



City of Madison

APPLICATION FOR ALTERATION OF EXISTING CONDITIONAL USE

FOR OFFICE USE ONLY

Date: 03/21/2024

LNDMAC: 2024-00031

Parcel #: 071006129342

TO ZONING ADMINISTRATOR:

The undersigned owner (contract owner) of property herein described hereby applies for approval to make minor alterations to an existing conditional use.

Location of Property/Street Address: 2927 E. Washington Ave.

Ald. District: District 15

Zoning District: CC-T

Existing Conditional Use: Tasting room for brewery

Proposed Alteration (Describe): Outdoor beer garden

This application must be accompanied by an Adobe Acrobat PDF file of construction and plot plans indicating the proposed alteration, submitted either on a non-returnable CD or USB flash drive, or emailed to sprapplications@cityofmadison.com. The application fee is \$100, in addition to applicable site plan review fees.

Section 28.183(8). states: “No alteration of a conditional use shall be permitted unless approved by the City Plan Commission provided, however, the Zoning Administrator following consideration by the alderperson of the district, may approve minor alterations or additions which are approved by the Director of Planning and Community and Economic Development and are compatible with the concept approved by the Plan Commission and the standards in subsection 28.183(6).”

Respectfully submitted,

Name Ken Saiki

Address Saiki Design, Inc.
1110 S. Park St. Madison, WI 53715

Telephone 608-220-7975

Email ksaike@saiki.design

ALDER’S RECOMMENDATION:

See attached email.

ZONING ADMINISTRATOR’S COMMENTS:

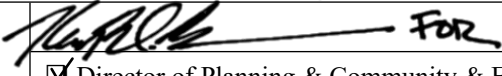
Occupancy Certificate Status Issued 03/15/2024

Outstanding Orders None as of 06/28/2024

Conditions of Approval Met Yes

Compatibility of Proposed Alteration with Concept Approved By Plan Commission
Yes

Compatibility of Proposed Alteration with Standards 28.183(6)
Yes

Approved according to 28.183(8).	<div> For 7/19/2024</div> <div><input checked="" type="checkbox"/> Director of Planning & Community & Economic Development/Date</div>
Disapproved – Refer to Plan Commission	<div><input type="checkbox"/> Director of Planning & Community & Economic Development/Date</div>



City of Madison Site Plan Verification

PROJECT: LNDMAC-2024-00031

Address: 2927 E Washington AVE

Current Revision #: 0

Submitted by: Saiki Design

Contact: Ken Saiki
(608) 220-7975
ksaiki@saiki.design

Project Type: Minor Alteration to Approved Conditional Use

Description: Minocqua Brewing Company outdoor beer garden

Status: Approved

Revision History: [0](#)

Review	Status	Reviewer	Reviewed
Engineering Mapping	Approved	Josh Sherrod	Jun 11 2024
Engineering Review Main Office	Approved	Brenda Stanley	Jun 28 2024
Fire Review	Approved	Matt Hamilton	Jun 24 2024
Lighting Review	Approved	Shannon Davis	Apr 2 2024
Planning Review	Approved	Kevin Firchow	Jun 13 2024
Traffic Engineering Review	Approved	Timothy Stella	Mar 26 2024
Urban Design Commission Review	Approved	Jessica Vaughn	Apr 23 2024
Zoning Review	Approved	Esmeralda Tovar	Jun 28 2024
Plan Director Review	Administrative Approval	Kevin Firchow	

Submitted by: Saiki Design

Contact: Ken Saiki
(608) 220-7975
ksaiki@saiki.design

Project Type: Minor Alteration to Approved Conditional Use

Description: Minocqua Brewing Company outdoor beer garden

Status: Approved

Revision History: [0](#)

ENGINEERING

Supplement Accepted

Comment Date: 03/30/2024

Submit, prior to plan sign-off, a single digital CADD file to the Public Works Development Manager (Brenda Stanley bstanley@cityofmadison.com for East). The digital CADD file shall be to scale and represent final construction. It shall be on the WISCRS Dane County Projection as set forth in the website link below. The single CADD file submittal shall be either AutoCAD (dwg) or Universal (dxf) format and shall contain the required data per the City of Madison CADD Site Plan Approval Submittal instructions available at:

<https://www.cityofmadison.com/engineering/developers-contractors/developers/digital-file-submittals>

ENGINEERING MAPPING

Supplement Accepted

Comment Date: 03/26/2024

*CAD Received 06/11/2024

Submit, prior to plan sign-off, a single digital CADD file to the Public Works Development Manager (Tim Troester ttroester@cityofmadison.com for West or Brenda Stanley bstanley@cityofmadison.com for East). The digital CADD file shall be to scale and represent final construction and existing remaining improvements and pavements. It shall be on the WISCRS Dane County Projection as set forth in the website link below. The single CADD file submittal shall be either AutoCAD (dwg) or Universal (dxf) format and shall contain the required data per the City of Madison CADD Site Plan Approval Submittal instructions available at:

<https://www.cityofmadison.com/engineering/developers-contractors/developers/digital-file-submittals>

FIRE

Supplement Required

Comment Date: 04/02/2024

Provide additional information on occupancy and egress means for the additional Assembly space created by the additional outside space.

PLANNING

Supplement Accepted

Comment Date: 04/25/2024

Provide recommendation from District Alder as required for Conditional Use Alterations.

URBAN DESIGN COMMISSION

Supplement Accepted

Comment Date: 03/26/2024

Please provide a light fixture cutsheet for the proposed string lighting, including the type of bulb (frosted is preferred).

Supplement Accepted

Comment Date: 03/26/2024

Please provide a seating plan.

ZONING

Supplement Accepted

Comment Date: 04/29/2024

Submit District Alder Recommendation.

Submitted by: Saiki Design

Contact: Ken Saiki
(608) 220-7975
ksaiki@saiki.design

Project Type: Minor Alteration to Approved Conditional Use

Description: Minocqua Brewing Company outdoor beer garden

Status: Approved

Revision History: [0](#)

Supplement Accepted**Comment Date:** 04/12/2024

Provide a floor plan of the outdoor seating arrangement and occupancy.

Supplement Accepted**Comment Date:** 06/24/2024

Per Section 28.186(4)(b), the property owner or operator is required to bring the property into compliance with all elements of the approved site plans by the date established by the Zoning Administrator as part of the site and building plan approval.

Establish a final site compliance date: August 1, 2024

Supplement Accepted**Comment Date:** 06/24/2024

Provide a calculation and plan detail for lot coverage with the final submittal. The lot coverage maximum is 85%. Lot coverage is defined as the total area of all buildings, measured at grade, all accessory structures including pools, patios, etc., and all paved areas as a percentage of the total area of the lot, with the following exceptions: sidewalks or paved paths no wider than five (5) feet, pervious pavement, green roofs and decks.

Supplement Accepted**Comment Date:** 06/24/2024

Provide 4 additional bike parking stalls, for a total of 6 bike stalls. A bicycle stall is a minimum two (2) feet by six (6) feet with a five (5) foot wide access area. The access aisle must not be obstructed by vehicles, columns or other structures.

Provide a detail of the proposed bike rack.

March 20, 2024

Project Narrative

This proposal is an outdoor, seasonal beer garden supporting the existing conditional use for a tap room for the Minocqua Brewing Company at 2927 E. Washington Ave. The beer garden will be available only while the tap room is open. The beer garden will not be open after 9:00 pm. There will be no amplified music or audio in the beer garden.

The entire perimeter of the beer garden proper will be fenced for security with a 6', minimum height fence. Along the interior edge of the existing driveway, the fence will be visually opaque, with a gate that can be opened to an approximate 10' width to allow vehicular access to the beer garden if needed. A new wood fence, again at 6' minimum height, replaces the existing chain link and lattice fence along the west property line to maintain separation and security for the beer garden space.

A system of taller posts and cables will allow accent lighting through low voltage LED string lights and will support approximately 50% density, shade fabric canopies for the space. Furniture provided by the tenant will be secured by the fencing after hours.

The beer garden is a tenant improvement to the space. It reduces the impervious surface by about 700 square feet. New pavements will be permeable pavers and the large majority of the beer garden will be restored with sod turf.

A small wood deck will be located near the existing garage. This will provide a hard surface and an accessible option for patrons.

The applicant intends to open the beer garden as soon and as long possible in 2024, weather and construction permitting.

From: [Martinez-Rutherford, Dina Nina](#)
To: [Tucker, Matthew](#)
Cc: [Firchow, Kevin](#); [Kirchgatter, Jenny](#)
Subject: Re: Conditional Use alteration, 2927 E Washington (Minocqua Brewing Company outdoor area)
Date: Friday, April 26, 2024 1:28:42 PM
Attachments: [Outlook-ecniz34p.png](#)

I recommend approval as long as all conditions and laws are met and adhered to.

Graciously,

Alder Dina Nina Martinez-Rutherford
She/Her
District 15
district15@cityofmadison.com
608-709-9244



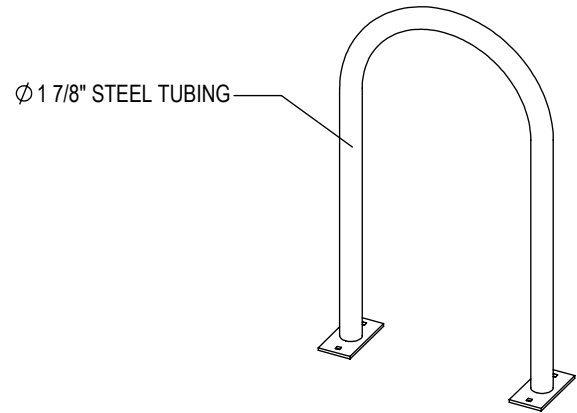
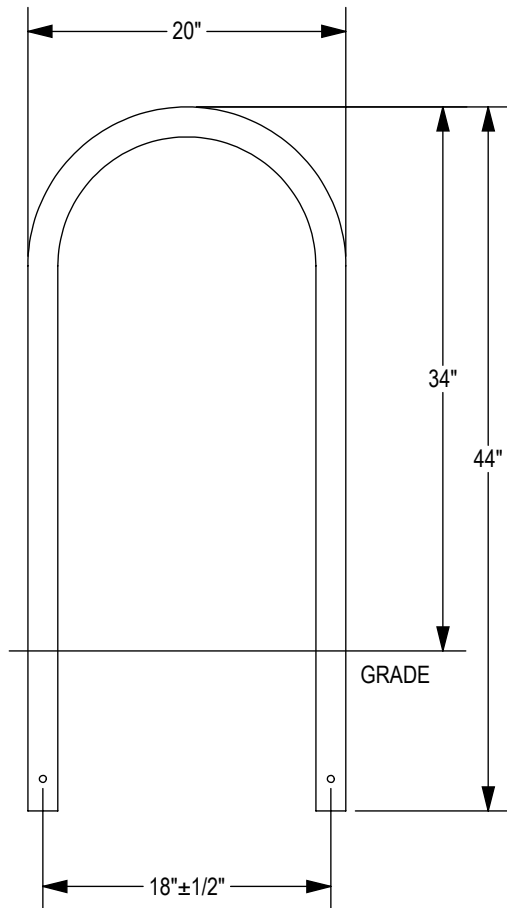
"Change always seems impossible until it's inevitable."
- Sarah McBride

From: Tucker, Matthew <MTucker@cityofmadison.com>
Sent: Thursday, April 25, 2024 3:45 PM
To: Martinez-Rutherford, Dina Nina <district15@cityofmadison.com>
Cc: Firchow, Kevin <KFirchow@cityofmadison.com>; Kirchgatter, Jenny <JKirchgatter@cityofmadison.com>
Subject: Conditional Use alteration, 2927 E Washington (Minocqua Brewing Company outdoor area)

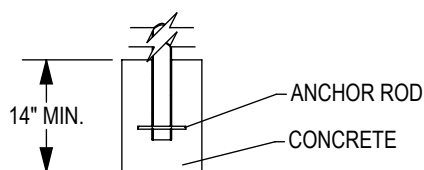
Hello Alder- As we discussed today, the conditional use alteration process requires the "recommendation" from the district alder. I have attached a set of the requested plans, for your review.

