

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** \_\_\_\_\_

DATE SUBMITTED: <u>5-30-2007</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>6-6-2007</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 8210 HIGHVIEW DRIVE  
ALDERMANIC DISTRICT: 9

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
OWNER: ALL SAINTS COTTAGES AND CONDOS INC. ARCHITECT: ARCHITECTURE 2000, LLC  
DEVELOPER: HORIZON DEVELOPMENT  
OPERATOR: ELDERSPAN MANAGEMENT

CONTACT PERSON: JEREMY BARTLETT, ARCHITECTURE 2000, LLC  
Address: 244 N. BROADWAY  
MILWAUKEE, WI 53202  
Phone: (414) 727-2321  
Fax: (414) 276-1764  
E-mail address: jeremy@schroederholt.com

- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
  - Planned Commercial Site

(See Section B for:)  
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)  
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)  
 Comprehensive Design Review\* (Fee required)  
 Street Graphics Variance\* (Fee required)  
 Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



ROUND



SQUARE



GRAN- Granite (NEW!)



OPAL - Opal (Acrylic Lens)



MICA - Mica (Acrylic Lens)



Painted Aluminum (BLK shown)



EMBR - Ember (NEW!)



MARB - Marble (NEW!)



STS - Stainless Steel



COP - Natural Copper

## Architectural Area Lighting

14249 Artesia Blvd / La Mirada, CA 90638  
714.994.2700 / fax 714.994.0522 / www.aal.net  
Ref: AC\_ped.pdf copyright 2005, design patented

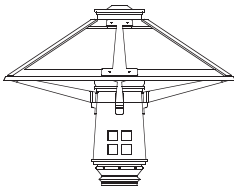
# Arts&Crafts™ Pedestrian Scale

page 2 of 5 DATE \_\_\_\_\_

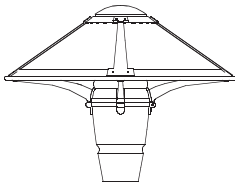
TYPE \_\_\_\_\_

AC \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_  
 FIXTURE 1 OPTICS 2 LAMP/BALLAST 3 COLOR 4 HOOD FINISH 5 MOUNTING 6 OPTIONS 7 POLE/BASE 8

1 CATALOG NO. FIXTURE  
 **ACSQ** Square Arts & Crafts Fixture  
 WT: 36 lbs.  
 EPA: 2.37



1 CATALOG NO. FIXTURE  
 **ACRD** Round Arts & Crafts Fixture  
 WT: 27 lbs.  
 EPA: 1.81



2 CATALOG NO. OPTICS  
 **GLF** Frosted tempered high boron silicate glass lens, symmetric distribution.  
 **GR3** Type 3 tempered borosilicate glass refractor, IES type 3 distribution.  
 **GR3HSS** Type 3 tempered borosilicate glass refractor with House side shield, IES type 3 distribution.

\* Fixtures with a solid shade are IES full cutoff. Fixtures with an opal or mica acrylic shade will emit a small amount of uplight, for an IES semi-cutoff classification. Refer to the photometric files for details.

3 CATALOG NO. LAMP/BALLAST

- INC** For use with medium base incandescent lamps, up to 100 watts. 120 volts.
- CF** 26W, 32W or 42W Compact fluorescent, electronic ballast 120 thru 277 volt. Use 4-pin lamp.
- PLH** 60 or 85 watt compact fluorescent ballast 120 thru 277 volt. Use a Phillips -30°C minimum. start temp.
- PL57** 57 watt compact fluorescent ballast 120 thru 277 volt. Use a GE F70QBX lamp. 0°C minimum. start temp.
- PL70** 70 watt compact fluorescent ballast 120 thru 277 volt. Use a GE F70QBX lamp. 0°C minimum. start temp.
- 50MH** 50 watt metal halide 120/277 volt ballast. Use medium base, clear ED-17 lamps.
- 50MHEB** 50 watt electronic metal halide 120/277 volt ballast. Use medium base, clear ED-17 lamps.
- 70MH** 70 watt metal halide 120/208/240/277 volt ballast. Use medium base, clear ED-17 lamps.
- 70MHEB** 70 watt electronic metal halide balast 120 thru 277 volt. Use medium base, clear ED-17 lamps.
- 70MHT6** 70 watt metal halide ballast, 120/277 volt. Uses a G12 base, clear T-6 ceramic lamp.
- 70MHT6EB** 70 watt electronic metal halide ballast, 120 through 277 volt. Use a G12 base, clear T-6 ceramic lamp.
- 100MH** 100 watt metal halide 120/208/240/277 volt ballast. Use medium base, clear ED-17 lamps.
- 100MHEB** 100 watt electronic metal halide ballast 120/277 volt. Use medium base, clear ED-17 lamps.
- 150MH** 150 watt metal halide 120/208/240/277 volt ballast. Use medium base, clear ED-17 lamps.
- 150MHEB** 150 watt electronic metal halide ballast 120/277 volt. Use medium base, clear ED-17 lamps.
- 150MHT6** 150 watt metal halide ballast, 120/277 volt. Uses a G12 base, clear T-6 ceramic lamp.
- 150MHT6EB** 150 watt electronic metal halide ballast, 120 through 277 volt. Use a G12 base, clear T-6 ceramic lamp.
- 175MH** 175 watt metal halide 120/208/240/277 volt ballast. Use medium base, clear ED-17 lamps.
- 70HPS** 70 watt high pressure sodium 120/277 volt ballast. Use medium base, clear ED-17 lamps.
- 100HPS** 100 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, clear ED-17 lamps.
- 150HPS** 150 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, clear ED-17 lamps.
- IL-55** 55 watt induction lamp lighting system. Specify 120/208/240/277 volt. Rated for -40°F start up.
- IL-85** 85 watt induction lamp lighting system. Specify 120/208/240/277 volt. Rated for -40°F start up.

SOLD TO \_\_\_\_\_ PO # \_\_\_\_\_ JOB NAME \_\_\_\_\_

Approvals

4	CATALOG NO.	COLOR
<input type="checkbox"/>	WHT	White
<input type="checkbox"/>	BLK	Black
<input type="checkbox"/>	MTB	Matte Black
<input type="checkbox"/>	DGN	Dark Green
<input type="checkbox"/>	DBZ	Dark Bronze
<input type="checkbox"/>	WRZ	Weathered Bronze
<input type="checkbox"/>	BRM	Metallic Bronze
<input type="checkbox"/>	VGR	Verde Green
<input type="checkbox"/>	CRT	Corten
<input type="checkbox"/>	MAL	Matte Aluminum
<input type="checkbox"/>	MDG	Medium Grey
<input type="checkbox"/>	ATG	Antique Green
<input type="checkbox"/>	LGY	Light Warm Grey

4	CATALOG NO.	RAL / CUSTOM COLORS
<input type="checkbox"/>		

*RAL and custom color powder coat finishes are available.  
 Please submit a color chip for custom colors*

**Color to be selected by Architect**

5	CATALOG NO.	HOOD FINISH
<input type="checkbox"/>	WHT	White
<input type="checkbox"/>	BLK	Black
<input type="checkbox"/>	MTB	Matte Black
<input type="checkbox"/>	DGN	Dark Green
<input type="checkbox"/>	DBZ	Dark Bronze
<input type="checkbox"/>	WRZ	Weathered Bronze
<input type="checkbox"/>	BRM	Metallic Bronze
<input type="checkbox"/>	VGR	Verde Green
<input type="checkbox"/>	CRT	Corten
<input type="checkbox"/>	MAL	Matte Aluminum
<input type="checkbox"/>	MDG	Medium Grey
<input type="checkbox"/>	ATG	Antique Green
<input type="checkbox"/>	LGY	Light Warm Grey

<input type="checkbox"/>	STS	Brushed Stainless Steel
<input type="checkbox"/>	COP	Natural Copper
<input checked="" type="checkbox"/>	OPAL	Opal Acrylic
<input type="checkbox"/>	MICA	Mica (Acrylic)
<input type="checkbox"/>	GRAN	Granite (Acrylic)
<input type="checkbox"/>	EMBR	Ember (Acrylic)
<input type="checkbox"/>	MARB	Marble (Acrylic)

4	CATALOG NO.	RAL / CUSTOM HOOD FINISH
<input type="checkbox"/>		

*RAL and custom color powder coat finishes are available.  
 Please submit a color chip for custom colors*

6	CATALOG NO.	MOUNTING
<input checked="" type="checkbox"/>	ATP	Pole mounted arm, fixture mounted to top of arm.
<input type="checkbox"/>	ABL	Pole mounted arm, fixture suspended from bottom of arm.
<input type="checkbox"/>	PMS	Pendant with stem. Ballast mounted at ceiling.
<input type="checkbox"/>	WMTP	Wall mounted arm, fixture mounted to top of arm.
<input type="checkbox"/>	WMBL	Wall mounted arm, fixture suspended from top of arm.

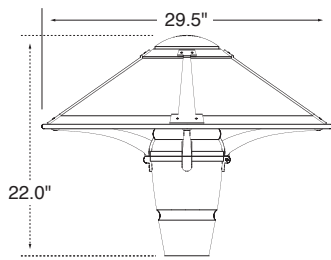
See page 4 for Dimensions, EPA and Weights. See Page 5 for ballast locations.

**10' Square Pole**

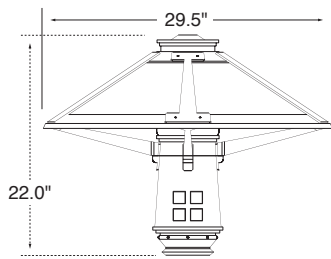
8	CATALOG NO.	BASE COVER
<input type="checkbox"/>	ACBCR	Round base cover slips over a 4"/100mm round pole
<input checked="" type="checkbox"/>	ACBCS	Square base cover slips over a 4"/100mm square pole

**Architectural Area Lighting**

**Post Top**

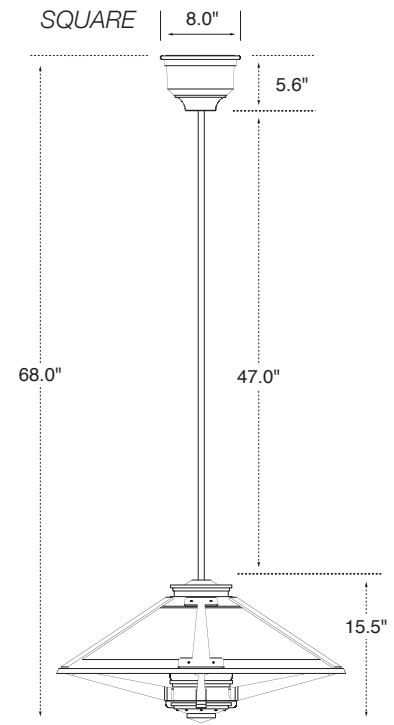
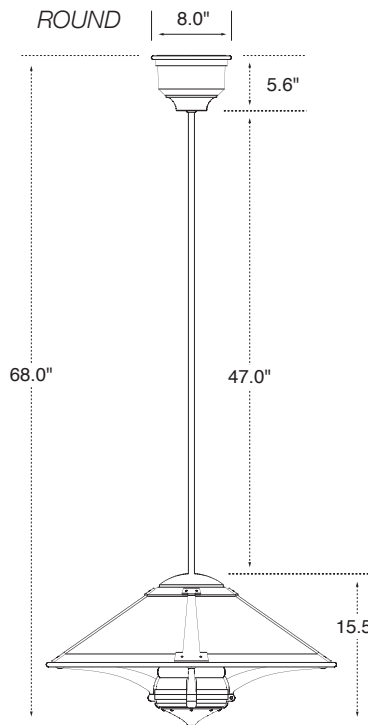


ROUND (slips over a 4" diameter pole)

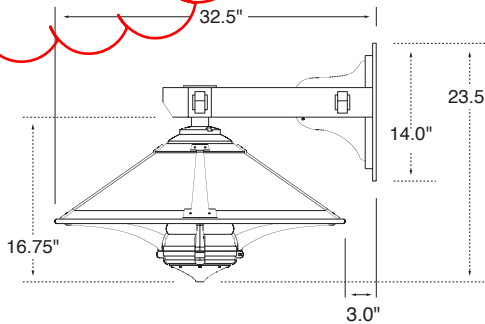


SQUARE (slips over a 4" square pole)

**PMS - Pendant w/stem**

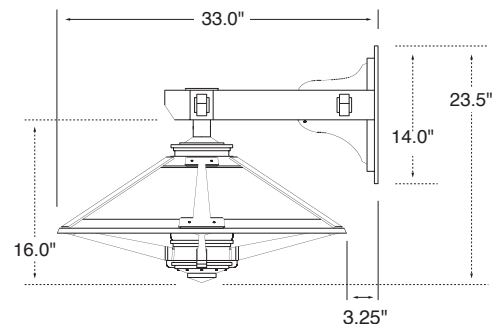


**ABL**  
Pole mounted  
arm, fixture  
suspended from  
bottom of arm.



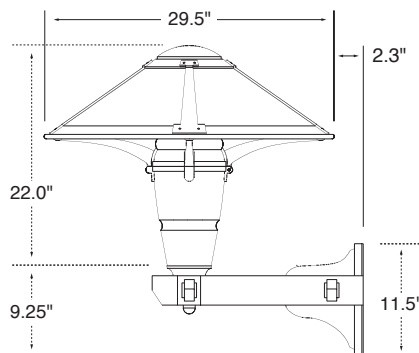
**ABL ROUND:** EPA: 2.15 / WT: 30 lbs.  
**WMBL ROUND:** EPA: 2.15 / WT: 32 lbs.

**WMBL**  
Wall mounted  
arm, fixture  
suspended  
from top of arm.



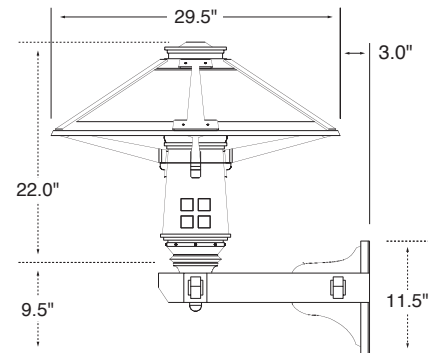
**ABL SQUARE:** EPA: 2.14 / WT: 30 lbs.  
**WMBL SQUARE:** EPA: 2.14 / WT: 32 lbs.

**ATP**  
Pole mounted  
arm, fixture mounted  
to top of arm.



**ATP ROUND:** EPA: 2.46 / WT: 34.5 lbs.  
**WMTP ROUND:** EPA: 2.46 / WT: 36.5 lbs.

**WMTP**  
Wall mounted  
arm, fixture  
mounted  
to top of arm.



**ATP SQUARE:** EPA: 3.02 / WT: 43.5 lbs.  
**WMTP SQUARE:** EPA: 3.02 / WT: 45.5 lbs.

**Architectural Area Lighting**

BALLAST	POST TOP	PMS	ATP	ABL	WMTP	WMBL
INC	N/A	N/A	N/A	N/A	N/A	N/A
CF				IA		IA
PLH (60 watt)		R	R	R	R	R
PL57				IA		IA
PL70				IA		IA
50MH			R	R	R	R
50MHEB				IA		IA
70MH			R	R	R	R
70MHEB				IA		IA
70MHT6			R	R	R	R
70MHT6EB				IA		IA
100MH			R	R	R	R
100MHEB				IA		IA
150MH		R	R	R	R	R
150MHEB		R		IA		IA
150MHT6		R	R	R	R	R
150MHT6EB		R		IA		IA
175MH		R	R	R	R	R
70HPS			R	R	R	R
100HPS			R	R	R	R
150HPS		R	R	R	R	R
IL-55		RS		IA		IA
IL-85		RS		IA		IA

I - Integral to the fixture • IA - Integral to the arm • R - Remote location only • RS - Remote location only, max. stem shall be 6"

**Housing** The fixture shall be cast aluminum, certified as pure A356 alloy free of any porosity, foreign materials or cosmetic fillers. The shade shall hinge open by loosening a captive screw for relamping and ballast access. The lamp compartment is accessed by turning a knob that is attached to the removable socket plate. The lenses shall be molded tempered borosilicate glass for type 3 refractor. The frosted lens shall be tempered high boron silicate glass. The lenses shall be sealed top and bottom with silicone gaskets. The ballast assembly shall be accessible by turning two screws in keyhole slots and twisting the ballast plate to remove. The 175 watt metal halide ballast shall be mounted directly to the housing by one bolt. Quick disconnects shall be used for all electrical connections. All internal & external hardware shall be stainless.

**Electrical** All electrical components shall be U.L. recognized. Magnetic HID ballasts shall be high power factor, rated for -30° C starting. Sockets for T-6 lamps shall be a G12 base. Medium base porcelain sockets shall be pulse rated. High output fluorescent lamps shall be powered by Advance SmartMate® electronic ballast and shall be rated for a minimum starting temperature of -18° C. The electrical assembly shall be installed and prewired in the fixture.

**Mounting** *Post top mounting:* the ACRD (round) fixture shall slip over a four inch diameter pole and be secured by three stainless steel set screws. The ACSQ (square) fixture shall slip over a four inch square pole and be secured by 4 stainless steel set screws.

*Arm mounting:* The fixture shall be secured to the arm with four stainless steel bolts for both pole and wall

mounted arms. Arms shall attach to the pole with two 3/8-16 stainless steel allen head cap bolts. Hardware to attach the wall mounted arm to the structure shall be provided by others.

*Pendant mounting:* The fixture shall be threaded to the stem. Pendant mount, stem with canopy (ballast enclosure) shall be 48"/1220mm tall.

**Finish** Fixture finish shall consist of a five stage pretreatment regimen with a polymer primer sealer, oven dry off and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.

**Relamping** Access to the lamp is accomplished by loosening a captive screw at the underside of shade and directly opposite hinge. The lamp compartment is accessed by turning a knob that is attached to the removable socket plate.

