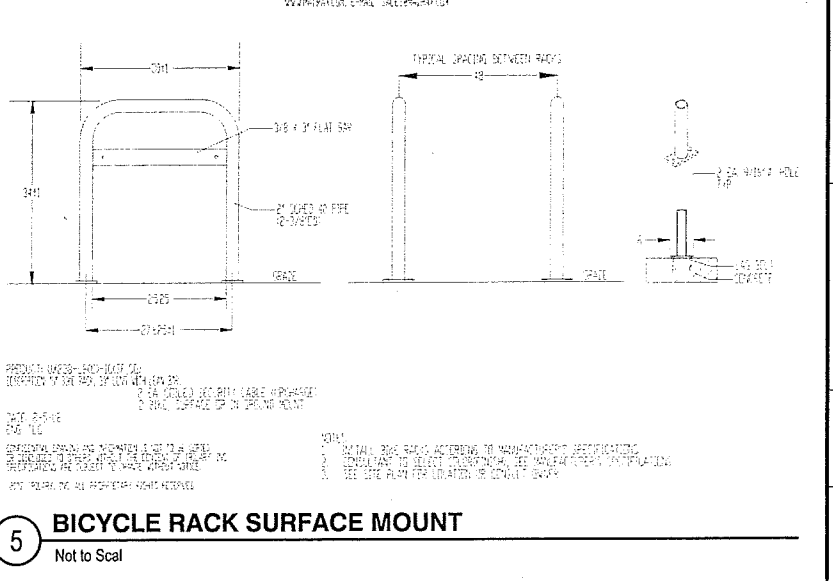
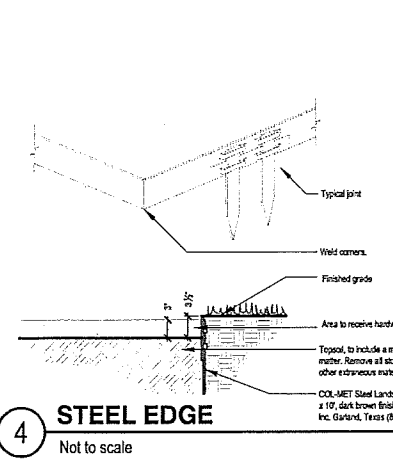
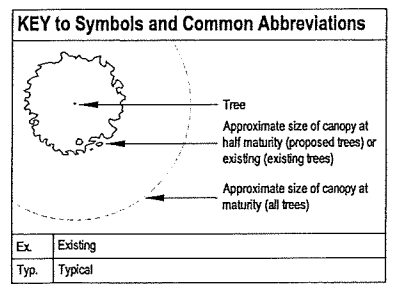
Included sight line for the top of rooftop garden rail from the street.



GENERAL LANDSCAPE & PLANTING NOTES

APPROVED

1. Plant material to be installed and maintained by a qualified and experienced landscape installer.
2. All materials, plant locations and plant bed conditions are subject to the approval of the Landscape Architect and Owner at any time. Plants are to be freshly dug. Transporting of plants shall be done in a manner as to not destroy the natural shape, compromise the health, or alter the characteristics of plant materials.
3. Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT. Remove from the site any plant material that turns brown or defoliates within five (5) days after planting. Replace immediately with approved, specified material.
4. Plant counts indicated on drawings are for Landscape Architect's use only. Contractor shall make own plant quantity takeoffs using drawings, and plant schedule requirements (i.e., spacing), unless otherwise directed by Landscape Architect. Contractor to verify bed measurements and install appropriate quantities as governed by plant spacing per schedule.
5. All plant beds shall receive 3" minimum of genuine shredded hardwood bark mulch (unless otherwise noted). Apply pre-emergent herbicide as directed by the manufacturer prior to installing mulch.
6. The Contractor shall install and/or amend topsoil in all proposed bed areas to meet ASTM D5268 standards. Landscaper shall verify depth and quality of topsoil prior to plant installation. A minimum of 4" of topsoil is required for seeded areas; 12" for plant beds. Topsoil sources shall include the reuse of surface soil stockpiled on site, clean of roots, plants, sod, stones, clay lumps, and other extraneous or foreign materials larger than 1". Supplement with imported topsoil from off-site sources when quantities are insufficient. Do not obtain supplemental topsoil from agricultural land, bogs, or marshes. Inorganic amendments, organic amendments, and fertilizers shall be used to amend topsoil as needed for long-term plant health.
7. Verify all utility locations in the field prior to beginning work. Repair all damaged utilities to satisfaction of the Owner and Operating Authority at no additional cost.
8. Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete work. All workmanship and materials shall be guaranteed by the Contractor for a period of one (1) calendar year after Final Acceptance.
9. Maintain all new lawn and plant material for a three (3) month period from date of Substantial Completion. Maintenance shall include pruning, cultivating, watering, weeding, fertilizing, restoring plant saucers, spraying for disease and insects, and replacing tree wrappings. Recommended long-term maintenance procedures shall be provided to the Owner before expiration of this period.
10. Recondition soil and seed/re-seed all areas disturbed by construction activities that are not to receive other surface treatment (i.e. pavement, planting bed, etc.). Seed with WIDOT 40 or equal.
11. All plant beds to receive steel edge (see Detail 8/L301) where bed is not bounded by a structure or pavement unless otherwise noted.
12. Scientific names of plants to take precedence over common names.