If you are okay with this alteration, please provide your recommendation with a "reply all" to this email.

Thanks, Matt Tucker

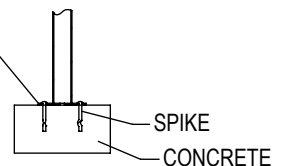


CHECK DESIRED MOUNT



☐ IN GROUND MOUNT (IG)

3" x 6" x 1/4" THICK
2 EA. 7/16" SQ. HOLE TYP.



☐ SURFACE FLANGE MOUNT (SF)

PRODUCT: U190-IG(SF)

DESCRIPTION: 'U' BIKE RACK

2 BIKE, SURFACE OR IN GROUND MOUNT

DATE: 10-4-18

ENG: SMC

CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

Vaughn, Jessica L

From: Ken Saiki <KSaiki@saiki.design>
Sent: Friday, March 29, 2024 12:43 PM
To: Vaughn, Jessica L
Subject: 2927 E. Washington Ave. LNDMAC-2024-00031
Attachments: 40W FROSTED CANDLE.pdf; string light.pdf

Caution: This email was sent from an external source. Avoid unknown links and attachments.

Hi Jessica,

I've attached lighting information. I'm not sure if this is all you'd need, but we're able to find frosted bulbs as you requested. There are 10 LED lights per strand and the light strings we show on the plan would require 10 strands, 100 bulbs total.

The string lights are about 10' high on average. They are dimmable.

I think it's entirely possible to eliminate one full light string (14', 10 bulbs) near the west property line if needed.

We're working on a shoestring budget at the moment so no other lighting is proposed.

I think you might also be asking for the seating capacity in the review process. I'm checking with Kirk Bangsted on how he'd like to approach that item. Will reply when I get direction. Is this the right process for amending the application?

Ken



UPC 739698810560

Order Multiple
QTY
1

Project Name

Location

Prepared By



SATCO S21269

4B11/LED/927/FR/120V/E12

Notes

[www] 01-15-2024 02:40:00

General

Status	Active
Watts	4W
Incandescent Equivalent	40W
Volts	120V
Shape	B11
Base	Candelabra
ANSI Base	E12
Finish	Frost
CCT (Kelvin)	2700K
Temperature	Warm White
CRI	90
Lumens	350L
Beam Spread	300
Dimmable	Yes-Dimmable
Hours Rated	15000
Lamp Type	Candle
Technology	LED

Electrical

Operating Frequency	60Hz
Dimming Note	120V only
Power Factor	0.75
Operating Temperature	-20C (-4F) to +45C (+113F)

Physical

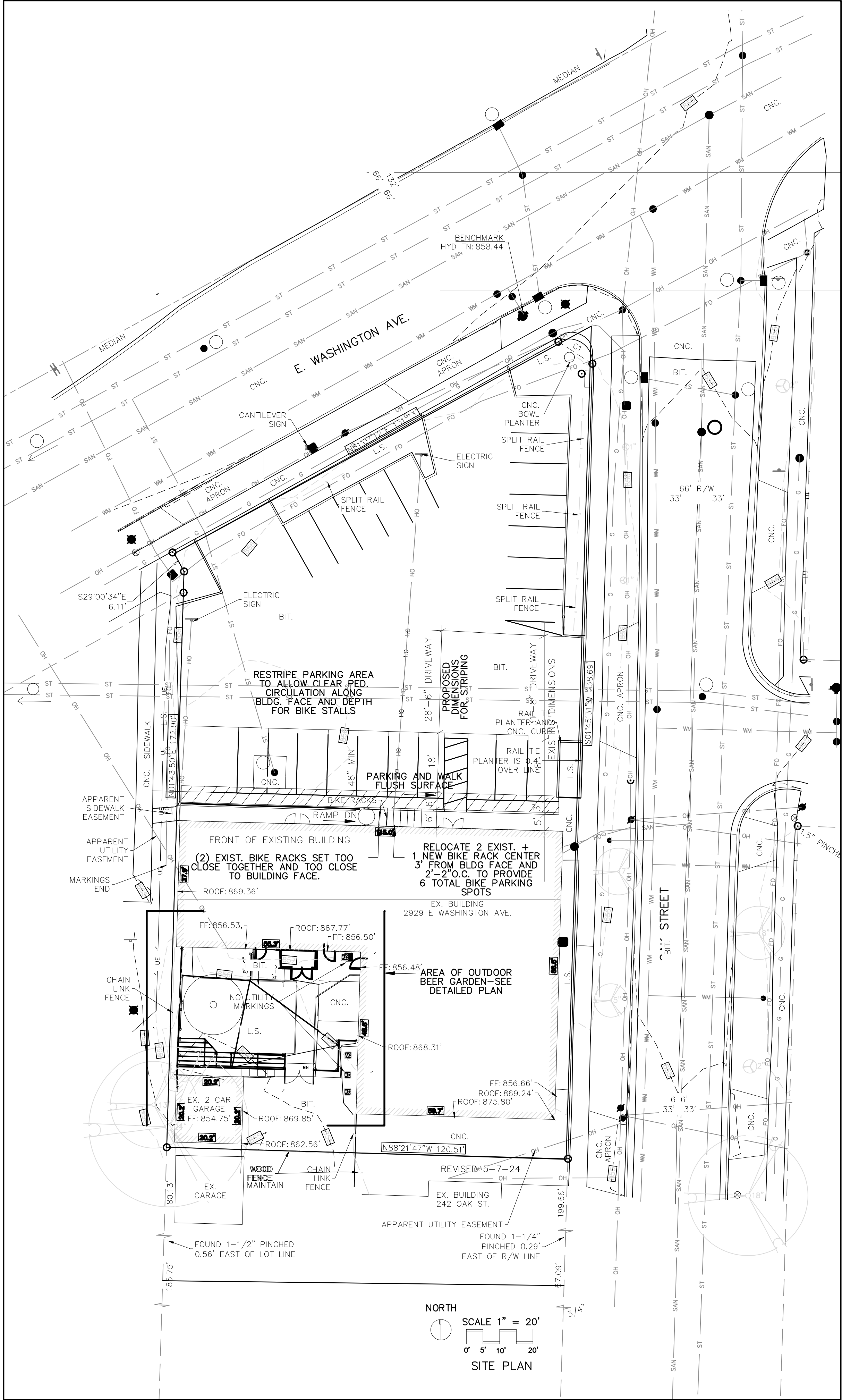
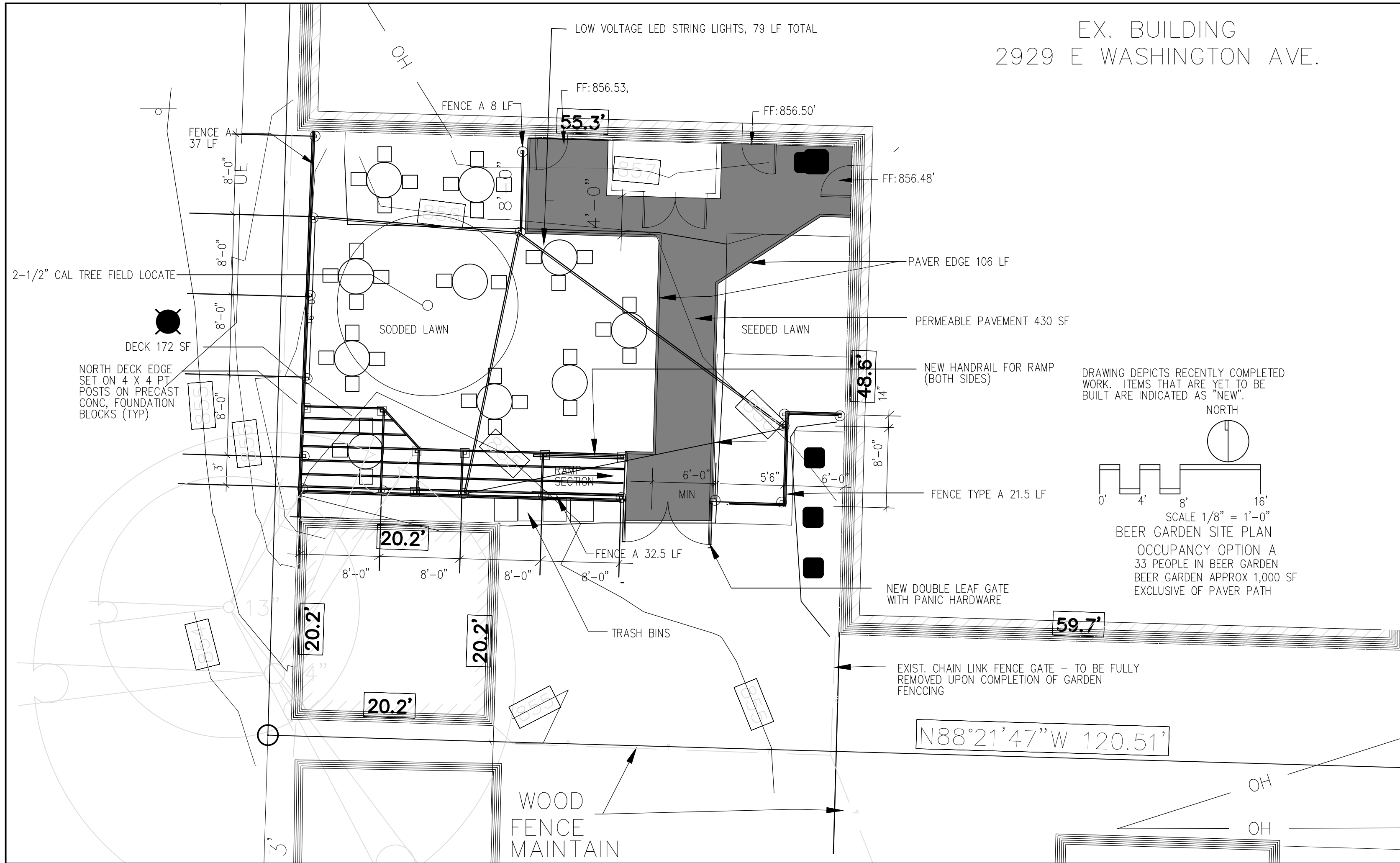
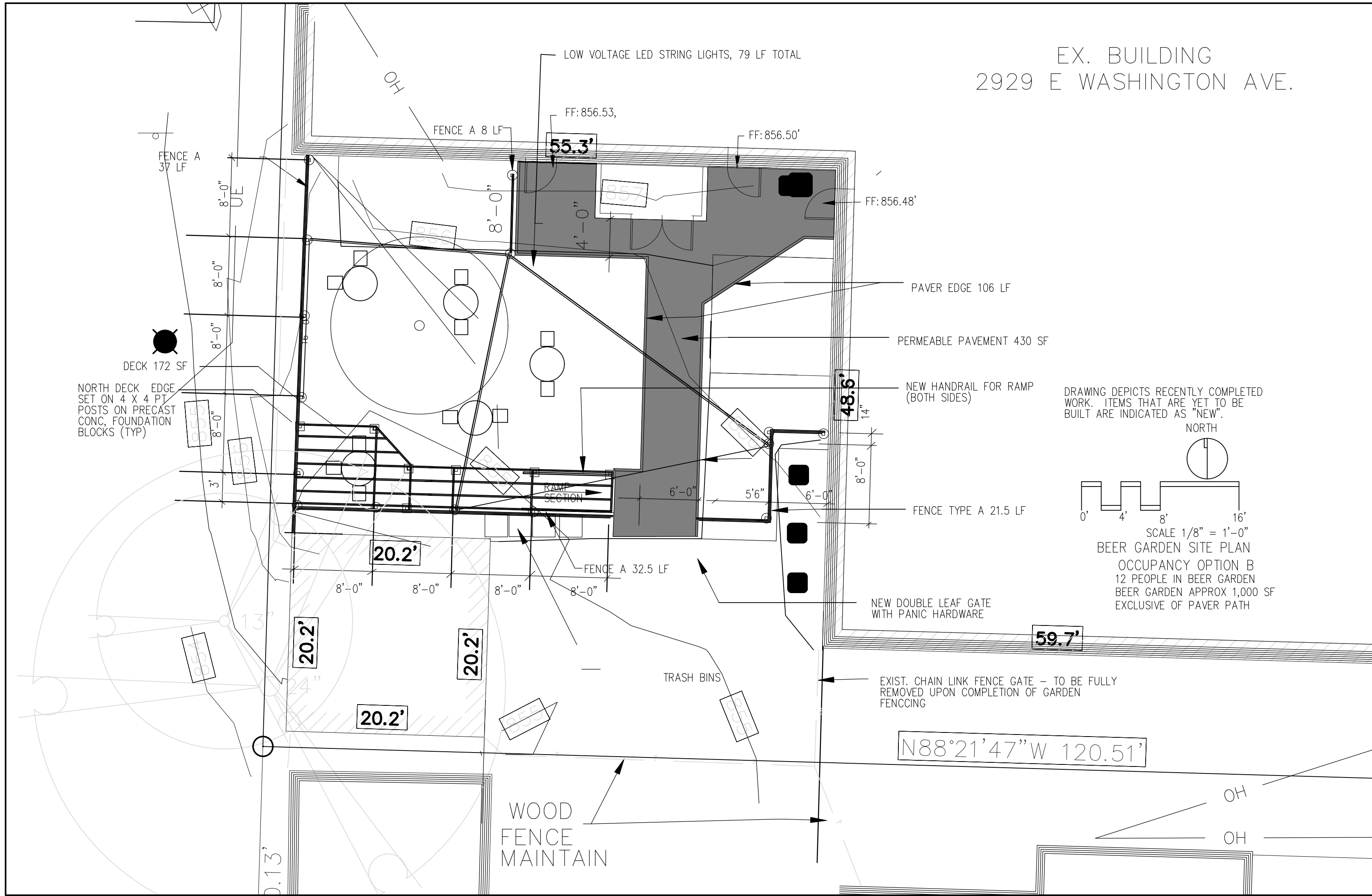
MOL	3.97
MOD	1.38
Weight (lb.)	0.035

