

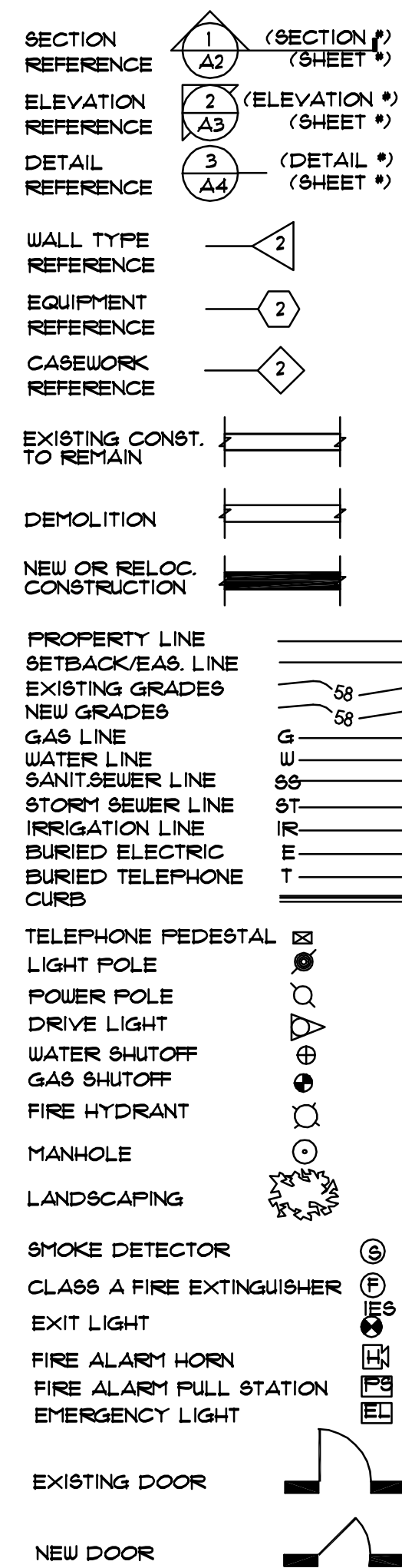
SAVANNA ON THE PARK TOWNHOUSES

* PHASE "4" (12 UNITS) * CONDOMINIUM'S *
6733 FAIRHAVEN ROAD, MADISON, WISCONSIN

GENERAL NOTES

- THIS DRAWING IS A PART OF A SET OF CONSTRUCTION DOCUMENTS DATED 11/02/2022.
- THE ARCHITECT'S, AND OR ENGINEER'S SEAL & SCOPE OF RESPONSIBILITY IS LIMITED TO THE INFORMATION SHOWN ON THE 'A' PREFIX DRAWINGS, AND THE PROJECT MANUAL, IF ANY, WHICH REPRESENTS HIS UNDERSTANDING OF THE PROJECT REQUIREMENTS PROVIDED BY THE OWNER'S AGENTS, OR REPRESENTATIVE, THE ENGINEER'S SEALS, IF ANY, AND SCOPE OF RESPONSIBILITY APPLIES ONLY TO THE INFORMATION ON THEIR DRAWINGS AND CALCULATIONS. THE STRUCTURAL CALCS ARE PART OF THE DOCUMENTS.
- THE OWNER, GENERAL CONTRACTOR, AND THEIR CONSULTANTS SHOULD REVIEW THE DESIGN INTENT, WORK SCOPE, AND GENERAL ADEQUACY OF THESE DOCUMENTS TO SATISFY THEIR EXPECTATIONS FOR THE FINISHED PROJECT, AND ADVISE THE ARCHITECT OF ANY DESIRED REVISIONS.
- THE SCOPE OF WORK IS INDICATED ON THE PLANS. CONFIRM THIS WITH THE OWNER PRIOR TO CONTRACT EXECUTION. ALL WORK SHALL COMPLY WITH APPLICABLE CODES.
- THE G.C. WILL PROVIDE A COPY OF THESE DRAWINGS TO HIS CONSULTING ENGINEERS AND OR DESIGNERS FOR THEIR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
- THE DEGREE OF COMPLIANCE WITH FEDERAL A.D.A. REQUIREMENTS DESIRED BY THE OWNER MUST COMPLY WITH WISCONSIN CODE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROPER CODE DESIGN AND RELATED PERMIT ACQUISITIONS FOR ALL CIVIL, SITE DRAINAGE, PLUMBING, ELECTRICAL, & HVAC WORK REQUIRED, FOR THE COMPLETED PROJECT IN ACCORDANCE WITH CODE.
- QUESTIONS FROM SUBCONTRACTORS SHOULD BE DIRECTED TO THE GENERAL CONTRACTOR, WHO WILL RELAY THEM TO THE ARCHITECT.
- PRIOR TO CONTRACT EXECUTION, THE G.C. IS RESPONSIBLE TO REVIEW THE SCOPE OF WORK AND ASSOCIATED PROJECT PHASING REQUIREMENTS OF THE OWNER, AND TO ADVISE BOTH THE OWNER AND THE ARCHITECT OF ANY EXISTING CONDITIONS OR OTHER RELEVANT ISSUES WHICH MAY AFFECT THE PROJECT SCHEDULE AND OTHER REQUIREMENTS.
- IF REQUESTED BY THE OWNER OR OTHERWISE REQUIRED BY THE DOCUMENTS THE G.C. SHALL PROVIDE THE FOLLOWING SUBMITTALS ON THE FORMAT OF CURRENT A.I.A. DOCUMENTS, UNLESS OTHERWISE ALLOWED:
A-305 CONTRACTOR'S QUALIFICATION STATEMENT.
G-105 CERTIFICATE OF INSURANCE
A-311 OR A-312, AS APPLICABLE, PERFORMANCE & LABOR & MATERIAL, PAYMENT BOND.
- AFTER EXECUTION OF THE CONTRACT FOR CONSTRUCTION, AND PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE G.C. WILL FURNISH THE OWNER WITH A SCHEDULE OF VALUES, AND A PROPOSED CONSTRUCTION SCHEDULE.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, DIMENSIONS, AND ALIGNMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. APPLIES TO THE ASSOCIATED INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON SITE DURING THE COURSE OF CONSTRUCTION, WHICH INDICATE ALL APPROVED CHANGES TO THE WORK.
- MATERIAL SUBSTITUTION WILL BE CONSIDERED IF SUBMITTED TO THE ARCHITECT IN WRITING FOR HIS REVIEW, AND WRITTEN ACCEPTANCE, IN ACCORDANCE WITH THE PROJECT MANUAL.
- DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF STUD OR CONCRETE, UNLESS OTHERWISE INDICATED.
- THESE DRAWINGS SHOULD NOT BE SCALED.

SYMBOLS



INDEX OF DRAWINGS

- TS TITLE SHEET
 S-1 SITE, GRADING, & UTILITY PLAN
 L-1 LANDSCAPE PLAN
 A1 FOUNDATION PLAN
 A2 FOUNDATION DETAILS
 A2a U.G. PARKING PLAN
 A3 FIRST FLR. FRAMING PLAN
 A4 SECOND FLR. FRAMING PLAN
 A5 LOFT FLR. FRAMING PLAN
 A6 ROOF FRAMING PLAN
 A7 FIRST FLOOR PLAN
 A8 SECOND FLOOR PLAN
 A9 LOFT FLOOR PLAN
 A10 1/4' FIRST FLOOR PLANS
 A11 1/4' SECOND FLOOR PLANS
 A12 1/4' LOFT PLANS
 A13 NOT USED AT THIS TIME
 A14 NOT USED AT THIS TIME
 A15 GARAGE ELECTRIC PLAN
 A16 1/4' FIRST FLOOR ELECTRIC PLANS
 A17 SECOND FLOOR ELECTRIC PLANS
 A18 1/4' LOFT ELECTRIC PLANS
 A19 ELEVATIONS
 A20 ELEVATIONS
 A21 WALL SECTIONS
 A22 WALL SECTIONS
 A23 BUILDING SECTIONS
 A24 BUILDING SECTIONS
 A25 DETAILS

RENDERING



PROJECT DATA

PROJECT DESCRIPTION CONDOMINIUMS PROJECT ADDRESS LOTS 1, CSM 12/28 SW 1/4 OF THE NE 1/4, OF SEC. 12, TOWN ROBE, 6733 FAIRHAVEN ROAD CITY OF MADISON, DANE COUNTY, WISCONSIN	DEVELOPMENT DATA: LAND AREA: 26,271 SF. 0.60 ACRES BUILDING HEIGHT - 3 STORES FIN. 1ST FLOOR TO ROOF DECK = 36'-0"		CONSTRUCTION TYPE TYPE V-A - AT RESIDENTIAL AREA TYPE I-A - AT PARKING GARAGE DESIGNER LOUTHER & ASSOCIATES DESIGN LLC. 120 TELEMARK PARKWAY MT. HOREB, WI 53572 608.437.1201 STRUCTURAL ENGINEER BANDT ENGINEERING, P.C. 89 HOKORY COURT OREGON, WI 53575 PH 608.843.9494 PROJECT NUMBER 200710																			
	BUILDING AREA S.F.: <table border="1"> <thead> <tr> <th>AREA</th> <th>AREA</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>UNDERGROUND PARKING</td> <td>8,447 S.F.</td> <td>8,447 S.F.</td> </tr> <tr> <td>FIRST FLOOR</td> <td>7,929 S.F.</td> <td>7,929 S.F.</td> </tr> <tr> <td>SECOND FLOOR</td> <td>7,929 S.F.</td> <td>7,929 S.F.</td> </tr> <tr> <td>LOFT</td> <td>2,900 S.F.</td> <td>2,900 S.F.</td> </tr> <tr> <td>TOTAL R-2</td> <td>17,970 S.F.</td> <td>17,970 S.F.</td> </tr> <tr> <td>TOTAL R-2 & R-2</td> <td>26,417 S.F.</td> <td>26,417 S.F.</td> </tr> </tbody> </table>			AREA	AREA	TOTAL	UNDERGROUND PARKING	8,447 S.F.	8,447 S.F.	FIRST FLOOR	7,929 S.F.	7,929 S.F.	SECOND FLOOR	7,929 S.F.	7,929 S.F.	LOFT	2,900 S.F.	2,900 S.F.	TOTAL R-2	17,970 S.F.	17,970 S.F.	TOTAL R-2 & R-2
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TOTAL R-2	17,970 S.F.	17,970 S.F.																				
TOTAL R-2 & R-2	26,417 S.F.	26,417 S.F.																				

OWNER /DEVELOPER:
CONSTRUCTION MANAGER:
 SAVANNA ON THE GREEN, LLC.
 MADISON, WI.
CONSTRUCTION CONSULTANTS:
 ELLIOTT CONSTRUCTION INC.
 MIDDLETON, WISCONSIN
DESIGNER:
 LOUTHER & ASSOCIATES DESIGN LLC
 MADISON, WISCONSIN
CIVIL ENGINEER:
 ROYAL OAKS ENGINEERING
 MADISON, WISCONSIN
STRUCTURAL ENGINEER:
 JIM BANDT
 OREGON, WISCONSIN
ENGINEER OF RECORD:
 BANDT ENGINEERING
 OREGON, WISCONSIN

