

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM # \_\_\_\_\_**  
**Project # \_\_\_\_\_**  
04008

DATE SUBMITTED: <u>June 21, 2006</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>June 28, 2006</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 6001 Kilpatrick Lane

ALDERMANIC DISTRICT: District 9, Ald. Cnare

OWNER/DEVELOPER (Partners and/or Principals) DJK Real Estate, LLC. ARCHITECT/DESIGNER/OR AGENT: Vandewalle & Associates  
120 East Lakeside Street  
Madison, WI 53715

CONTACT PERSON: Brian Munson  
Address: 120 East Lakeside Street  
Madison, WI 53715  
Phone: (608) 255-3988  
Fax: (608) 255-0814  
E-mail address: bmunson@vandewalle.com

- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
  - Planned Commercial Site

(See Section B for:)  
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)  
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)  
 Comprehensive Design Review\* (Fee required)  
 Street Graphics Variance\* (Fee required)

Other \_\_\_\_\_



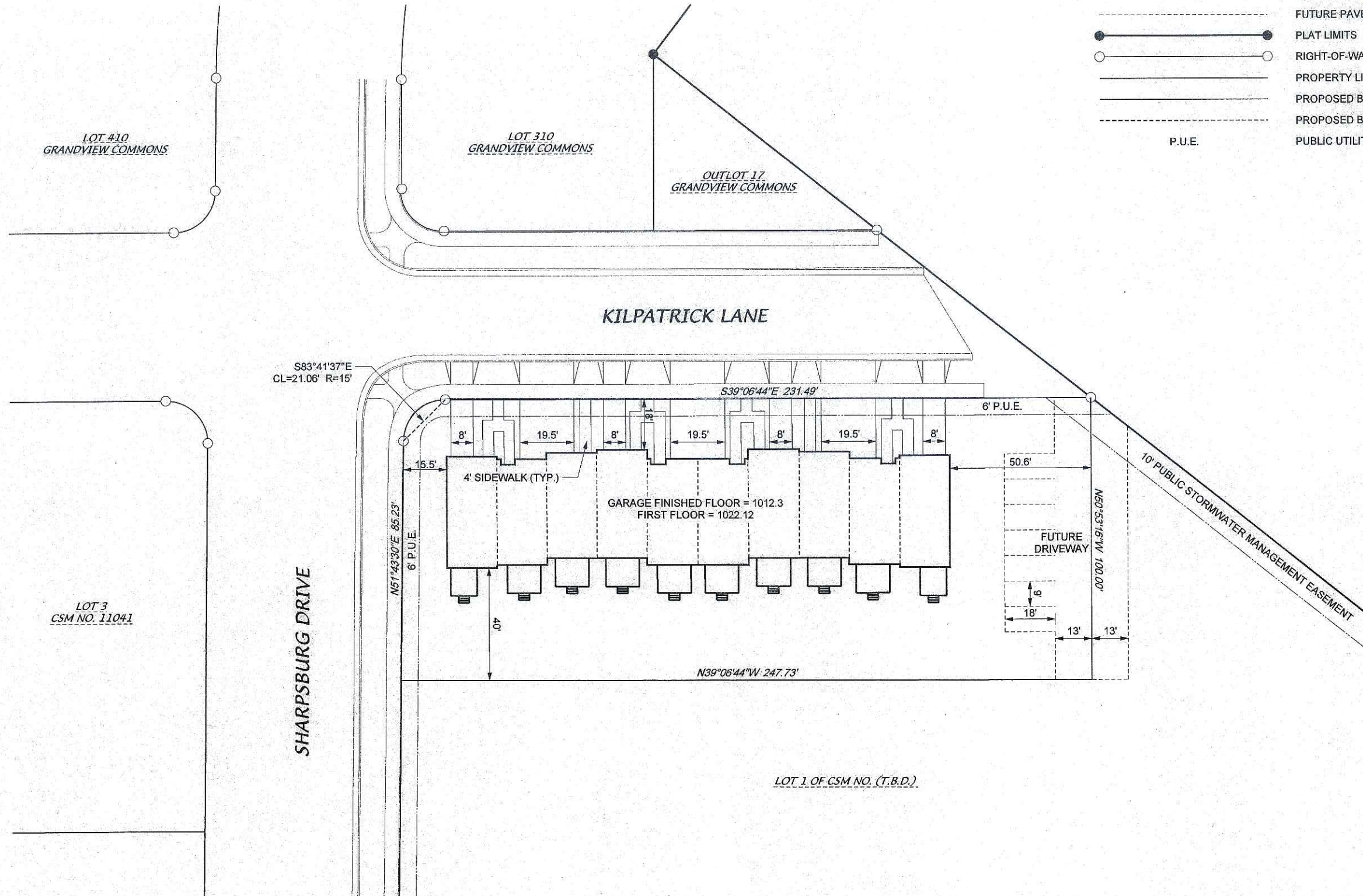
\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



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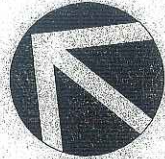
# Grandview Commons Town Center

*Madison, Wisconsin*



**LEGEND**

- UTILITY EASEMENT
- PROPOSED CONCRETE DRIVEWAY
- EXISTING CONC. CURB & GUTTER
- FUTURE PAVEMENT
- PLAT LIMITS
- RIGHT-OF-WAY
- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED BUILDING UNIT LINES
- P.U.E. PUBLIC UTILITY EASEMENT



SCALE: 1" = 20'