Additional Information

Rated For Enclosed Fixture	Yes
Warranty	3 Year Limited

Compliance

Safety Listing	cETLus
Location Rating	Wet
Energy Star	Yes
ES Unique ID	ESID-2398719
NSF Approved	No
CA T20 / T24 Rationale	T20 Listed
California Status	Lawful for sale in California
Title 20 / 24 Status	Lawful for sale
RoHS Compliant	Yes
SDS Sheet	LED_Lamp

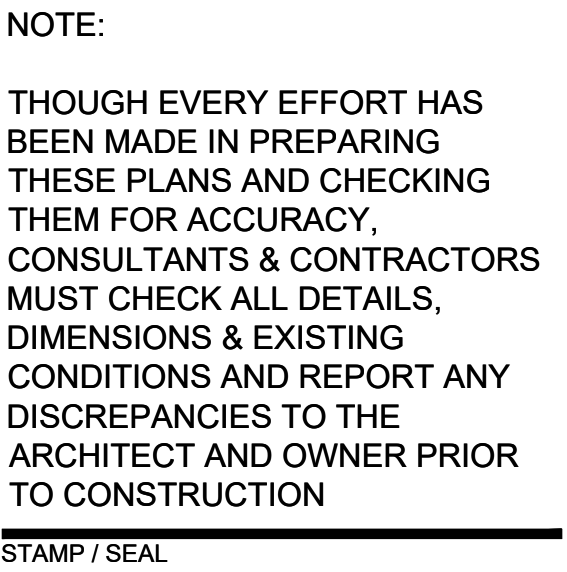


NOTE:
THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, CONSULTANTS & CONTRACTORS MUST CHECK ALL DETAILS, DIMENSIONS & EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION

STAMP / SEAL		
NO	DATE	REV DESCRIPTION

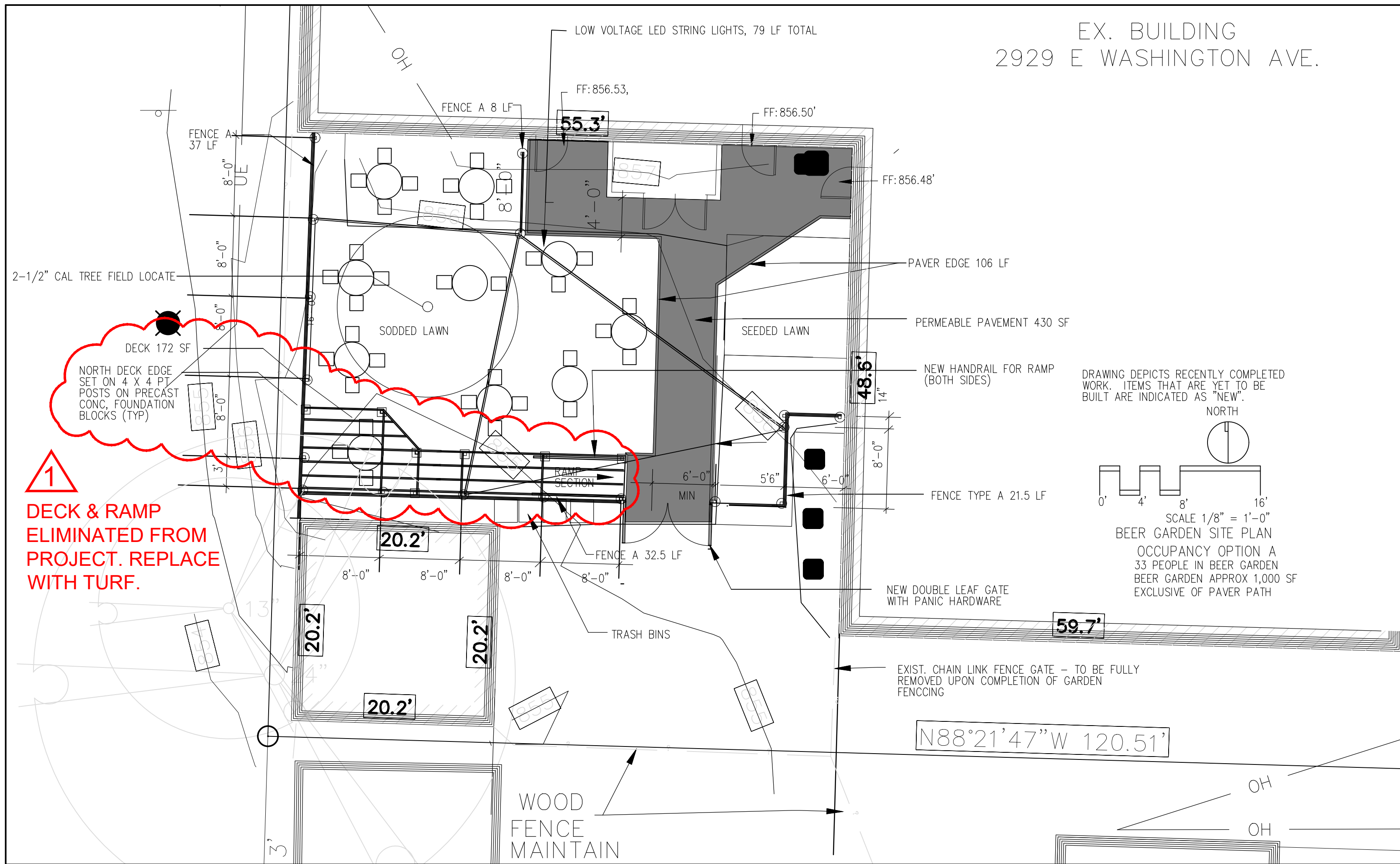
Minocqua Brewing Company
Tasting Room
2927 East Washington Ave.
Madison, WI.