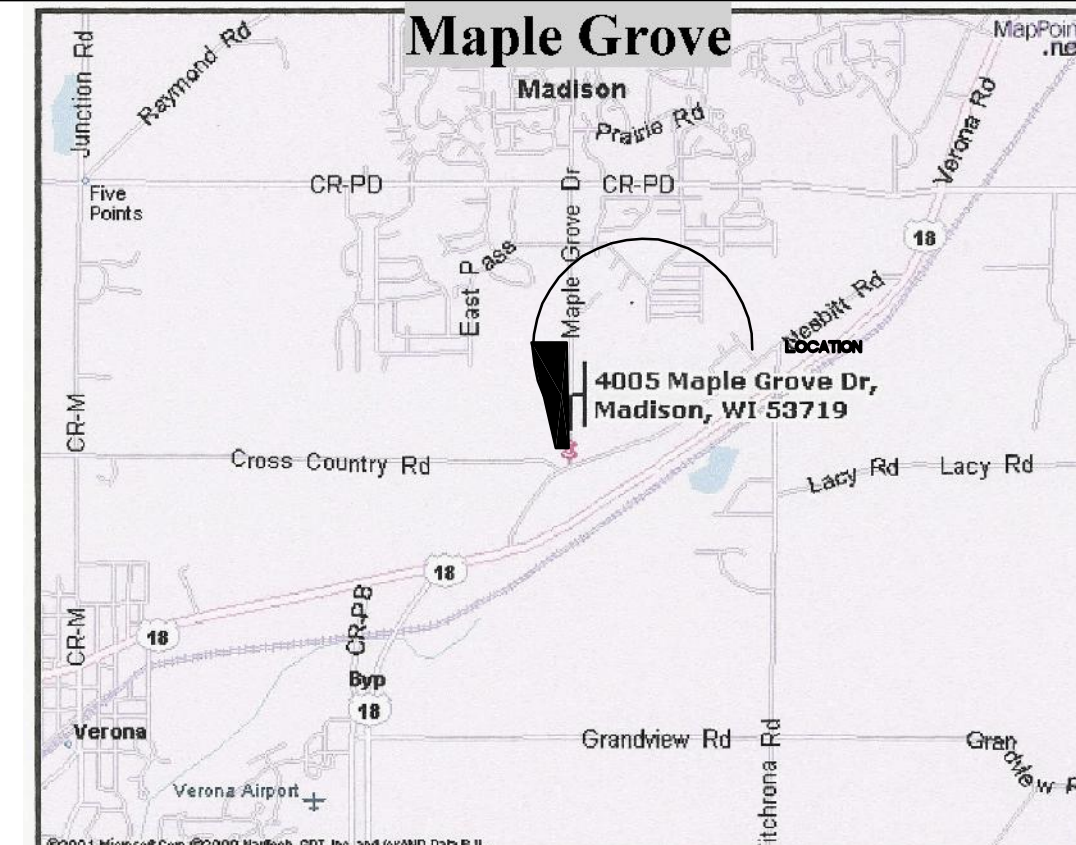
APPROVALS

BUILDER	CLIENT	ARCHITECT OR ENGINEER SEAL

APPROVAL AGENCY

CODE DATA: JURISDICTION CODES: WISCONSIN ENROLLED COMMERCIAL BUILDING CODE OCCUPANCY TYPE: R-2, RESIDENTIAL CONSTRUCTION TYPE: V-A - AT R-2 AREA (RESIDENTIAL) FIRE PROTECTION: AT UNDERGROUND PARKING FULLY AUTOMATIC FIRE SPRINKLERED SYSTEM PER NFPA-13 (DRY OR GLYCOL) (3 HR SEPARATION BETWEEN S-2 AND R-2 PROVIDED) AT RESIDENTIAL AREA, AUTOMATIC FIRE SPRINKLERED SYSTEM PER NFPA-13R	PARKING DATA: UNDERGROUND PARKING: REG. SURFACE PARKING STALLS 21 SURFACE PARKING: REG. SURFACE PARKING STALLS 6 TOTAL: 27 HANDICAP PARKING STALLS REQUIRED: (10) HANDICAP PARKING STALLS PROVIDED: (11) BIKE STALLS REQUIRED: 12 BIKE STALLS PROVIDED: 12
--	--

LOCATION MAP



ABBREVIATIONS

AB ANCHOR BOLT	FLR FLOOR	QT QUARRY TILE
AFF ABOVE FINISH FLOOR	FOM FACE OF FINISH	QTY QUANTITY
ACT ACOUSTICAL CEILING TILE	FOM FACE OF MASONRY	R RADIUS
BM BEAM	FOS FACE OF STUD	REINF REINFORCE (ED) (ING)
BOF BOTTOM OF FOOTING	FRP FIBERGLASS REINF. PANEL	RM ROOM
CJ CONSTRUCTION JOINT	GWB GYPSUM WALL BOARD	SIM SIMILAR
CLG CEILING	G.C. GENERAL CONTRACTOR	SST. STAINLESS STEEL
CL CENTER LINE	HT HEIGHT	STL STEEL
COL COLUMN	IE IN OTHER WORDS...	TEMP TEMPERED
CONC. CONCRETE	JT JOINT	TB TRUSS BEARING
CT CERAMIC TILE	INSUL INSULATION	TOC TOP OF CONCRETE
D DEPTH	INT INTERIOR	TOF TOP OF FOOTING
DO DITTO	L LENGTH	TOB TOP OF STEEL
DS DOWNSPOUT	MAT MATERIAL	TOW TOP OF WALL
DIM DIMENSION	MET METAL	TYP TYPICAL
EJ EXPANSION JOINT	MFD MULTIPLE POINT DELIVERY	UNON UNLESS OTHERWISE NOTED
EIFS EXT. INSUL. FINISH SYSTEM	MR MOISTURE RESISTANT	VB VINYL BASE
ETR EXISTING TO REMAIN	NTS NOT TO SCALE	VBAR VAPOR BARRIER
EQ EQUAL	PL PLATE	VCT VINYL COMPOSITION TILE
EWB EACH WAY AT BOTTOM	FR PAIR	VIF VERIFY IN FIELD
EXT EXTERIOR	PT POINT	W WIDTH
FD FLOOR DRAIN	OD OUTSIDE DIMENSION	W WITH
FEX FIRE EXTINGUISHER	POS POINT OF SALE	WD WOOD
FF FINISH FLOOR		

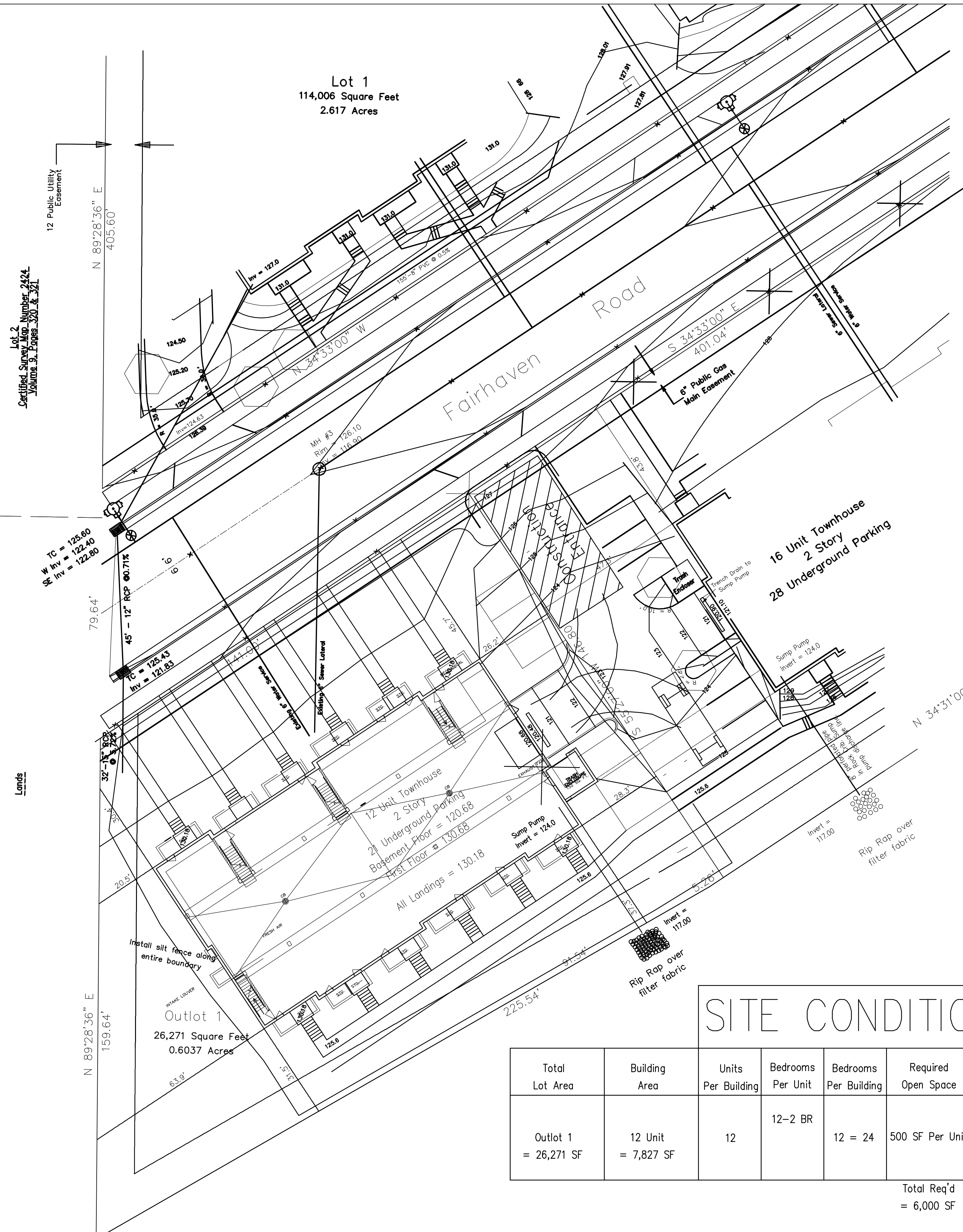
BUILDING ELEMENT	FIVE PERCENTIVE RATING IN FIRE
① STRUCTURAL (COLUMNS)	3 1
② BEARING WALLS (EXT. & INT.)	3 1
③ FLOOR/CEILING CONSTRUCTION	3 1
④ ROOF CONSTRUCTION	NA 1

UNDERGROUND PARKING	RESIDENTIAL AREA
* 200 SF/OCCUPANT	* 200 SF/OCCUPANT
BUILDING 4E 2	BUILDING 9 1 PER UNIT (TABLE 1004.2.1)
	ALL UNITS LESS THAN 1,800 S.F. MAX PER UNIT

COMMON PATH OF EGRESS TRAVEL (1004.2.2)	MAX. ALLOWED	MEASURED
AT RESIDENTIAL UNITS	75'	74'
AT PARKING GARAGE	100'	80'

LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY * MT. HOREB * WISCONSIN * 53572 * 608.437.1202
SAVANNA ON THE GREEN, PHASE 4, 12 UNITS
 DRAWING NO. 200710-001
 PROJECT NO. 200710
 SHEET NO. 01 OF 01
 DATE 09/27/22
 CHECKED BY: [Signature]
 DATE 09/27/22
TITLE SHEET
 PROJECT NUMBER: 200710
 SHEET NUMBER: 01 OF 01

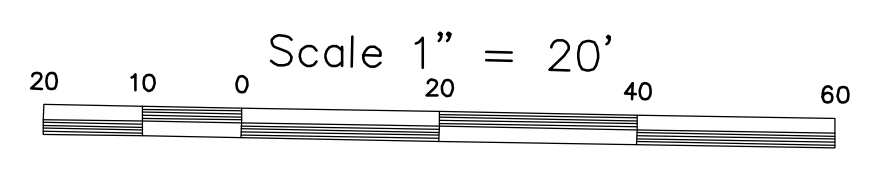
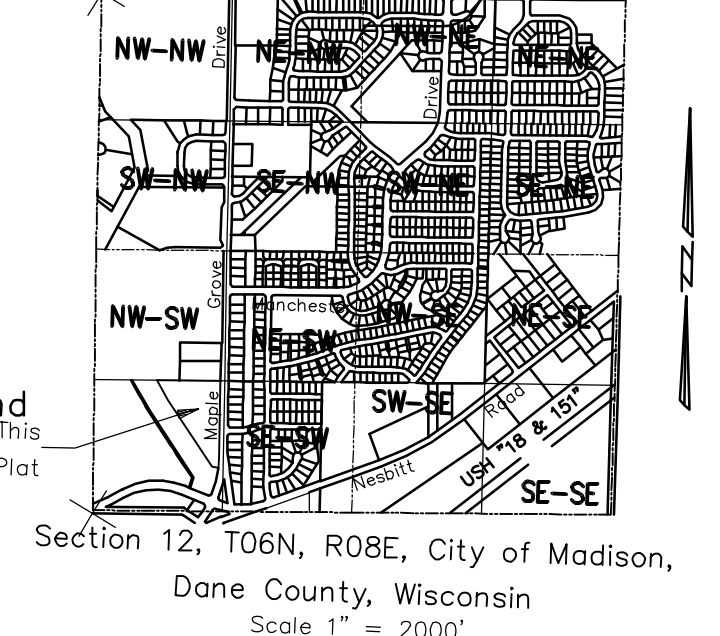
TB
 2/8



LEGEND:

- Existing Contours
- Finish Contours
- 127.05 Finish Elevation
- Silt Fence – back of walk all around
- Earth Berm
- Fabric Garbage Truck Movement
- Stone Wall
- Street Signs
- Existing "No Parking"
- Existing "Restricted Lane Ends"
- Existing "Curb Lane"
- Parking Bicycles and Right Turns Only
- Proposed "Stop"
- Stand Pipe In Sump Pump Line
- Perforated Pipe Stone Bed

Locator



NOTES:

1. Garbage & trash to be removed by private vendor.
2. Snow removal & maintenance will be done by private vendor.
3. Bike parking available in garage and some surface areas.
4. All steps to have railings to meet code.
5. Trucks leaving site during construction shall clean tires. All material deposited in public right of way shall be swept up daily.
6. Place 2000 CF Polymers on all disturbed areas with slopes greater than 5:1.
7. Garage floor drains will discharge into sanitary sewers and is to be designed by the plumbing contractor.
8. All buildings will be built at one time.