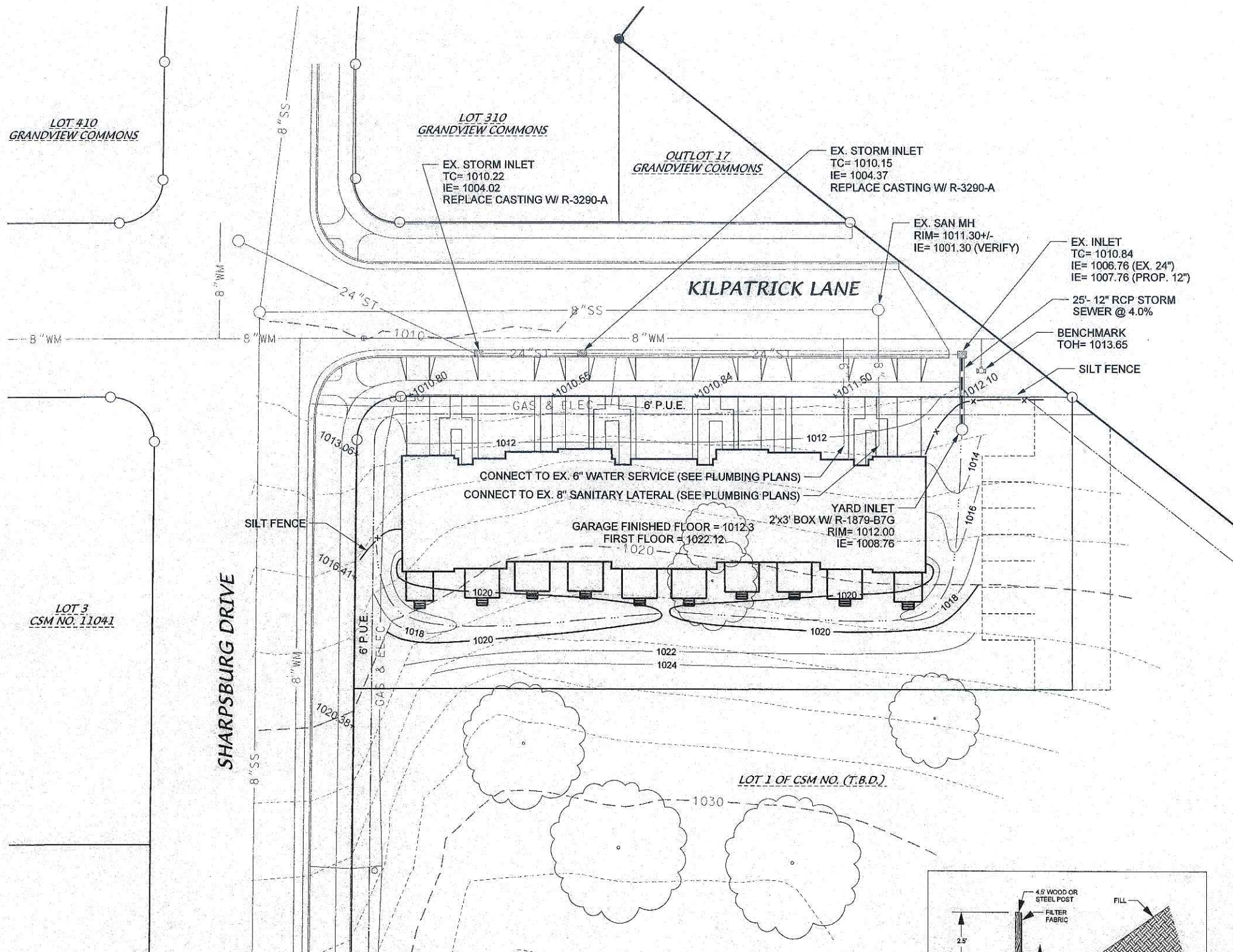
DATE: 06-15-06

FN: 06-03-107  
D&A, INC. C.T.L.

SITE PLAN  
**GRANDVIEW COMMONS - "C2 SITE"**  
**LOT 2 OF CSM NO. (T.B.D.)**  
**CURRENTLY PART OF LOT 3 OF CSM NO. 11058**  
 KILPATRICK LANE  
 CITY OF MADISON, WISCONSIN

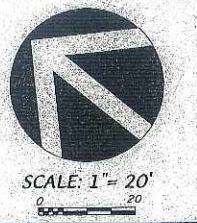
LOT AREA = 24,654 SF  
 FLOOR AREA = 20,786 SF  
 FLOOR AREA RATIO = 0.84  
 IMPERVIOUS AREA = 10,820 SF  
 IMPERVIOUS AREA RATIO = 0.44  
 SURFACE PARKING = 10 STALLS  
 GARAGE PARKING = 20 STALLS  
 TOTAL PARKING = 30 STALLS

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



**LEGEND**

	UTILITY EASEMENT
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING GAS & ELECTRIC LINES
	PROPOSED STORM SEWER
	EXISTING MANHOLE
	EXISTING INLET
	EXISTING CONC. CURB & GUTTER
	FUTURE PAVEMENT
	PROPOSED CONCRETE DRIVEWAY
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	SWALE / DRAINAGE ROUTE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	PLAT LIMITS
	RIGHT-OF-WAY
	PROPERTY LINE
	PROPOSED BUILDING
	PUBLIC UTILITY EASEMENT



DATE: 06-15-06

FN: 06-03-107  
DRAWN BY: CIL

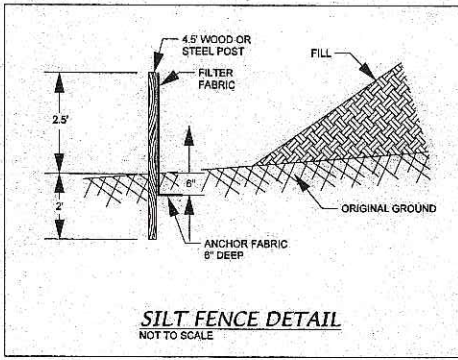
GRADING & UTILITY PLAN  
 GRANDVIEW COMMONS - "C2"  
 LOT 2 OF CSM NO. (T.B.D.)  
 CURRENTLY PART OF LOT 3 OF CSM #11058  
 KILPATRICK LANE  
 CITY OF MADISON, WISCONSIN

**UTILITY NOTES**

- 1) All site utilities shall conform to the City of Madison Standard Specifications, dated March 2004, and all subsequent addendums.
- 2) Site utility contractor shall notify the City of Madison prior to making any connections to the sanitary sewer.
- 3) The contractor shall make himself familiar with existing utilities and be responsible for their protection during construction.











**EROSION CONTROL NOTES**

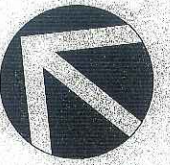
- 1) Upon completion of initial site grading, foundation excavation and backfill, silt fence shall be installed and all disturbed areas along the Kilpatrick Lane side of the building shall be covered with heavily applied straw mulch, woodchips or stone. The mulch or stone material shall be periodically reapplied as needed to maintain cover.
- 2) A temporary straw bale inlet filter shall be installed as soon as the yard inlet is set and maintained until permanent cover is established. The filter shall be inspected after every rainfall and cleaned as necessary.
- 3) Erosion control is the responsibility of the Contractor until acceptance of this project. Erosion control measures as shown on the approved plan shall be the minimum precautions allowed. The contractor shall be responsible for recognizing and correcting erosion control problems that are a result of construction activities.
- 4) Additional erosion control measures, as requested in writing by the City Inspector, shall be installed within 24 hours.
- 5) Any stockpiles on site for more than 10 days shall be stabilized with mulch, vegetative cover, tarp or other means approved by the City Inspector. Any stockpiles shall be located in the area south of the proposed building.
- 6) All disturbed areas are to be restored in accordance with the Landscape Plan, but at a minimum, lawn areas are to be restored with seed, fertilizer and mulch.
- 7) Any disturbed areas within the public street right-of-way shall be restored with 4" topsoil, seed, fertilizer and mulch.