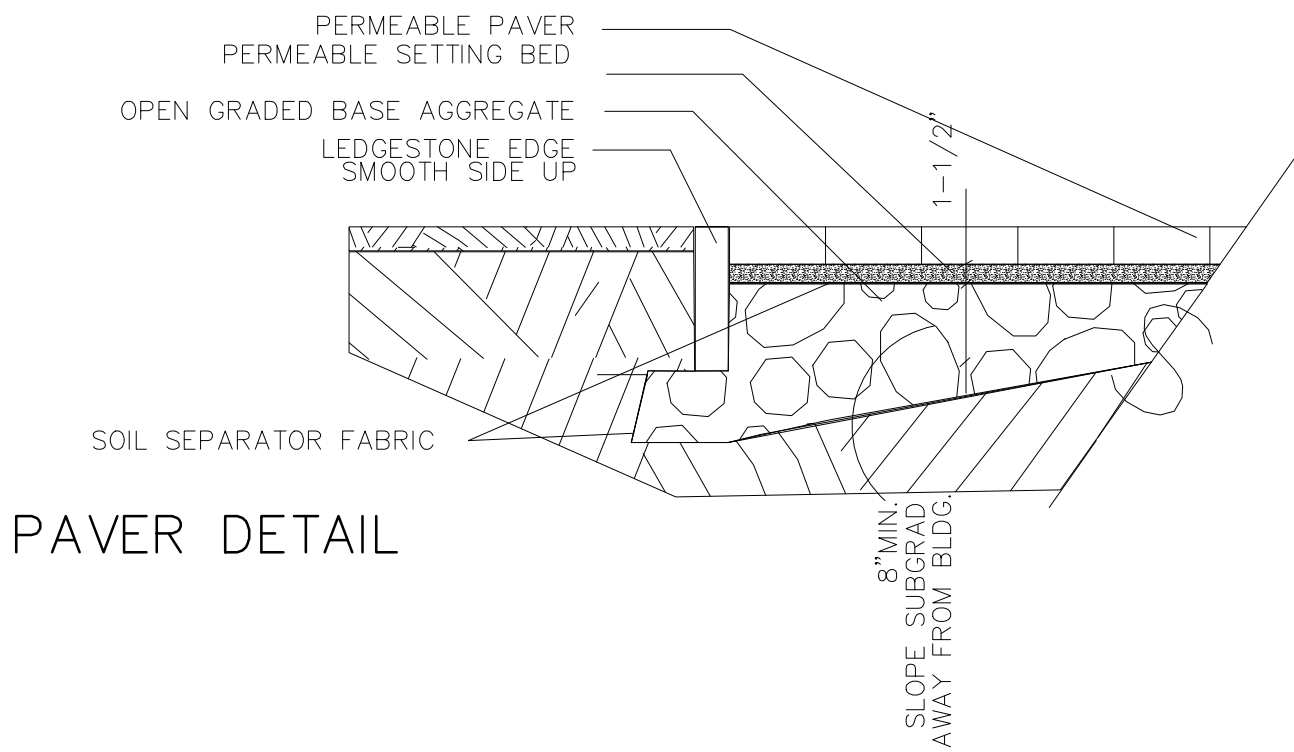
Outdoor Beer Garden



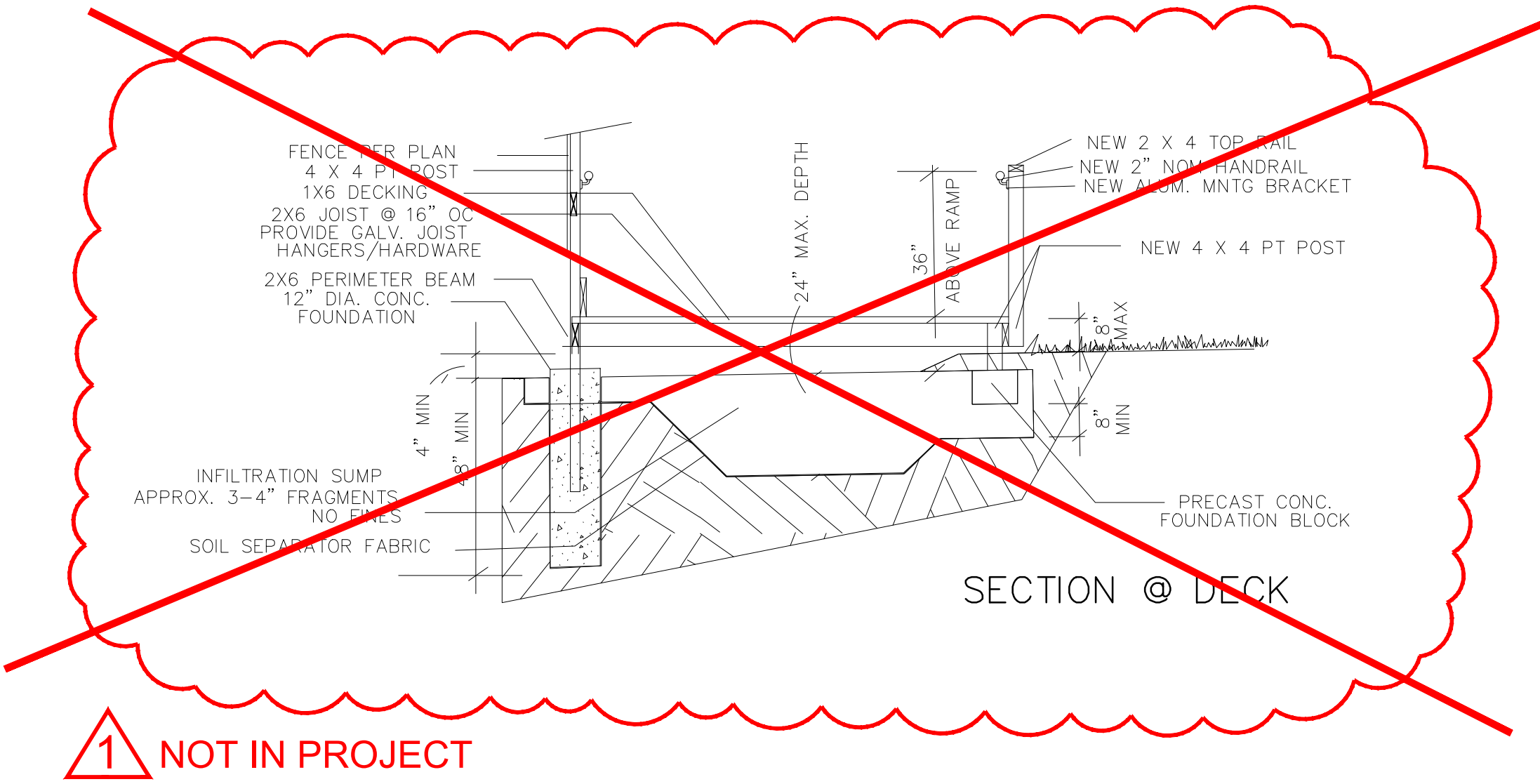
Minocqua Brewing
Company
Tasting Room
2927 East Washington Ave.
Madison, WI.