Prepared By:
 Royal Oak Engineering
 5610 Medical Circle
 Madison, WI 53719
 608-274-0500

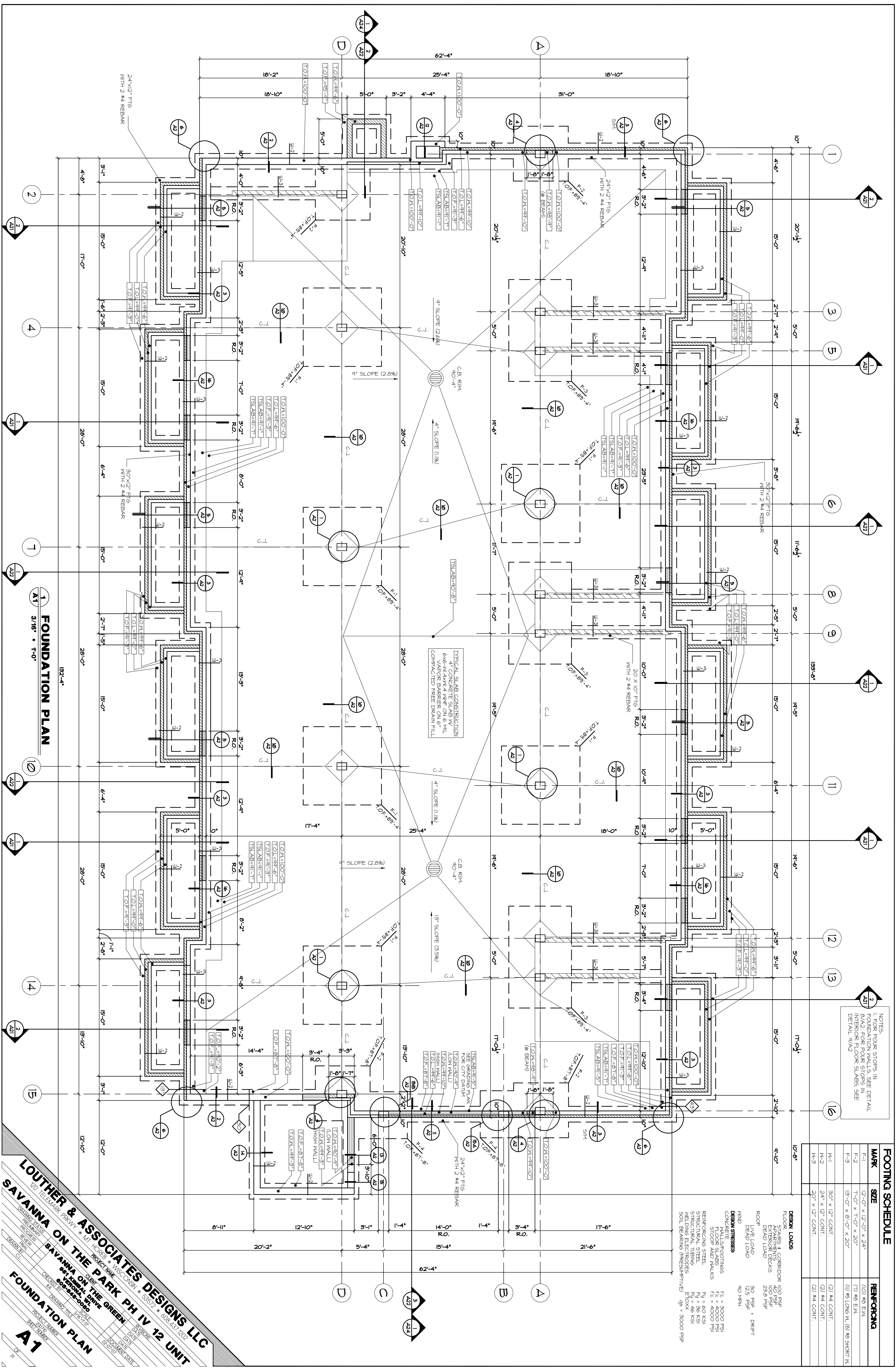
Prepared For:
 Bill Roche – Savanna on the park LLC
 6425 Odana Road
 Madison, WI 53719
 608-277-9322

Lot 1, CSM No. 12128
 Savanna on the Park
 Site Plan, PUD – GDP – SIP
 Control & Grading Plan

Lying in the Southwest 1/4 of the
 Southwest 1/4 of Section 12, T06N,
 R08E, City of Madison,
 Dane County, Wisconsin

SITE CONDITIONS

Total Lot Area	Building Area	Units Per Building	Bedrooms Per Unit	Bedrooms Per Building	Required Open Space	Open Space Provided	Required Parking	Parking Surface	Parking Garage	
Outlot 1 = 26,271 SF	12 Unit = 7,827 SF	12	12-2 BR	12 = 24	500 SF Per Unit		1.75 Per 2 BR	6	20	
Total Req'd = 6,000 SF						6,300 SF	Total Req'd = 21		Total = 6	Total = 20



NOTES:
 1. SOLE STOPS IN FOUNDATION WALLS, SEE DETAIL 6/A2 FOR FOUR STOPS IN INTERIOR FLOOR SLABS, SEE DETAIL 9/A2

MARK	SIZE	REINFORCING
F-1	12'-0" x 12'-0" x 24"	(1) #8 E.M.
F-2	1'-0" x 1'-0" x 20"	(7) #8 E.M.
F-3	13'-0" x 8'-0" x 20"	(11) #5 LONG N, (8) #8 SHORT N.
M-1	30" x 12" CONT.	(2) #4 CONT.
M-2	24" x 12" CONT.	(2) #4 CONT.
M-3	20" x 12" CONT.	(2) #4 CONT.

DESIGN LOADS
 FLOOR: 100 PSF
 STAIRS & CORRIDOR: 100 PSF
 GARAGE: 100 PSF
 ROOF: 20 PSF
 DEAD LOAD: 23.6 PSF
 LIVE LOAD: 30 PSF + DRIFT
 WIND: 40 MPH

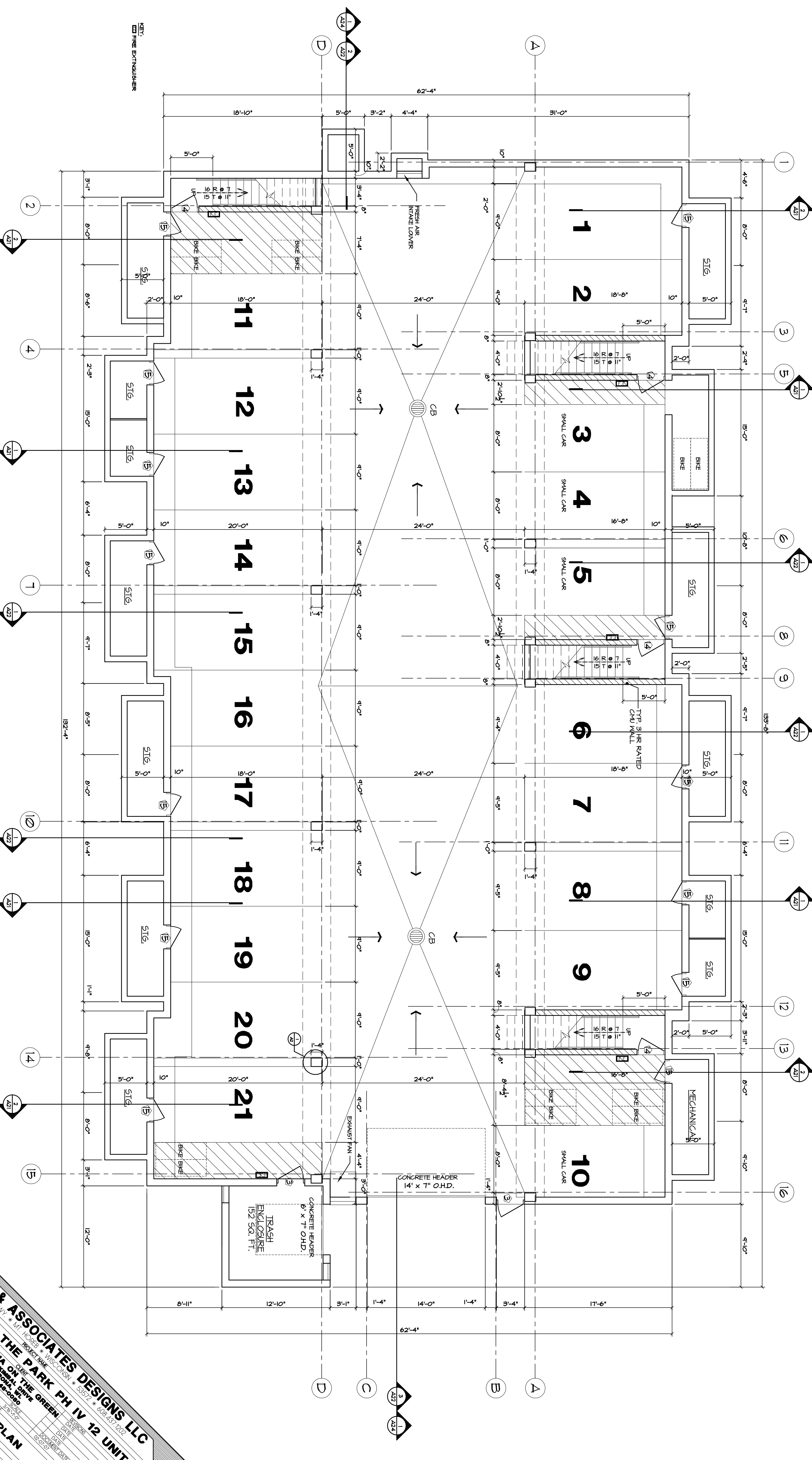
DESIGN STRESSES
 CONCRETE: f_c = 3000 PSI
 FLOOR SLABS: f_c = 4000 PSI
 REINFORCING STEEL: F_y = 60 KSI
 STRUCTURAL TUBES: F_y = 36 KSI
 WELDING ELECTRODES: F_{EXX} = 48 KSI
 SOIL BEHAVIOR (PRESUMPTIVE): φ_p = 3000 PSF

LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY, SUITE 100, WILCOX, GA 30692 • 608.437.2022

SAVANNA ON THE PARK PH IV 12 UNIT
 FOUNDATION PLAN

SAVANNA ON THE GREEN
 831 W. GREEN ST., SUITE 100, SAVANNA, GA 31404 • 912.436.2000

PROJECT NUMBER: SA-2024-0001
 DRAWING TITLE: FOUNDATION PLAN
 DRAWING NO.: A1
 DATE: 08/27/24
 PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT ADDRESS: 120 TELEMARK PARKWAY, SUITE 100, WILCOX, GA 30692
 CLIENT: SAVANNA ON THE GREEN
 ARCHITECT: SAVANNA ON THE GREEN
 ENGINEER: LOUTHER & ASSOCIATES DESIGNS LLC
 CHECKED BY: [Signature]
 DRAWN BY: [Signature]



KEY:
 FIRE EXTINGUISHER

PARKING GARAGE, 8,447 SQ. FT.



LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY * M. H. HODGE * WACO, TEXAS * 76792 * 817-771-1202

SAVANNA ON THE PARK PH IV 12 UNIT

PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NUMBER: 248-1516
 DRAWING TITLE: UG PARKING PLAN
 SHEET NUMBER: A2B

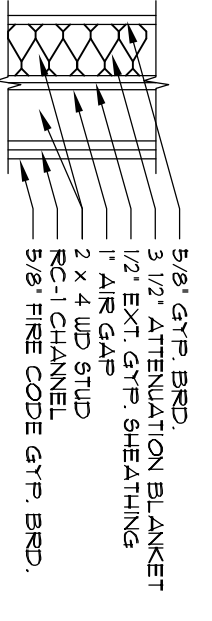
DATE: 03/27/2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT MANAGER: [Name]

- TYPICAL TOILET FIXTURES
- Ⓐ MEDICINE CABINET * 48" AFF. TO BOTTOM OF CABINET
 - Ⓑ 24" TOILET BAR * 48" AFF.
 - Ⓒ 18" TOILET BAR * 48" AFF.
 - Ⓓ TOILET DISPENSER * 18" AFF.