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 Phone: 608.833.7530 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**LEGEND**

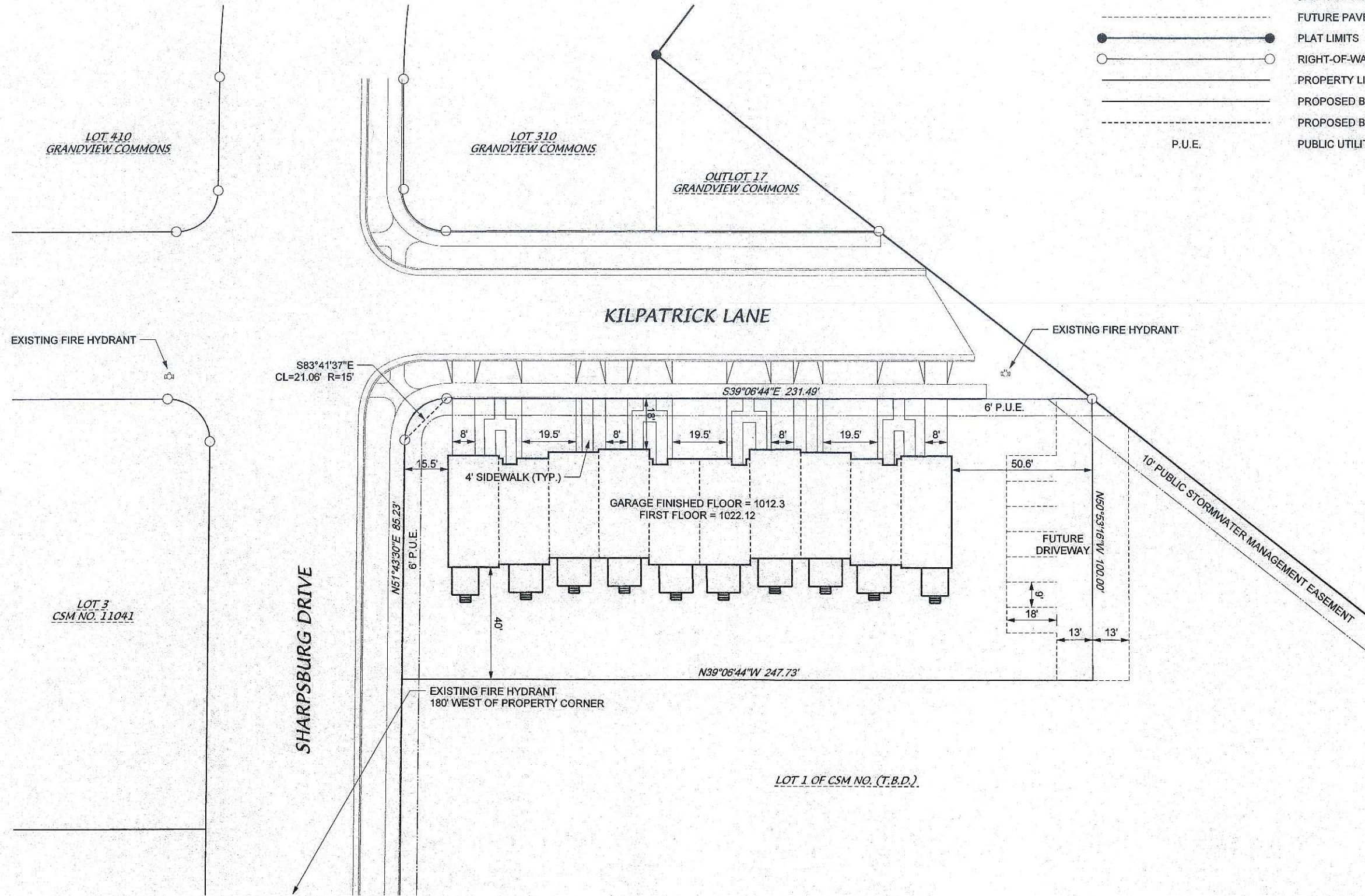
-  UTILITY EASEMENT
-  PROPOSED CONCRETE DRIVEWAY
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-  PROPOSED BUILDING UNIT LINES
-  P.U.E. PUBLIC UTILITY EASEMENT



SCALE: 1" = 20'

DATE: 06-15-06

FN: 06-03-107  
DRAWN BY: CTL



FIRE ACCESS PLAN  
**GRANDVIEW COMMONS - "C2 SITE"**  
**LOT 2 OF CSM NO. (T.B.D.)**  
**LOT 3 OF CSM NO. 11058**  
 CURRENTLY PART OF LOT 3 OF CSM NO. 11058  
 KILPATRICK LANE  
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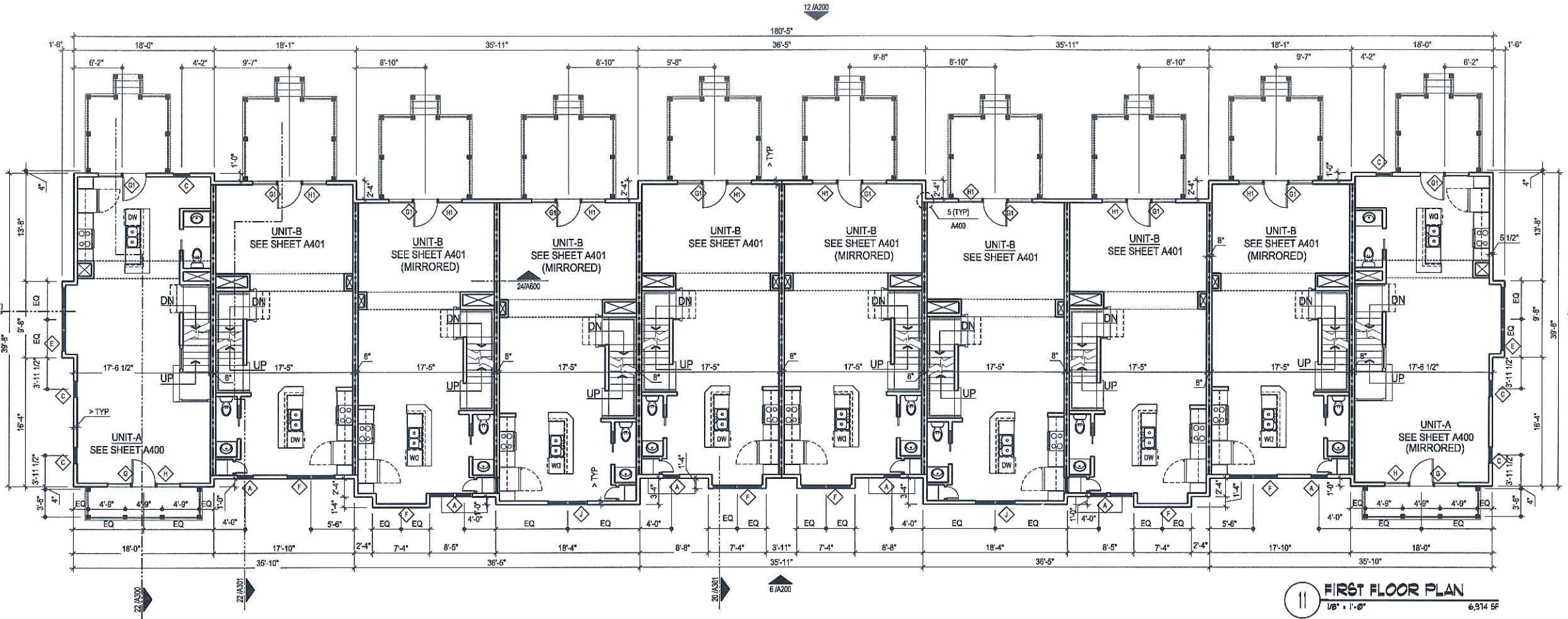