PLANT SCHEDULE							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES	MATURE SIZE	DETAIL
CANOPY TREES (NOTE: Sizes indicated shall be used unless noted otherwise on plans)							
QUE-B	Quercus bicolor	Swamp White Oak	3.5" cal	B&B	Full, symmetrical, strong central leader	50' H x 50' W	1/L1.0
TIL-A	Tilia americana 'MckSentry'	American Sentry Linden	3.5" cal	B&B	Full, symmetrical, strong central leader	45' H x 30' W	
ORNAMENTAL TREES							
AME-x	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' ht	B&B	Full, matched, 3-5 stems	20' H x 20' W	
HYD-p	Hydrangea paniculata 'Tardiva'	'Tardiva' Tree Form Hydrangea	6' H	cont.	Full, matched, single-stem tree form	10' H x 8' W	1/L1.0
MAL-a	Malus 'Adirondack'	'Adirondack' Crabapple	8' ht	B&B	Full, matched, single-stem tree form	12' H x 10' W	
MAL-r	Malus 'Red Jewel'	'Red Jewel' Crabapple	8' ht	B&B	Full, matched, single-stem tree form	15' H x 12' W	
EVERGREEN SHRUBS							
Tax-x	Taxus x media 'Taunton'	Taunton Yew	18" H	cont.		3' H x 4' W	2/L1.0
Thu-o	Thuja occidentalis 'Holmstrup'	'Holmstrup' Arborvitae	36" H	cont.	Full, matched	6' H x 3' W	
DECIDUOUS SHRUBS							
Aro-m	Aronia melanocarpa 'Morton'	Iroquois Beauty Chokeberry	24" H	cont.		3' H x 4' W	2/L1.0
Ros-c	Rosa 'Carefree Wonder'	'Carefree Wonder' Rose	18" H	cont.		3' HW	
Weif	Weigela florida 'Alexandra'	'Wine & Roses' Weigela	24" H	cont.		4' H x 5' W	
PERENNIALS & ORNAMENTAL GRASSES							
pan-v	Panicum virgatum 'Shenandoah'	'Shenandoah' Red Switchgrass	1 gal	cont.		Space 2'-6" o.c.	
per-a	Perovskia atriplicifolia 'Filigran'	'Filigran' Russian Sage	1 gal	cont.		Space 2'-6" o.c.	3/L1.0
sed-a	Sedum 'Autumn Joy'	'Autumn Joy' Sedum	1 gal	cont.		Space 18" o.c.	

PLANDESIGN
LAND-VISION • PASSION

Plandscape LLC • 480 Maynard Drive • Sun Prairie, WI 53590
Tel 608.318.1217 • Fax 608.318.1216 • www.plandscapeinc.com

Project: Approval Drawings for **Washington Plaza**
425 W Washington Boulevard, Madison, WI 53703
Owner: Erik Minton, Dr. John Benseit'Veal
21 N. Butler Street, Madison, WI 53703, (608) 256-1400
In association with: Sutton Architecture
104 King Street, Madison, WI 53703