**Certification** The fixture is listed with ETL for outdoor, wet location use, UL1598 and Canadian CSA Std. C22.2 NO.250. IP Rating: 55

**Warranty** Fixture is warranted for three years. Ballast components carry the ballast manufacturer's limited warranty. Made in the USA.

**Photometry** Complete photometric data is available in IES formatted files on AAL's website: [www.aal.net](http://www.aal.net).

# All Saints Assisted Living Fixture Type A & B

**Lamp  
Included!**

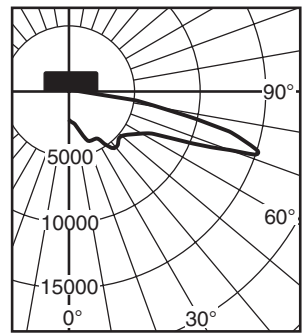


**VFT Series  
6" Extended Pole Mount**

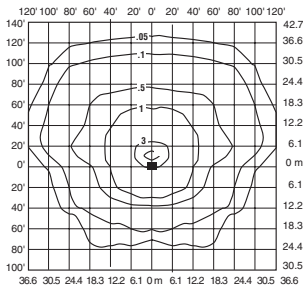
## Vertical Forward Throw

The VFT Series fixture features a 70-degree main beam. Inside the housing, the lamp is tilted 20 degrees from vertical toward the house-side of the fixture. The Vertical Forward Throw is ideal for use in wide roadway areas and large parking areas. It provides low nadir candlepower and great forward and lateral distribution.

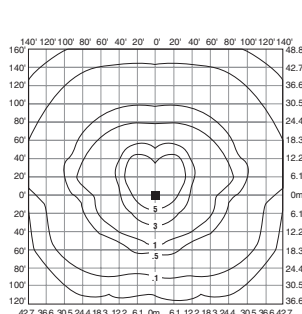
**One Size:**  
22" square x 9.25" deep (559 x 235 mm)



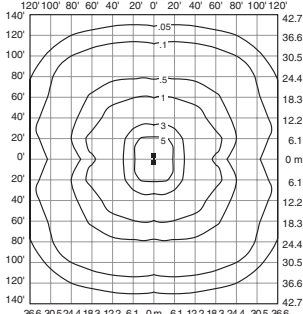
Candlepower Distribution Curve of 400W MH Vertical Forward Throw light.



Isofootcandle plot of one 400W MH Vertical Forward Throw Light at 25' (7.6 m) mounting height, 0° tilt above horizontal.



Isofootcandle plot of one 1000W MH Vertical Forward Throw Light at 30' (9.1 m) mounting height, 0° tilt above horizontal.



Isofootcandle plot of two 400W MH Vertical Forward Throw Lights at 25' (7.6 m) mounting height, 0° tilt above horizontal.

## Order Information

Housing Size (sq.)	Wattage/ Lamp	Catalog Number	Mounting Code (Insert Code at * in Catalog #)
22"	250W PSMH	VFT*6925-M	1 = 1/2" Close Pole Mount
22"	400W PSMH	VFT*6992-M	2 = 6" Extended Pole Mount
22"	400W PSMH	VFT*6940-M	W = Wall Mount
22"	750W PSMH	VFT*6975-M	8 = Without Mounting (hardware) (factory-drilled)
22"	1000W PSMH	VFT*699-M	
22"	250W MH	VFT*492-M	
22"	400W MH	VFT*494-M	
22"	1000W MH	VFT*499-M	
22"	250W HPS	VFT*592-M	
22"	400W HPS	VFT*594-M	

**NOTE:** When using multiple 22" sq. housings at 90° configuration, a special 12" arm is required; see page 158.

\* Specify Mounting (additional cost)  
Other lamp wattages available—consult factory  
⊕ Reduced envelope lamp. ED28 for 320 & 400W PSMH and 400W MH; BT37 for 1000W PSMH & MH.

Options: (Factory-installed)	Change Suffix To	Add After Suffix
277V Reactor ballast (PSMH only)	27	
480V ballast	5	
Tri-volt ballast	T	
Single Fuse (277V Reactor, 120V, 277V or 347V)	27, 1, 2 or 6	F
Dual Fuse (208V, 240V or 480V) (n/a Canada)	3, 4 or 5	F
Quartz Standby (delay-relay type) (includes 100W Q lamp) (n/a 277V Reactor)		Q
Button Photocell	27, 1, 2, 3, 4 or 6	P

**NOTE:** n/a on 1000W w/120V; all 480V

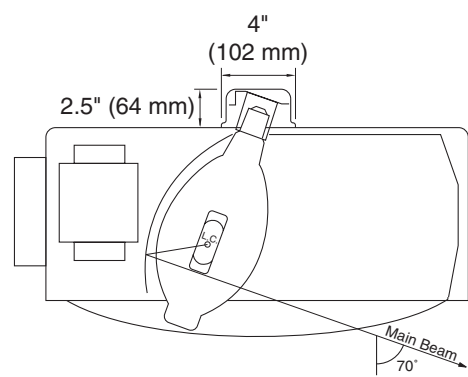
External Photocell (Factory-installed) (Page 131)	Change Suffix To	Add After Suffix
For fixtures w/1000W, 120V	1	P
For fixtures w/480V	5	P

⊕ 2-Level available – consult factory

Accessory (Field-installed)	Catalog Number
Cutoff Baffle	CSF-22
Backlight Shield	SBL-22

**Mountings** ..... Page 114  
**Catalog Number Logic/Voltage Suffix Key** ..... Page 113  
**Optical Systems** ..... Pages 102–105  
**Accessories** ..... Page 131  
**Mounting Alternatives** ..... Pages 158–159  
**Mounting Brackets** ..... Pages 160–161  
**Poles** ..... Pages 162–167

**20' Straight Steel pole with  
22' mounting height**



Cutaway view of a 1000W MH Vertical Forward Throw light, showing the lamp positioned 20° from vertical and the main beam directed 70° from nadir. 4" sq. x 2.5" H (102 mm x 64 mm) cast aluminum, gasketed box supplied on 750 and 1000W PSMH, 1000W MH and 250–400W HPS fixtures.

# ALL SAINTS ASSISTED LIVING

## UDC SUBMITTAL - 5/30/2007

# NEW CONSTRUCTION

ALL SAINTS  
 ASSISTED LIVING - CBRF  
 8210 HIGHVIEW DRIVE  
 MADISON, WI 53719

OWNER REPRESENTATIVE:  
 ELDERSPAN MANAGEMENT  
 1402 PANKRATZ STREET, STE 110  
 MADISON, WI 53704

CONTRACTOR/DEVELOPER:  
 HORIZON CONSTRUCTION GROUP  
 1031 NORTH EDGE TRAIL  
 VERONA, WI 53593

DIRECTORY	
<b>ARCHITECT:</b> ARCHITECTURE 2000, LLC 244 N. BROADWAY MILWAUKEE, WI 53202 TEL: (414) 277-2321 FAX: (414) 276-1764 ATTN: JEREMY BARTLETT	<b>GENERAL CONTRACTOR/DEVELOPER:</b> HORIZON CONSTRUCTION GROUP, LLC 1031 NORTH EDGE TRAIL VERONA, WI 53593 TEL: (262) 574-0306 FAX: (262) 574-0313 ATTN: SCOTT KWECINSKI
<b>LANDSCAPE ARCHITECT:</b> LANDSCAPE ARCHITECTURE, LLC 5806 SOUTH HILL DRIVE MILWAUKEE, WI 53705 TEL: (608) 798-1840 FAX: (608) 798-1653 ATTN: JOE HANAUER	<b>MANAGEMENT/OWNER CONSULTANT:</b> ELDERSPAN MANAGEMENT, LLC 1402 PANKRATZ ST., STE 110 MADISON, WI 53704 TEL: (608) 243-8800 FAX: (608) 243-3237 ATTN: JON NATVIG
<b>ELECTRICAL:</b> DOLAN & DUSTIN, INC. 1011 N. MANFAR RD., STE 206 WAUWATOSA, WI 53226-3448 TEL: (414) 774-4543 FAX: (414) 774-4579 ATTN: JIM KNOERR	<b>CIVIL ENGINEER/SURVEYOR:</b> CALKINS ENGINEERING, LLC 5010 VOEGES ROAD MADISON, WI 53718 TEL: (608) 838-0444 FAX: (608) 838-0445 ATTN: MATT MORRIS
	<b>OWNER:</b> ALL SAINTS COTTAGES AND CONDOS, INC. A NON-PROFIT ORGANIZATION AFFILIATED W/ CATHOLIC CHARITIES, INC. 702 S. HIGH POINT ROAD MADISON, WI 53719-3522
BUILDING SUMMARY	
<b>BASED ON THE</b>	2002 WISCONSIN ENROLLED COMMERCIAL CODE 2003 INTERNATIONAL MECHANICAL CODE 2004 WISCONSIN COMM R1 TO R4 2005 NATIONAL ELECTRICAL CODE 2000 INTERNATIONAL FIRE CODE 2000 INTERNATIONAL SPRINKLER CODE 2000 INTERNATIONAL FIRE ALARM CODE 1998 ANSI A117.1 ACCESSIBILITY CODE CITY OF MADISON MUNICIPAL CODE
<b>OCCUPANCY GROUPS</b>	I-2 - INSTITUTIONAL
<b>SPRINKLER/FIRE ALARM</b>	SPRINKLER NFPA 13 FIRE AND SMOKE ALARM REQUIRED DELAYED EGRESS AT MEMORY CARE
<b>BUILDING SQ. FOOTAGE:</b>	FLOOR AREA
	LOWER LEVEL 16,528 SF
	1ST FLOOR 26,331 SF
	TOTAL AREA 42,859 SF
<b>CODE EXCEPTIONS:</b>	
VICINITY MAP	
PROJECT DATA	
<b>SITE DATA</b>	LOT AREA: 80,272 SF (1.84 ACRES) DWELLING UNITS: 58 UNITS (EFFICIENCY) LOT AREA/DWELLING UNITS: 1,384 SF/D.U. DENSITY: 31.5 UNITS/ACRE
<b>LOT COVERAGE</b>	OPEN SPACE: 32,876 SF (41%) BUILDING COVERAGE: 26,510 SF (33%) TOTAL PAVEMENT: 20,888 SF (26%) SIDEWALK COVERAGE: 5,361 SF ASPHALT COVERAGE (NOT INCLUDING FUTURE PARKING): 15,525 SF

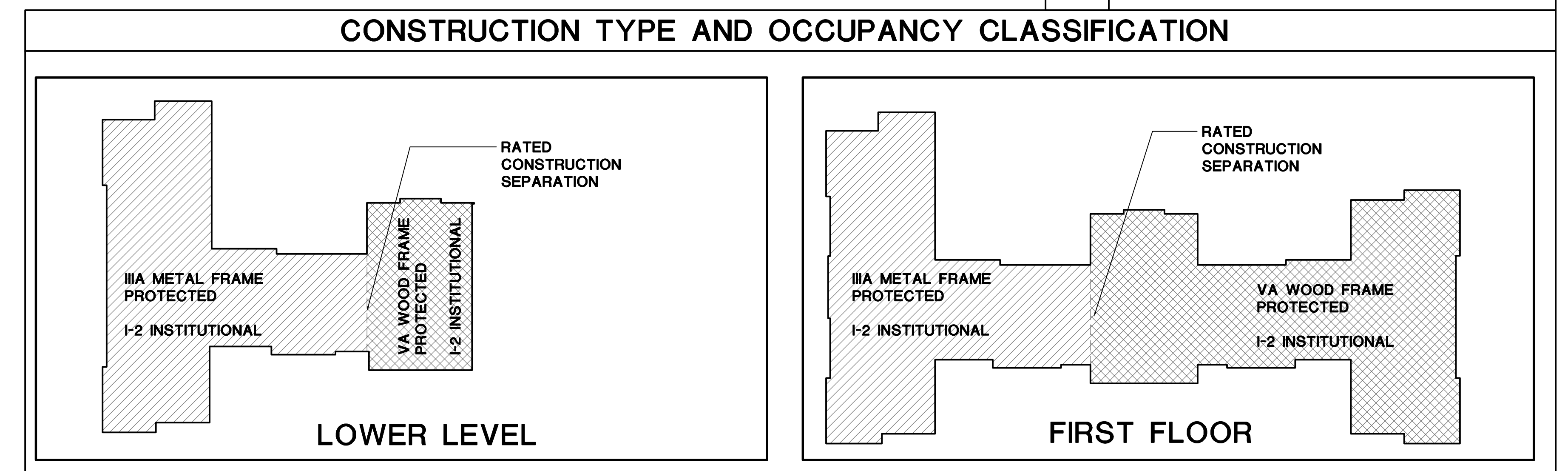


ELEVATION ALONG HIGHVIEW DRIVE



ELEVATION ALONG PLAZA DRIVE

SHEET INDEX	
SHEET	DESCRIPTION
	CONTEXTUAL SITE INFORMATION PLAN RENDERED EXTERIOR ELEVATIONS
ARCHITECTURAL DRAWINGS	
T1	TITLE SHEET
SP1.0	ARCHITECTURAL SITE PLAN AND DETAILS
A1.0	LOWER LEVEL FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
CIVIL DRAWINGS	
C0.1	SITE SURVEY
C1.1	OVERALL SITE PLAN
C2.1	GRADING AND EROSION CONTROL PLAN
LANDSCAPE DRAWINGS	
L1	LANDSCAPE PLAN
ELECTRICAL DRAWINGS	
E1	SITE LIGHTING PLAN



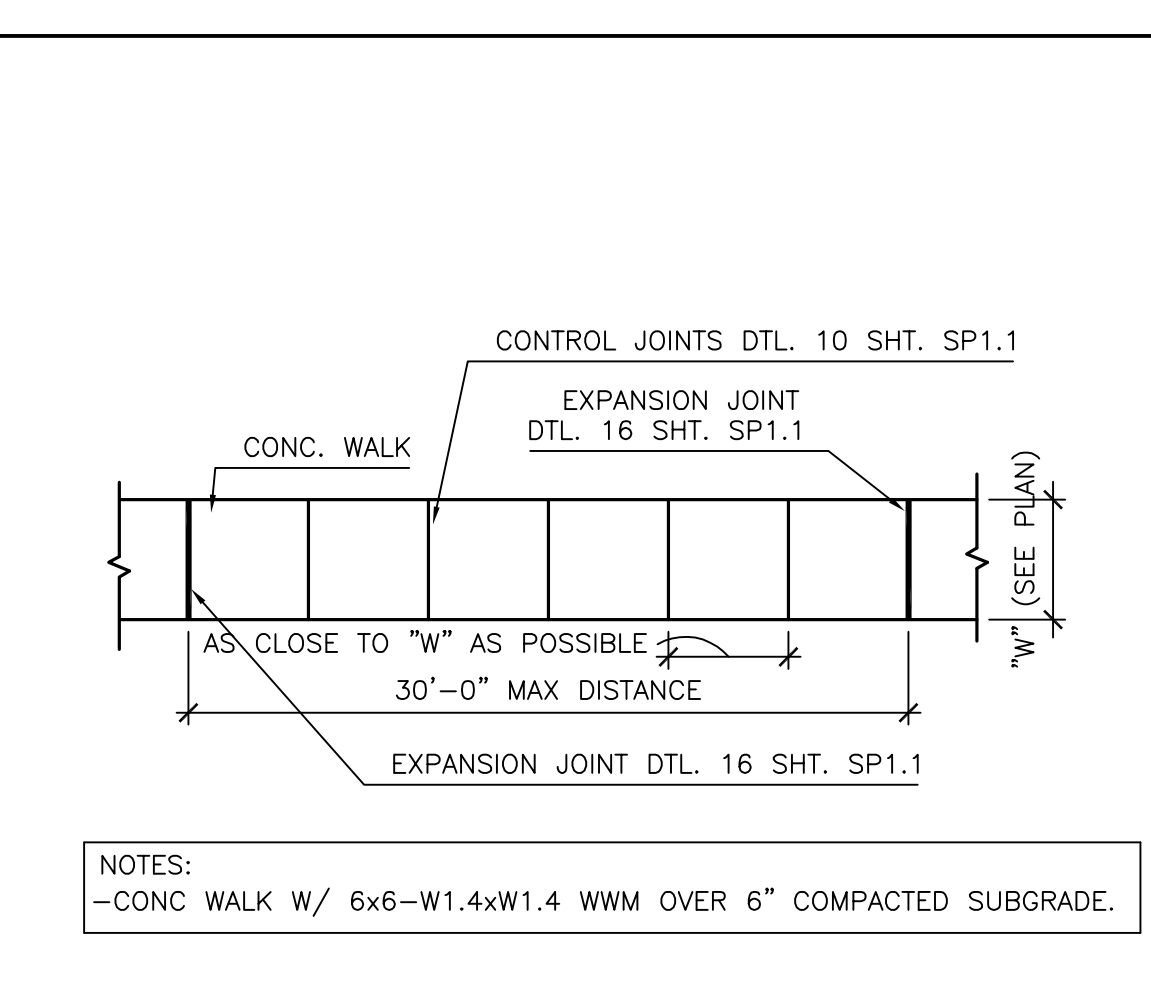
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2	5-30-07	JOB	LAND USE - SUBMITTAL
3	5-18-07	JOB	INTL. APPROVAL SUBMITTAL
4	5-30-07	JOB	UDC - INTL. APPROVAL SUBMITTAL
5			
6			
7			
8			
9			
10			