ISSUANCE AND REVISIONS

DATE	DESCRIPTION

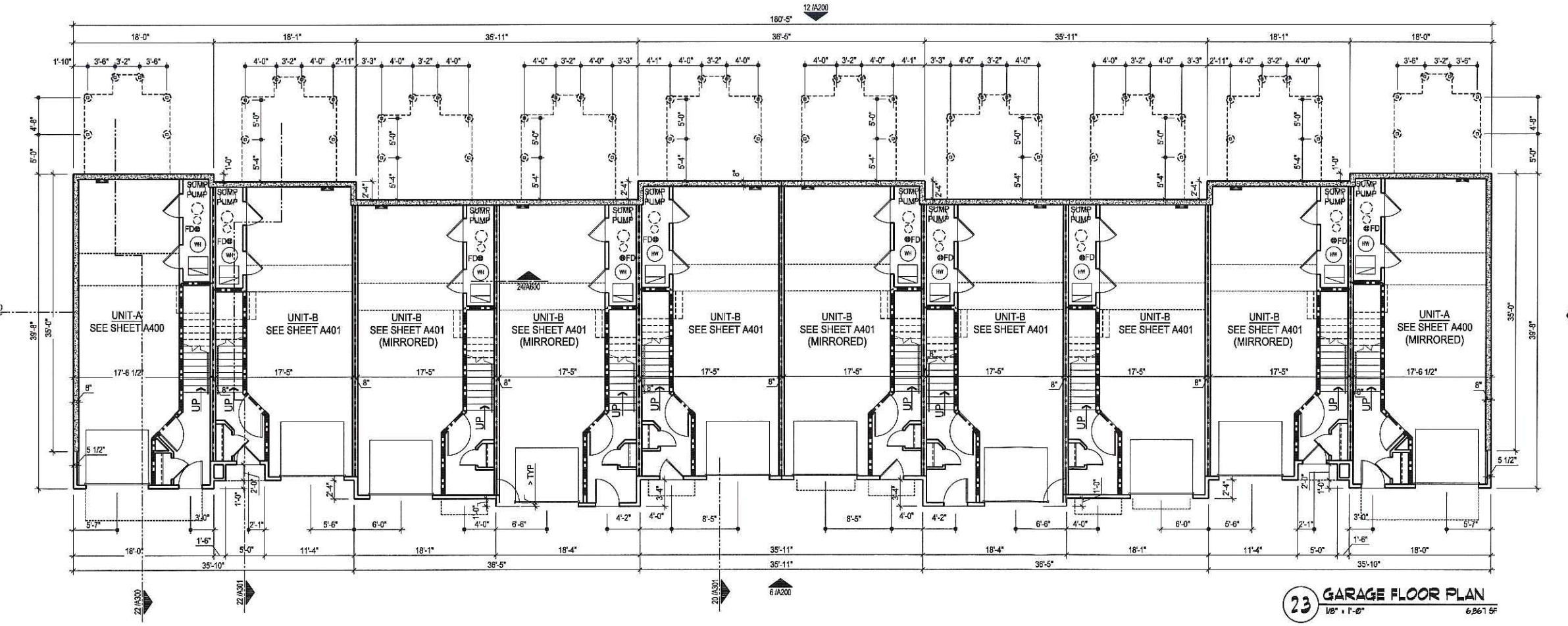
APPROVAL

SPACE PLAN	DD	CD
DATE		
NAME		
DEPARTMENT		



**GENERAL NOTES**

- DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- ALL FOUNDATION WALLS SHALL BE 8" THICK UNLESS OTHERWISE NOTED.
- VERIFY NUMBER OF RISERS # PORCHES w/ FINAL GRADE.
- ALL UNIT DEMISING WALLS ARE TO RUN FROM TOP OF FOUNDATION WALL TO BOTTOM OF ROOF SHEATHING. SEE SHEET A-600.
- 



**TOWNHOME WINDOW SCHEDULE**

ID TAG	WINDOW SIZE (NOMINAL)	WINDOW TYPE
1	(1) 2'-0" x 7'-0"	FIXED
2	(2) 2'-0" x 7'-0"	FIXED
3	(1) 2'-0" x 4'-0"	SINGLE HUNG
4	(2) 2'-6" x 6'-6"	SINGLE HUNG
5	(3) 2'-0" x 5'-0" w/ (3) 2'-0" x 1'-2" TRANSOM	SINGLE HUNG
6	(2) 3'-0" x 5'-6"	SINGLE HUNG
7	6'-0" x 6'-8" w/ 6'-0" x 1'-2" TRANSOM	CTR. SWING FRENCH DOOR
8	6'-0" x 6'-8" w/ 6'-0"	CTR. SWING FRENCH DOOR
9	3'-0" x 6'-8" w/ 3'-0" x 1'-2" TRANSOM	FIXED FRENCH DOOR
10	3'-0" x 6'-8" w/ 3'-0"	FIXED FRENCH DOOR
11	NOT USED	**
12	(2) 2'-0" x 5'-6" w/ (2) 2'-0" x 1'-2" TRANSOM	SINGLE HUNG

**WINDOW NOTES:**

- ALL 3'-0" WIDE BEDROOM WINDOWS & PATIO DOORS MUST MEET EGRESS CLEARANCE REQUIREMENTS - VERIFY WITH MANUFACTURER.
- PROVIDE TEMPERED GLASS AT ALL SASHES AT THE FOLLOWING LOCATIONS:  
- WITHIN 2'-0" OF EXIT/ENTRANCE DOORS OR  
- WITHIN 7'-0" OF THE FLOOR
- VERIFY R.O. SIZES WITH MANUFACTURER
- R.O. SIZES FOR MULTIPLE WINDOW UNITS: FOR WEATHERSHIELD VISION 2000 WINDOWS, SUBTRACT 1/4" FROM THE R.O. FOR EACH ADDITIONAL WINDOW BEYOND A SINGLE.



### GENERAL NOTES

1. DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
2. ALL FOUNDATION WALLS SHALL BE 6" THICK UNLESS OTHERWISE NOTED.
3. VERIFY NUMBER OF RISERS @ PORCHES w/ FINAL GRADE.
4. ALL UNIT DEMISING WALLS SHALL BE TO RUN FROM TOP OF FOUNDATION WALL TO BOTTOM OF ROOF SHEATHING. SEE SHEET A-600.
- 5.

PROJECT  
**GRANDVIEW COMMO BUILDING - 'C2'**  
KILPATRICK LANE  
MADISON, WISCONSIN

### ROOF NOTES

1. ALL EXHAUST PIPE PENETRATIONS SHALL BE LOCATED AT THE REAR ELEVATIONS.
2. GUTTERS & DOWNSPOUTS  
PROVIDE PREFINISHED 5" TYPE-K GUTTERS AND 3" CORRUGATED RECTANGULAR DOWNSPOUTS UNLESS OTHERWISE NOTED. CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.
3. ALL EAVE OVERHANGS SHALL BE 1'-2" UNLESS OTHERWISE NOTED.
4. ALL RAKE OVERHANGS SHALL BE 1'-2" UNLESS OTHERWISE NOTED.
5. PROVIDE ICE WATER SHIELD @ ALL EAVES, VALLEYS, ROOF SADDLES & WALL/ROOF INTERSECTIONS. RUN ICE WATER SHIELD 3'-0" MIN FROM FACE OF WALL @ EAVE LOCATIONS AND 3'-0" MIN IN EACH DIRECTION @ VALLEY LOCATIONS. RUN ICE WATER SHIELD UP VERTICAL FACE OF WALL 1'-6" MIN.

### PROGRESS DOCUMENTS

These documents reflect progress and intent and may change, including additional detail. These are not final documents and should not be utilized for final building-related purposes.