Revision	Date	Description

Issued for: Approval
Issue Date: 2013-09-11
Job No: 2013-042
Drawn by: ASA

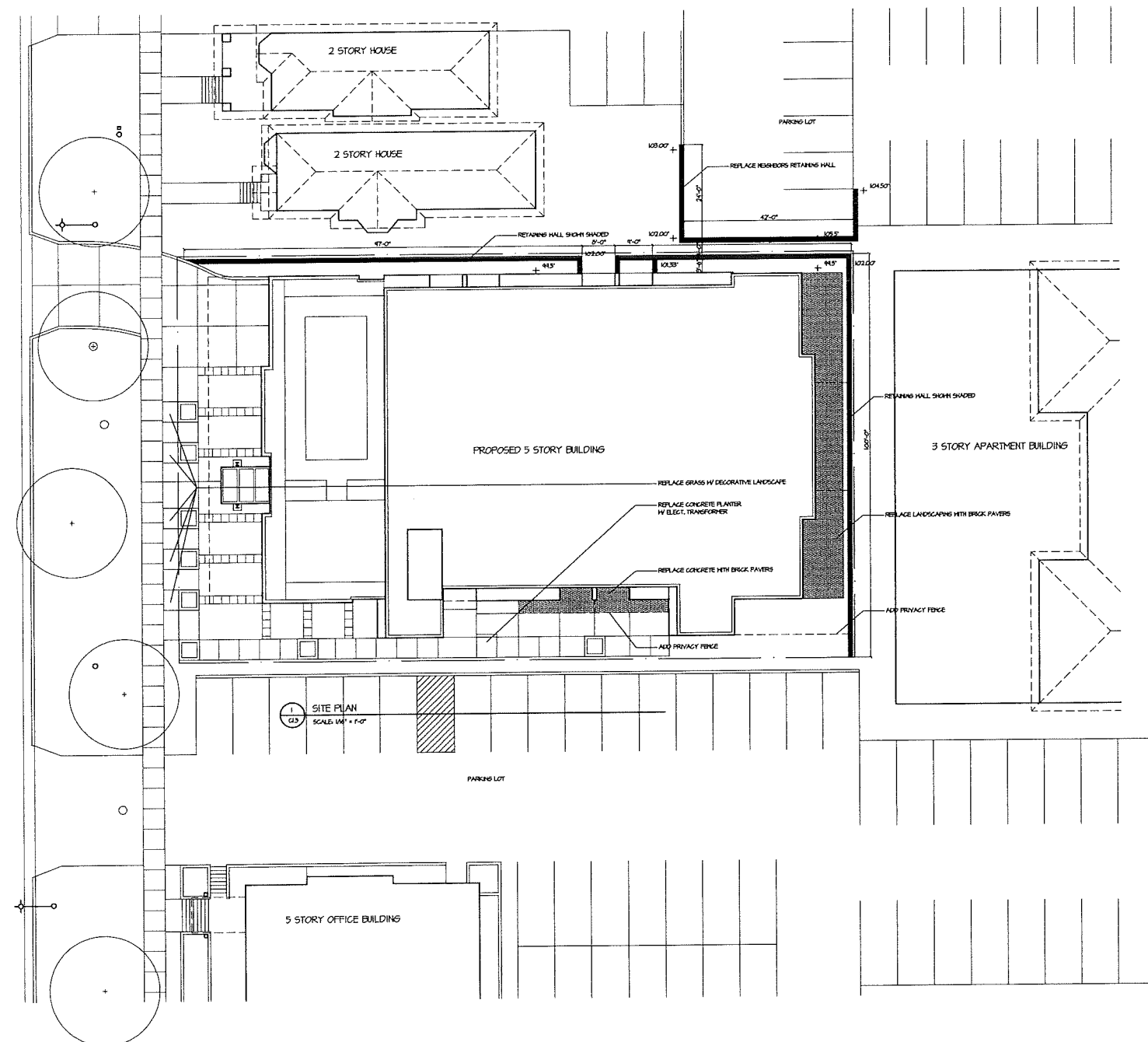
© 2013 Plandscape LLC, All rights reserved.

These Drawings and Specifications, and all copies thereof are and shall remain the property and copyright of the Landscape Architect. They shall be used only with respect to this project and are not to be used on any other project or work without prior written permission from the Landscape Architect.

Stamp:

Sheet Title: **Site Landscape Plan**
Sheet No: **L1.0**
1 of 1

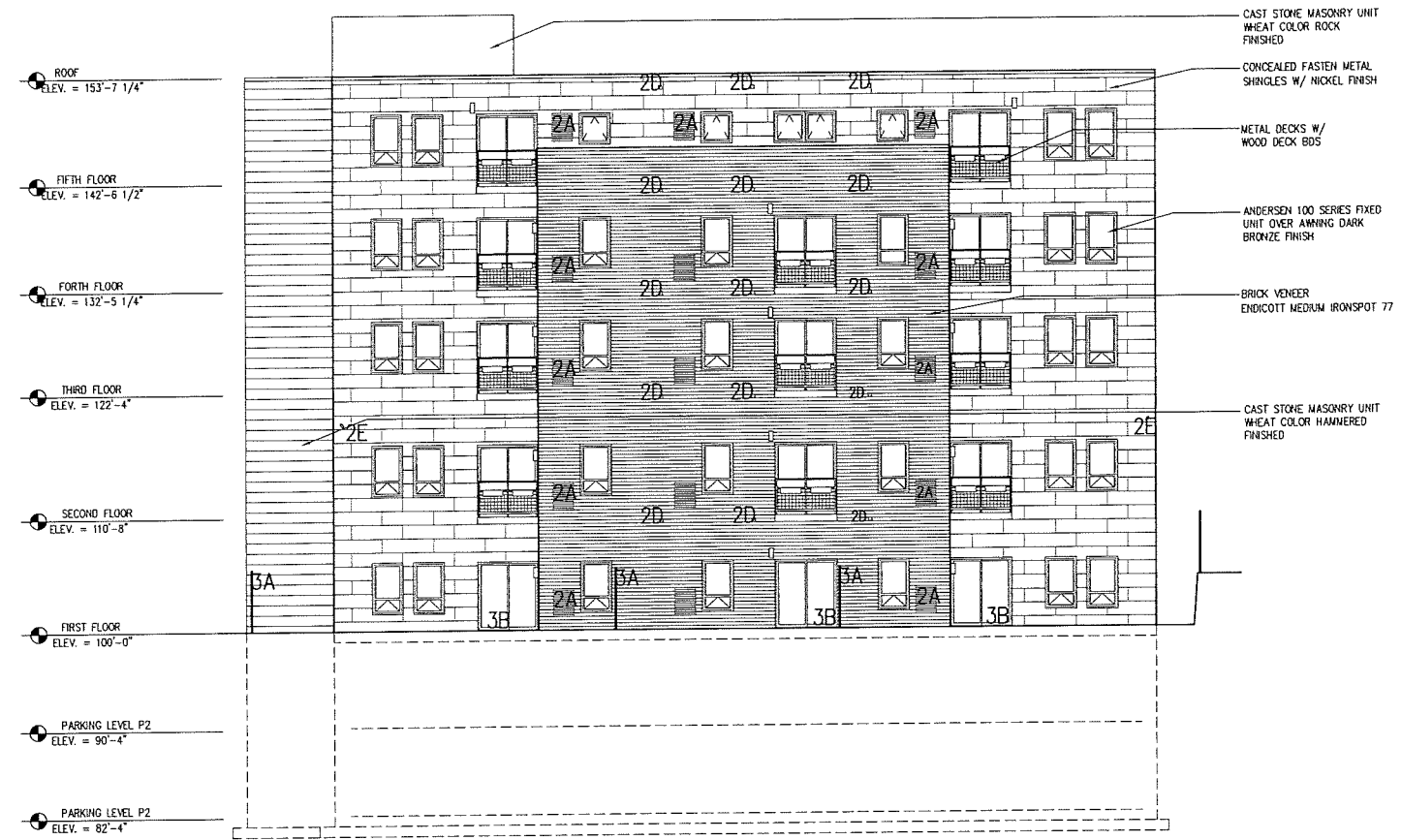
WEST WASHINGTON AVENUE