PROJECT
DATE May 29, 2024
DRAWN BY
CHECKED BY



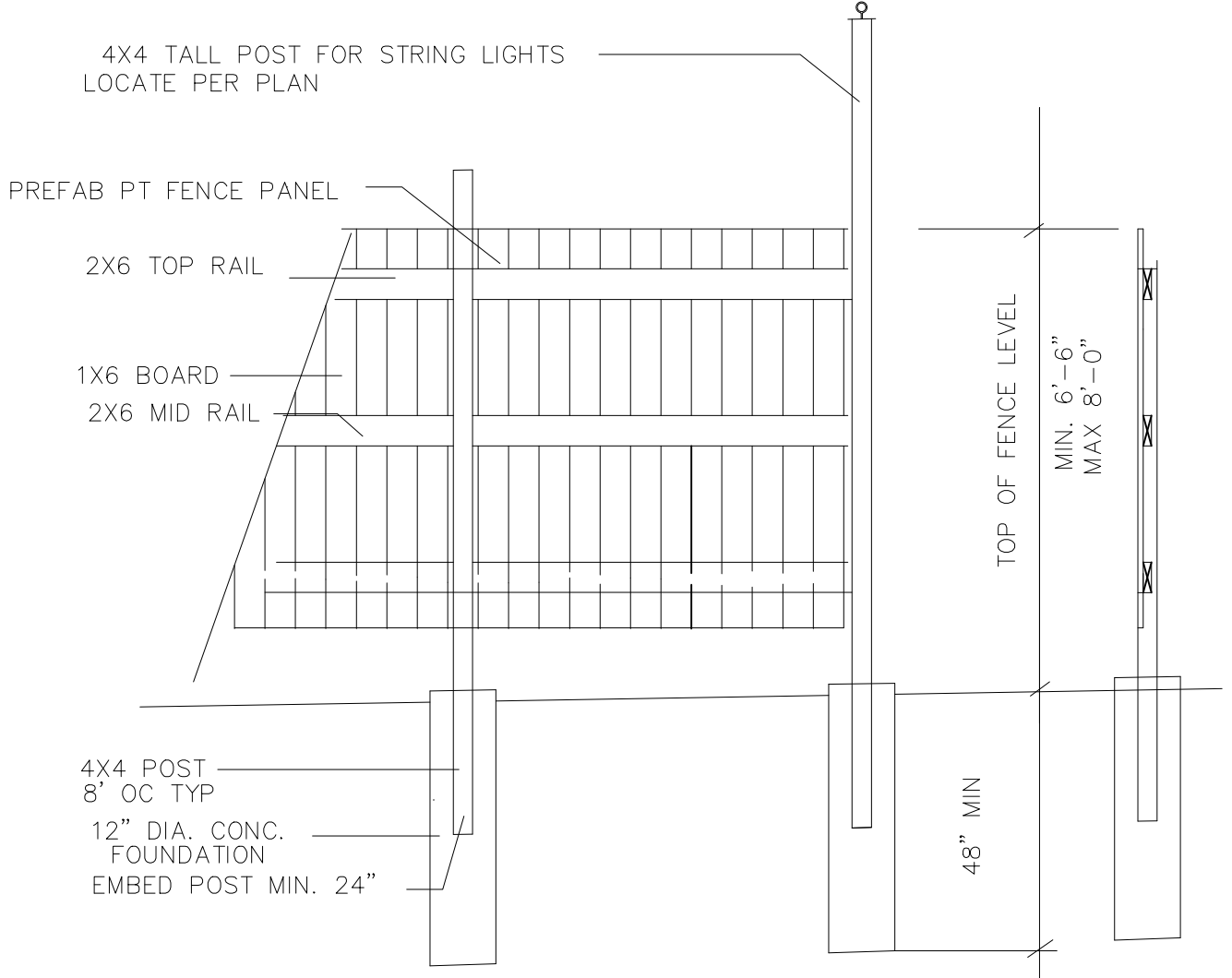


PAVER DETAIL

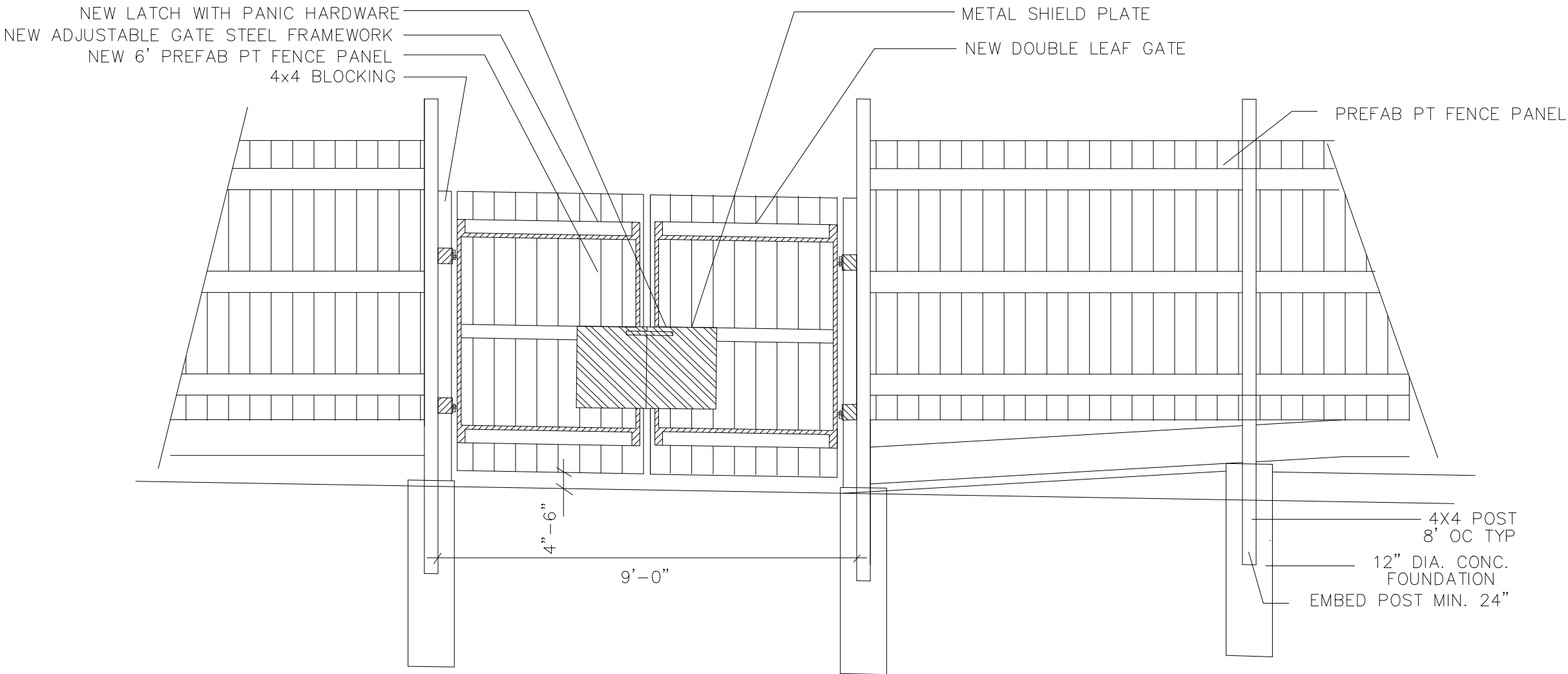


1 NOT IN PROJECT

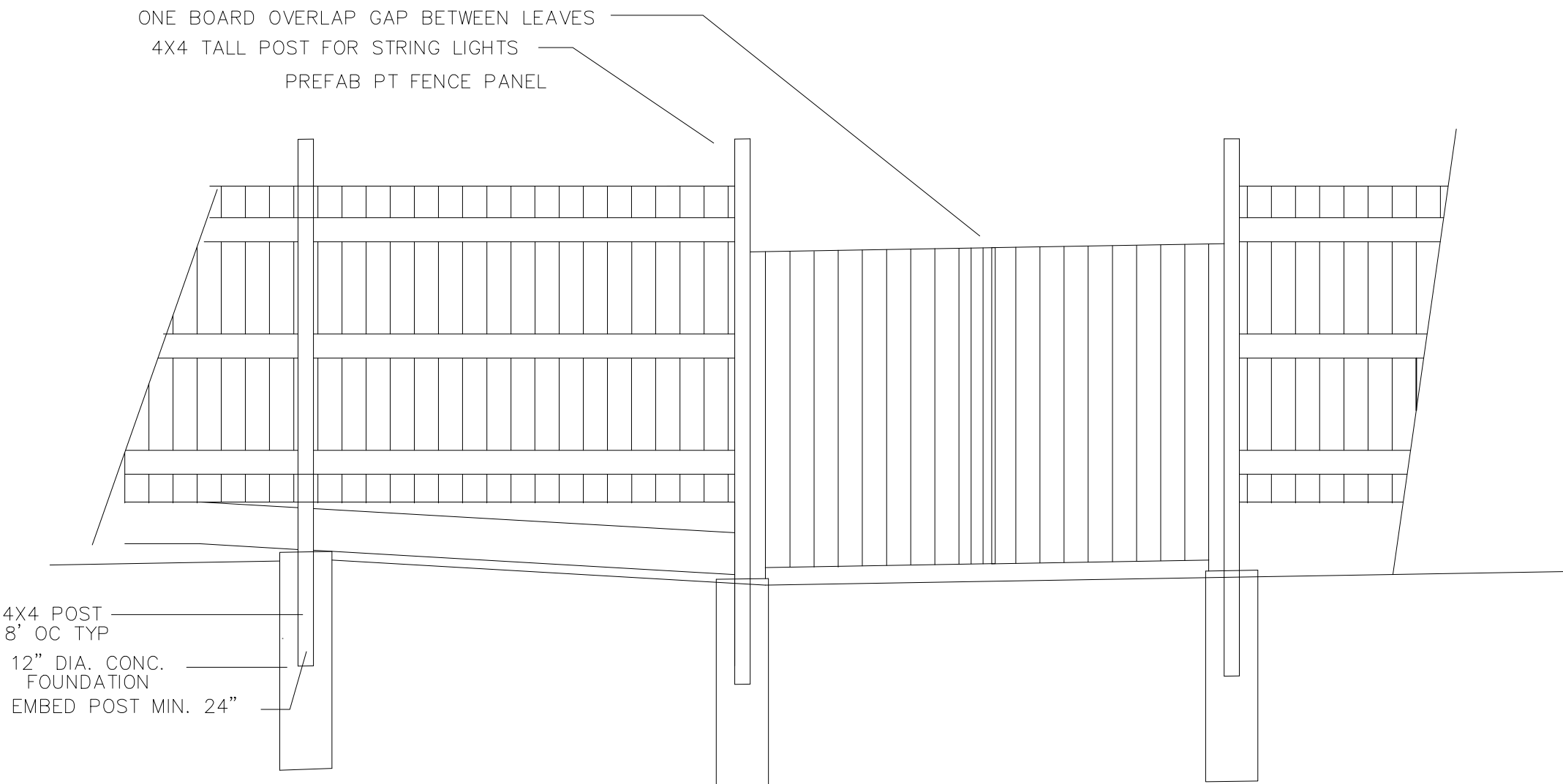
FENCING DETAILS



FENCE TYPE A—SCALE 3/8"=1'-0" STD. POST



NEW EXIT GATE—INSIDE ELEVATION
SCALE 3/8"=1'-0"



NEW EXIT GATE—OUTSIDE ELEVATION
SCALE 3/8"=1'-0"

CODE REVIEW

APPLICABLE CODES

INTERNATIONAL BUILDING CODE (IBC 2015)
INTERNATIONAL FIRE CODE (IFC 2015)
INTERNATIONAL EXISTING BUILDING CODE (IEBC 2015)
WISCONSIN COMMERCIAL BUILDING CODE (SPS 361-366)
CITY OF MADISON ZONING CODE
CITY OF MADISON BUILDING CODE

BEER GARDEN PROPOSAL

OCCUPANCY CALCULATION

Beer Garden occupancy determined by fixture capacity in bathroom service.

Beer Garden to be assigned A-2 (Assembly) as an outdoor venue tied to the primary tenant

Primary user occupant service

Existing Minocqua Brewing Co. Tasting Room Occupant Load

37 occupants as "B" (A-2 under 50 Occupants)
IBC 2015 303.1.2 Small Assembly Spaces

Supportive Fixture Capacity

2 EXISTING Single user Unisex Bathrooms (one ADA compliant)

80 occupants can be served with existing fixtures (40 oc per fixture per A-2 Standard)
IBC 2015 2902.1 Min Fixture Required

Remaining fixture load capacity remaining

33 occupants of capacity remaining for bathroom fixtures

Beer Garden may service for up to 33 occupants above indoor capacity

EGRESS CALCULATION

Beer Garden exists in a shared courtyard condition and shall maintain an unobstructed shared egress path of 36" (paved path) that also serves primary building. The path shall maintain the following standard

Primary user occupancy count calculation

Existing B-Occupancy Tenant (Lend Nation)

13

IBC 2015 Table 1004.1.2 Max Floor Area a Allowance per Occupant

Existing B Occupancy Trixie's Liquor

101

IBC 2015 Table 1004.1.2 Max Floor Area a Allowance per Occupant

Existing B Occupancy Minocqua Brewing Co. Tasting Room

37

IBC 2015 Table 1004.1.2 Max Floor Area a Allowance per Occupant

Secondary user occupancy count calculation

Proposed A-2 Occupancy Beer Garden

33

Capped per Supportive Plumbing Fixture Capacity

Total common egress path load

184

Egress Exit Width Requirement (0.20)

36.2"

IBC 2015 1005.3.2 Other Egress Components

Egress Exit Width Provided

96"

Gate of Beer Garden shall have min of 2 leaf gate doors exiting directly into the ally/yard with unobstructed access to public right of way with Panic Hardware

Max egress travel distance through Beer Garden

70'-0"

Measured at perimeter of courtyard, beer garden to center egress gate

Max allowable exit egress travel distance for single exit

75'-0

IBC 2015 1006.3.2(2)



Christopher Max
DESIGN & DEVELOPMENT LLC

CMDD LLC
2533 Lopez Lane
Green Bay, WI. 54311
www.cmdllc.com
920-430-0984

NOTE:

THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, CONSULTANTS & CONTRACTORS MUST CHECK ALL DETAILS, DIMENSIONS & EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION

STAMP / SEAL

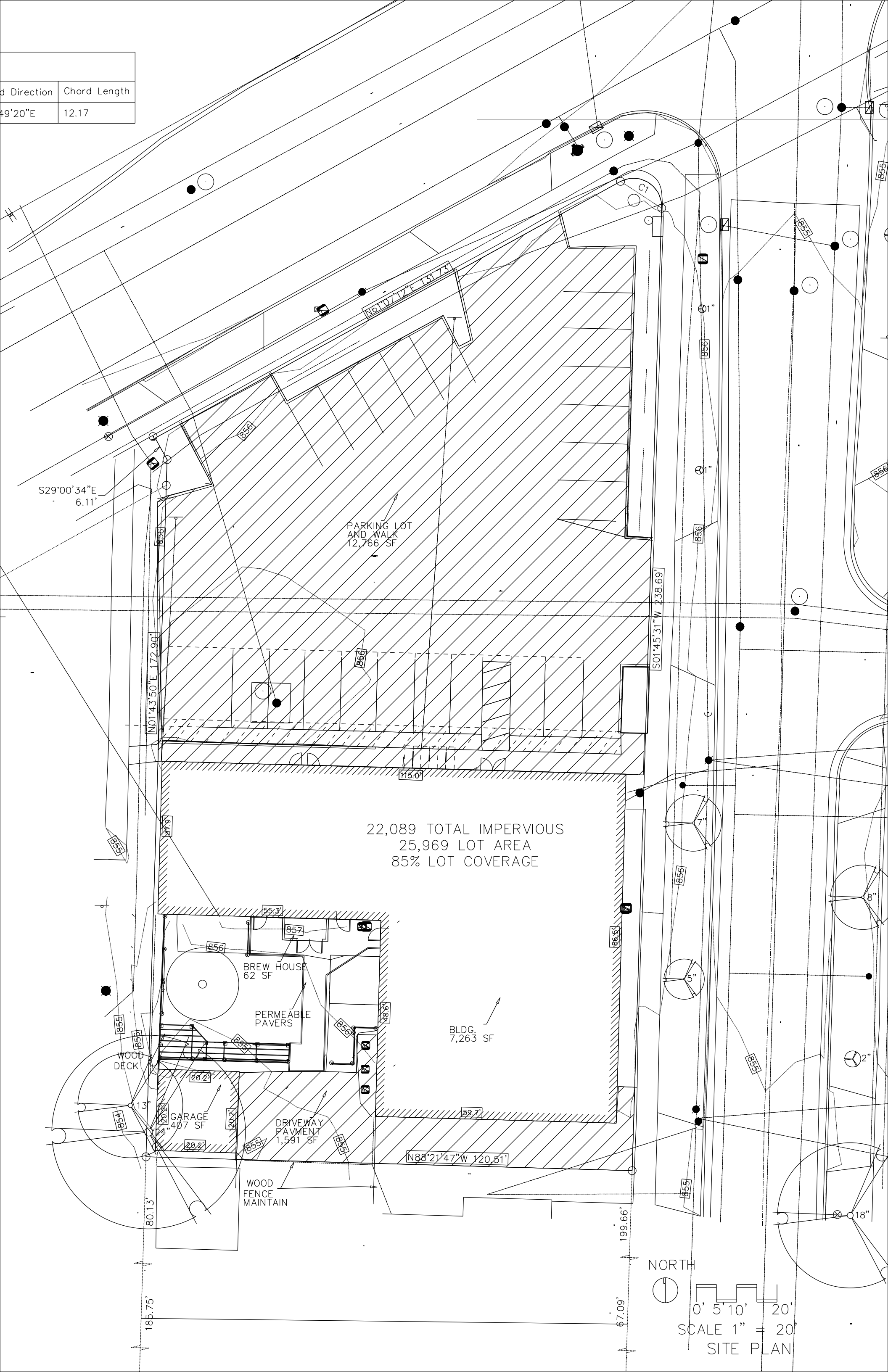
NO	DATE	REV DESCRIPTION
1	2024-06-17	REPLACE DECK & RAMP W/ TURF

Minocqua Brewing Company
Tasting Room
2927 East Washington Ave.
Madison, WI.

Outdoor Beer Garden

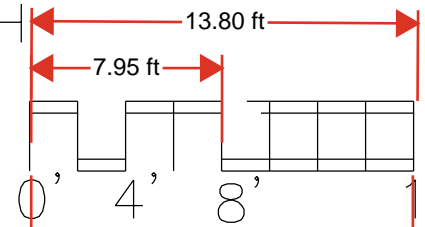
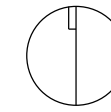
PROJECT	
DATE	May 29, 2024
DRAWN BY	
CHECKED BY	

Chord Direction	Chord Length
49°20"E	12.17



EX. BUILDING
2929 E WASHINGTON AVE.