### ISSUANCE AND REVISIONS

DATE	DESCRIPTION

### UDC SUBMITTAL

SHEET TITLE  
**SECOND FLOOR PLAN**  
ROOF PLAN & WINDOW SCHEDULE

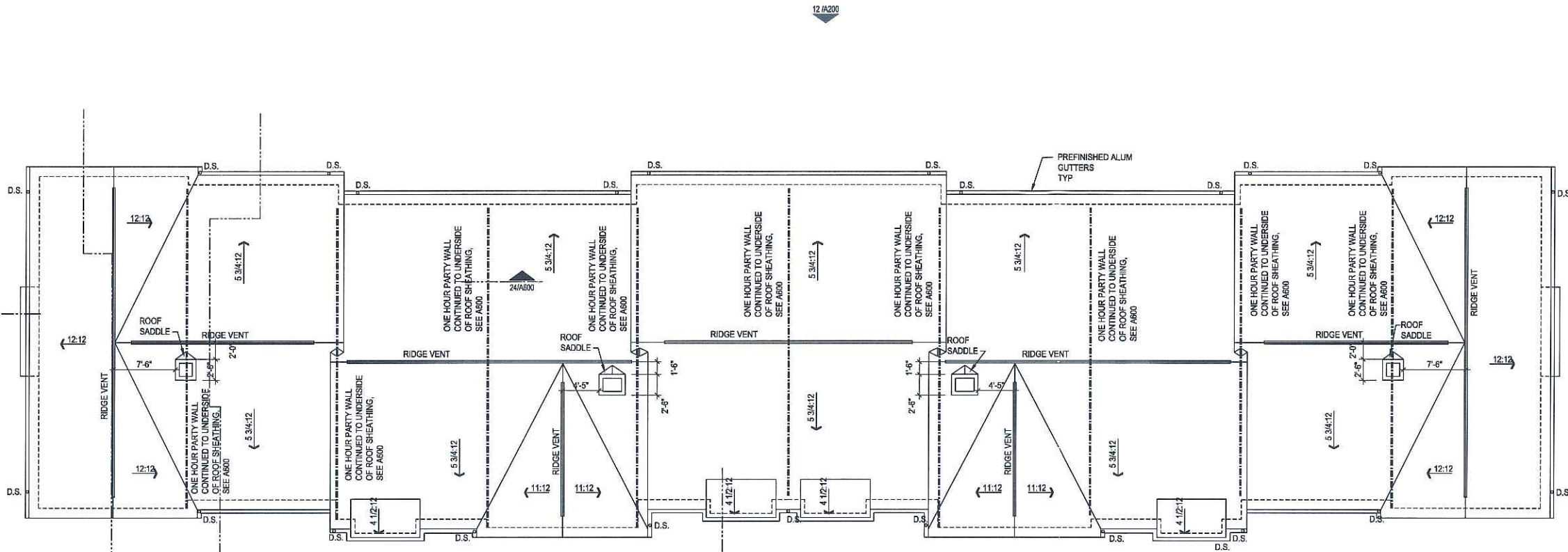
APPROVAL		
SPACE PLAN	DD	CD
DATE		
NAME		
DEPARTMENT		

PROJECT MANAGER

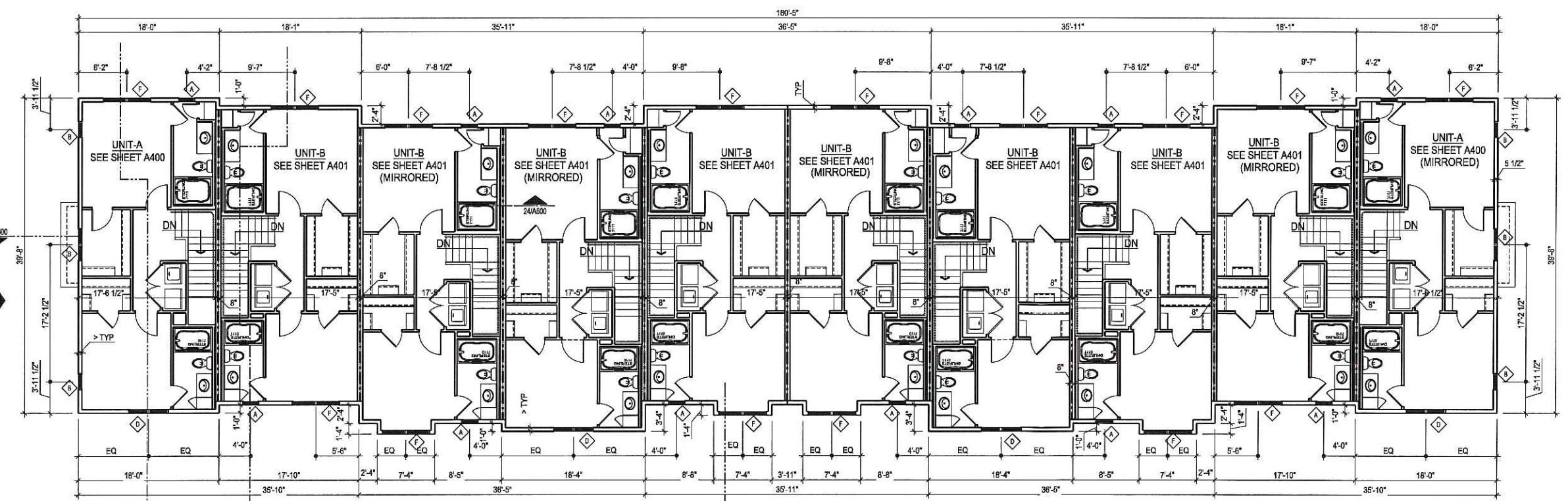
PROJECT NUMBER

DATE JUN

SHEET NUMBER



**11**  
ROOF PLAN  
1/8" = 1'-0"



**23**  
SECOND FLOOR PLAN  
1/8" = 1'-0" 6,345 SF

### TOWNHOME WINDOW SCHEDULE

ID TAG	WINDOW SIZE (NOMINAL)	WINDOW TYPE
⋄1	(1) 2'-0" x 2'-0"	FIXED
⋄2	(2) 2'-0" x 2'-0"	FIXED
⋄3	(1) 2'-0" x 4'-0"	SINGLE HUNG
⋄4	(2) 2'-6" x 6'-6"	SINGLE HUNG
⋄5	(3) 2'-8" x 5'-0" W/ (3) 2'-8" x 1'-2" TRANSOM	SINGLE HUNG
⋄6	(2) 3'-0" x 5'-6"	SINGLE HUNG
⋄7	6'-0" x 6'-8" W/ 6'-0" x 1'-2" TRANSOM	CTR SWING FRENCH DOOR
⋄8	6'-0" x 6'-8" W/ 6'-0"	CTR SWING FRENCH DOOR
⋄9	3'-0" x 6'-8" W/ 3'-0" x 1'-2" TRANSOM	FIXED FRENCH DOOR
⋄10	3'-0" x 6'-8" W/ 3'-0"	FIXED FRENCH DOOR
⋄11	NOT USED	---
⋄12	(2) 2'-8" x 5'-6" W/ (2) 2'-8" x 1'-2" TRANSOM	SINGLE HUNG

- WINDOW NOTES:
1. ALL 3'-0" WIDE BEDROOM WINDOWS & PATIO DOORS MUST MEET EGRESS CLEARANCE REQUIREMENTS - VERIFY WITH MANUFACTURER.
  2. PROVIDE TEMPERED GLASS AT ALL SASHES AT THE FOLLOWING LOCATIONS:  
- WITHIN 2'-0" OF EXIT/ENTRANCE DOORS OR  
- WITHIN 2'-0" OF THE FLOOR
  3. VERIFY R.O. SIZES WITH MANUFACTURER
  4. R.O. SIZES FOR MULTIPLE WINDOW UNITS: FOR WEATHERSHIELDED VISION 2000 WINDOWS, SUBTRACT 1/4" FROM THE R.O. FOR EACH ADDITIONAL WINDOW BEYOND A SINGLE.