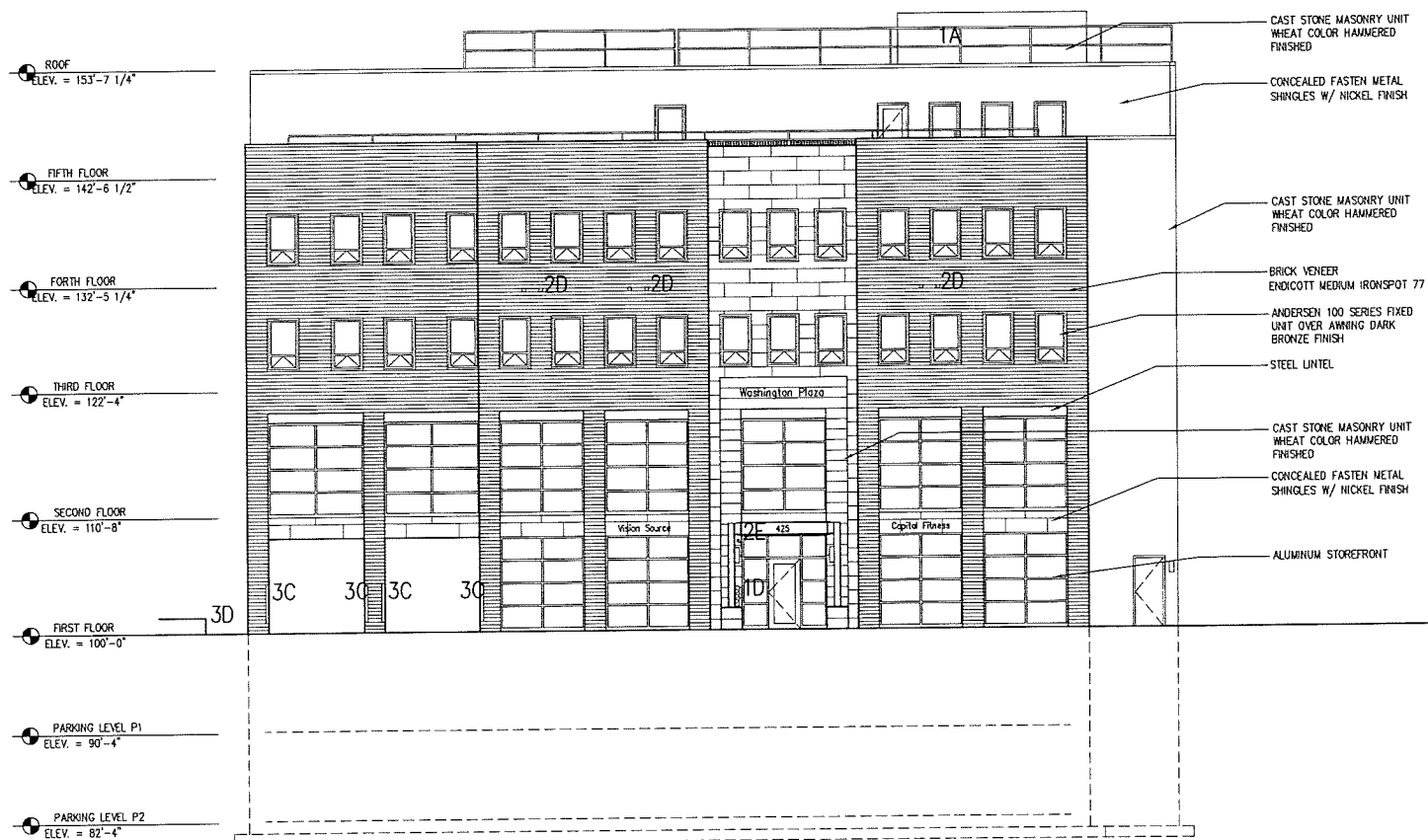
PROJECT
Washington Plaza
425 W. Washington Avenue
Madison, Wisconsin 53703
DRAWING
Site Plan Changes