TITLE SHEET

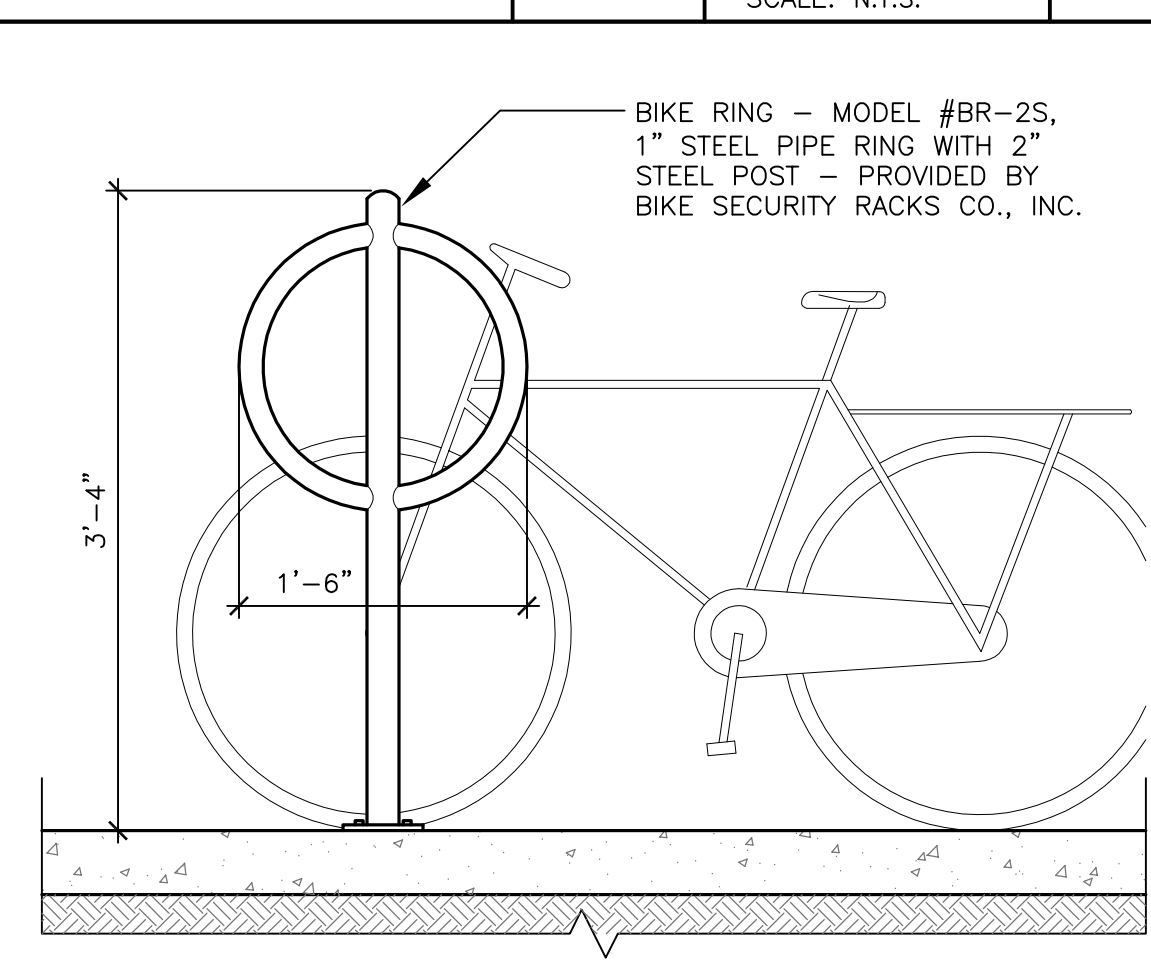
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 PROJECT # 0813  
 DRWN BY: JDBCHKD BY: DRF  
 BLDG. SUBMITTAL: 5/30/07

T1

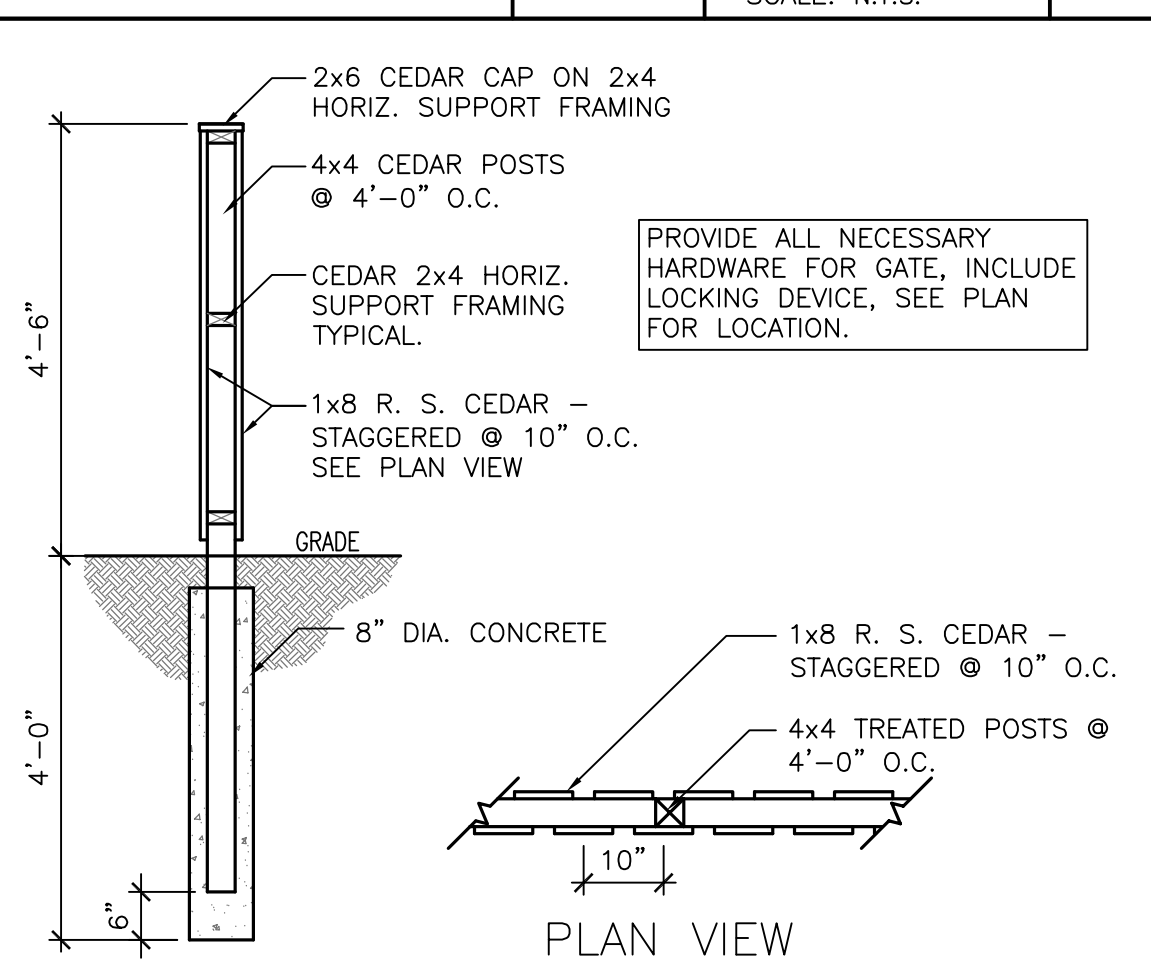




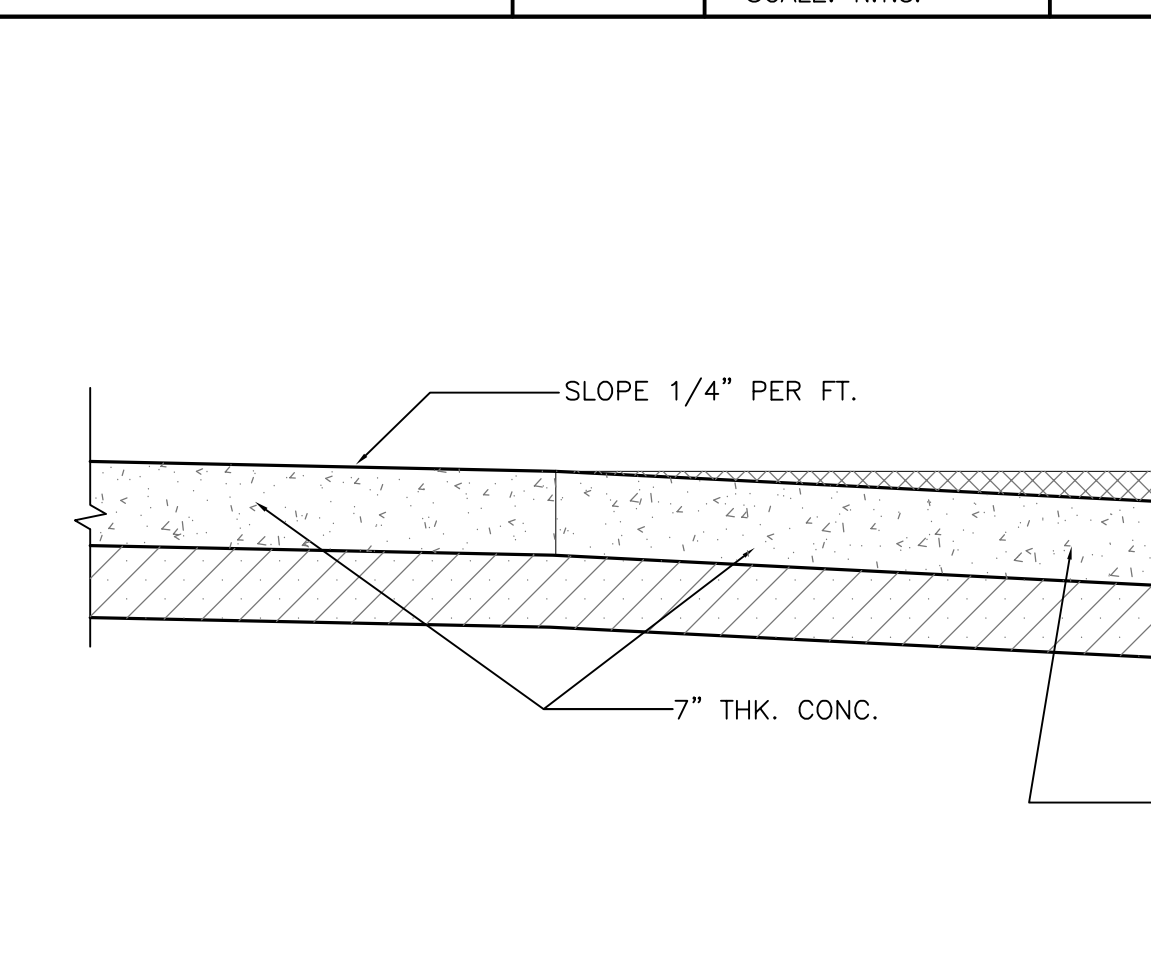
**CONCRETE WALK PLAN DETAIL** 12  
 SCALE: N.T.S.



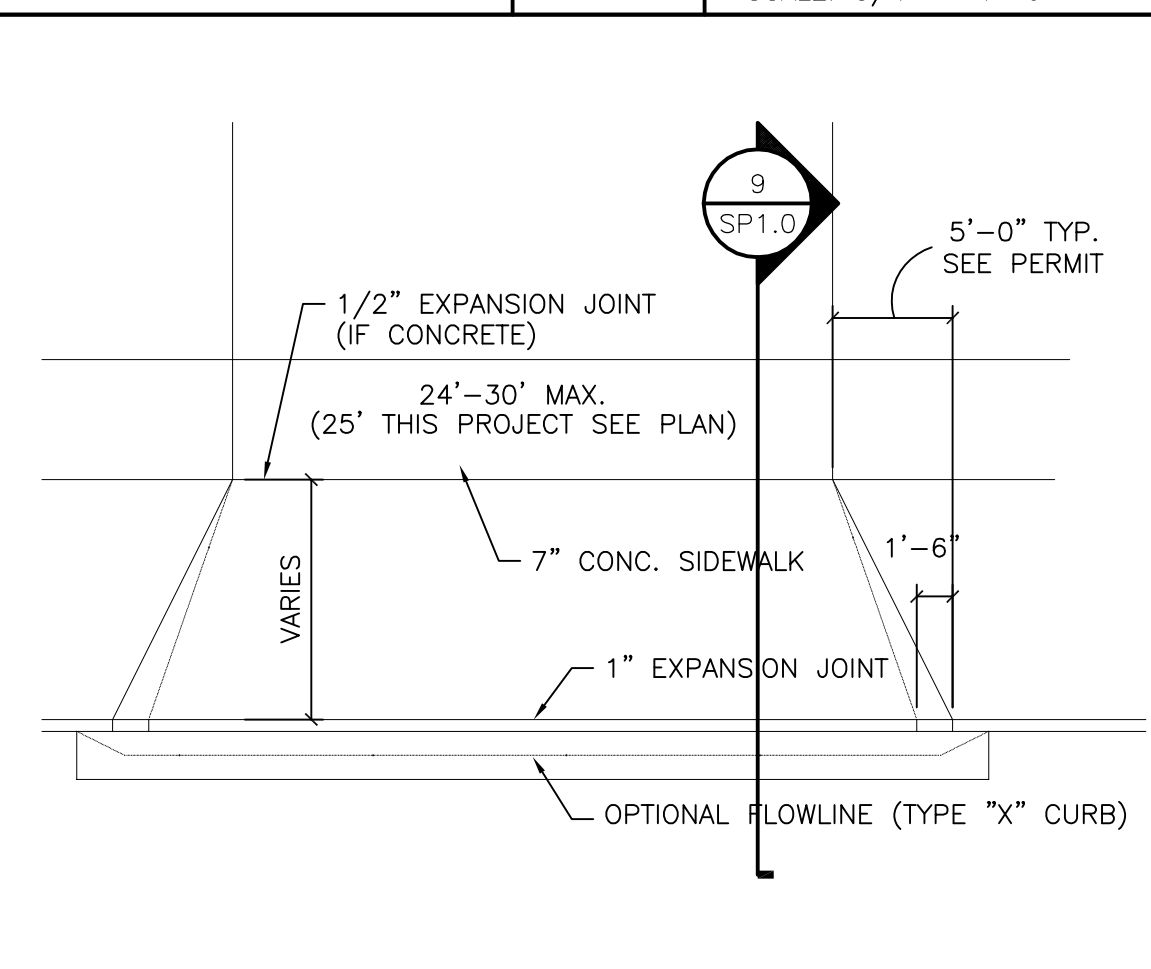
**BICYCLE RACK** 13  
 SCALE: N.T.S.



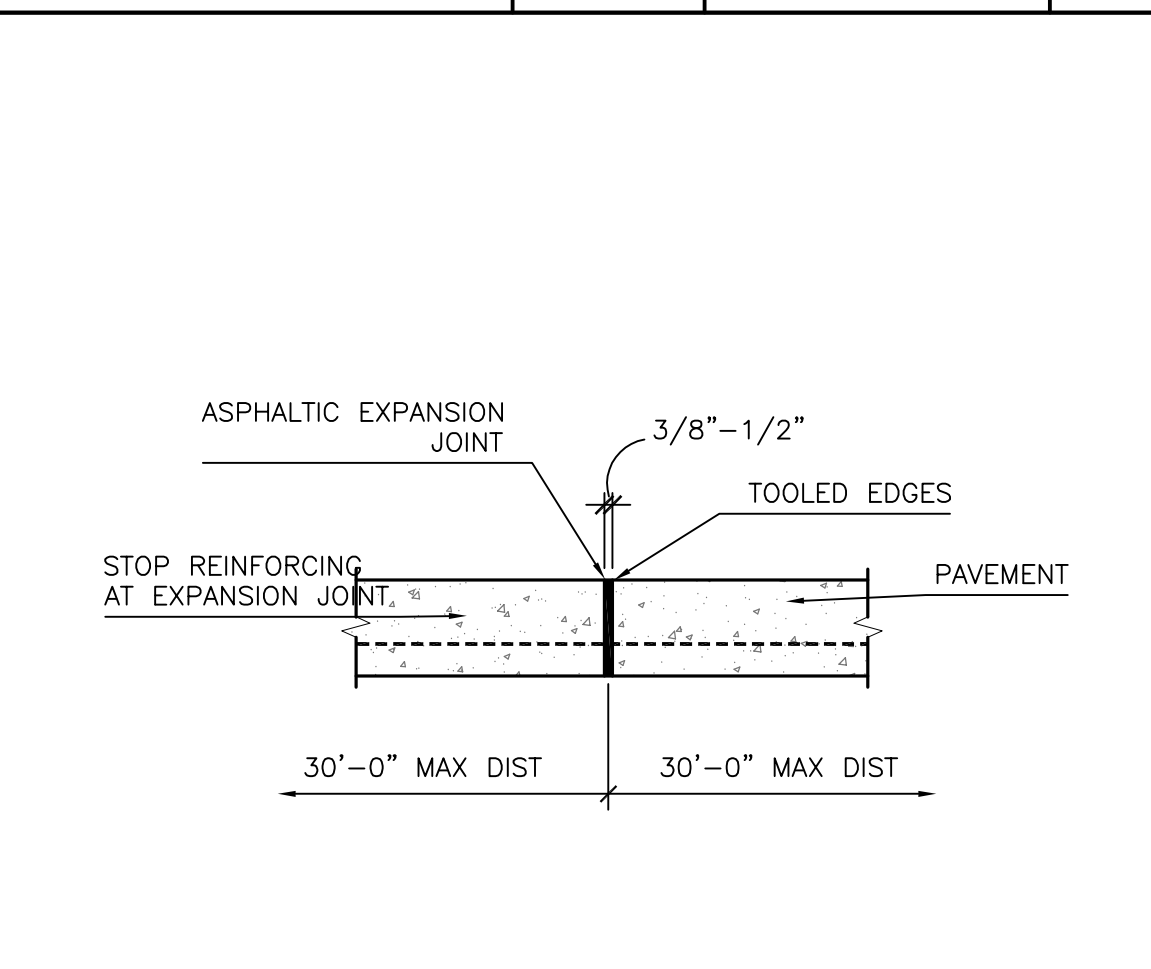
**FENCE DETAIL** 14  
 SCALE: N.T.S.