NORTH



SCALE 1/8" = 1'-0"
SITE PLAN

(2) Bar Height 4 top

LOW VOLTAGE LED STRING LIGHTS, 132 LF TOTAL

Brewing Equipment shed-unoccupied

FF: 856.53,

FF: 856.50'

FF: 856.48'

FENCE B 37 LF

FENCE A 8 LF

(2) Picnic Table Style(6 seats/each)

(3) Dining Height 4 top

(3) Exit doors from interior spaces

NEW PAVER EDGE 106 LF

NEW PAVEMENT 430 SF

(3) Dining Height 3 top ADA access

FENCE TYPE A 24 LF

CABLE CHORDS FOR FABRIC STRETCH AND STRING LIGHT SUPPORT
FABRIC SHADE STRETCHES 146 SF / 291 SF

NEW GATE-10' FULL OPENING FENCE TYPE B

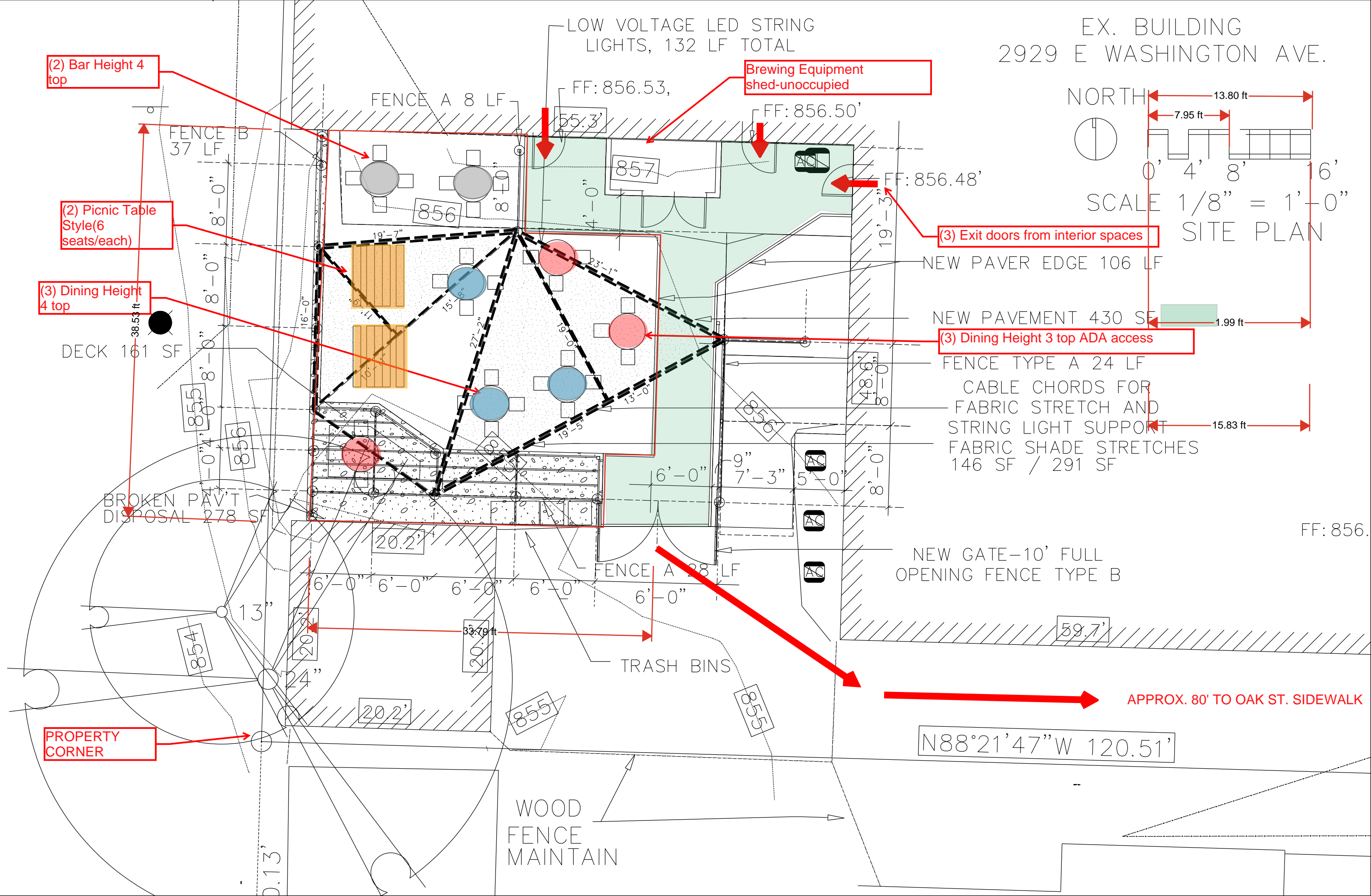
TRASH BINS

PROPERTY CORNER

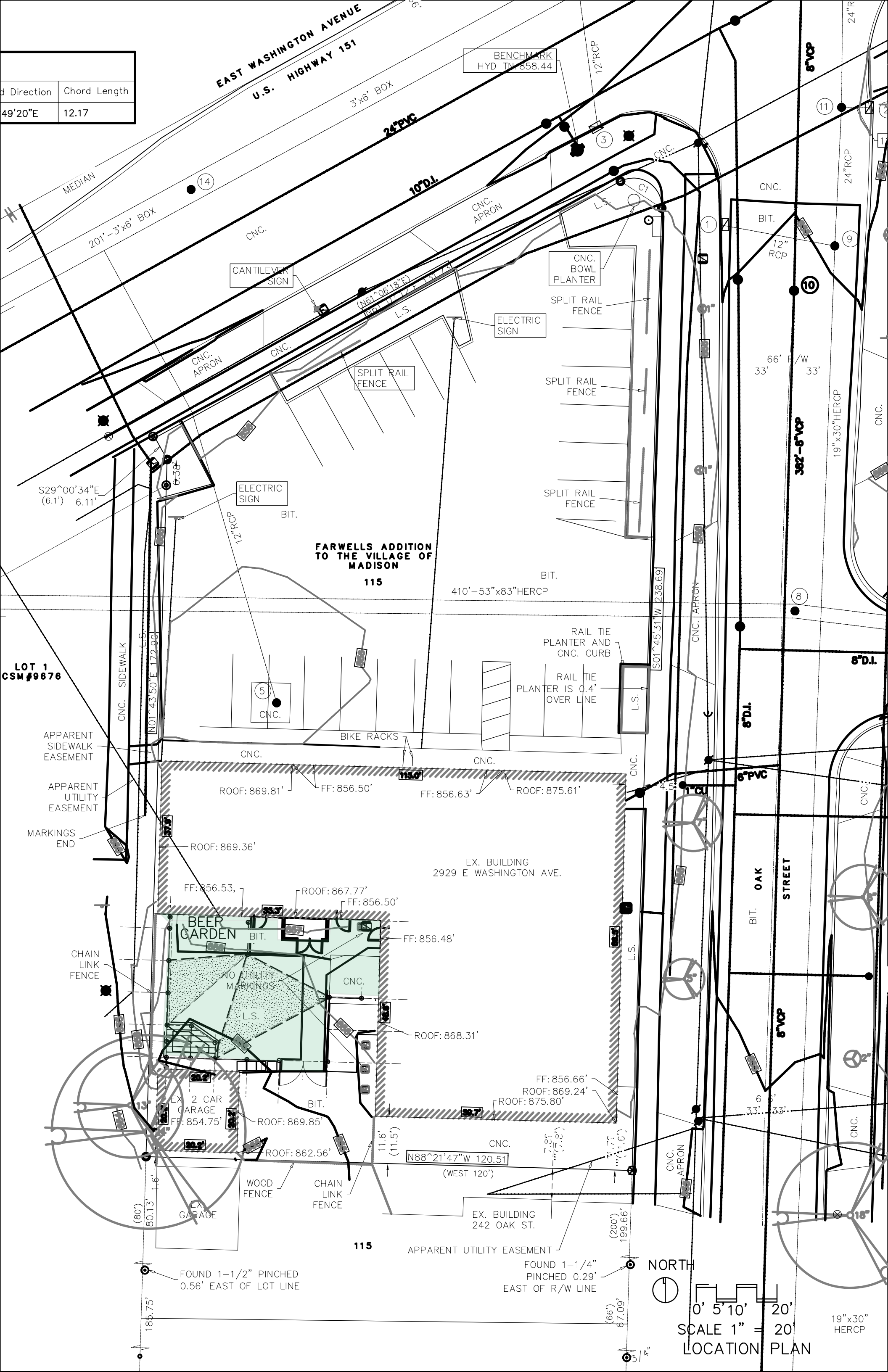
WOOD FENCE MAINTAIN

APPROX. 80' TO OAK ST. SIDEWALK

N88°21'47"W 120.51'

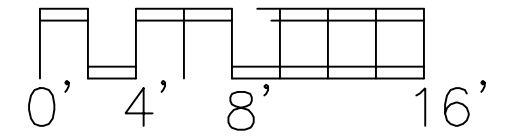
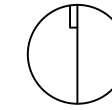


Direction	Chord Length
49°20"E	12.17



EX. BUILDING
2929 E WASHINGTON AVE.

NORTH



SCALE 1/8" = 1'-0"

FF: 856.48'

SITE PREPARATION PLAN

FF: 856.53,

FF: 856.50'

55.3'

857

856

STRIP VEGETATION AND
TOPSOIL

48.6'

PAVEMENT REMOVAL 700 SF

SAWCUT PAVEMENT 5' FROM BLDG.

FF: 856.66'

59.7'

EX. 2 CAR
GARAGE
FF: 854.75'

20.2'

20.2'

20.2'

20.2'

13'

24'

855

855

N88°21'47"W 120.51

(WEST 120')

WOOD
FENCE
MAINTAIN

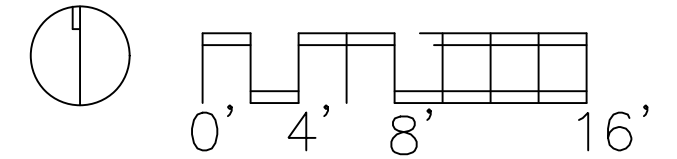
CHAIN
LINK
FENCE
REMOVE

REMOVE CHAIN
LINK FENCE

86.5'

EX. BUILDING
2929 E WASHINGTON AVE.

NORTH



SCALE 1/8" = 1'-0"
SITE PLAN

LOW VOLTAGE LED STRING
LIGHTS, 132 LF TOTAL

FF: 856.53,

FF: 856.50'

FENCE A 8 LF

FENCE B
37 LF

FF: 856.48'

NEW PAVER EDGE 80 LF

NEW PAVEMENT 430 SF

FENCE TYPE A 24 LF

CABLE CHORDS FOR
FABRIC STRETCH AND
STRING LIGHT SUPPORT
FABRIC SHADE STRETCHES
146 SF / 291 SF

NEW GATE-10' FULL
OPENING FENCE TYPE B

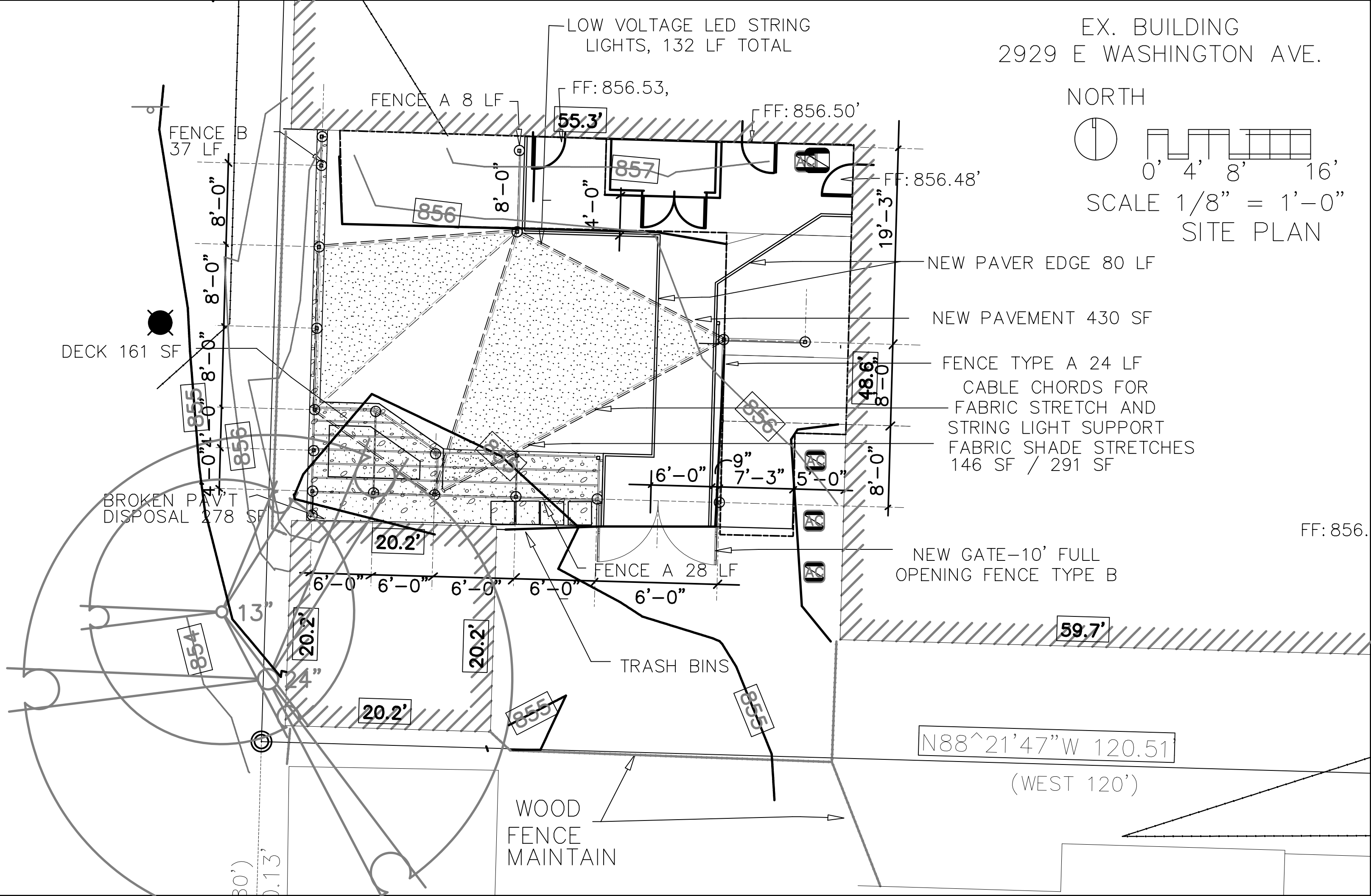
FF: 856.