DATA
Project # 20117
Date 08.08.12
Drawn by j.w.a.

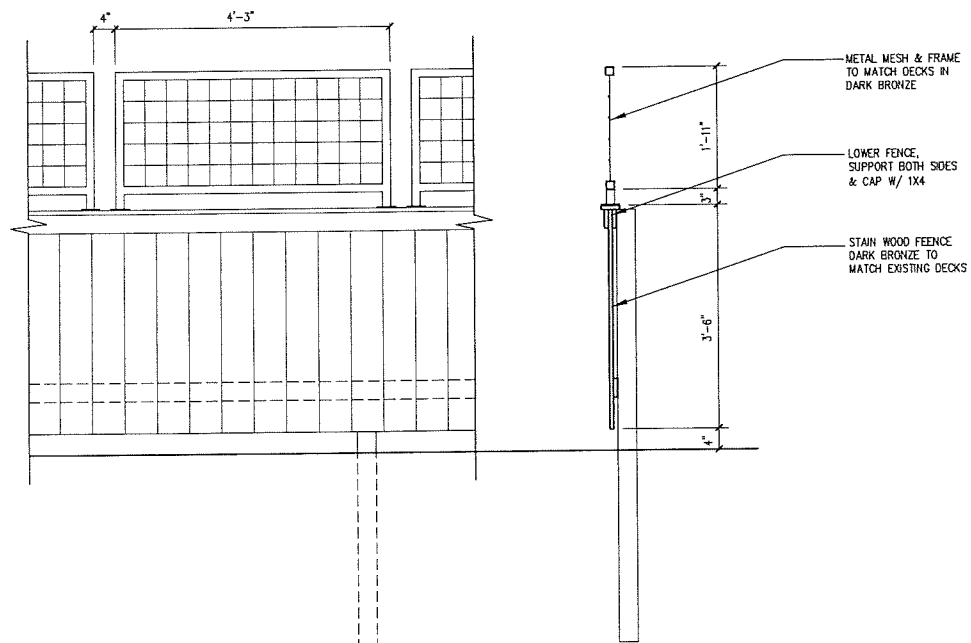
C1.5



2
A2.1
SOUTHEAST ELEVATION
SCALE 1/8" = 1'-0"



1
A2.1
NORTHWEST ELEVATION
SCALE 1/8" = 1'-0"

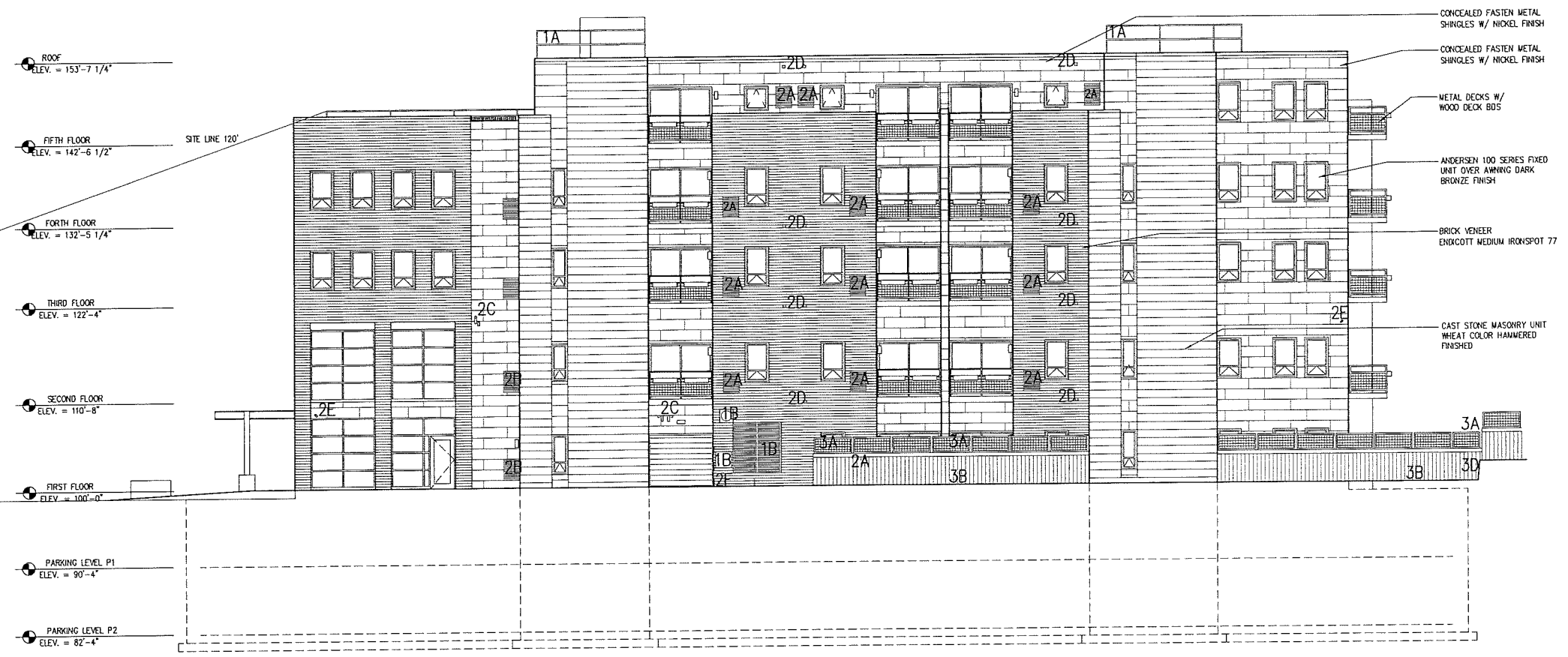


3
A2.1
FENCE DETAIL
SCALE 1/2" = 1'-0"

PROJECT
Washington Plaza
Residential
425 W. Washington Avenue
Madison, Wisconsin 53703
DRAWING
SE, NW, BUILDING ELEVATIONS