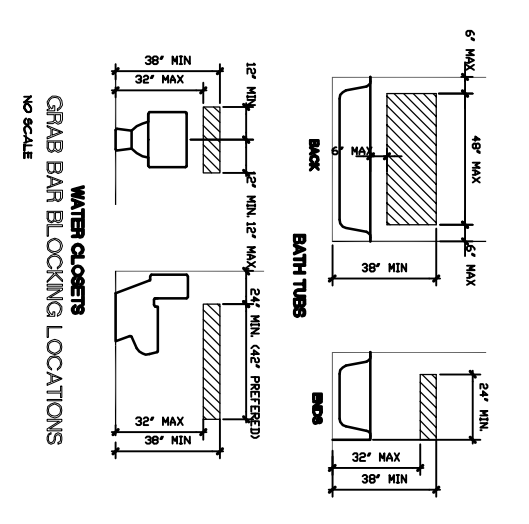
WALL TYPES:

TYPICAL PARTY WALL:
 DOUBLE WALL 2x4 STUDS AT 16" O.C. (w/ 1" GAP BETWEEN PLIES)
 U/1 LAYER 5/8" FINE CODE GYP BOARD ON EACH OUTER FACE &
 U/2 LAYER 5/8" FINE CODE GYP BOARD BETWEEN U/1 LAYERS
 STUBS ON 1/2" x 1/2" x 1/2" GIBBETTES AT 16" O.C. FOR 5/8" FINE
 CODE GYP BOARD ON EACH CHANNEL & 24" O.C. WHERE PLYING
 WALL IS ALSO PARTY WALL. APPLY 1/2" GIBBETTES OVER ENTIRE WALL
 RECD AT THIS & SHOWER MODULES

NOTE:
 SEE UNIT PLANS FOR
 WALL TYPES

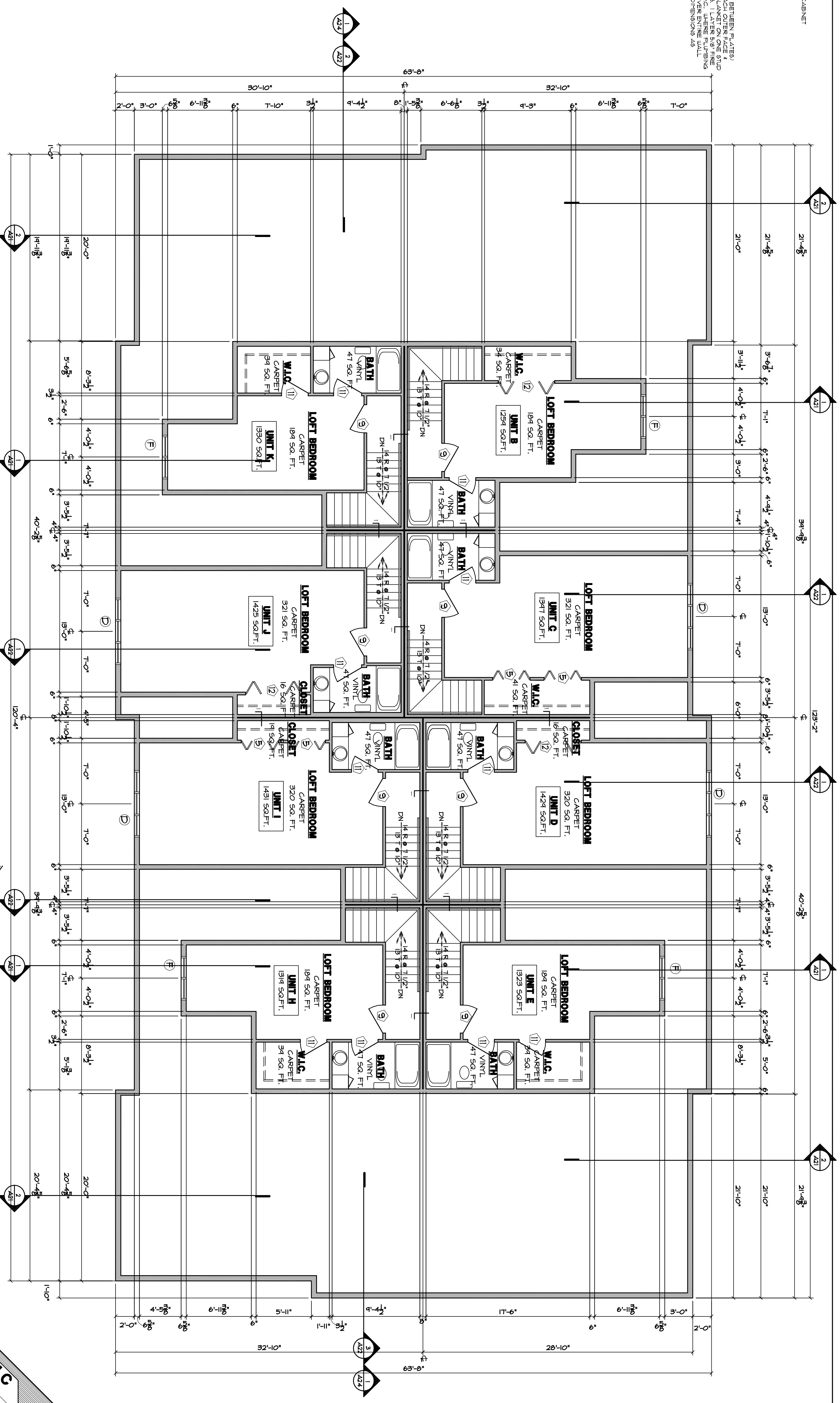


- TYPICAL UNIT WALLS
1. UNIT PARTITION, INTERIOR, CORNER, TERRACE AND EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 5/8" FINE CODE GYP BOARD ON EACH SIDE OF 2x4 STUDS AT 16" O.C. WITH 1" GAP BETWEEN PLIES. U/1 LAYER 5/8" FINE CODE GYP BOARD ON EACH OUTER FACE & U/2 LAYER 5/8" FINE CODE GYP BOARD BETWEEN U/1 LAYERS. STUBS ON 1/2" x 1/2" x 1/2" GIBBETTES AT 16" O.C. FOR 5/8" FINE CODE GYP BOARD ON EACH CHANNEL & 24" O.C. WHERE PLYING WALL IS ALSO PARTY WALL. APPLY 1/2" GIBBETTES OVER ENTIRE WALL RECD AT THIS & SHOWER MODULES.
 2. DOOR PARTITION SHALL BE CONSTRUCTED WITH 2x4 STUDS AT 16" O.C. WITH 1" GAP BETWEEN PLIES. U/1 LAYER 5/8" FINE CODE GYP BOARD ON EACH OUTER FACE & U/2 LAYER 5/8" FINE CODE GYP BOARD BETWEEN U/1 LAYERS. STUBS ON 1/2" x 1/2" x 1/2" GIBBETTES AT 16" O.C. FOR 5/8" FINE CODE GYP BOARD ON EACH CHANNEL & 24" O.C. WHERE PLYING WALL IS ALSO PARTY WALL. APPLY 1/2" GIBBETTES OVER ENTIRE WALL RECD AT THIS & SHOWER MODULES.
 3. REMOVE CORNER PARTITION WALLS AT INTERIOR CORNERS.
 4. ALL CABINET RESERVATIONS ARE TYPICAL VERTICAL FINISH.



□ FIRE EXTINGUISHER

1 LOFT FLOOR PLAN, 2,920 SQ. FT.



ROOMS/ ROOM NO.	ROOM NAME	FLOORS		BASIS		WALLS		CELANGS		REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
1	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
2	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
3	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
4	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
5	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
6	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
7	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
8	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
9	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	
10	LOFT BEDROOM	CARPET	VINYL COMP. TILE	5/8" GIB-BAND TEXT.	5/8" NR GIB-BAND TEXT.	POURED CONCRETE	PAINTED	GLASS	CONSTRUCTED	

MARK	DOOR			FRAME			GLASS			REMARKS/LOCATION
	W	H	T	HT	TR	MT	FR	FL	FB	
1	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
2	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
3	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
4	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
5	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
6	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
7	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
8	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
9	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.
10	3-0"	6-8"	1/4"	HTL	ENTR	ENTR	1"	FR	48 IN.	ENTR. DR. W/ 1/2" TYP. SILL. APARTMENT ENTR. RECY. CORRUM.

MARK	MODEL	MANUFACTURER	R.O. SIZE		TYPE	MATERIAL	GRILLES
			WIDTH	HEIGHT			
1	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
2	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
3	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
4	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
5	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
6	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
7	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
8	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
9	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE
10	CH245	ANDERSON	4'-4 1/2"	5'-4 3/8"	CASEMENT	CLAD	PEAIRE

LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY * M. HURD * WILCOX, GA 30172 * 678.437.1202

SAVANNA ON THE PARK PH IV 12 UNIT
 881 W. BROADWAY * SAVANNA, GA 31404 * 912.437.1202

LOFT FLOOR PLAN

DATE: 06/20/14
 DRAWN BY: CL
 CHECKED BY: CL
 PROJECT NUMBER: 121-24-14
 SHEET NUMBER: A9

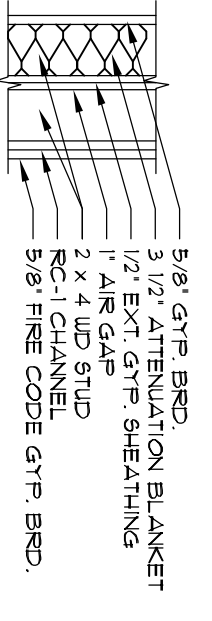
TYPICAL TOILET FIXTURES

- ① MEDICINE CABINET * 48" AFF. TO BOTTOM OF CABINET
- ② 24" TOILET BAR * 48" AFF.
- ③ 18" TOILET BAR * 48" AFF.
- ④ TOILET DISPENSER * 18" AFF.

WALL TYPES:

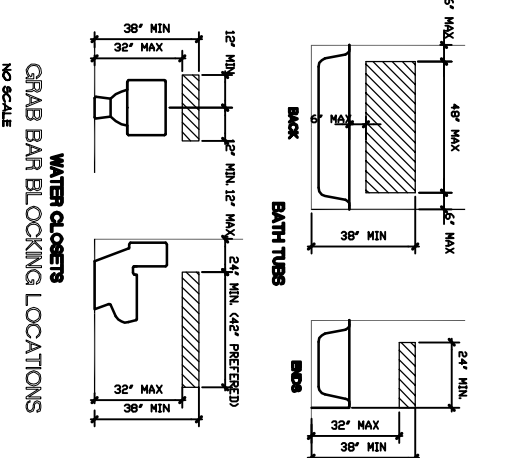
TYPICAL PARTY WALL:
 DOUBLE WALL, 24 STUDS AT 16" O.C. (W/ 1" GAP BETWEEN PLATES)
 W/ 1/2" LAYER OF FINE GYP BOARD ON EACH OUTER FACE &
 STUDS ON EACH SIDE OF CENTERLINE. ALL STUDS TO BE 5/8" FIBER
 CODE GYP BOARD ON R/C-1 CHANNELS @ 24" O.C. WHERE FLOORING
 WALL IS ALSO PARTY WALL. APPLY 5/8" GAB OVER ENTIRE WALL
 RECD AT THIS SHOWER MODULES

NOTE:
 SEE UNIT PLANS FOR
 WALL TYPES

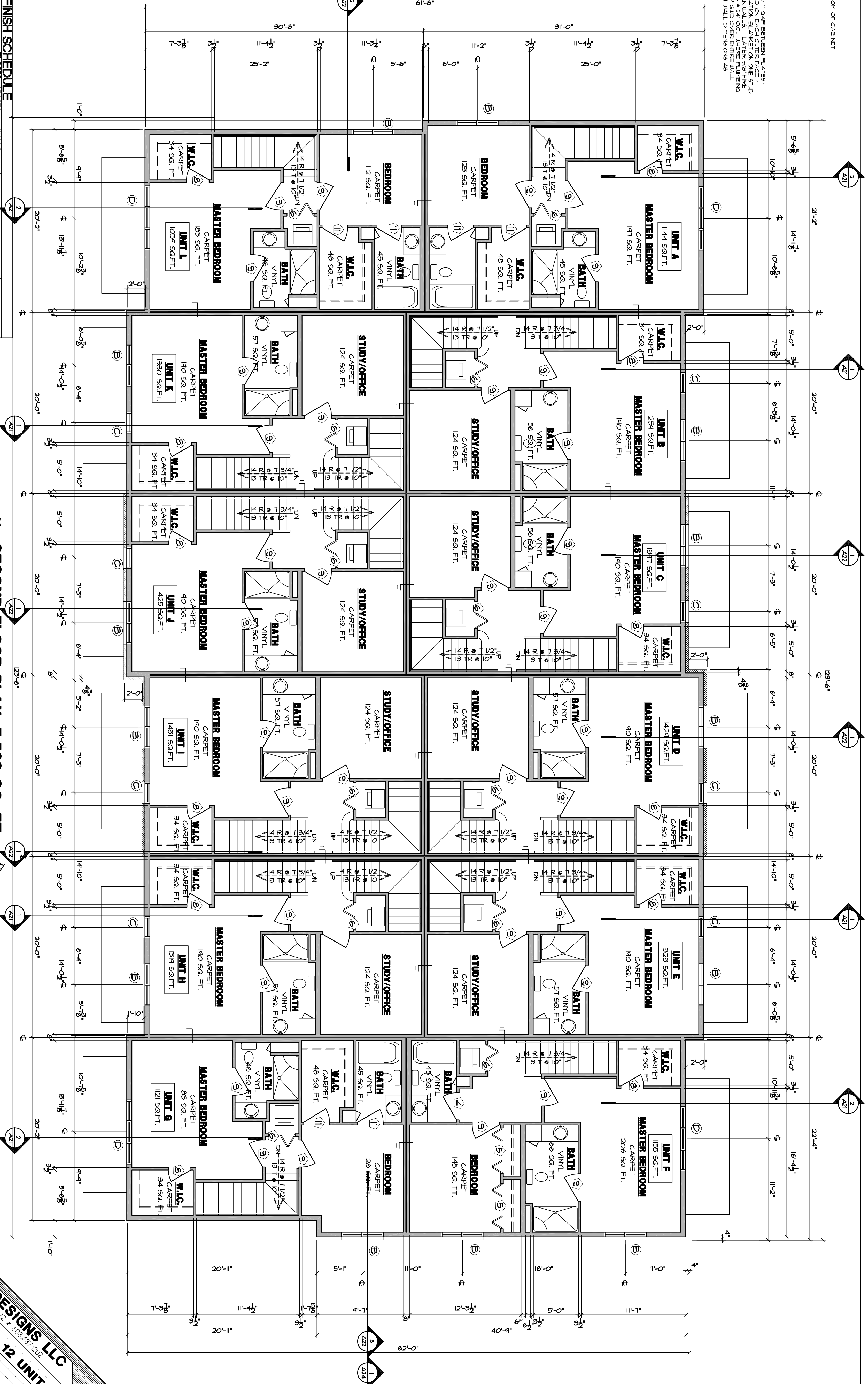


TYPICAL UNIT NOTES

1. UNIT BATHS: BATHROOMS, GUESTS, BATHROOMS AND BATHROOMS TO BE 1/2\"/>



□ FIRE EXTINGUISHER



ROOM FINISH SCHEDULE

ROOMS/ ROOM NO.	ROOM NAME	FLOORS	BASES	WALLS	Ceilings	REMARKS
1	UNIT A	1	1	1	1	
2	UNIT B	1	1	1	1	
3	UNIT C	1	1	1	1	
4	UNIT D	1	1	1	1	
5	UNIT E	1	1	1	1	
6	UNIT F	1	1	1	1	