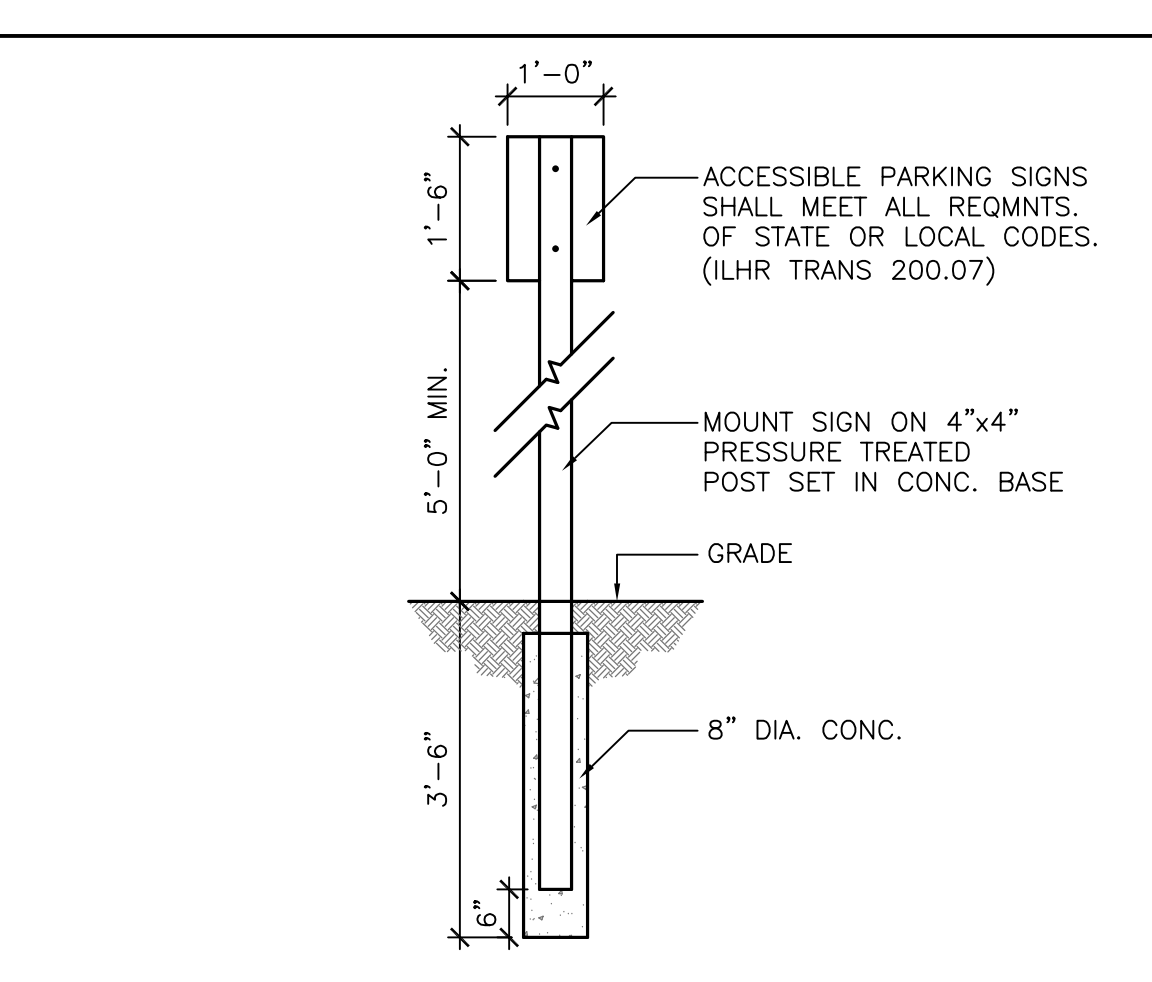
**DRIVE UP CURB** 9  
 SCALE: 3/4" = 1'-0"



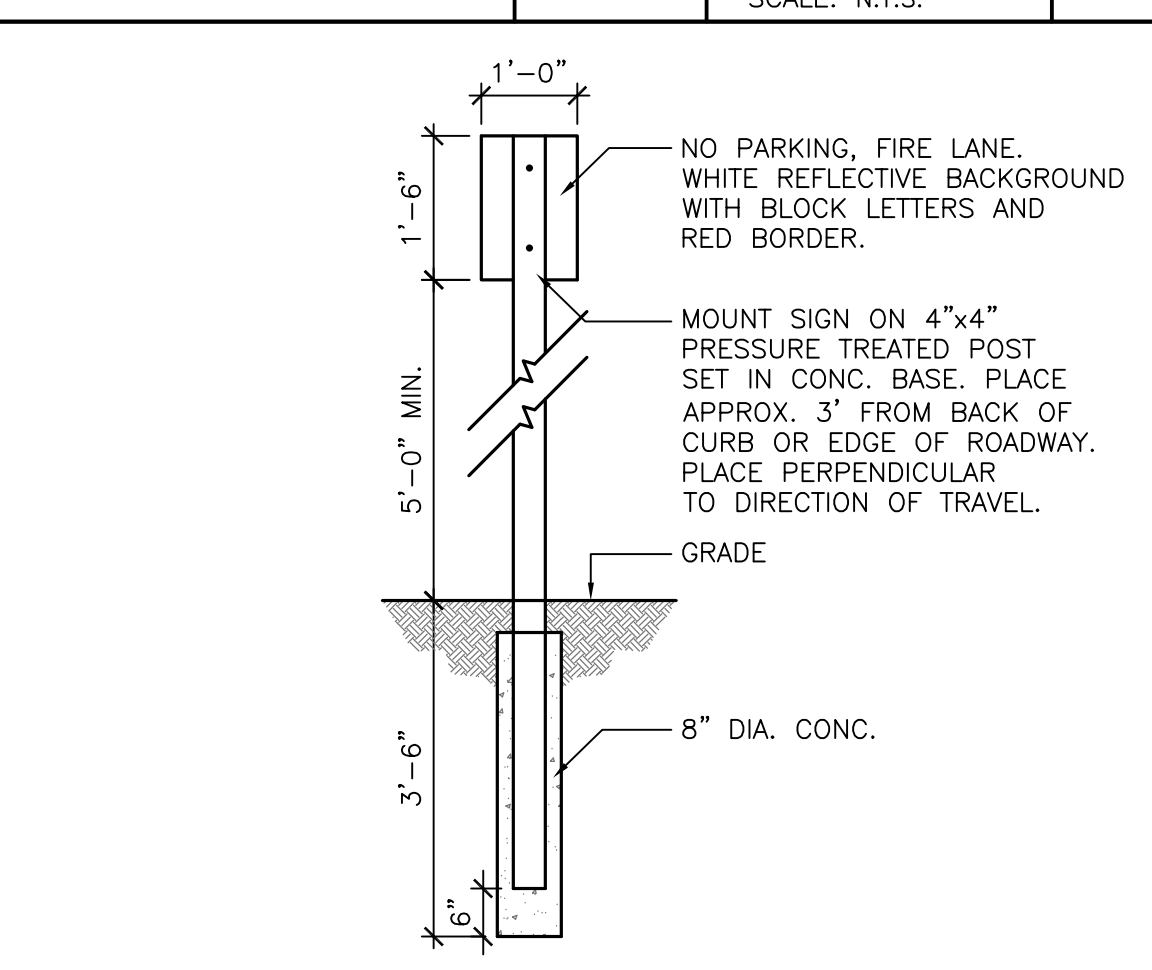
**ADA PARKING SIGNAGE** 15  
 SCALE: N.T.S.



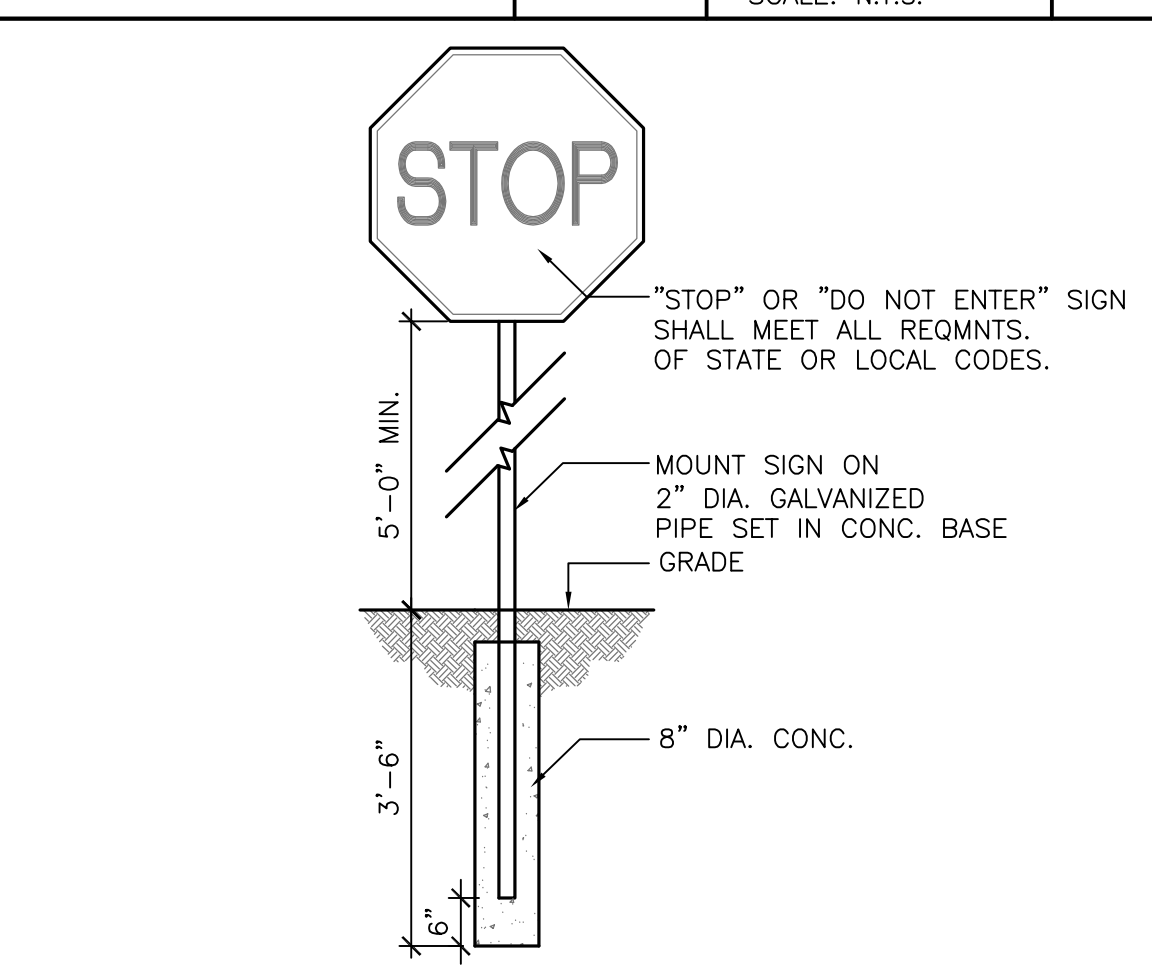
**SIDEWALK EXPANSION JOINT** 16  
 SCALE: N.T.S.



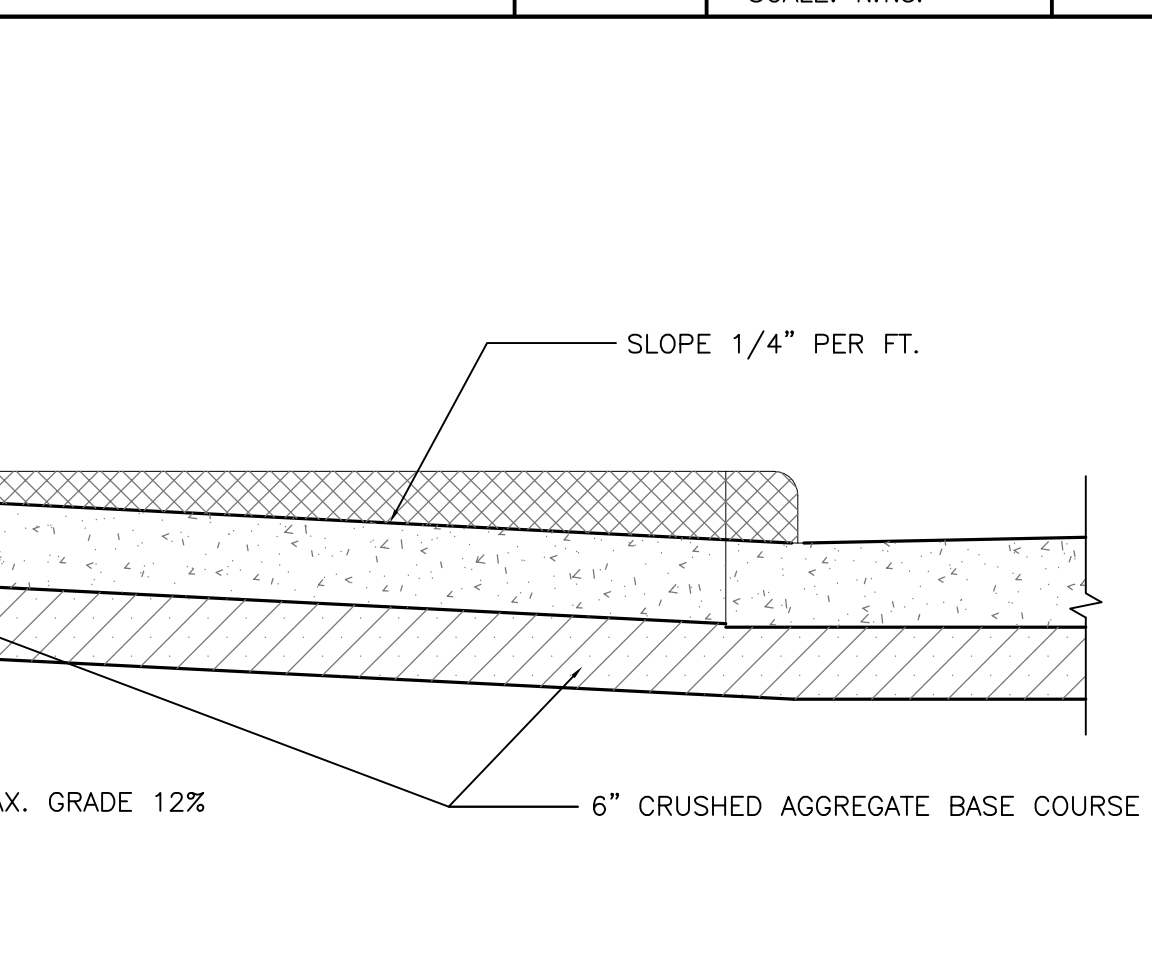
**ADA PARKING SIGNAGE** 6  
 SCALE: N.T.S.