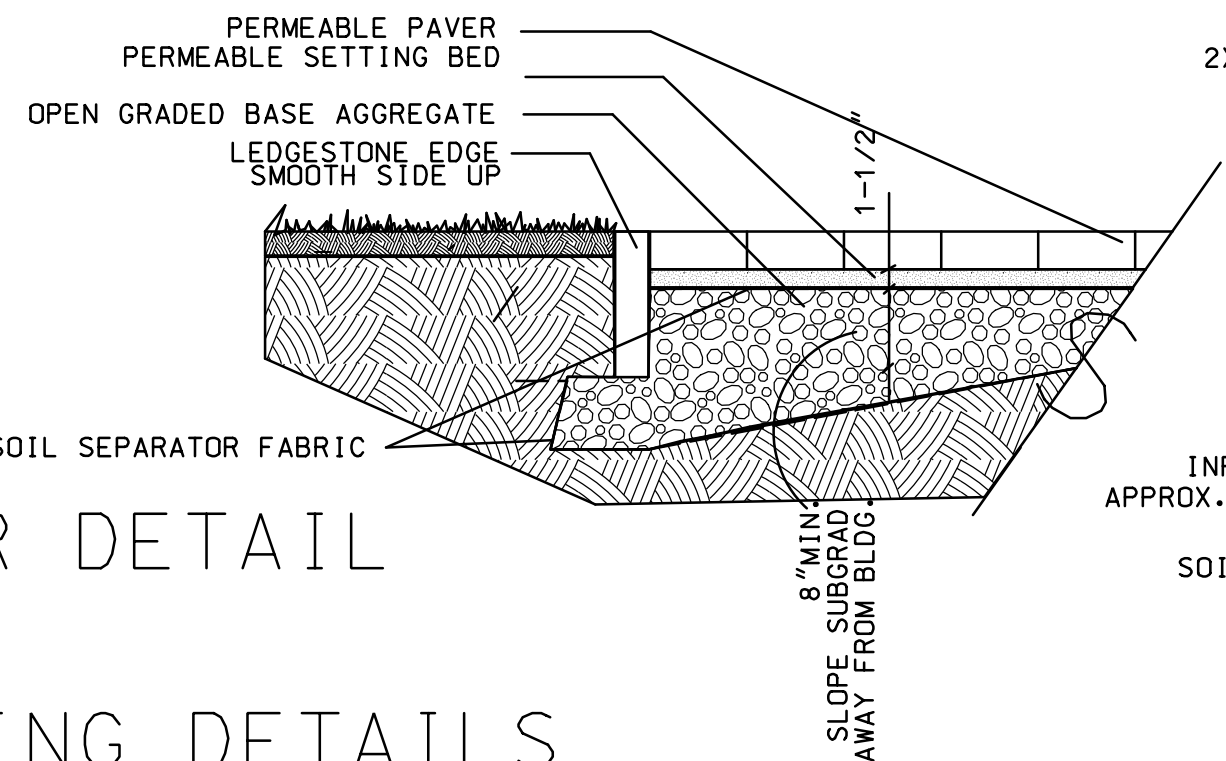
TRASH BINS

WOOD
FENCE
MAINTAIN

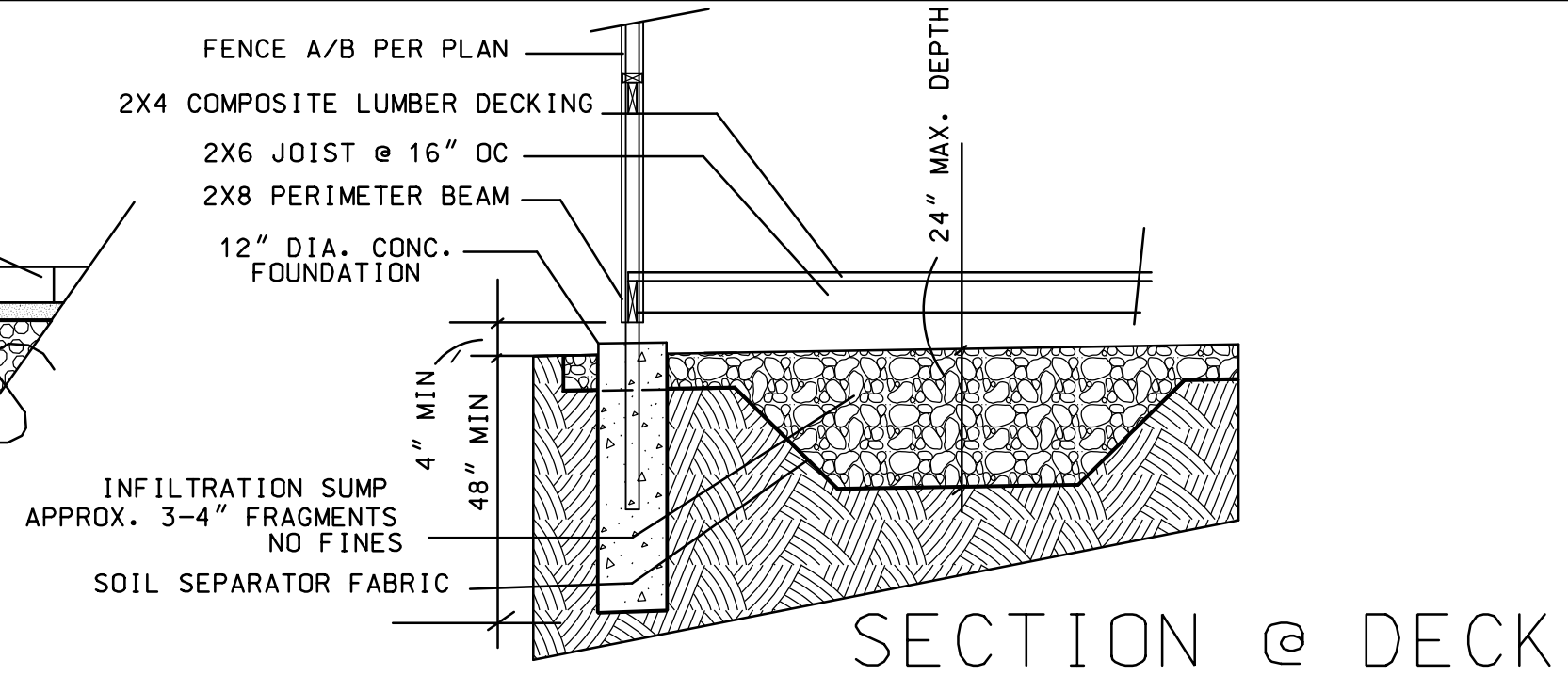
DECK 161 SF

BROKEN PAV'T
DISPOSAL 278 SF



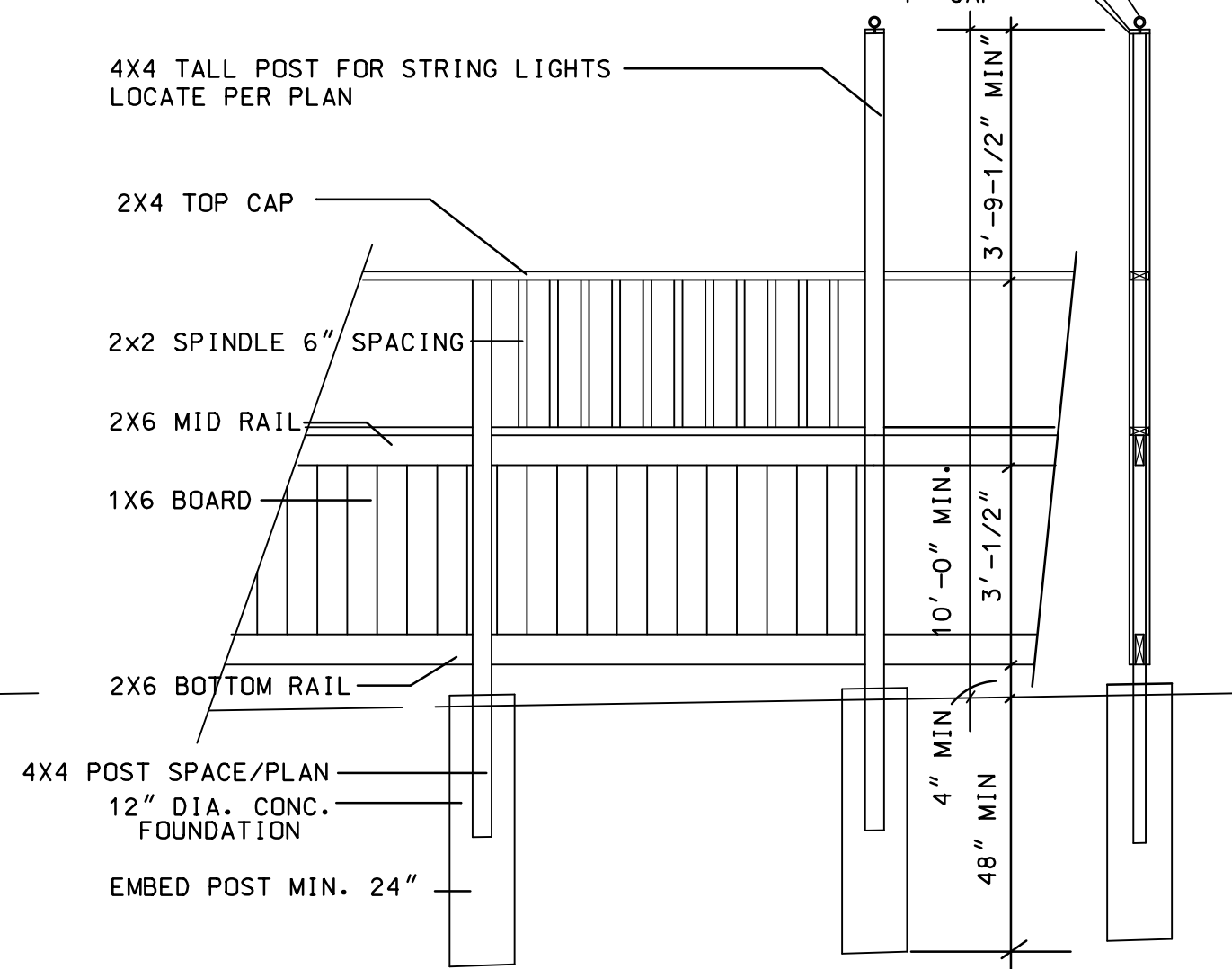
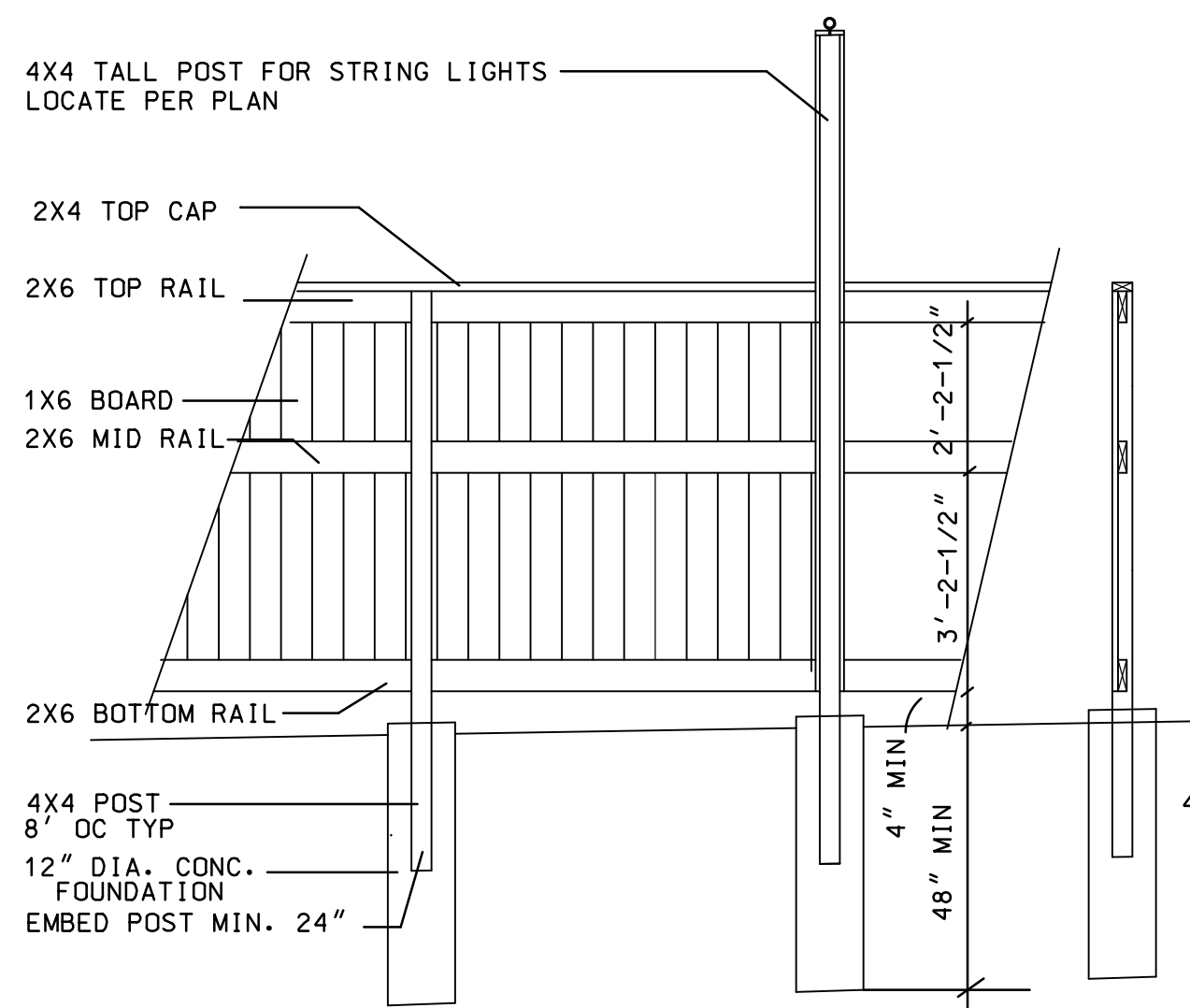