DOOR SCHEDULE

MARK	DOOR	FRAME	GLASS	LABEL	REMARKS/LOCATION
1	3-0	6-8	1/4"	THTL	ENTR. DR. W/ 1/2" TYP. SILL
2	3-0	6-8	1/4"	THTL	APARTMENT ENTR. FROM COMMON
3	2-6	6-8	1/4"	THTL	REG. INT.
4	2-6	6-8	1/4"	THTL	REG. INT.
5	3-0	6-8	1/4"	THTL	REG. INT.
6	3-0	6-8	1/4"	THTL	REG. INT.
7	2-6	6-8	1/4"	THTL	REG. INT.
8	2-6	6-8	1/4"	THTL	REG. INT.
9	2-6	6-8	1/4"	THTL	REG. INT.
10	2-6	6-8	1/4"	THTL	REG. INT.
11	2-6	6-8	1/4"	THTL	REG. INT.
12	2-6	6-8	1/4"	THTL	REG. INT.
13	2-6	6-8	1/4"	THTL	REG. INT.
14	2-6	6-8	1/4"	THTL	REG. INT.
15	2-6	6-8	1/4"	THTL	REG. INT.
16	2-6	6-8	1/4"	THTL	REG. INT.
17	2-6	6-8	1/4"	THTL	REG. INT.
18	2-6	6-8	1/4"	THTL	REG. INT.
19	2-6	6-8	1/4"	THTL	REG. INT.
20	2-6	6-8	1/4"	THTL	REG. INT.
21	2-6	6-8	1/4"	THTL	REG. INT.
22	2-6	6-8	1/4"	THTL	REG. INT.
23	2-6	6-8	1/4"	THTL	REG. INT.
24	2-6	6-8	1/4"	THTL	REG. INT.
25	2-6	6-8	1/4"	THTL	REG. INT.
26	2-6	6-8	1/4"	THTL	REG. INT.
27	2-6	6-8	1/4"	THTL	REG. INT.
28	2-6	6-8	1/4"	THTL	REG. INT.
29	2-6	6-8	1/4"	THTL	REG. INT.
30	2-6	6-8	1/4"	THTL	REG. INT.

WINDOW SCHEDULE

MARK	MODEL	MANUFACTURER	R.O. SIZE	TYPE	MATERIAL	GRILLS
1	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
2	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
3	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
4	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
5	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
6	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
7	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
8	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
9	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
10	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
11	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
12	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
13	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
14	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
15	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
16	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
17	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
18	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
19	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
20	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
21	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
22	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
23	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
24	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
25	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
26	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
27	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
28	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
29	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE
30	CH245	ANDERSON	4'-0 1/2" x 5'-4 3/8"	CASSETT	CLAD	PRALIRE

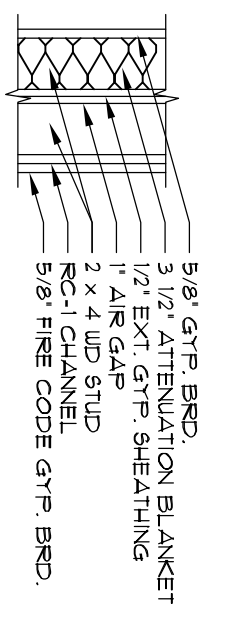
LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY • MARIETTA, GA 30067 • 770.427.4444
 WWW.LA-DESIGNS.COM

SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NO.: 2018-017-202
 DATE: 12/15/2018

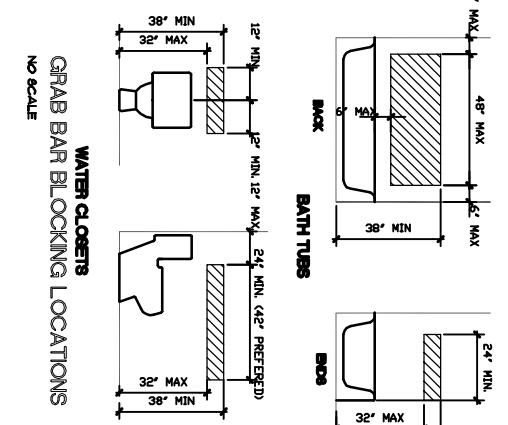
SECOND FLOOR PLAN
 DRAWN BY: CL
 CHECKED BY: [Signature]
 DATE: 12/15/2018

WALL TYPES:
 TYPICAL PARTY WALL:
 DOOR LAYER: 5/8" FIRE CODE GYP. BOARD ON EACH OUTER FACE & 1/2" LAYER 5/8" FIRE CODE GYP. BOARD ON EACH OUTER FACE & 1/2" EXT. GYP. SHEATHING W/ 1/2" ATTENUATION BLANKET ON ONE SIDE & 1/2" EXT. GYP. SHEATHING W/ 1/2" ATTENUATION BLANKET ON OTHER SIDE. GYP. BOARD ON EACH CHANNEL & 2" OC. LAYER PLYWOOD. WALL IS ALSO PARTY WALL. APPLY 5/8" GIB OVER ENTIRE WALL BEFORE SETTING TUB VOLUME. ADJUST WALL DIMENSIONS AS REQUIRED AT TUB & SHOWER TOUBLES.

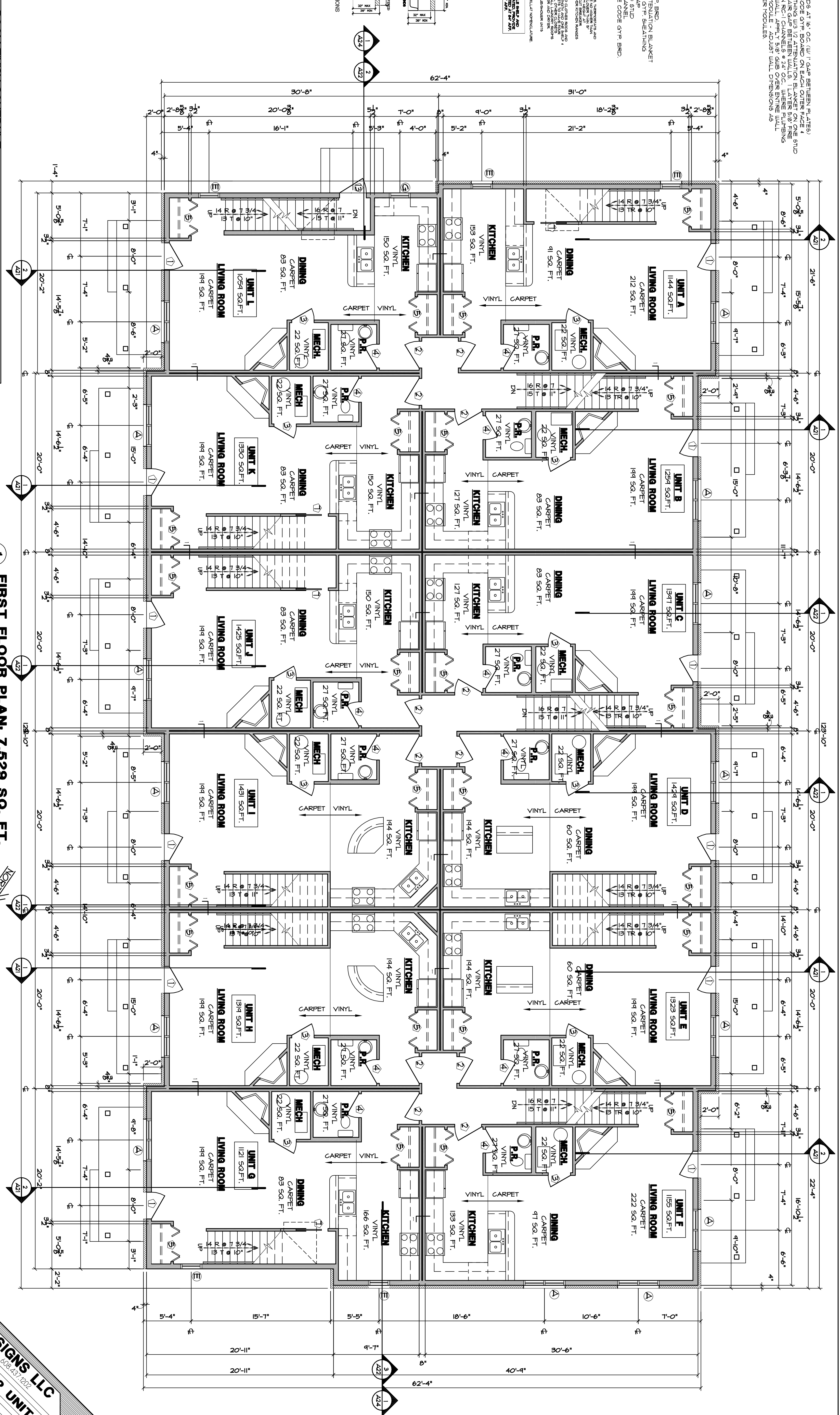
NOTE:
 SEE UNIT PLANS FOR WALL TYPES.



- 1. 5/8\"/>



SET FIRE EXTINGUISHER



ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOORS	FINISHES	WALLS	Ceilings	Materials	Remarks
1	LIVING ROOM	1	CARPET	5/8\"/>			

DOOR SCHEDULE

MARK	DOOR	SW	H	T	FRONT	BACK	GLASS	GRILLE	LABEL	REMARKS/LOCATION
1	3-0	6-8	1-3/4	1/2	PHD	PHD	1/2\"/>			

WINDOW SCHEDULE

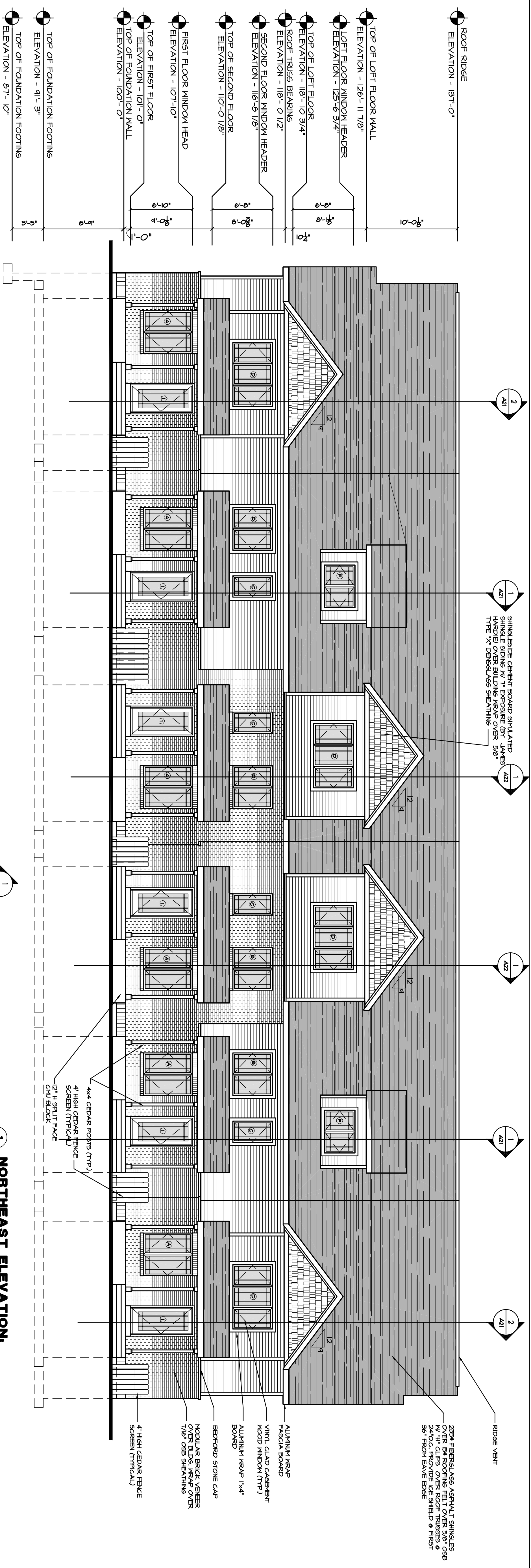
MARK	MODEL	MANUFACTURER	R.O. SIZE	WIDTH	HEIGHT	TYPE	MATERIAL	GRILLES
1	CR245	ANDERSON	4-8 1/2\"/>					