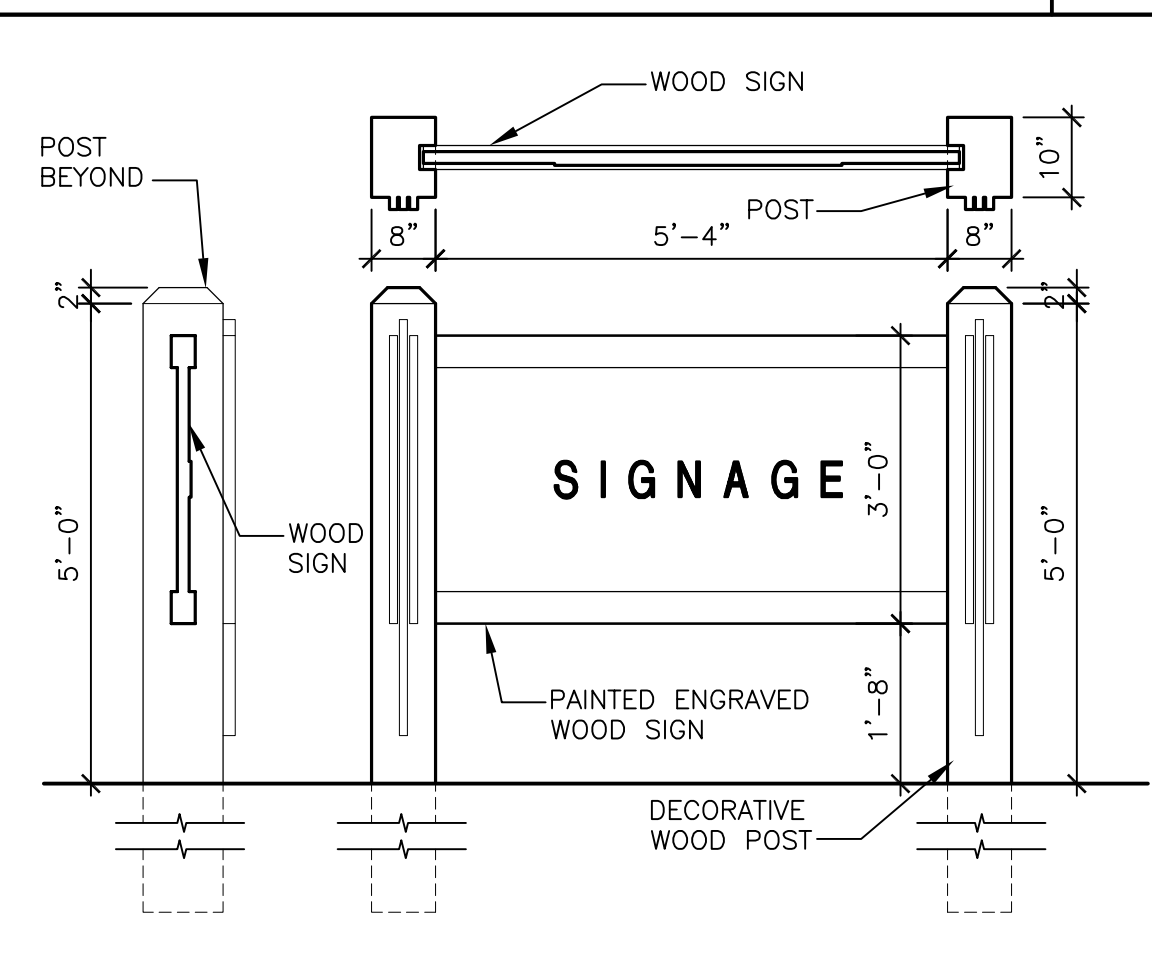
**FIRE LANE SIGNAGE** 7  
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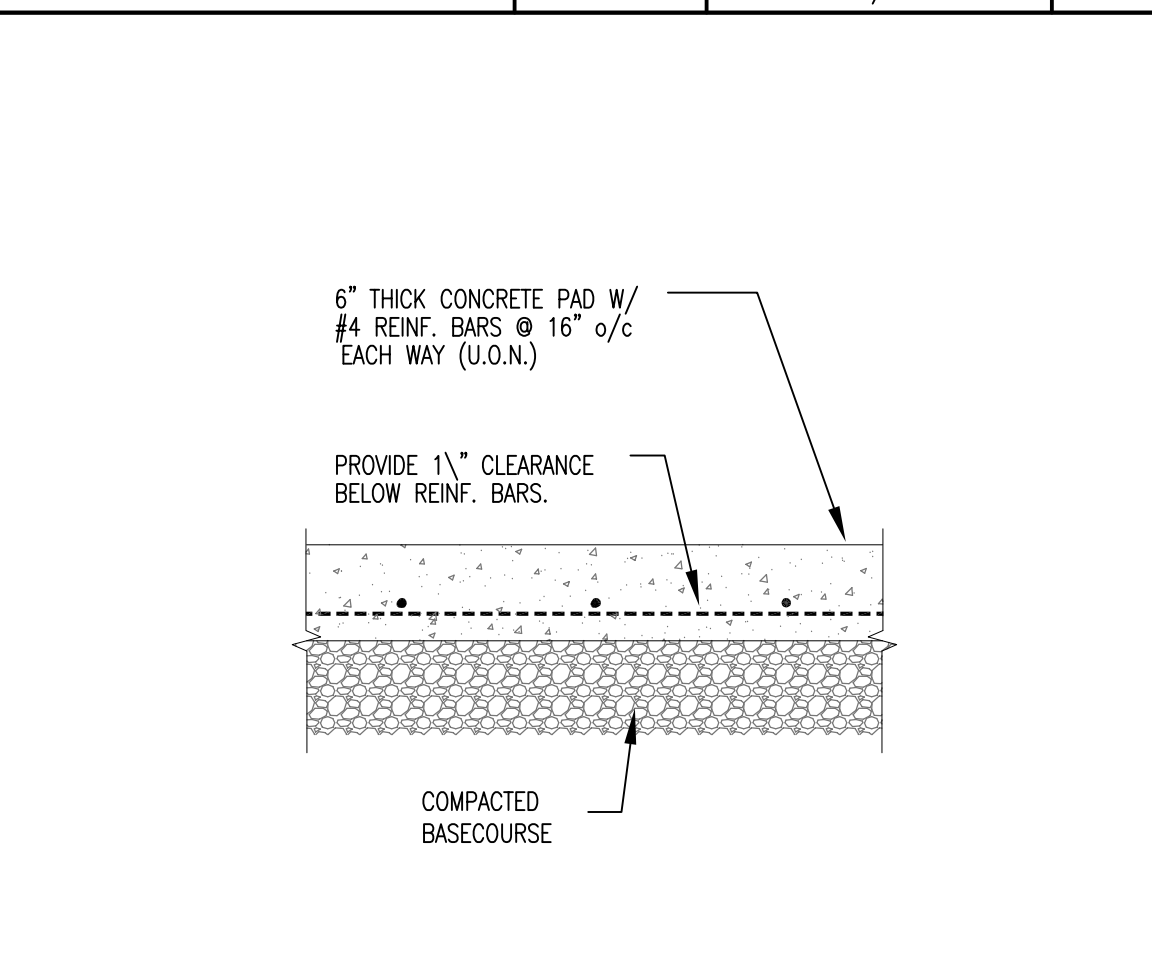
**STOP/DO NOT ENTER SIGNAGE** 8  
 SCALE: N.T.S.



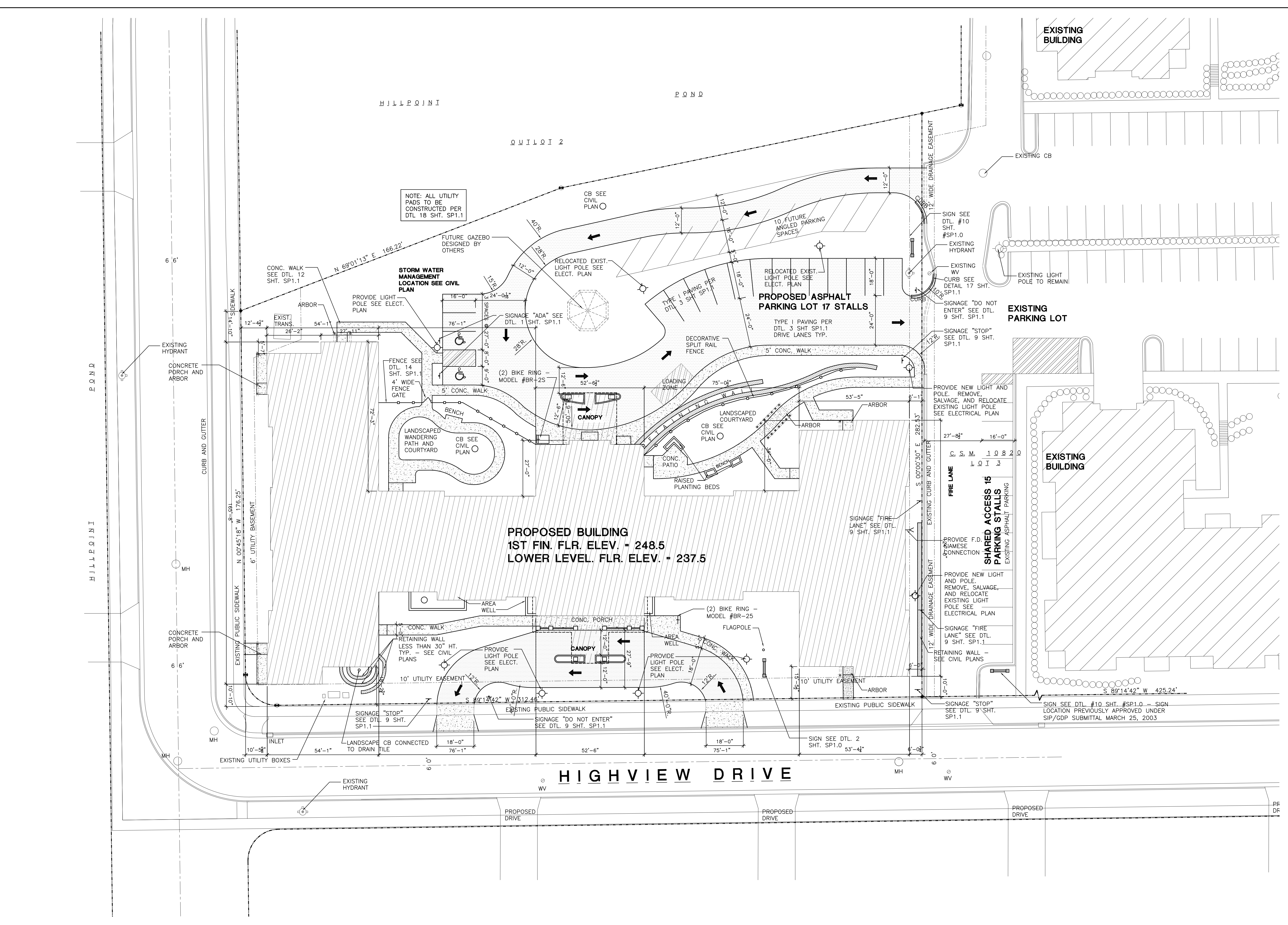
**SIGN DETAIL** 10  
 SCALE: 1/2" = 1'-0"



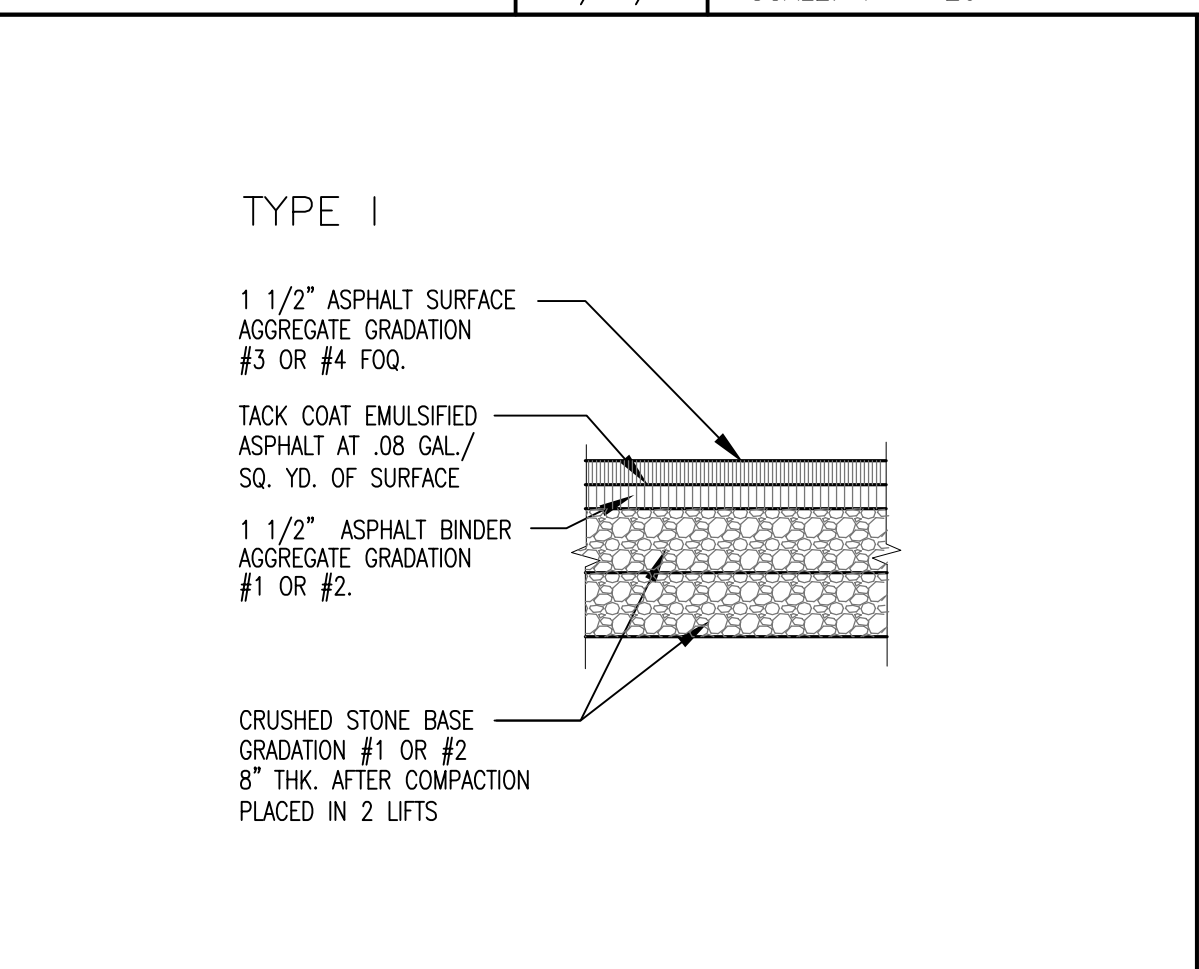
**CONCRETE PAD** 11  
 SCALE: N.T.S.



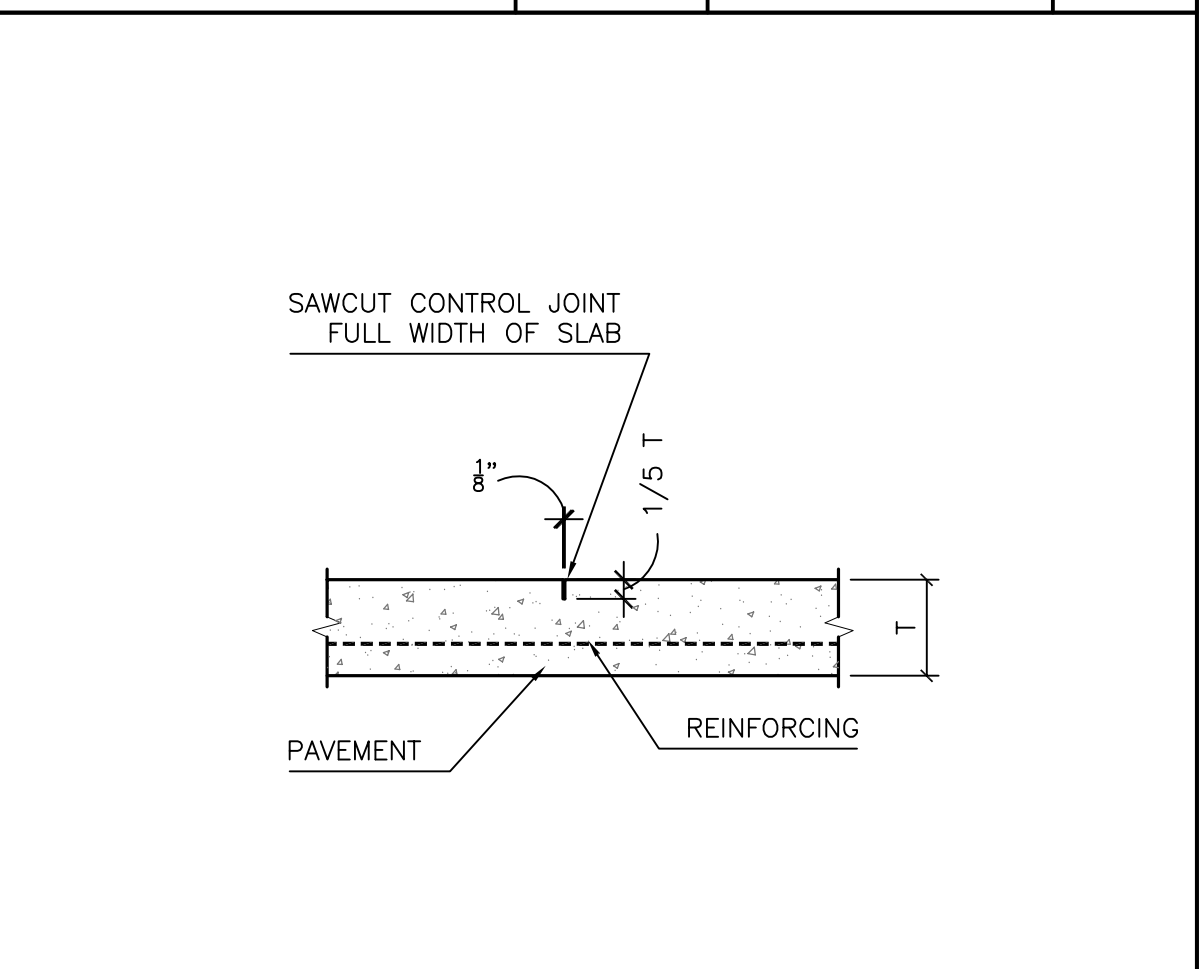
**SIDEWALK CONTROL JOINT** 5  
 SCALE: N.T.S.



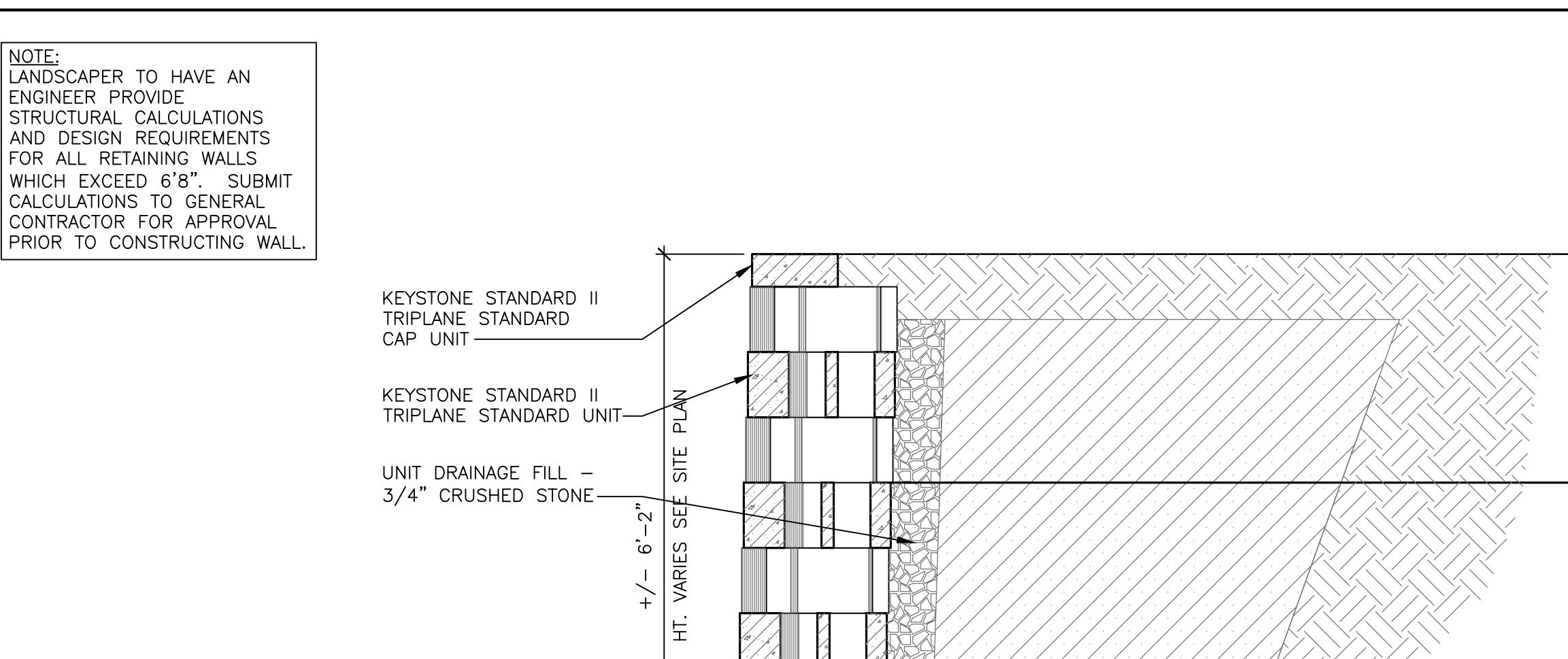
**SITE PLAN** 1  
 DRAWING.DWG MM/DD/YY SCALE: 1" = 20'