DATA
Project # 201533
Date 03.04.06
Drawn by JWA

A2.1



2
A2.2
SOUTHWEST ELEVATION
SCALE 1/8" = 1'-0"

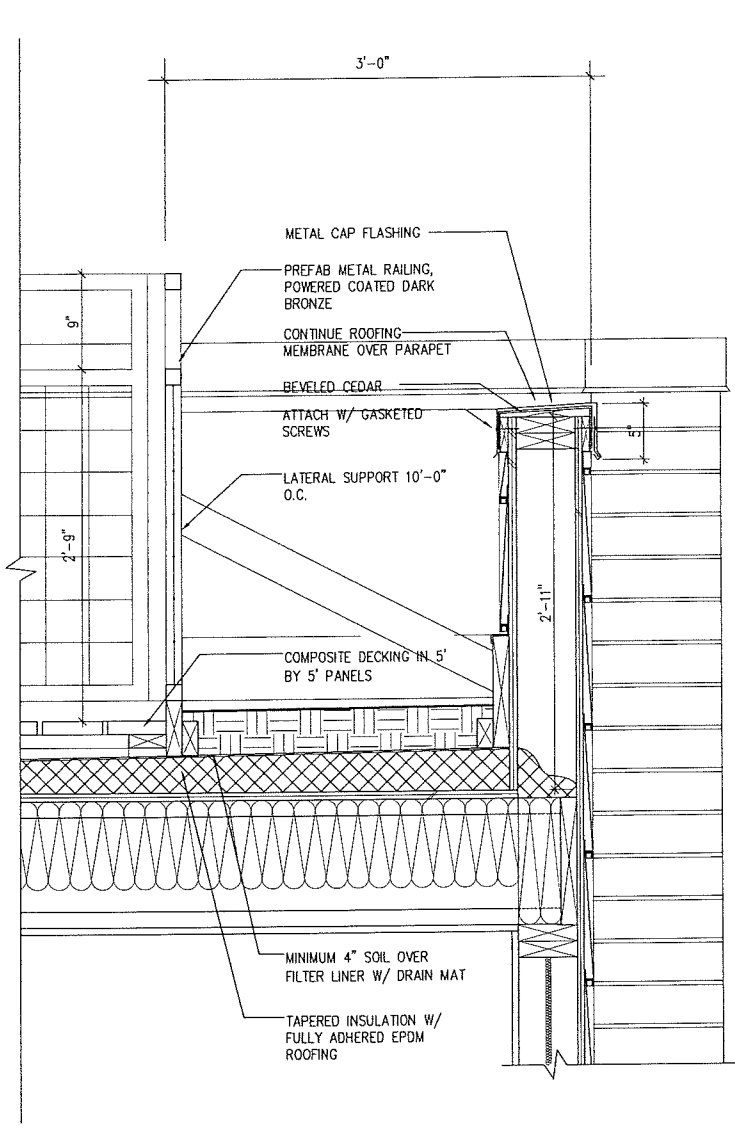


2
A2.1
NORTHEAST ELEVATION
SCALE 1/8" = 1'-0"

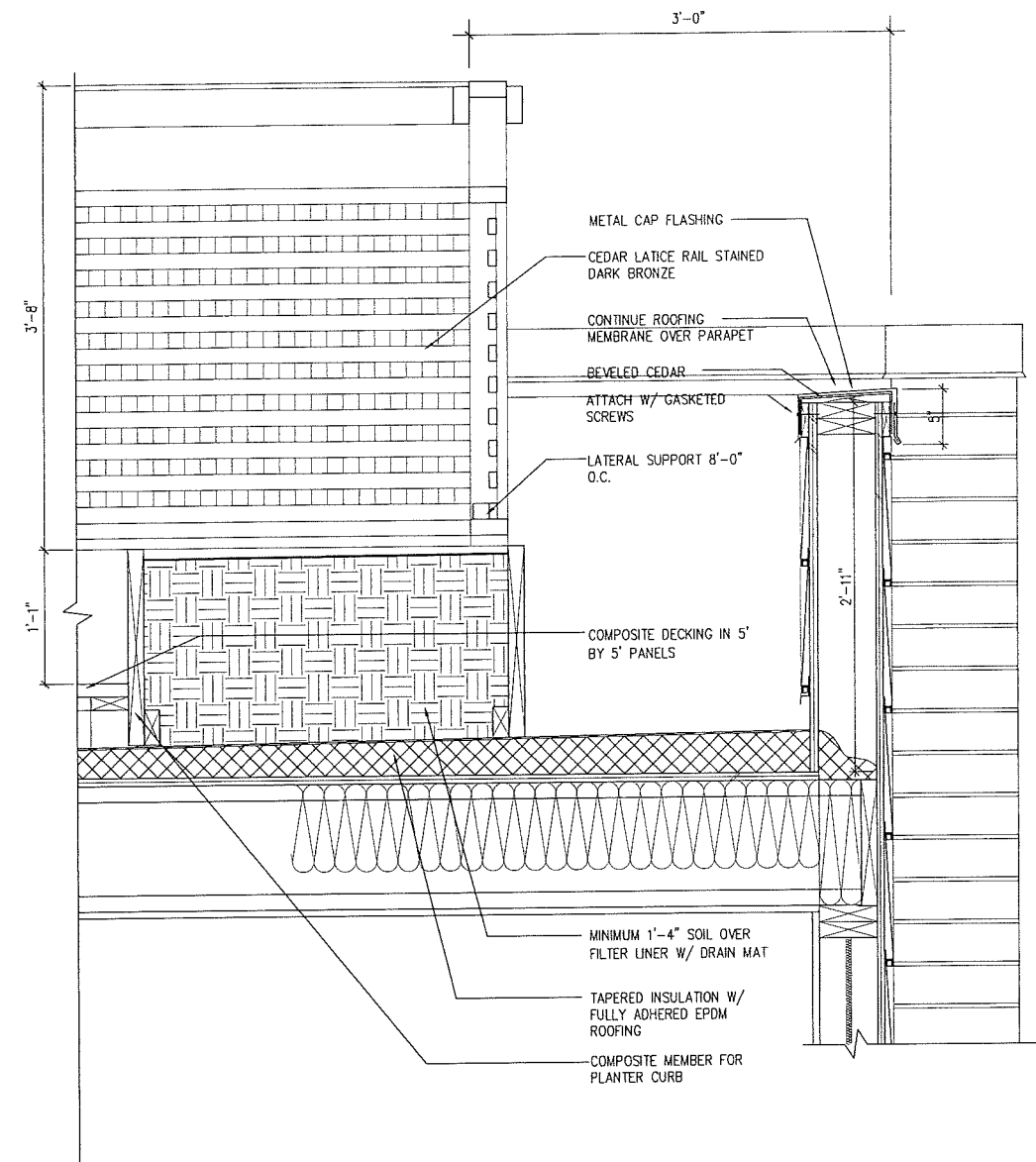
PROJECT
Washington Plaza
425 W. Washington Avenue
Madison, Wisconsin 53703
DRAWING
BUILDING ELEVATIONS

DATA
Project # 201333
Date 03.04.16
Drawn by j.w.a.