LOUTHER & ASSOCIATES DESIGNS LLC
 120 TELEMARK PARKWAY • M. HORN • WILCOX, NC 28772 • 808.437.1202

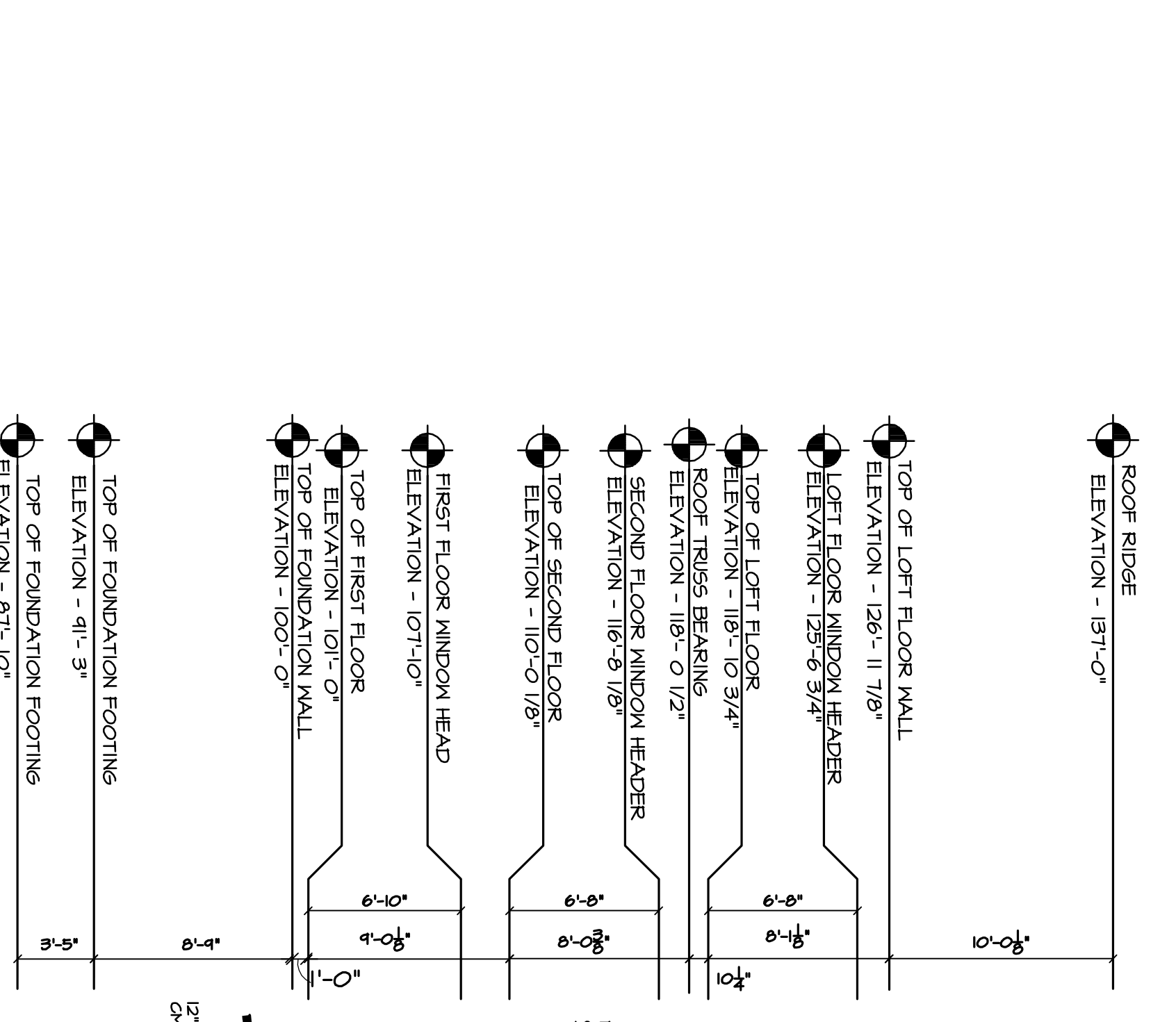
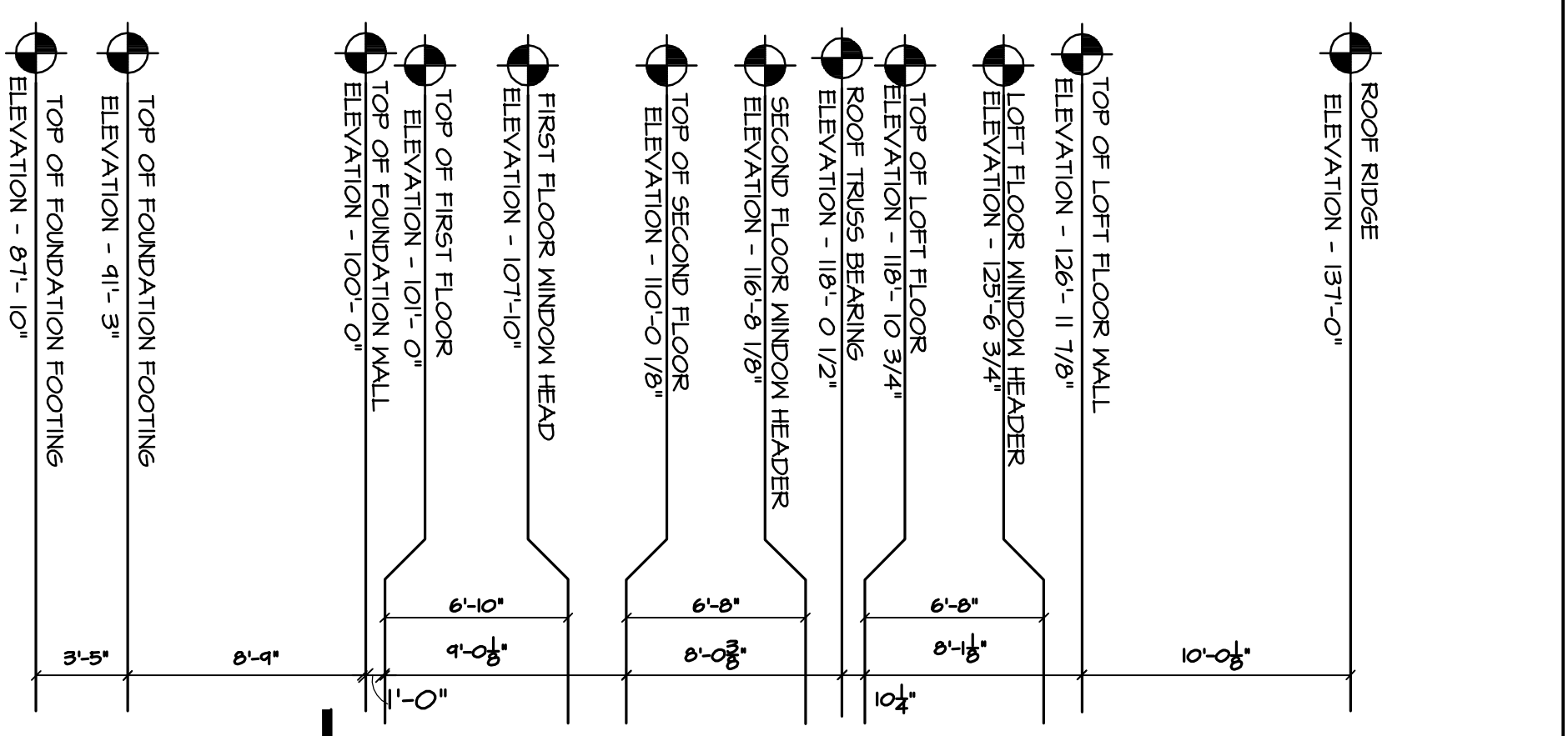
SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NUMBER: 2024-0006
 SHEET NUMBER: A7

FIRST FLOOR PLAN

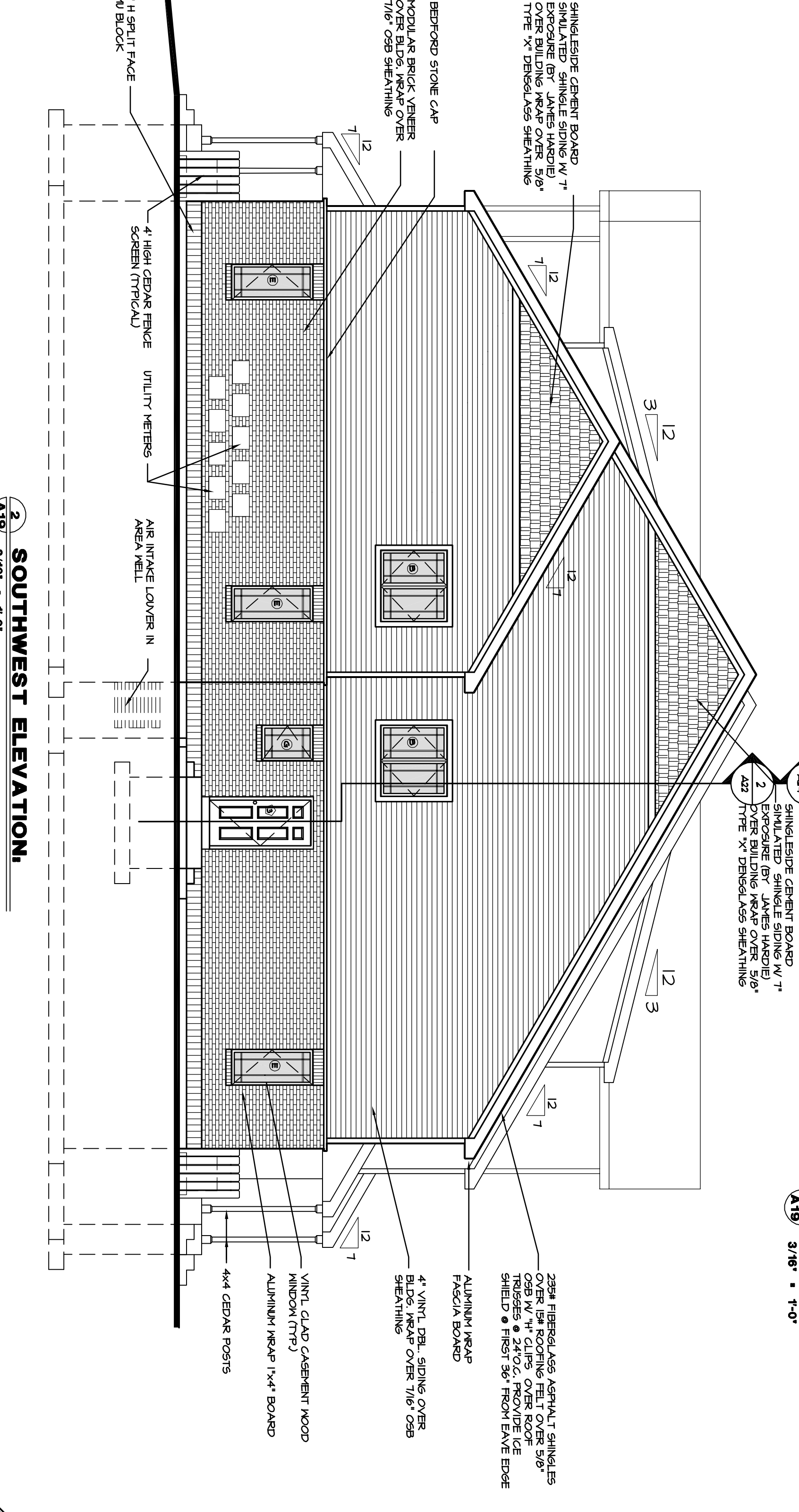
DATE: 12/15/24
 DRAWN BY: J. W. HARRIS
 CHECKED BY: M. J. HARRIS
 PROJECT MANAGER: M. J. HARRIS