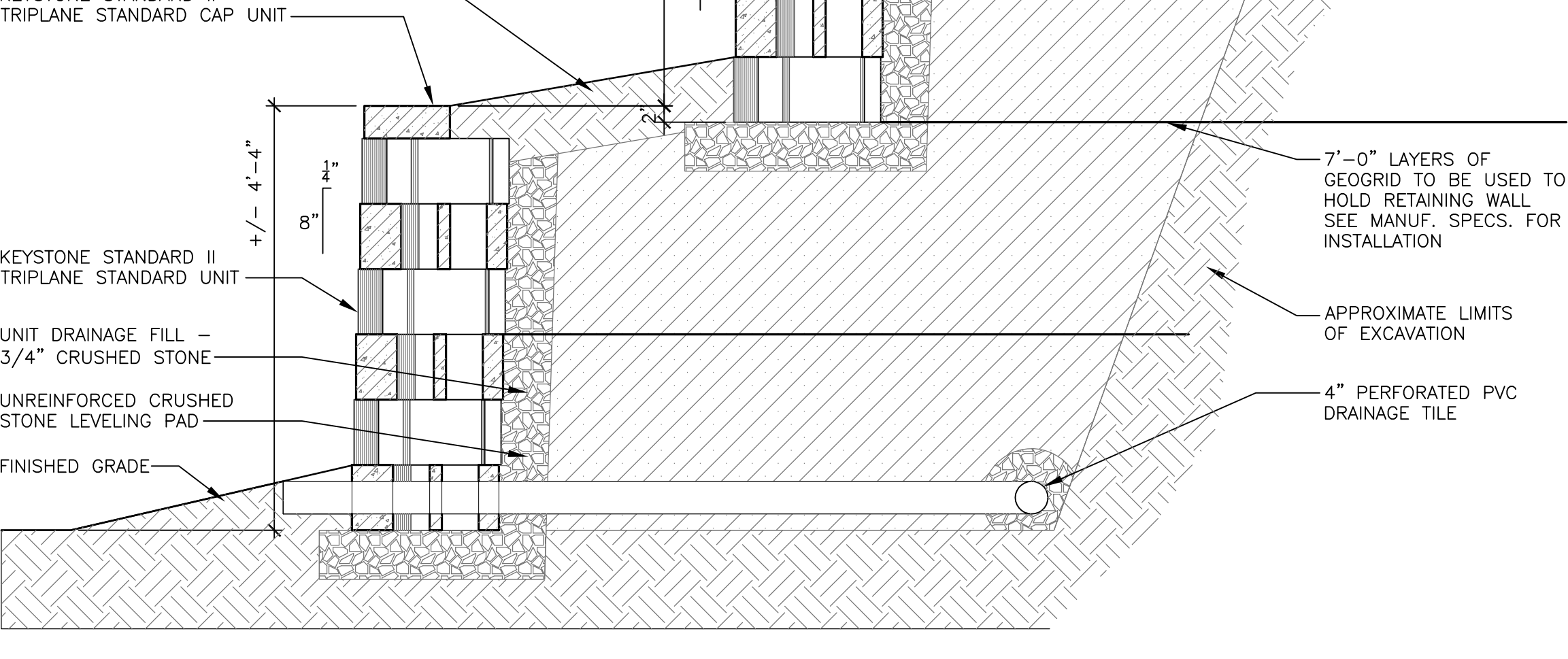
**ASPHALT PAVING DETAIL** 4  
 SCALE: N.T.S.



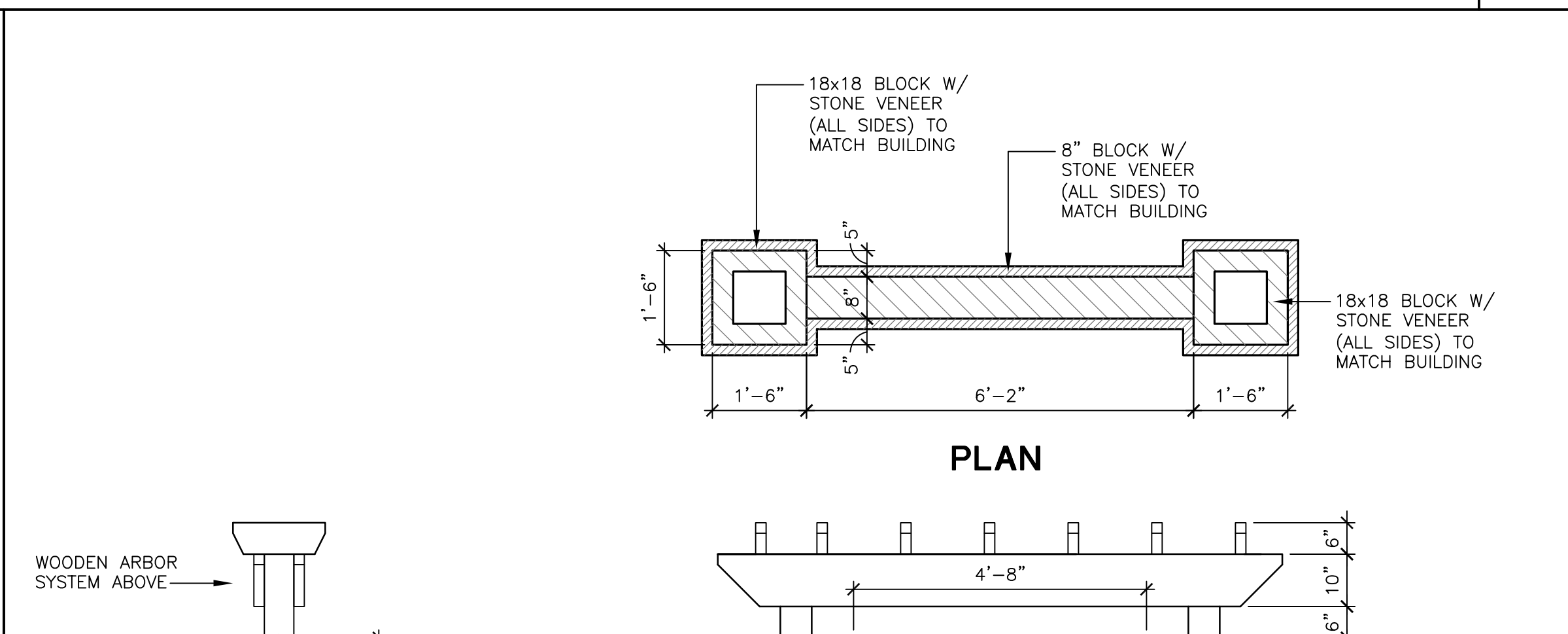
**RETAINING WALL DETAIL** 3  
 SCALE: 3/4" = 1'-0"



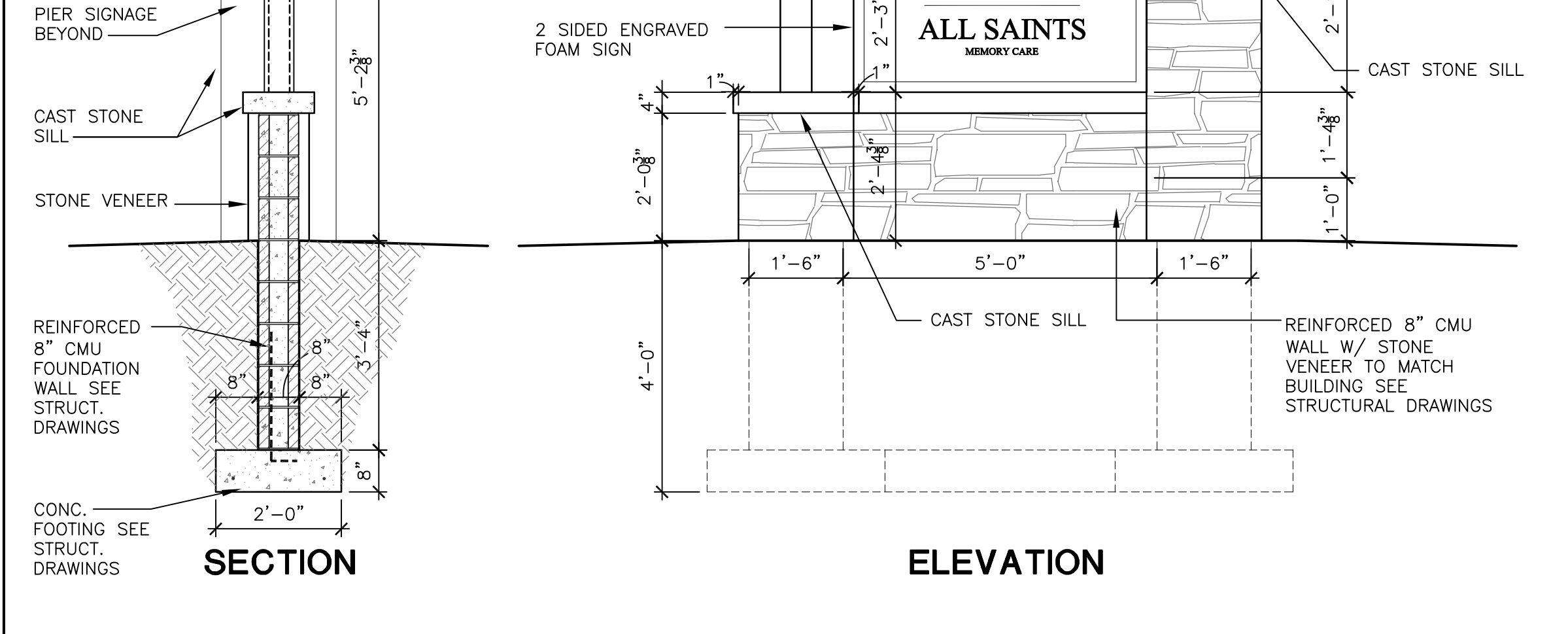
**RETAINING WALL DETAIL** 3  
 SCALE: 3/4" = 1'-0"



**SIGN DETAIL** 2  
 SCALE: 1/2" = 1'-0"



**SIGN DETAIL** 2  
 SCALE: 1/2" = 1'-0"



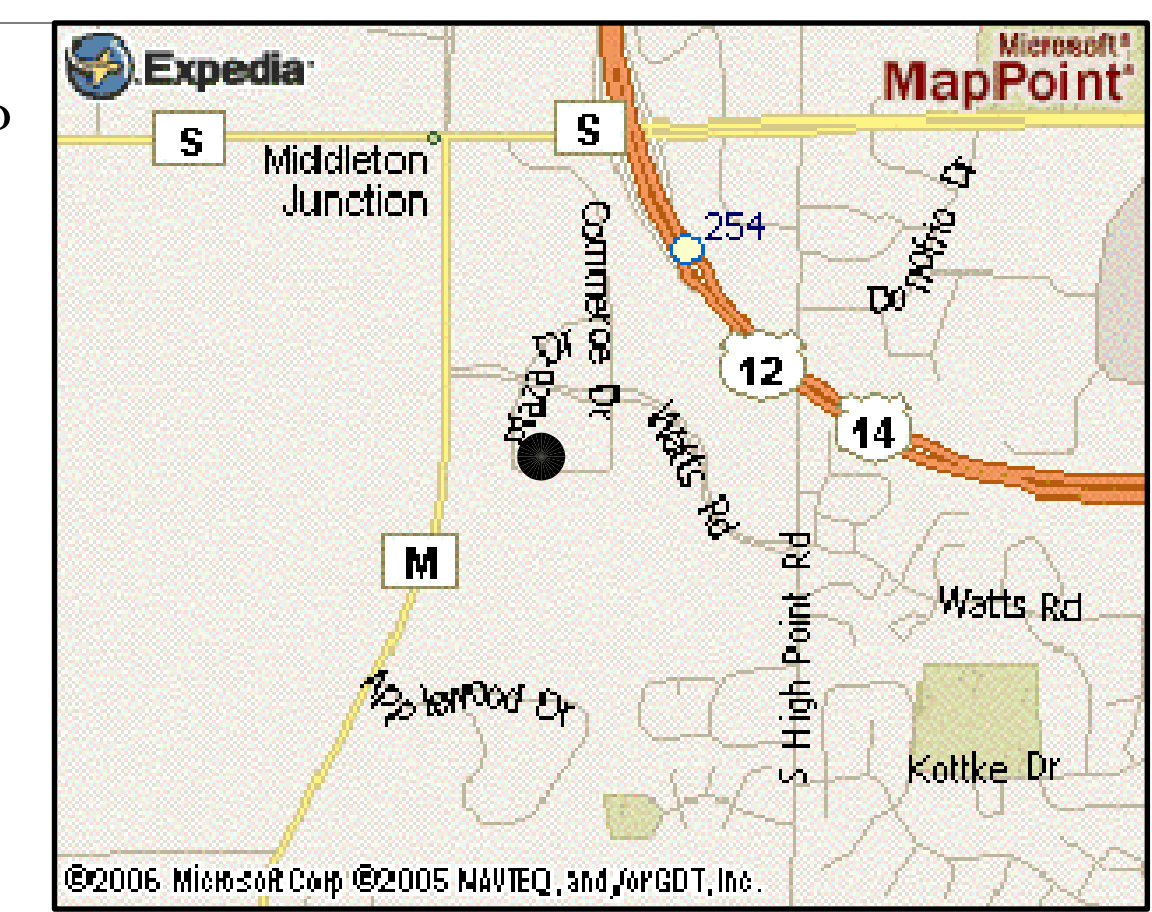
**SIGN DETAIL** 2  
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NO.	DATE	BY	DESCRIPTION
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2-8-07	JOB	LAND USE - SUBMITTAL	
3-18-07	JOB	LOC - FINAL APPROVAL SUBMITTAL	
5-20-07	JOB	LOC - FINAL APPROVAL SUBMITTAL	
5-20-07	JOB	LOC - FINAL APPROVAL SUBMITTAL	