**EPPSTEIN U**  
ARCHITECT

MILWAUKEE 333 East Chicago  
Milwaukee, Wis  
tel 414 271 5350 fax

MADISON 222 West Washington  
Madison, Wisc  
tel 608 442 5350 fax

PROJECT  
**GRANDVIEW COMMO  
BUILDING - 'C2'**

**KILPATRICK LANE  
MADISON, WISCONSIN**

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may change, including additional detail. These are not final documents and should not be utilized for final bidding related purposes.

ISSUANCE AND REVISIONS

DATE	DESCRIPTION

**UDC SUBMITTAL**

SHEET TITLE  
**EXTERIOR ELEVATION  
MATERIAL KEY**

APPROVAL

SPACE PLAN (20% ENHANCED)	DD	CD
DATE		
NAME		
DEPARTMENT		

PROJECT MANAGER

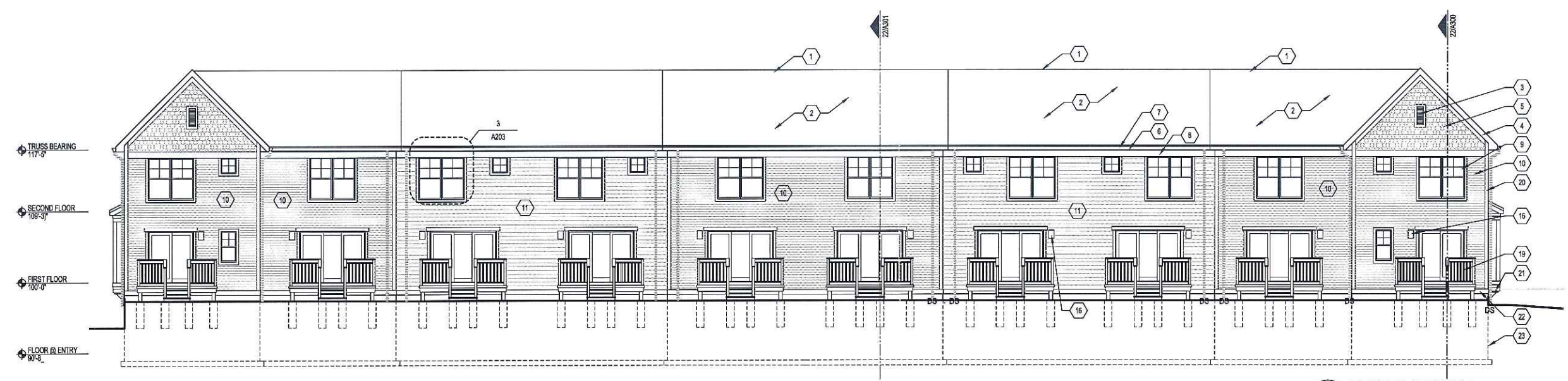
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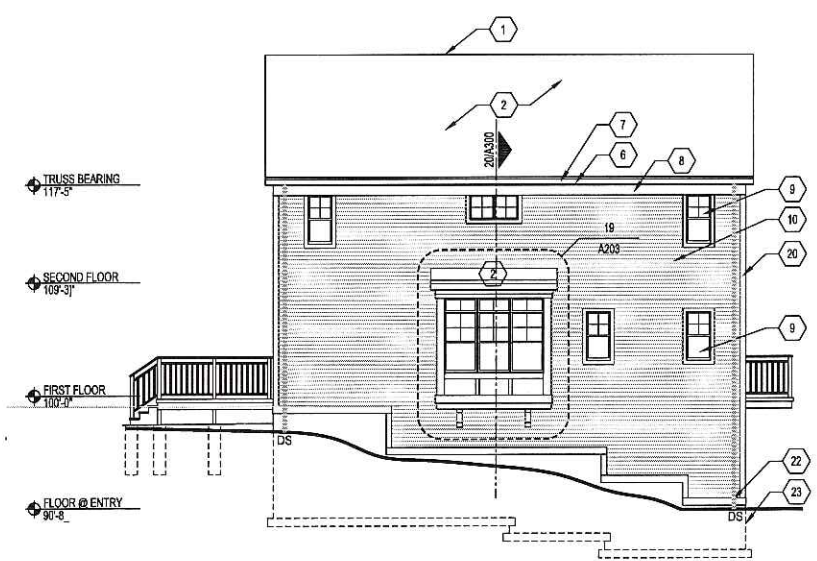
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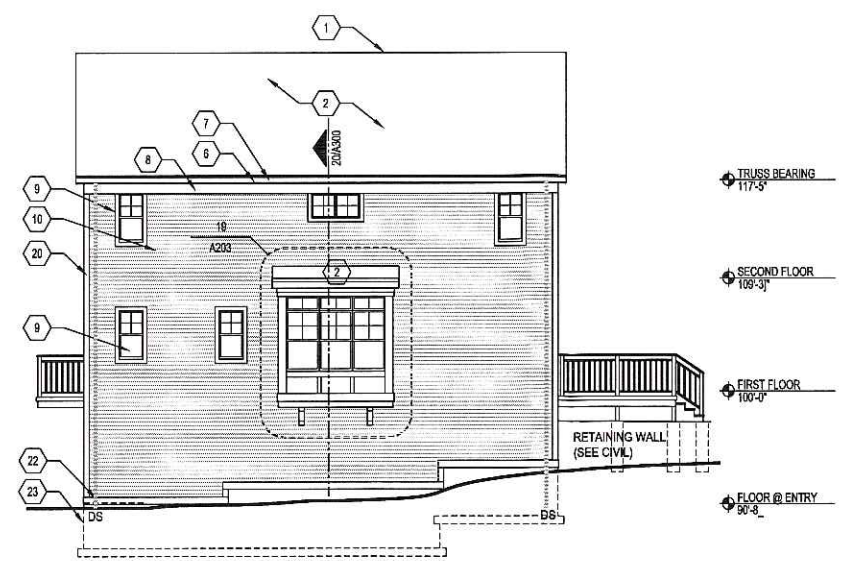
**6 FRONT ELEVATION**  
1/8" = 1'-0"