PAVER DETAIL




SECTION @ DECK

2" EYE WELD TO POST TOP
SET TOP OF POST AT DATUM
MIN. 10'-0" ABOVE GRADE
1" CAP

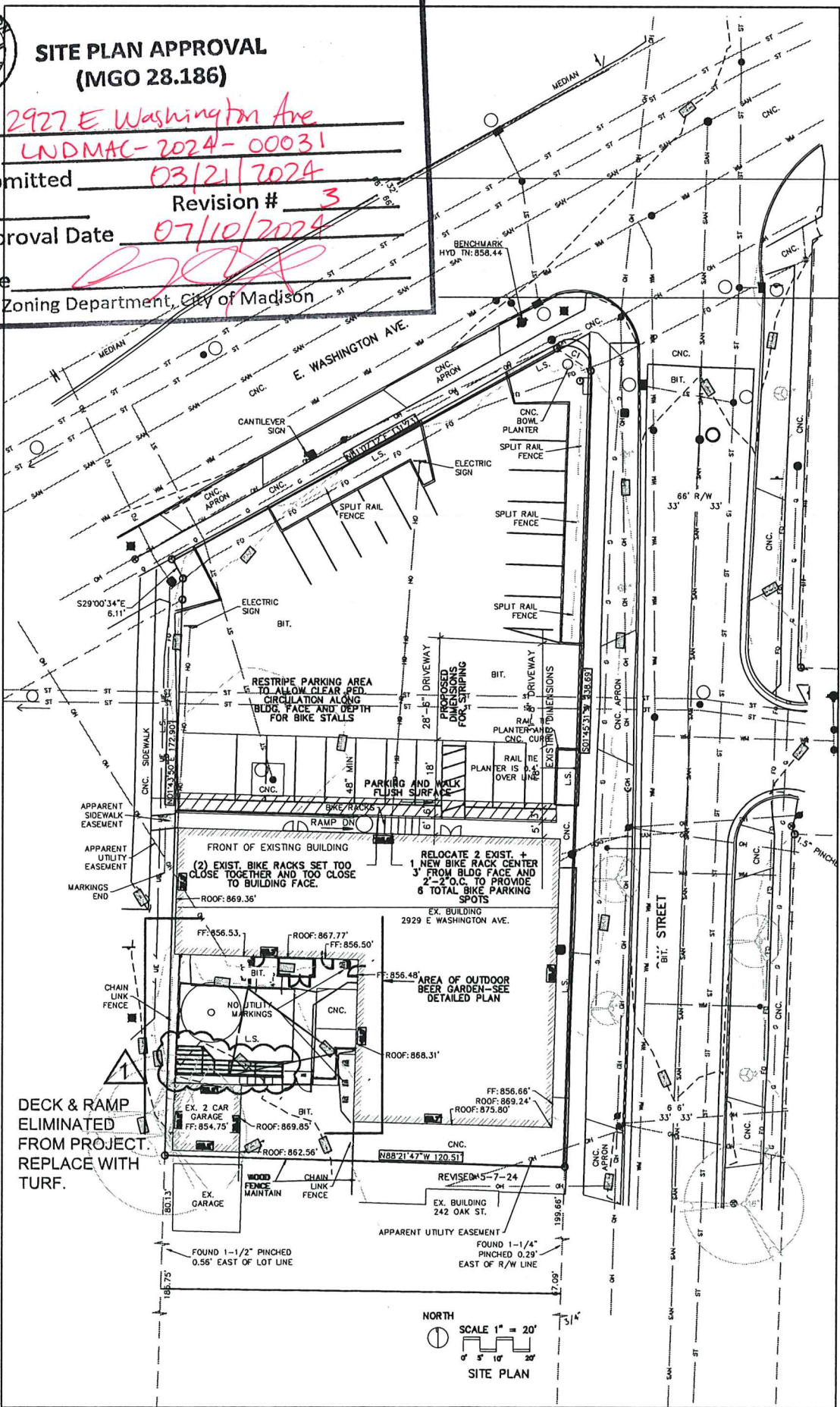
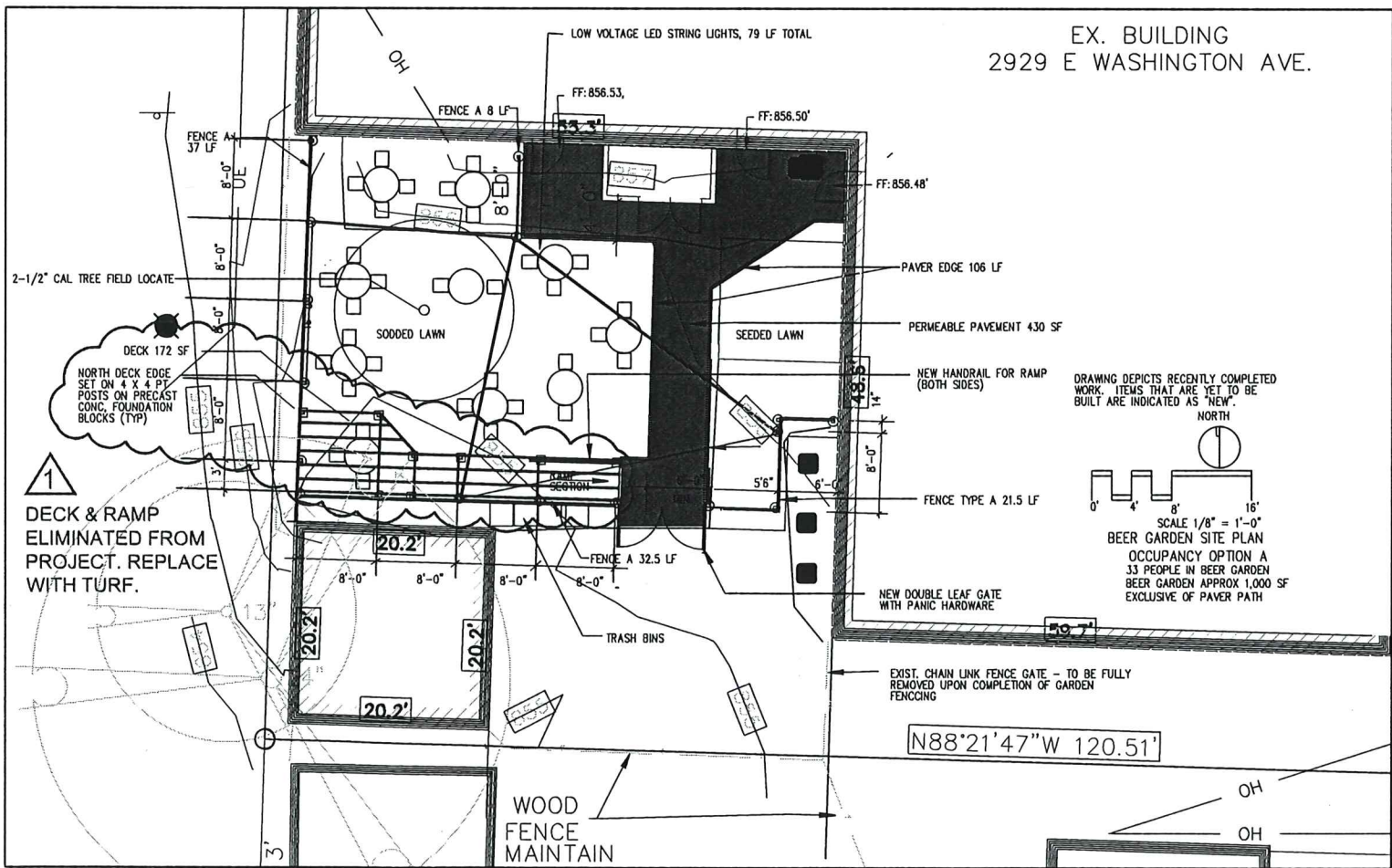


FENCE TYPE A-SCALE 3/8"=1'-0" STD. POST FENCE TYPE B-SCALE 3/8"=1'-0" LIGHT POST



Address 2927 E Washington Ave
 Permit # LNDMAC-2024-00031
 Date Submitted 03/21/2024
 Original _____ Revision # _____
 Final Approval Date 07/10/2024
 Signature 

Zoning Department, City of Madison



NOTE:

THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, CONSULTANTS & CONTRACTORS MUST CHECK ALL DETAILS, DIMENSIONS & EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION

STAMP / SEAL

[illegible]

**Minocqua Brewing
Company
Tasting Room**
2927 East Washington Ave.
Madison, WI.

Outdoor Beer Garden

PROJECT _____
DATE May 29, 2024 _____
DRAWN BY _____
CHECKED BY _____