**SITE PLAN**  
 NORTH

# CONTEXTUAL SITE INFORMATION PLAN

LOCATOR MAP



ASSISTED LIVING - CBRF

## ALL SAINTS

8210 HIGHVIEW DR  
MADISON, WI 53704

NORTHEAST

WEST

SOUTHEAST



### IEWS OF EXISTING PROPERTY

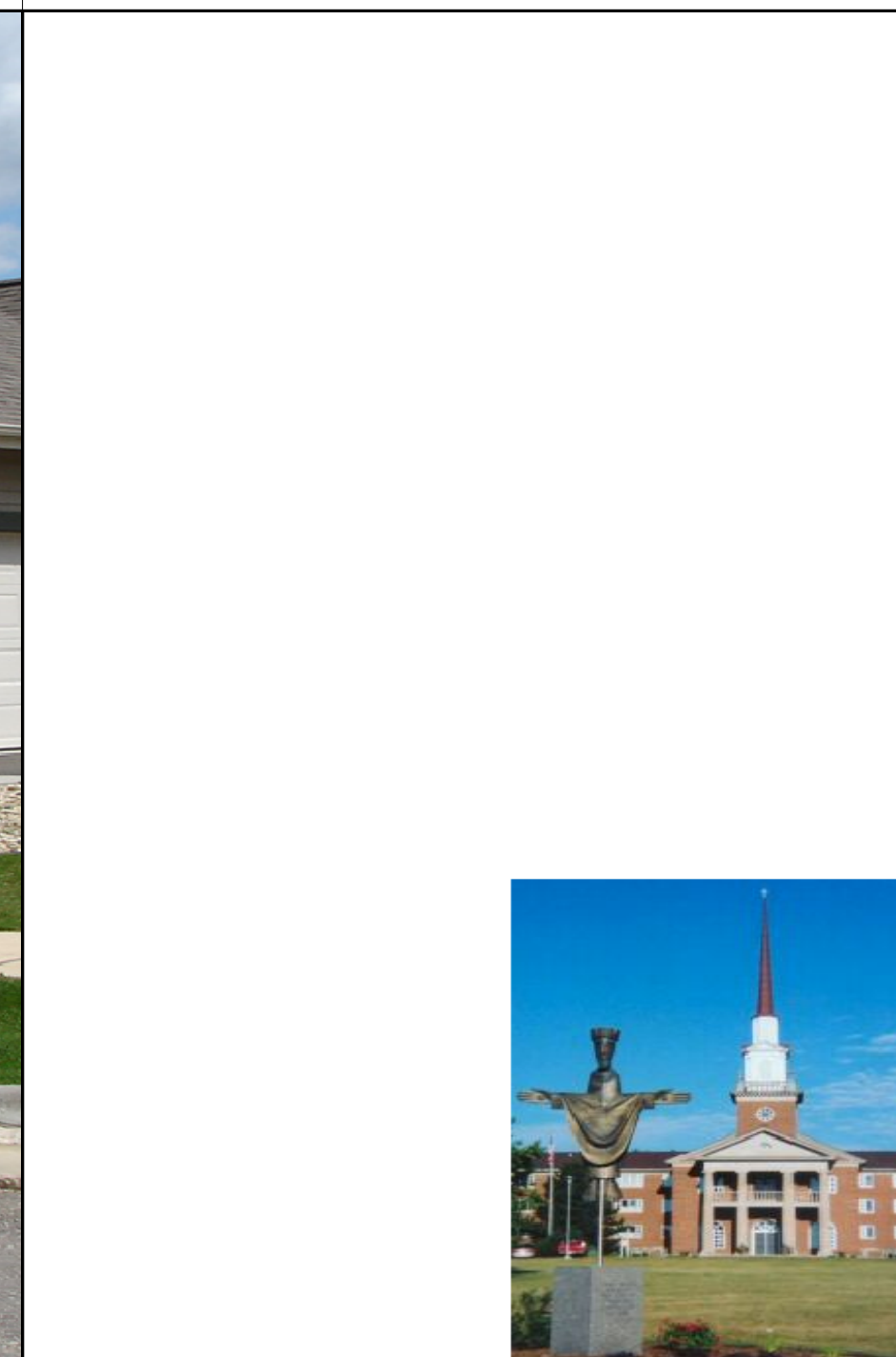
ALL SAINTS CAMPUS APARTMENTS



ALL SAINTS CAMPUS COTTAGES



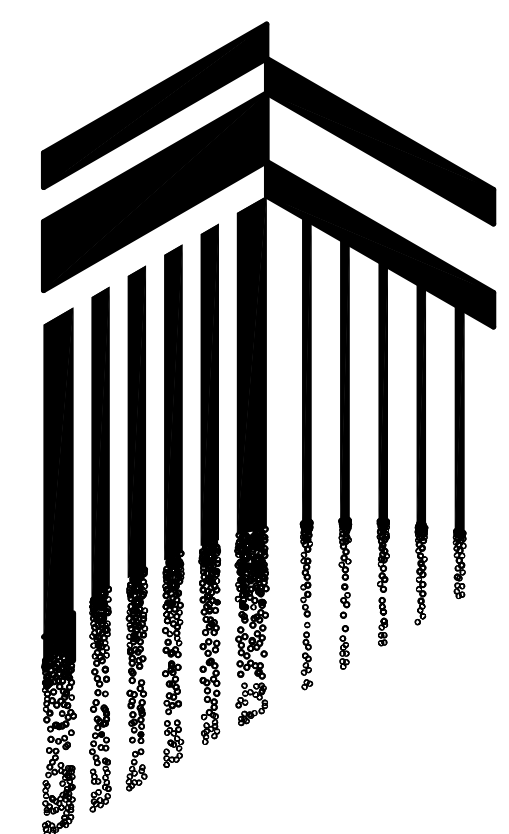
BISHOP O'CONNOR CENTER



ALL SAINTS CAMPUS CONDOS



RETAIL SPACE ON WATTS ROAD



ARCHITECTURE 2000



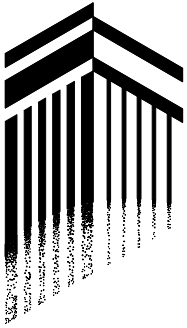
ALL SAINTS CAMPUS APARTMENTS



RETAIL SPACE ON WATTS ROAD



EXISTING CAMPUS SIGNAGE



# ARCHITECTURE 2000

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May 30, 2007

Mr. Tim Parks, Planner  
Mr. Matt Tucker, Zoning Administrator  
Department of Planning and Development  
215 Martin Luther King, Jr. Blvd.  
Madison, WI 53701

Re: **Letter of Intent** – *Revised previously submitted 1/10/2007 and 5/16/2007*  
**All Saints Assisted Living**  
**8210 Highview Drive**  
**PUD (GDP-SIP)**

Dear Mr. Tucker and Mr. Parks:

Please accept this Letter of Intent, application and attachments as our formal request for Specific Implementation Plan review and approval by the City of Madison for the project referenced below.

**Project Name:** All Saints Assisted Living  
8210 Highview Drive  
Madison, WI 53719

**Owner:** All Saints Cottages and Condos, Inc., a non-profit corporation affiliated with Catholic Charities, and/or its assigns  
  
Catholic Charities  
Brian Cain, President  
702 S. High Point Road  
Madison, WI 53719-3522  
Phone: (608) 821-3100  
Fax: (608) 821-3125  
Email: [bcain@straphael.org](mailto:bcain@straphael.org)

**Manager/Operator** Elderspan Management, LLC  
Greg Griffin  
Pankratz Street, Suite 110  
Madison, WI 53704  
Phone: (608)243-8800  
Fax: (608)243-3237  
Email: [greg@elderspan.com](mailto:greg@elderspan.com)

**Developer:** Horizon Development Group, LLC  
Scott Kwiecinski  
1031 North Edge Trail  
Verona, WI 53593  
Phone: (608)848-4500  
Fax: (608)848-4504  
Email: [S.Kwiecinski@horizondbm.com](mailto:S.Kwiecinski@horizondbm.com)

**General Contractor:** Horizon Construction Group, LLC  
Rick Schaalma  
1031 North Edge Trail  
Verona, WI 53593  
Phone: (608)848-4500  
Fax: (608)848-4504  
Email: [R.Schaalma@horizondbm.com](mailto:R.Schaalma@horizondbm.com)

**Architect:** Architecture 2000, LLC  
Jeremy Bartlett  
244 N. Broadway  
Milwaukee, WI 53202  
Phone: (414)727-2321  
Fax: (414)276-1764  
Email: [jbartlett@architecture2000.com](mailto:jbartlett@architecture2000.com)

**Civil Engineer/Surveyor:** Calkins Engineering, LLC  
Matt Morris  
5010 Voges Road  
Madison, WI 53718  
Phone: (608)838-0444  
Fax: (608)838-0445  
Email: [mmorris@calkinsengineering.com](mailto:mmorris@calkinsengineering.com)

**Landscape Architect:** Landscape Architecture, LLC  
Joe Hanauer  
5806 South Hill Drive  
Madison, WI 53705  
Phone: (608)798-1840  
Fax: (608)798-1653  
Email: [jhanauer@tds.net](mailto:jhanauer@tds.net)

## **ALL SAINTS ASSISTED LIVING OVERVIEW**

### **Location:**

The project site is a 80,272 sq. ft. (1.84 acres) vacant parcel located at the intersection of Highview Drive and Plaza Drive on the west side of the City of Madison.

The surrounding uses are as follows: to the north is Hillpoint Park; to the east is the 144-unit All Saints Retirement Center; to the south are the Bishop O'Connor Catholic Pastoral Center and the Cottages at All Saints; and to the west is the Cortland Pond Apartments.

### **Overview:**

All Saints Assisted Living is part of the All Saints Neighborhood. All phases of this development were part of a master plan to ensure that each phase is complementary to one another.

### **ALL SAINTS SENIOR CAMPUS OVERVIEW**

- Phase I: All Saints Retirement Center (f/k/a Hillpoint Senior Apartments) - 144 unit independent senior apartment. Financed through WHEDA with 29 units set aside.
- Phase II: (under construction) The Cottages at All Saints - six (6) duplex condominium buildings (12 total housing units).
- Phase III: (under construction) Hillside Estates at All Saints will consist of 108 residential units in five separate buildings that are two and three stories in height.
- **Phase IV (Current and Final Phase): All Saints Assisted Living - Will consist of 58 assisted living units (CBRF) split over two floor levels of which 18 units will be designed for memory care and 40 units for frail care.**

**Ownership:**

The project will be developed by Horizon Development Group, Inc. in conjunction with Catholic Charities, Inc., Diocese of Madison, and shall work to advance its overall purpose and objectives. All Saints Cottages and Condos, Inc., a non-profit corporation affiliated with Catholic Charities, and/or its assigns is a Wisconsin non-profit corporation organized and operated for the purpose of fostering housing that is affordable for seniors.

The initial building operator will be Elderspan Management, LLC which is one of the leading assisted living management firms in Wisconsin. Established in 1995, Elderspan Management LLC is a family owned and operated company with offices in Madison. Elderspan Management, LLC has been hired and retained to operate the assisted living phase of this project.

The project will be constructed by Horizon Construction Group, Inc.

**Age Restriction:**

All Saints Assisted Living intends to provide and operate housing for persons 55 years of age or older.

**Potential Number of School Age Children Generated by Project:**

All Saints Assisted Living is not expected to generate any school children.

**Construction Schedule:**

Construction would commence upon city approval and is estimated to be 10 months in length.

**SITE PLANNING AND BUILDING ARCHITECTURE**

This PUD (GDP-SIP) plan submittal consists of a building which will house 58 units of assisted living restricted to seniors age 55 and older. The building will be split over two levels with the lower level consisting of 18 memory care efficiency units and the first floor level consisting of 40 frail care efficiency units.

**Streets/Traffic:**

Vehicular traffic for All Saints Assisted Living Memory Care will be accessed through the existing drive entrance on lot 3 (All Saints Retirement Center – Apartments) which serves the lower level of the building and is accessed off of Highview Drive. Vehicular traffic for All Saints Assisted Living Frail Care (upper level) will be accessed by a drive lane that is being installed along Highview Drive to serve the first floor level of the building. All parking for visitors and staff is to be located in the rear of the building (north) and will be accessed through the existing drive entrance on lot 3.

**Park/Greenway:**

All Saints Assisted Living is located adjacent to Hillpoint Park. In addition to this amenity, landscaped courtyards will be provided. These courtyards will be used for a wide range of resident activities from bird watching to family gatherings. Our sidewalks connect to the city sidewalks to maintain connection for pedestrians to our site.

**Utilities/Drainage:**

Existing public sanitary sewer and water utility laterals will be extended from the existing streets to serve the site, as shown on the grading and utility plan. Drainage facilities will include storm sewer and drainage swales as necessary to meet City of Madison requirements. Our storm water will connect to the existing storm lateral as designed in the master plan and located on lot 3 (to the East) of our development.

**Landscaping:**

All Saints Assisted Living will include landscaping features that complement both the campus and the surrounding neighborhood. The development includes extensive courtyard plans. Detailed landscape standards for all common areas and the building are provided to meet all City of Madison requirements. Additionally, the project includes a future gazebo element in the circular turnaround area on the north side of the building. This element will be considered as a fundraiser or endowment for the future and will be designed and constructed at Catholic Charities' discretion. The future gazebo will include landscaping to match the property. We are currently requesting approval on the gazebo location and are assuming that final design may be approved via minor alteration to the SIP.

**Building/Parking:**

All Saints Assisted Living will feature efficiency style residential units. The building architecture complements the architectural styles throughout the entire existing campus. For an aesthetically pleasing campus the color of materials and the building elevations vary from other campus buildings. Specific architectural colors and exterior materials will be brought to the UDC meeting as required.

Thirty (32) parking stalls are provided as shown on the site plan. It is our intention to share parking stalls with those shown on the existing lot built previously under the 144 unit apartment complex. From operations on a day to day basis these parking stalls are never used. The 144 unit apartment complex provides surface as well as underground parking for its residence, visitors and staff. Of which a total of 177 stalls exist for the 144 unit building.

The parking for the CBRF that we propose is in compliance with the Madison General Ordinance section 28.11 (3) requiring one (1) stall per every two (2) beds for an institutional occupancy. To validate that the code is applicable to our assisted living use, we analyzed the parking a bit further. The project operator indicated that a maximum of 13 staff will be present on any given shift, which leaves a balance of 19 stalls for visitors (it is not expected that residents will have vehicles at this stage of life). The ratio of parking stalls available for guests to total building units (19 divided by 58) is approximately 32%. The project operator indicated that a 25% ratio of parking spaces to units would be ample space for proper operation (therefore current parking as designed is more than adequate). Also, the project team designed an additional 10 future parking stalls should they be required by operations in the future. Any overflow parking could also be accommodated at the adjacent 144-unit All Saints Retirement Center. Therefore, our team is confident that the 32 parking spaces as designed are adequate for this project.

**Snow and Trash Removal/ Building Maintenance:**

Will be coordinated and contracted by Elderspan Management.

**Hours of Operation:**

The building will be occupied 24 hours a day 365 days of the year.

**All Saints Assisted Living Project Data Table:**

Lot Area:	80,272 sq. ft. (1.84 acres)
Dwelling Units:	58 units (efficiency)
Lot Area/Dwelling Unit:	1,384 sq. ft./D.U.
Density:	31.5 units/acre

Lot Coverage

Open Space	33,055 sq. ft. (41%)	
Building Coverage	26,331 sq. ft. (33%)	
Total Pavement	2,886 sq. ft. (26%)	
Sidewalk Coverage		5,361 sq. ft.
Asphalt Coverage (not including future parking)		15,525 sq. ft.

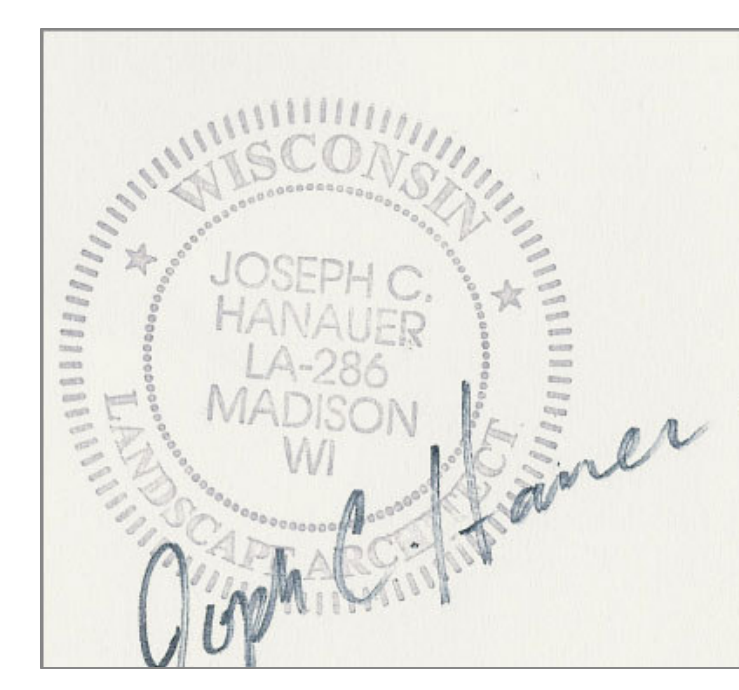
# LEGAL DESCRIPTION OF PROPERTY

All Saints Assisted Living

8210 Highview Drive

May 30, 2007

***Legal Description:*** LOT 2, CERTIFIED SURVEY MAP NUMBER 10820, AS RECORDED IN VOLUME 64 OF CERTIFIED SURVEY MAPS, ON PAGES 258-261, AS DOCUMENT NUMBER 3767667, DANE COUNTY REGISTRY AND LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 8 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



Plant Species for Bio-Infiltration Area

QUANTITY	LATIN NAME	COMMON NAME	TIME	COLOR	HEIGHT	SPACING
38	<i>Acorus calamus</i>	Sweet flag	late spring		2'	1'
11	<i>Asclepias incarnata</i>	Road Milkweed	early summer	red	3'-5'	1'
38	<i>Asclepias tuberosa</i>	Butterfly Weed	early summer	orange	2'	1'
7	<i>Baptisia lactea</i>	White False Indigo	early summer	white	3'-5'	2'
38	<i>Boltonia asteroides</i>	False Aster	late summer	white/pink	2'-4'	1'
76	<i>Carex vulpinoidea</i>	Fox Sedge			1'-3'	1'
38	<i>Echinacea purpurea</i>	Purple Coneflower	summer	purple	2'	1'
15	<i>Eupatorium maculatum</i>	Joe-Pye Weed	summer	pink	4-7'	1'
15	<i>Iris versicolor</i>	Blue Flag Iris	early summer	blue	2'-3'	1'
38	<i>Juncus torreyi</i>	Torrey's Rush	early summer		4'	1'
38	<i>Liatis pycnostachya</i>	Prairie Blazingstar	summer	pink	3'-5'	1'
38	<i>Lobelia cardinalis</i>	Cardinal flower	mid summer	red	2'-5'	1'
16	<i>Parthenium integrifolium</i>	Wild Quinine	summer	white	3'-5'	1'
38	<i>Penstemon digitalis</i>	Smooth Penstemon	early summer	white	2'-3'	1'
38	<i>Pontederia cordata</i>	Pickering weed	summer	purple	3'	1'
8	<i>Ratibida pinnata</i>	Yellow Coneflower	summer	yellow	3'-6'	1'
76	<i>Sagittaria latifolia</i>	Arrowhead	summer	white	4'	1'
9	<i>Solidago rigida</i>	Stiff Goldenrod	fall	yellow	3'-5'	1'
575						

Plant Table

Quantity	Plant Size	Scientific Name	Common Name
3	7' BB	<i>Gymnocladia dioica</i>	Kentucky coffeetree
4	7' BB	<i>Quercus bicolor</i>	Swamp White Oak
2	7' BB	<i>Syringa reticulata</i>	Ivory Silk Japanese Tree Lilac
5	7' BB	<i>Ulmus x 'Patriot'</i>	Patriot Elm

Quantity	Plant Size	Scientific Name	Common Name
3	6-7' BB	<i>Asterandor x graciliflora</i>	Autumn Brilliance Juneberry
4	6-7' BB	<i>Malus 'Cardinalis Royal'</i>	Cardinal's Crabapple
3	110" BB	<i>Pyrus calleryana 'Redspire'</i>	Red Spire Pear

Quantity	Plant Size	Scientific Name	Common Name
11	18"	<i>Taxus media 'Tautou'</i>	Tautou Yew
3	12"	<i>Bonus sempervirens 'Green Velvet'</i>	Green Velvet Boxwood
5	2'	<i>Thuja occidentalis 'Holmstrup'</i>	Holmstrup Arborvitae