**12 REAR ELEVATION**  
1/8" = 1'-0"



**20 SIDE ELEVATION**  
1/8" = 1'-0"



**22 SIDE ELEVATION**  
1/8" = 1'-0"

TOWNHOUSE MATERIAL KEY		13	5 1/2" "AZEK" TRIM (PAINT)	20	5 1/2" "AZEK" CORNER TRIM (PAINT)
1	SHINGLED RIDGE VENT	7	ALUMINUM GUTTERS & DOWNSPOUTS	14	"AZEK" TRIM (SIZE VARIES) (PAINT)
2	FIBERGLASS SHINGLES TYPICAL AT ALL SLOPED ROOF ASSEMBLIES	8	TYPICAL FRIEZE BOARD 5/4x8 "AZEK" TRIM (SEE SECTIONS) (PAINT)	15	SMOOTH FINISH CEMENT BOARD PANEL (PAINT)
3	"NU-WOOD" 12" x 24" DECORATIVE GABLE VENT	9	SINGLE HUNG VINYL WINDOWS SEE 3 & 4/A203 FOR TRIM DETAILS	16	EXTERIOR LIGHT FIXTURE LOCATION (KITCHLER MODEL # 9641PZ)
4	TYPICAL RAKE PREFINISHED ALUMINUM WRAPPED & RAKE FASCIA	10	CEMENT BOARD SIDING 'A' 4" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR	17	PAINTED WOOD TRELLIS - SEE 22/A500
5	SHAKE CEMENT BOARD SIDING (PAINT)	11	CEMENT BOARD SIDING 'B' 6" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR	18	8"x10" PAINTED CEMENT BOARD ADDRESS PLATE (1/2" ROUTERED EDGES)
6	TYPICAL FASCIA "QUALITY EDGE" PREFINISHED ALUMINUM WRAPPED & FASCIA ON 2x6 SUB-FASCIA	12	3 1/2" "AZEK" TRIM (PAINT)	19	PAINTED WOOD RAILING
				21	DECORATIVE BRACKET (SEE DETAIL V4500)
				22	TYPICAL SKIRT BOARD 5/4x8 "AZEK" TRIM (PAINT)
				23	CONCRETE FOUNDATION
				24	PREFINISHED METAL CHIMNEY CAP
				25	CEMENT BOARD SIDING 'C' 4" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR
				30	NOT USED

RETAINING WALL (SEE CIVIL)



**LANDSCAPE NOTES**

**GENERAL**  
 Digging  
 Contact local Digger's Hotline prior to any digging.  
 Topsoil  
 Topsoil shall be classified as a sandy loam soil to silty loam. No organic topsoil from poorly sources will be accepted. Topsoil imported from a local supplier shall be stippled and stockpiled for more than 12 months to be relatively free of viable weed seeds. Topsoil shall be sifted and/or screened to be free of stones and clay lumps, plants or other extraneous materials.  
 Fine Grading  
 Inspect site and verify that adequate topsoil has been provided for all seed and planting beds. Remove all trash and stones exceeding 2 inches in diameter from areas to a depth of 2 inches prior to bed preparation and planting. Fine grade to within 1/2" of finished grade. All lawn areas to be sloped evenly to ahead drain and approximate contours on grading plan.  
 Boulder Retaining Walls  
 Walls shall be made with fieldstone boulders varying in size from 8" to 36" in diameter. Obtain approval from landscape architect for specific type and source of boulders prior to ordering material. Each wall shall be uniform flat elevation across the top, with variation along the bottom elevation per grading plan.  
 PLANTING  
 Plant starter mix  
 A 2:1 ratio mix of two parts peat moss and one part manure. Available at certified peat & sod, New Berlin, WI (414-542-2270 for information) or approved equal.  
 Substitutions  
 Substitutions/changes of plantings must be approved by landscape architect.  
 Plant spacing  
 Landscape contractor shall stake trees and shrub locations in the field and obtain approval from landscape architect prior to planting.  
 Trees  
 Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Tree holes to be at least 2 times the spread diameter of the root ball. Use shovel to rough up sides of exposed walls. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.  
 Shrubs  
 Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.  
 Perennials  
 Condition topsoil in perennial planting beds by adding 3" plant starter mix. Add bone meal and nitrogen, each at the rate of 1-2 lbs. per 100 S.F. Add granular sulfur at the rate of 3-4 lbs. per 100 S.F. Retain to level and re-grade as necessary. Set plant depth to be same as grown in nursery. Water in well.

**MULCHING**  
 Install a 3" layer of shredded bark throughout tree, shrub, and perennial planting beds. For trees in lawn, install a 4-6" diameter circle of mulch around each tree. Do not allow mulch to touch plant stems. Contractor shall provide shredded bark mulch from disease-free hardwood trees. Provide generally flat bark, maximum of 1" wide and 4" long, graded down to sawdust, and relatively free of deleterious matter.

**BED EDGING**  
 All planting beds adjacent to turf areas shall be edged with a straight-face poly-vinyl edging, Slim-Edg, by City-Ofia Edgings, Inc., or approved equal. Install per manufacturer's instructions.

**TURF SEEDING**  
 Proportions by common name by weight  
 A. Blanton Kentucky bluegrass 20 %  
 B. Liberty Kentucky bluegrass 20 %  
 C. Perennial ryegrass 20 %  
 D. Perennial ryegrass 20 %  
 E. Fescue II perennial ryegrass 20 %  
 Apply at the rate of 5 Lbs. per 1000 S.F.  
 Method of grass seeding may be varied at discretion of Contractor on their responsibility to establish smooth, uniform turf composed of the grasses specified.  
 • Spread lawn fertilizer per manufacturer's specifications.  
 • Do not seed following rain or if surface has been compacted by rain.  
 • Do not seed when wind velocity exceeds 8 m.p.h.  
 • Method of mulching may be varied at discretion of contractor. Fiber mulch to be mixed with seed and fertilizer if hydroseeding. Or, protect seeded areas by spreading straw mulch to form a continuous blanket over seeded areas.  
 • Keep seeded moist for next 4 weeks.

**MAINTENANCE**  
 Maintenance Period - Contractor shall provide regular maintenance until a date of 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.