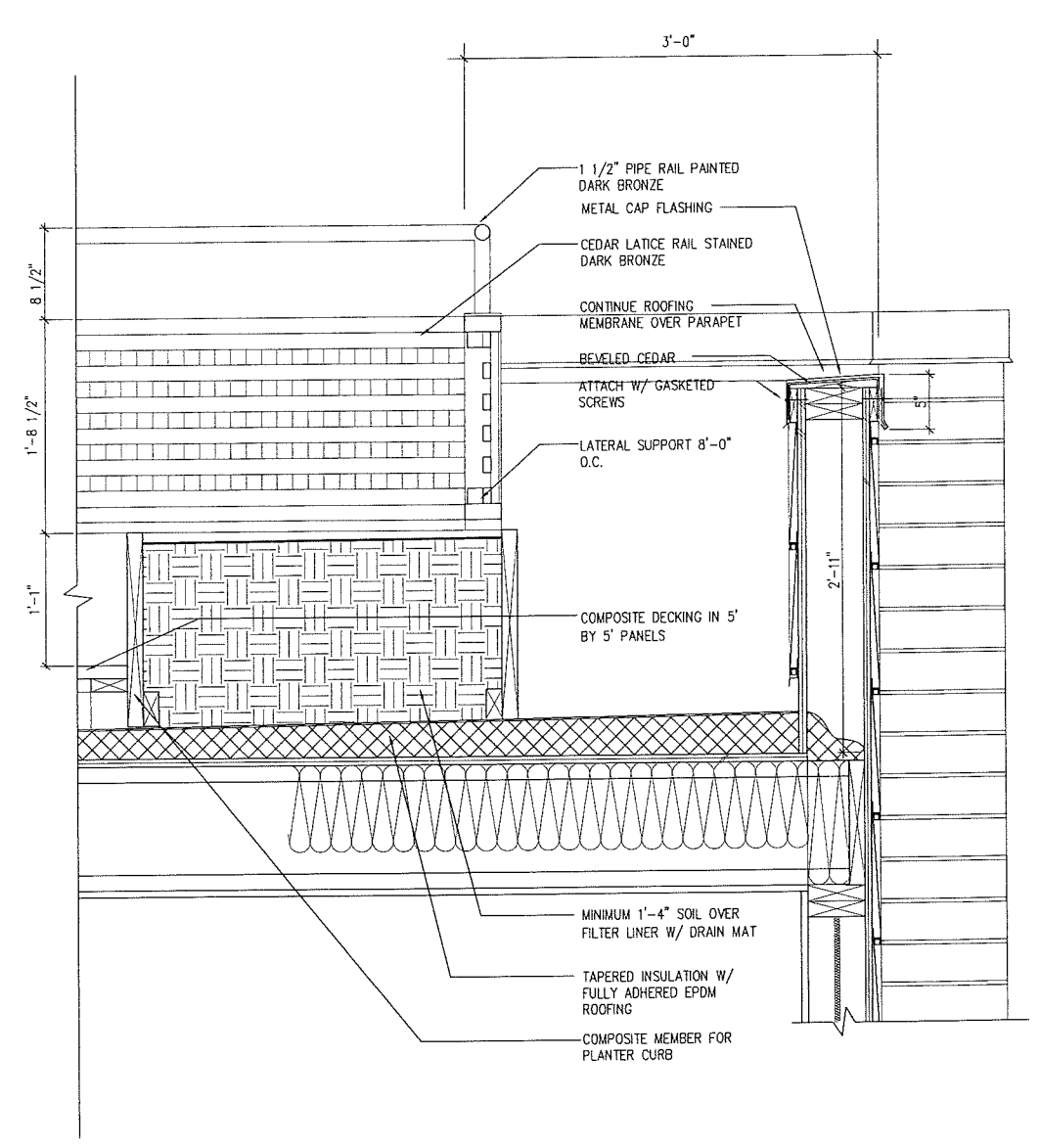
A2.2



1 ROOF TERRACE RAIL DETAIL - APPROVED
 A3.5 SCALE: 1 1/2" = 1'-0"



2 ROOF TERRACE RAIL DETAIL - BUILT
 A3.6 SCALE: 1 1/2" = 1'-0"



2 ROOF TERRACE RAIL DETAIL - PROPOSED
 A3.6 SCALE: 1 1/2" = 1'-0"

PROJECT
Washington Plaza
 Residential
 425 W. Washington Avenue
 Madison, Wisconsin 53703

DRAWING
 ROOFTOP TERRACE DETAILS

DATA
 Project # 201033
 Date 06.06.16
 Drawn by j.w.a.

A3.6