1
NORTHEAST ELEVATION.
3/16" = 1'-0"



2
SOUTHWEST ELEVATION.
3/16" = 1'-0"



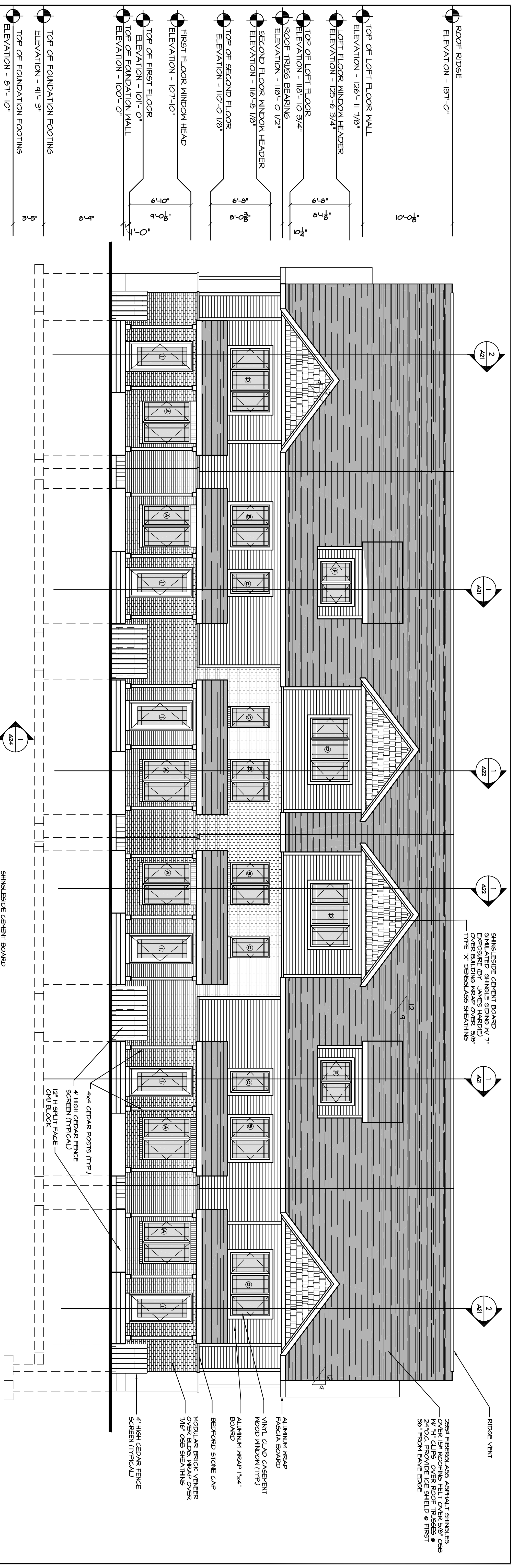
LOUTHER & ASSOCIATES DESIGNS LLC
120 FLEMING PARKWAY, SUITE 100, MARIETTA, GA 30067
770.427.1200

SAVANNA ON THE PARK PH IV 12 UNIT
PROJECT NO. 2024-001

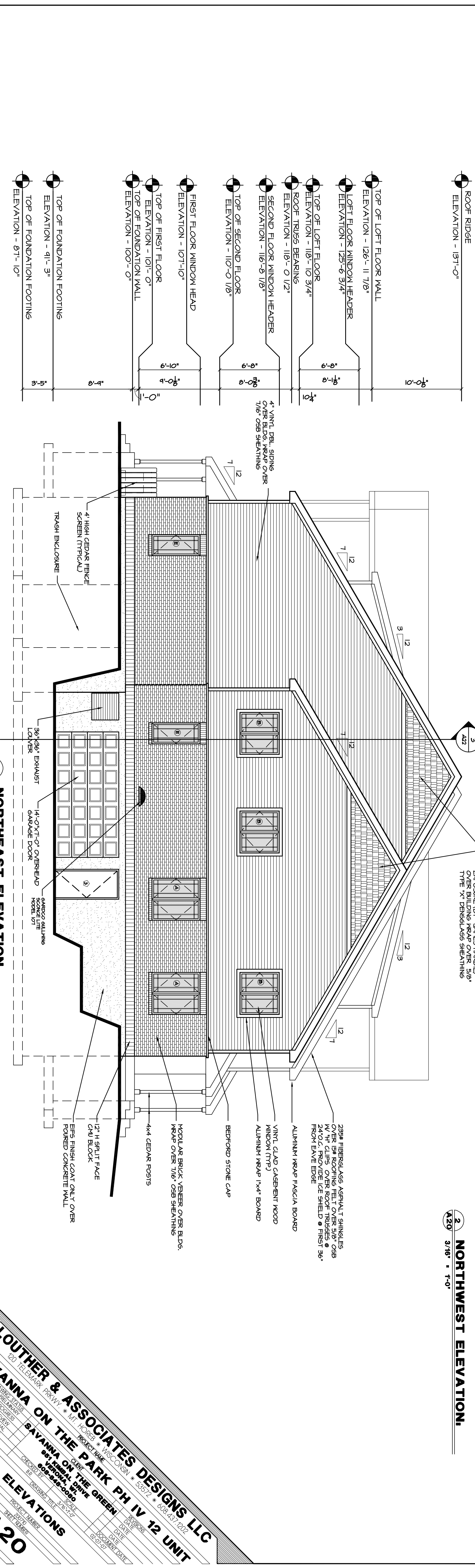
SAVANNA ON THE GREEN
120 FLEMING PARKWAY, SUITE 100, MARIETTA, GA 30067
770.427.1200

ELEVATIONS
A19

DATE: 08/20/24
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT NO: 2024-001
UNIT NO: 12
SHEET NO: 12



2 NORTHWEST ELEVATION.
A20 3/16" = 1'-0"



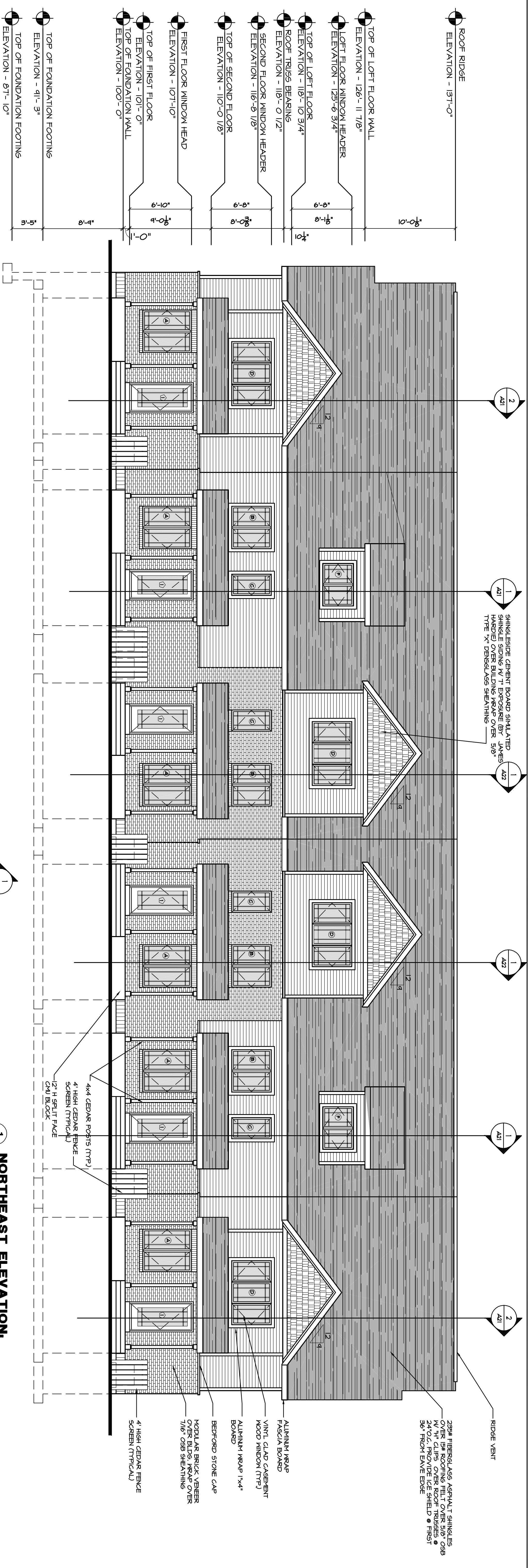
2 NORTHEAST ELEVATION.
A20 3/16" = 1'-0"

LOUTHER & ASSOCIATES DESIGNS LLC
120 TELEMARK PARKWAY • M. HODGES • WACO, TX • 76792 • 808.437.1202

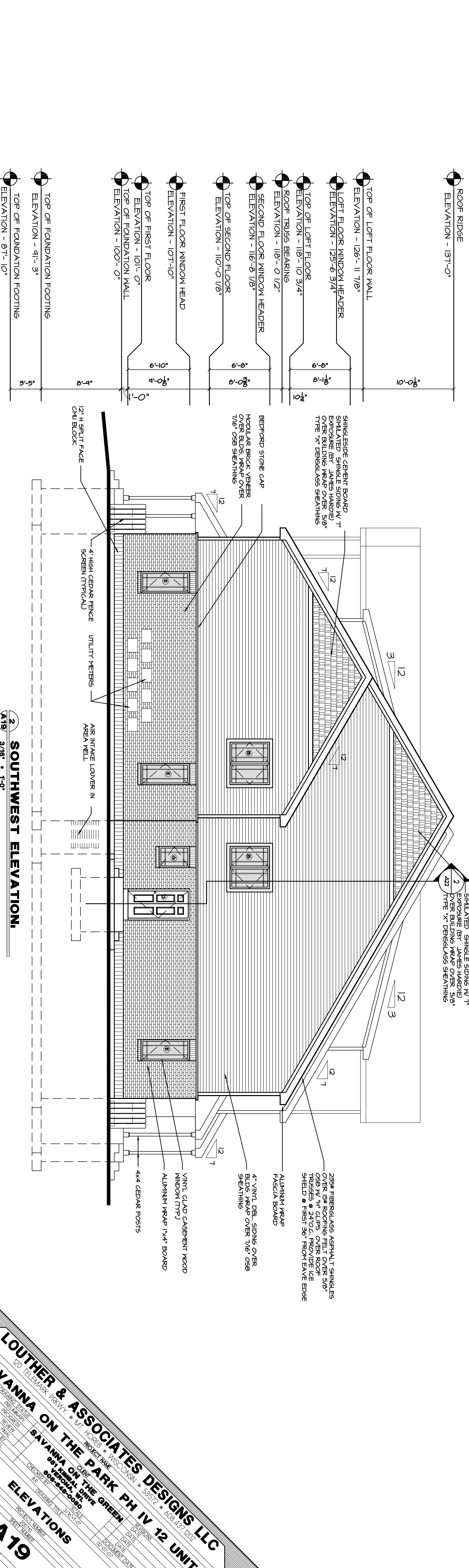
SAVANNA ON THE PARK PH IV 12 UNIT
8811 SHELBY DRIVE
HOUSTON, TX 77055
281.440.0060

PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
DATE: 02/24/20
DRAWN BY: [blank]
CHECKED BY: [blank]
DATE: 02/24/20
PROJECT NUMBER: 281-440-0060
SHEET NUMBER: 12 OF 31
DOCUMENT DATE: 02/24/20

ELEVATIONS
A20



1 NORTH EAST ELEVATION.
A19 3/16" = 1'-0"



2 SOUTHWEST ELEVATION.
A19 3/16" = 1'-0"

LOUTHER & ASSOCIATES DESIGNS LLC
120 TELEMARK PARKWAY • MOUNTAIN VIEW, CO 80501 • 303.721.6082

SAVANNA ON THE PARK PH IV 12 UNIT
PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
PROJECT NO: 248-251-07
SHEET NO: 12 OF 12
DATE: 06/27/20

ELEVATIONS
A19

PROJECT NUMBER: 248-251-07
SHEET NUMBER: 12 OF 12
DATE: 06/27/20
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 06/27/20

LANDSCAPE WORKSHEET

Parking Lots, Storage Areas and Loading Areas
(Section 28.04 Madison General Ordinance)

Project Location/Address: Northwest of Intersection of Lone Oak Ln & Greenfield Ct
 Name of Project: Village at Hawks Landing
 Owner/Contact:
 Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required
 The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls)

Landscaping requirements for storage areas are determined by dividing the total square footage of the storage area by 2000 square feet. The number of trees required is based on the number of trees required per 2000 square feet. (Example: 10,000 square feet is equivalent to (5) stalls or (5) trees and (100) points)

Number of Parking Stalls:

Total Square Footage of the Storage Area:
 Divided by Three Hundred (300) Square Feet:

Number of Canopy Shade Trees Required (7' - 12' Caliper):

(See Schedule on reverse side)

II. Number of Landscaping Points Required
 The number of points required is also based on the number of parking stalls. Using the Point Schedule on the reverse side of this worksheet, determine the number of points required. (Example: 40.0 points are required for 10 stalls. A point value of 1.0 or less will be rounded up to 1.0 point. A point value of 0.5 or less will be rounded down to 0.5 point. Thus: 40.5 points would be rounded down to 40.0 points required.)