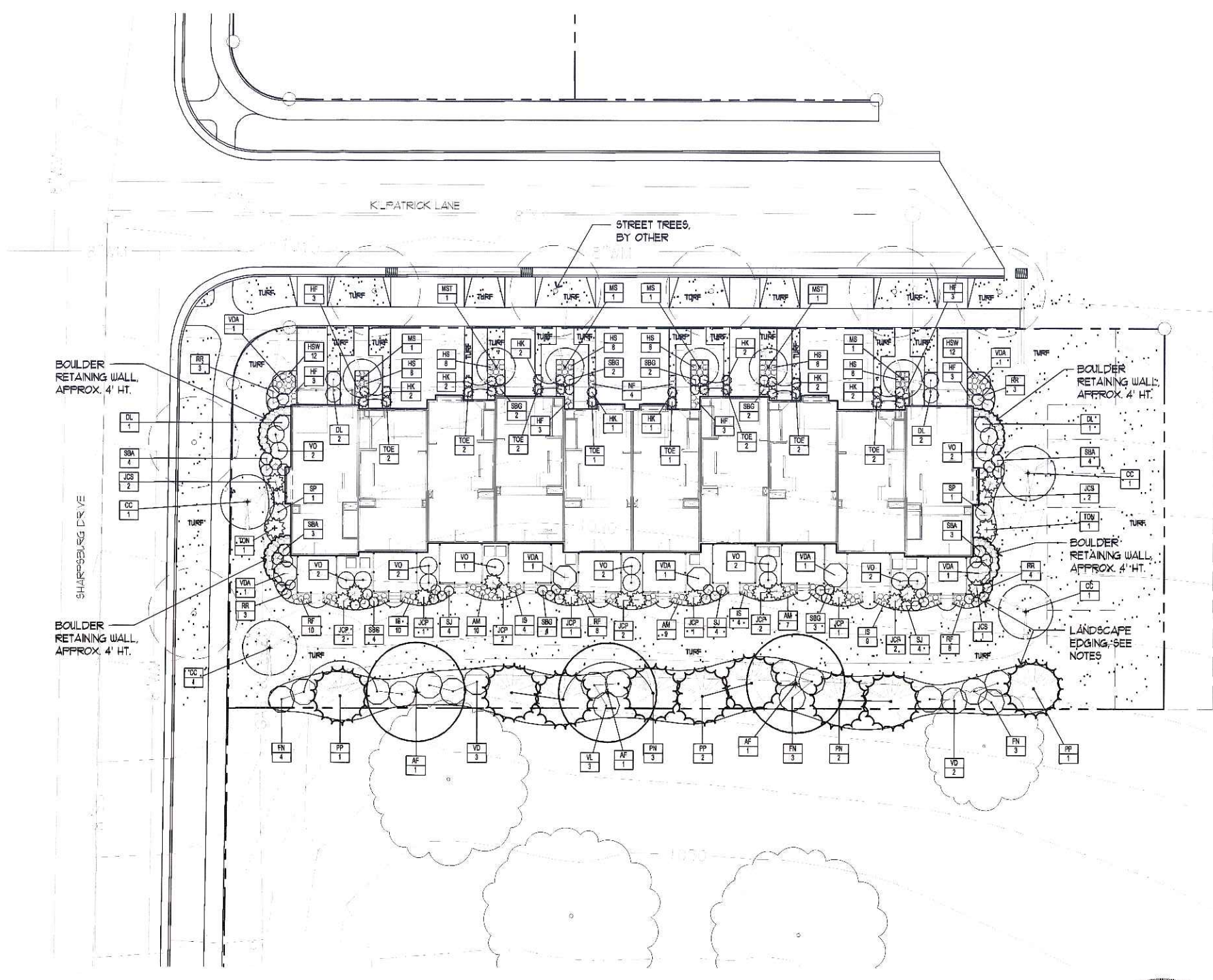
**PLANT GUARANTEE**  
 The landscape contractor shall guarantee to replace, once, without charge, any woody plant material (deciduous or evergreen trees & shrubs) that dies within one year of installation, providing the owner gives normal plant care (regular watering). The owner must report plant losses within the guarantee period.

**PLANTING SCHEDULE**

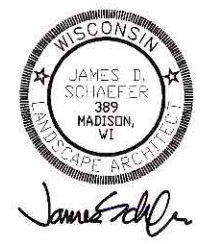
Deciduous Trees									
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS	
AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	3	2.5' Cal.	B/B	As shown			
Evergreen Trees									
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS	
PP	Picea pungens	Colorado Green Spruce	4	6' Ht.	B/B	As shown	15	60	
PN	Pinus nigra	Austrian Pine	5	6' Ht.	B/B	As shown	15	75	
Ornamental Trees									
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS	
CC	Crataegus crusgalli var. inermis	Thornless Cockspur Hawthorn	4	2" Cal.	B/B	As shown	15	60	
MS	Malus x 'Sentinel'	Sentinel Crab	4	2" Cal.	B/B	As shown	15	60	
MST	Malus x 'Sugar Lyme'	Sugar Lyme Crabapple	2	2" Cal.	B/B	As shown	15	30	
Deciduous Shrubs									
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS	
DL	Dierrevia lonicera	Dwarf-bush Honeysuckle	6	2' Gal.	Container	54" o.c.	2	12	
FN	Forsythia x Northern Gold	Northern Gold Forsythia	10	36" Ht.	B/B	60" o.c.	2	20	
HK	Hypericum kalmianum 'Ames'	Ames Kalm St. Johnswort	14	2' Gal.	Container	36" o.c.	2	28	
RR	Rosa Red Meidland	Red Meidland Rose	13	2' Gal.	Container	30" o.c.	2	26	
SBA	Spiraea x burmalda 'Anthony Waterer'	Anthony Waterer Spirea	14	18" Ht.	B/B	42" o.c.	2	28	
SBG	Spiraea x burmalda 'Goldflame'	Goldflame Spirea	19	18" Ht.	Container	30" o.c.	2	38	
SJ	Spiraea japonica 'Little Princess'	Little Princess Spirea	12	18" Ht.	Container	30" o.c.	2	24	
SP	Spiraea prunifolia	Bridalweath Spirea	2	36" Ht.	Container	As shown	2	4	
VDA	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	7	36" Ht.	B/B	72" o.c.	2	14	
VD	Viburnum dentatum	Arrowwood Viburnum	5	36" Ht.	B/B	72" o.c.	2	10	
VL	Viburnum lentago	Nannyberry Viburnum	3	36" Ht.	B/B	60" o.c.	2	6	
VO	Viburnum opulus 'Compactum'	Compact European Viburnum	15	18" Ht.	B/B	54" o.c.	2	30	
Evergreen Shrubs									
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS	
JCP	Juniperus chinensis pfitz. comp.	Compact Pfitzer Juniper	14	24" Ht.	B/B	54" o.c.	3	42	
JCS	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5	2' Gal.	Container	60" o.c.	3	15	
TOE	Thuja occidentalis 'Emerald'	Emerald Arborvitae	14	60" Ht.	B/B	As shown	3	42	
TOR	Thuja occidentalis 'Nigra'	Nigra Arborvitae	2	60" Ht.	B/B	As shown	3	6	
Perennials									
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS	
AM	Achillea x 'Moonshine'	Sulphur Yellow Yarrow	26	1' Gal.	Container	18" o.c.			
HS	Hemerocallis 'Stella d'Oro'	Low Yellow-Gold Daylily	48	1' Gal.	Container	18" o.c.			
HSW	Hemerocallis 'Summer Wine'	Summer Wine Daylily	24	1' Gal.	Container	18" o.c.			
HF	Hosta 'Fragrant Blue'	Fragrant Blue Hosta	18	1' Gal.	Container	24" o.c.			
IS	Iris sibirica x 'Caesars Brother'	Caesars Brother Siberian Iris	27	1' Gal.	Container	18" o.c.			
NF	Nepeta x 'Iaseni' 'Blue Wonder'	Blue Wonder Catmint (15" Ht.)	4	1' Gal.	Container	24" o.c.			
RF	Rudbeckia ludwig 'Goldstern'	Goldstern Rudbeckia	25	1' Gal.	Container	18" o.c.			
								Total Points	630

PLANTING REQUIREMENTS (CALCULATED FROM WORKSHEET, 0 PARKING STALLS)

NO. OF CANOPY SHADE TREES REQUIRED 0  
 NO. OF POINTS REQUIRED 0



**LANDSCAPE PLAN**  
 1" = 16'-0"



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 Planning Creating Rebuilding

REVISIONS

**Grandview Commons - Town Center**  
 C2 TOWNHOMES LANDSCAPE PLAN  
 MADISON, WISCONSIN

SCALE: 1" = 16'-0"  
 DATE: 6/21/06  
 DRAWN BY: JDS  
 GRANDVIEW - C2 LNDSCP

**L1.0**