The number of points required for loading areas is (75) points for each loading berth. (See Schedule on reverse side)

Number of Points Required (See Schedule on reverse side):

TOTAL:

Tribulation of Points and Credits
 Utilize these for specific credit points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

Subtotal	Points Value	Quantity	Points	Credits	Quantity	Points
Canopy Tree 7' - 12"	35	1	35			
Deciduous Shade	2	3	6			
Evergreen Shade	3	1	3			
Deciduous Wind or Frost (See 10.1.2)	5	0	0			
Bark Area (See 10.1.2)	5	0	0			
Avg. Height 15'	2	0	0			
Canopy Tree 7' Height minimum	15	11	165			
1 1/2" - 2" Caliper Cal. Oak Minimum	15	0	0			
TOTAL						227
Sub Total			227			

TOTAL No. of Points Provided (Point to point tree count required)

* Trees required in Part I above, are not to be included in the point count.
 Approved by: _____ Date: _____

NOTE:
 ALL PLANTING BED TO BE WASHSTONE WITH BLACK VINYL EDGING UNLESS NOTED DIFFERENTLY

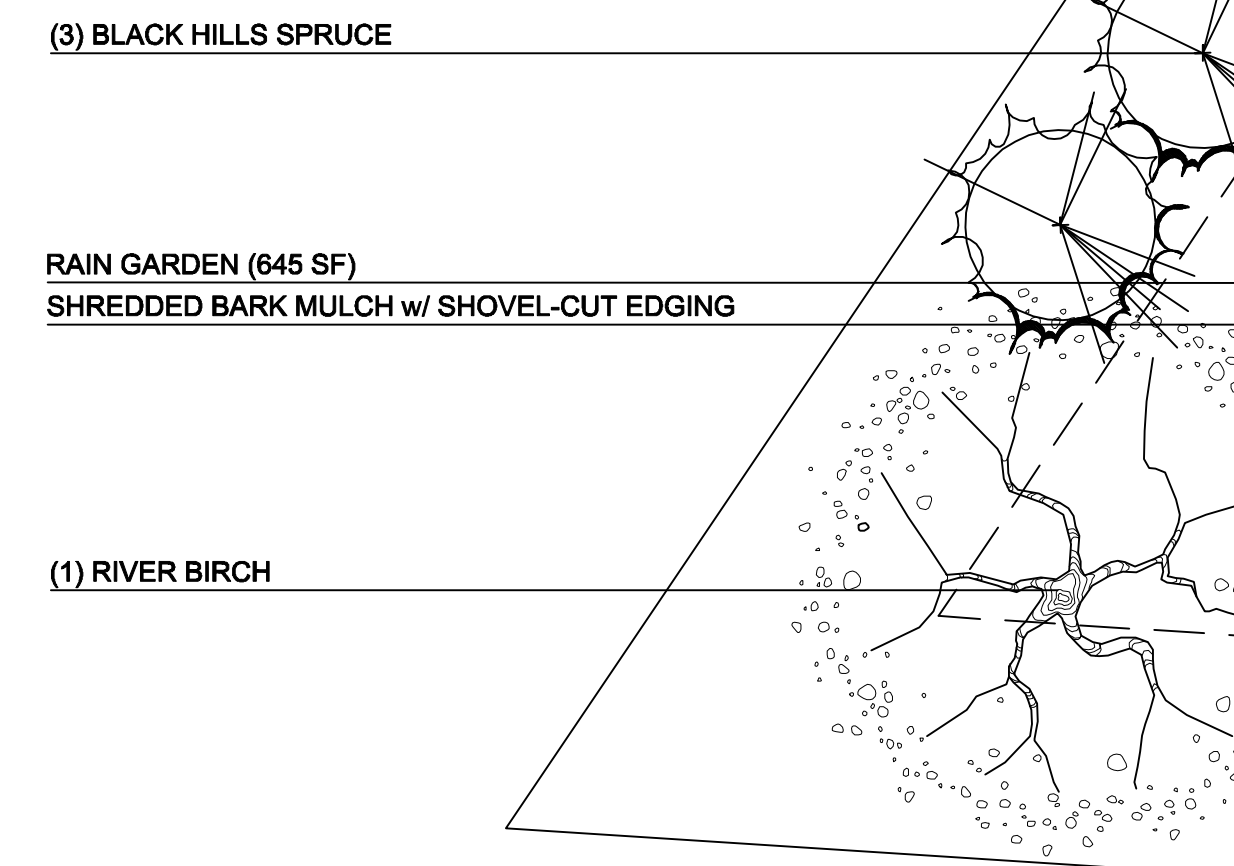
Fairhaven Road

OLSON WILLS LANDSCAPING
 4387 Schwartz Rd.
 Middleton, WI 53552
 PH: (608) 827-9401
 FAX: (608) 827-9402
 WEB: www.olsonwills.com

RAIN GARDEN PLANTS (planted in drifts, with 12" on center spacing)

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Nodding Pink Onion	<i>Allium cernuum</i>	3"	container	24
Red Milkweed	<i>Asclepias incarnata</i>	3"	container	9
New England Aster	<i>Aster novae-angliae</i>	3"	container	18
White False Indigo	<i>Baptisia leucis</i>	3"	container	4
False Aster	<i>Boltonia asteroides</i>	3"	container	12
Blue Flag Iris	<i>Iris versicolor</i>	3"	container	11
Prairie Blazingstar	<i>Liatris pycnostachya</i>	3"	container	12
Wild Quinine	<i>Parthenium integrifolium</i>	3"	container	12
Smooth Periwinkle	<i>Peristemon spidioides</i>	3"	container	9
Sweet Black Eyed Susan	<i>Rudbeckia subtomentosa</i>	3"	container	7
Ohio Goldenrod	<i>Solidago ohioensis</i>	3"	container	18
Ironweed	<i>Vernonia fasciculata</i>	3"	container	12
Wild Senna	<i>Cassia hebecarpa</i>	3"	container	18
Joe Pye Weed	<i>Eupatorium maculatum</i>	3"	container	8
Ox Eye Sunflower	<i>Helopsis helianthoides</i>	3"	container	20
Wild Iris	<i>Iris sibirica</i>	3"	container	12
Dense Blazingstar	<i>Liatris spicata</i>	3"	container	18
Cardinal Flower	<i>Lobelia cardinalis</i>	3"	container	18
Great Blue Lobelia	<i>Lobelia siphilitica</i>	3"	container	18
Monkeyflower	<i>Mimulus ringens</i>	3"	container	12
Bergamot	<i>Monarda fistulosa</i>	3"	container	5
Yellow Coneflower	<i>Ratibida pinnata</i>	3"	container	13
Brown Eyed Susan	<i>Rudbeckia trilobis</i>	3"	container	8
Cupplant	<i>Silphium perfoliatum</i>	3"	container	11
Prairie Dock	<i>Silphium terebinthinaceum</i>	3"	container	11
Culver's Root	<i>Veronicastrum virginicum</i>	3"	container	6
Golden Alexander	<i>Zizia aurea</i>	3"	container	12
Big Bluestem	<i>Andropogon gerardi</i>	3"	container	62
Canada Wild Rye	<i>Elymus canadensis</i>	3"	container	62
Virginia Wild Rye	<i>Elymus virginicus</i>	3"	container	62
Bottlebrush Grass	<i>Hystrix patula</i>	3"	container	62
Fox Sedge	<i>Carex vulpinoidea</i>	3"	container	62
TOTAL				646

Note: Plant plugs to be installed by landscape contractor.



EVERGREENS

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Black Hills Spruce	<i>Picea glauca</i>	6"	B & B	7
Emerald Arborvitae	<i>Thuja occidentalis 'Smoreg'</i>	4"	B & B	7

SHADE TREES

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
River Birch	<i>Betula nigra</i>	10"	B & B	1
Red Maple	<i>Acer rubrum</i>	2"	B & B	2
Accolade Elm	<i>Ulmus japonica x Wilsoniana 'Morton'</i>	2"	B & B	2

ORNAMENTAL TREES

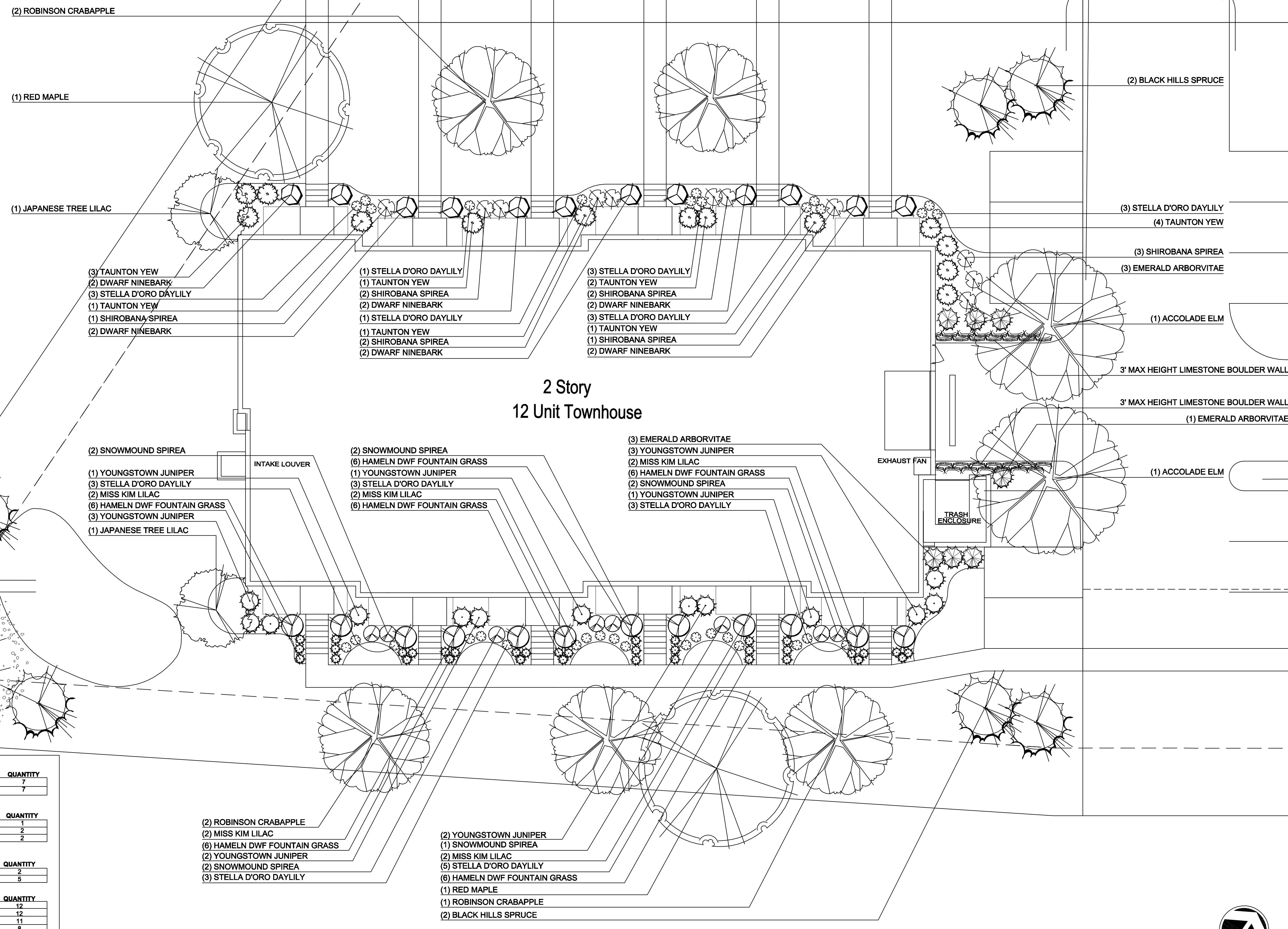
COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Japanese Tree Lilac	<i>Syringa reticulata</i>	2"	B & B	2
Robinson Crabapple	<i>Malus 'Robinson'</i>	2"	B & B	5

SHRUBS

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Miss Kim Lilac	<i>Syringa patula 'Miss Kim'</i>	24"	Cont	12
Dwarf Ninebark	<i>Physocarpus opulifolius var. 'Nanus'</i>	18"	Cont	12
Shirobana Spirea	<i>Spiraea japonica 'Shirobana'</i>	18"	Cont	11
Snowmound Spirea	<i>Spiraea nipponica 'Snowmound'</i>	18"	Cont	8
Youngstown Juniper	<i>Juniperus horizontalis 'Plumos Youngstown'</i>	18"	B & B	13
Taunton Yew	<i>Taxus x media 'Tauntonii'</i>	24"	B & B	13

PERENNIALS

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Hamel Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'Hamel'</i>	#1	Cont	36
Stella Doro Daylily	<i>Hemerocallis 'Stella Doro'</i>	#1	Cont	33



Savanna On The Park 12 Unit
 Fairhaven
 Madison, WI

Date: May 1, 2007
 Scale: 1" = 10' - 0"
 Designer: mta

Seal:
 To protect against legal liability, the plans presented herein are "schematic," and should not be outsourced as "biddable" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in red, as ORIGINAL.

Revisions:

Reference Name:
 Savanna on the Park 12 Unit