Quantity	Plant Size	Scientific Name	Common Name
3	18"	<i>Berberis thunbergii 'Crimson Pygmy'</i>	Crimson Pygmy Barberry
12	18"	<i>Cornus 'Kelsey'</i>	Kelsey Dogwood
4	18"	<i>Cornus alba 'Bastardo'</i>	Ivory Halo Dogwood
3	12"	<i>Cotoneaster apiculatus</i>	Cranberry cotoneaster
6	12-15"	<i>Daphne x burkwoodii 'Carol Mackie'</i>	Carol Mackie Daphne
9	18"	<i>Forsythia viridissima 'Bronxensis'</i>	Bronx Forsythia
5	5 gal	<i>Fothergilla gardenii</i>	Fothergilla 'Mr. Ains'
5	12"	<i>Hydrangea 'Pink Elf'</i>	Pink Elf Hydrangea
12	18"	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea
10	2-3'	<i>Hydrangea paniculata 'Grandiflora'</i>	PG Hydrangea
5	36"	<i>Hydrangea paniculata 'Unique'</i>	Unique Hydrangea
4	12"	<i>Hypericum 'Surburst'</i>	Hypericum 'Surburst'
14	2 gal	<i>Rosa 'Fuchsia Medallion'</i>	Fuchsia Medallion Rose
16	2 gal	<i>Rosa 'Knockout'</i>	Knockout Rose
8	2 gal	<i>Rosa 'Scarlet Medallion'</i>	Scarlet Medallion Rose
2	2 gal	<i>Rosa 'Sea Foam'</i>	Sea Foam Rose
18	18-24"	<i>Spiraea bushiana 'Anthony Waterer'</i>	Anthony Waterer Spiraea
13	12-15"	<i>Spiraea japonica 'Little Princess'</i>	Little Princess Spiraea
3	18"	<i>Syringa 'Tinkerbell'</i>	Tinkerbell Lilac
18	2-3'	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Lilac
6	24"	<i>Viburnum x juddii</i>	Judd Viburnum
1	2'	<i>Weihegla Florida 'Red Prince'</i>	Weihegla 'Red Prince'
13	2'	<i>Weihegla Florida 'Rumba'</i>	Rumba Weihegla

Quantity	Plant Size	Scientific Name	Common Name
6	45"	<i>Calamagrostis x Karl Foerster</i>	Feather Reed Grass
5	1 gal	<i>Echinacea purpurea 'Magnus'</i>	Magnus Coneflower
13	1-gal	<i>Hemerocallis 'Stella D'oro'</i>	Stella D'oro Daylily
26	4" Pot	<i>Heuchera micrantha 'Palace Purple'</i>	Heuchera Palace Purple
16	1-gal	<i>Panicum virgatum 'Shenandoah'</i>	Shenandoah Grass
23	1-gal	<i>Pennisetum glaucoides 'Nanette'</i>	Nanette Fountain Grass
9	4" pot	<i>Rudbeckia hirta 'Goldstrut'</i>	Goldstrut Black-Eyed-Susan
29	4" pot	<i>Sedum spectabile 'Autumn Joy'</i>	Autumn Joy Sedum
1	1-gal	<i>Sorghastrum nutans</i>	Indian Grass

LANDSCAPE WORKSHEET

Parking Lots, Storage Areas and Loading Areas  
(Section 28.04 Madison General Ordinance)

**NUMBER OF TREES REQUIRED**

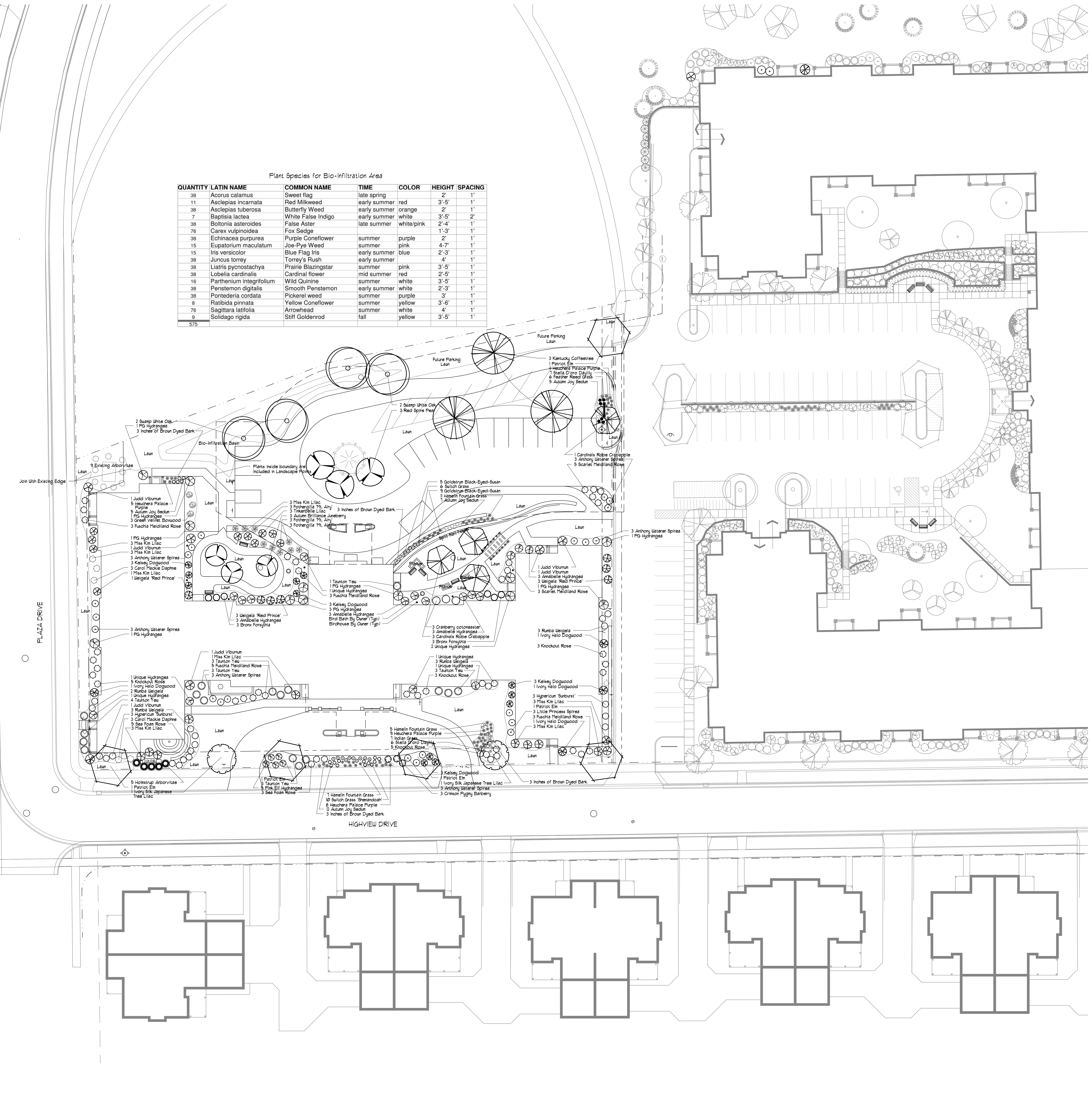
Number of Parking Stalls: 17  
 Total Square Footage of the Storage Area: 300  
 Divided by Three Hundred (300 Square Feet): 1  
 Number of Canopy Shade Trees Required (2'-2.5' Caliper): 1  
 (See Schedule on Reverse side of Section 28.04)

**NUMBER OF LANDSCAPE POINTS REQUIRED**

**NUMBER OF POINTS REQUIRED:** 83.5

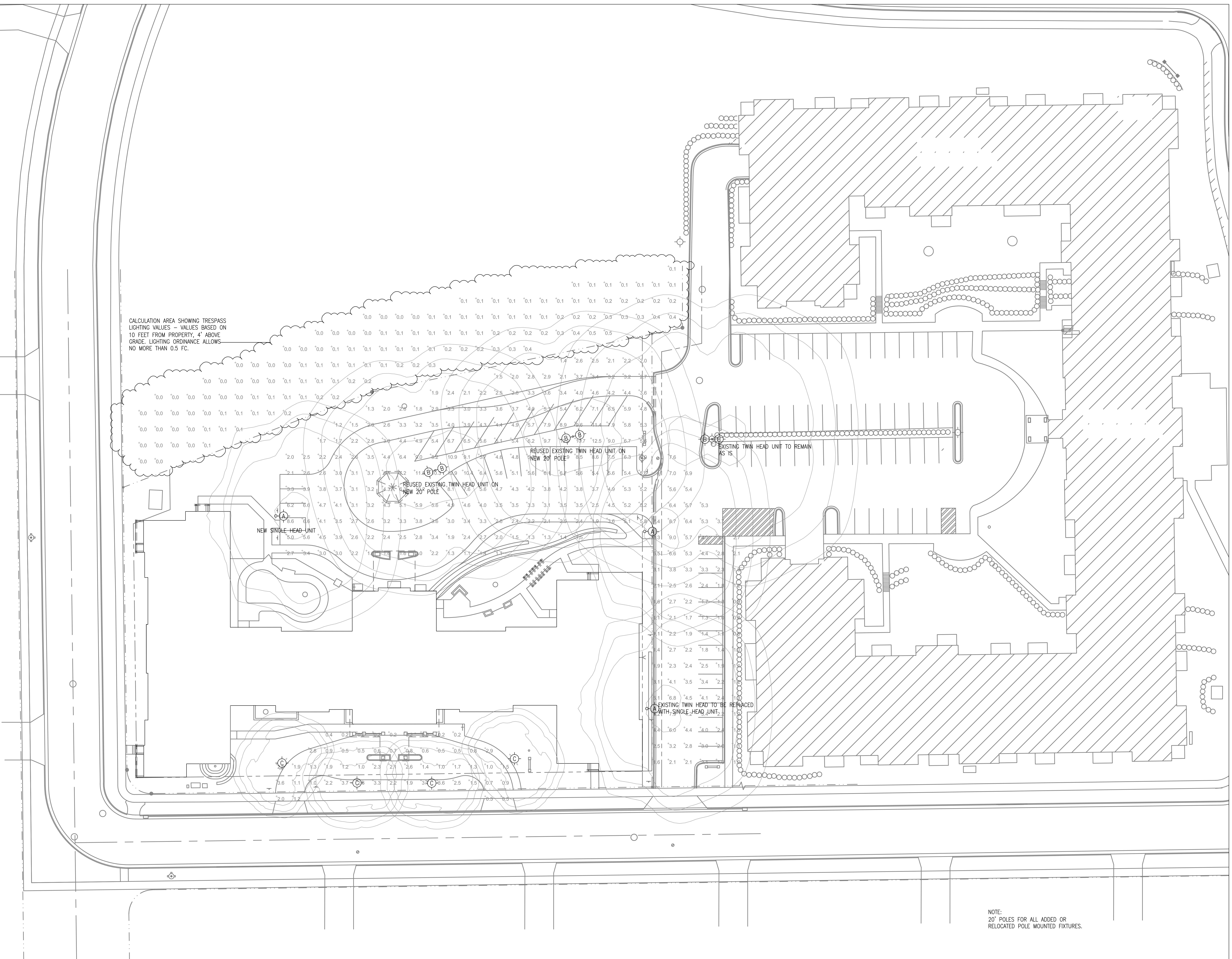
ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED
Canopy Tree (2'-2.5' caliper)	35	5	175
Deciduous Shrub	2	16	32
Evergreen Shrub	3		0
Decorative Wall or Fence (per 10 L.F.)	5		0
Earth Berm (per 10 L.F.)	5		0
Ave. Height 30"	2		0
Ave. Height 15"	1		0
Evergreen Trees (3 foot height min.)	15		0
Canopy Tree or Small Tree (1.5'-2' caliper)	15	4	60
<b>SUBTOTAL:</b>			<b>267</b>

NOTES:  
 1. All plant beds to be edged with black vinyl edging.  
 2. Plant beds to be mulched with 2" washed stone and weed barrier unless otherwise noted.  
 3. Trees planted in lawn areas to receive a 6" diameter arched mulch ring.  
 4. Contractor is responsible for verifying all plant quantities. Plan shall prevail over the plant list.





CALCULATION AREA SHOWING TRESPASS LIGHTING VALUES - VALUES BASED ON 10 FEET FROM PROPERTY, 4' ABOVE GRADE. LIGHTING ORDINANCE ALLOWS NO MORE THAN 0.5 FC.



NOTE:  
 20' POLES FOR ALL ADDED OR RELOCATED POLE MOUNTED FIXTURES.

**SITE LIGHTING PLAN**  
 SCALE 1"=20'-0"



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Existing Parking Area	+	3.3 fc	9.0 fc	0.8 fc	11.3:1	4.1:1
Front Entry	+	1.4 fc	3.7 fc	0.2 fc	18.5:1	7.0:1
Light trespass	+	0.1 fc	0.5 fc	0.0 fc	N / A	N / A
New Parking Area	+	4.4 fc	13.0 fc	1.1 fc	11.8:1	4.0:1

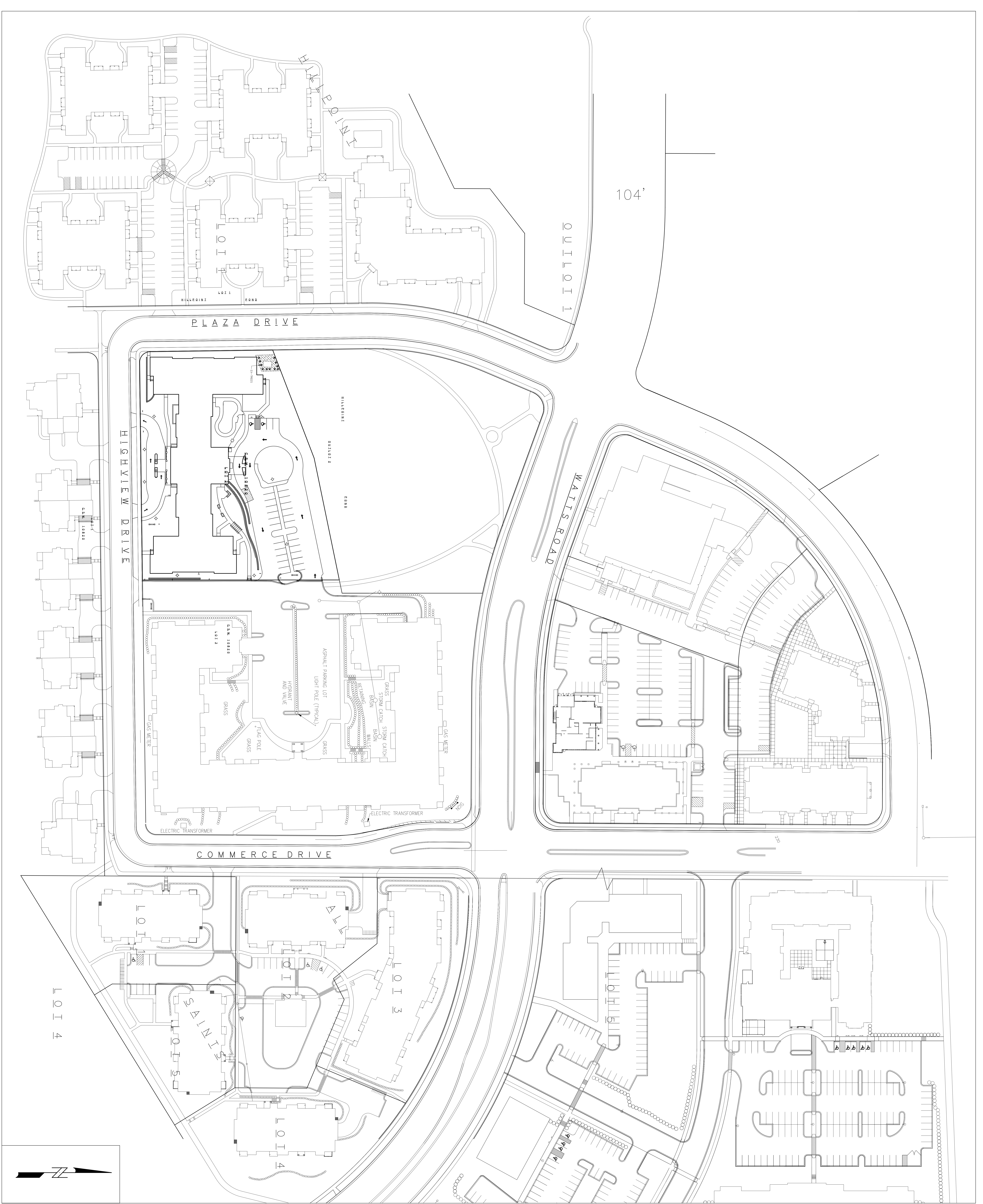
NO.	DATE	BY	DESCRIPTION

**ALL SAINTS** GRPF  
 8210 HIGHVIEW DRIVE  
 MADISON, WI 53719  
 OWNER REPRESENTATIVE  
 HENT  
 1402 PARKWAY STREET, STE 110  
 MADISON, WI 53704  
**CONTRACTOR/DEVELOPER**  
**HORICON CONSTRUCTION GROUP**  
 VERONA, WI 53593

**CIVIL ENGINEER:**  
**Colkins Engineering, LLC**  
 Civil Engineers & Land Surveyors  
 2014 Westgate Road  
 Verona, WI 53593  
 (608) 839-0444

NO.	DATE	BY	DESCRIPTION
1	08/13	JK	ISSUED FOR PERMITS
2	08/13	JK	ISSUED FOR PERMITS
3	08/13	JK	ISSUED FOR PERMITS
4	08/13	JK	ISSUED FOR PERMITS
5	08/13	JK	ISSUED FOR PERMITS
6	08/13	JK	ISSUED FOR PERMITS
7	08/13	JK	ISSUED FOR PERMITS
8	08/13	JK	ISSUED FOR PERMITS
9	08/13	JK	ISSUED FOR PERMITS
10	08/13	JK	ISSUED FOR PERMITS

SCALE: 1" = 40'  
 SHEET: 01.1  
 OVERALL SITE PLAN  
 DRAWN BY: CMCO BR  
 CHECKED BY: CMCO BR  
 REVISIONS: -



104'

LOT 1

PLAZA DRIVE

HIGHVIEW DRIVE

COMMERCE DRIVE

WATISS ROAD

LOT 4

ALL SAINTS

LOT 3

LOT 2

LOT 4

LOT 1

LOT 2

LOT 3

LOT 4

LOT 1

LOT 2

LOT 3

LOT 4

LOT 1

LOT 2

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LOT 3

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LOT 1

LOT 2

LOT 3

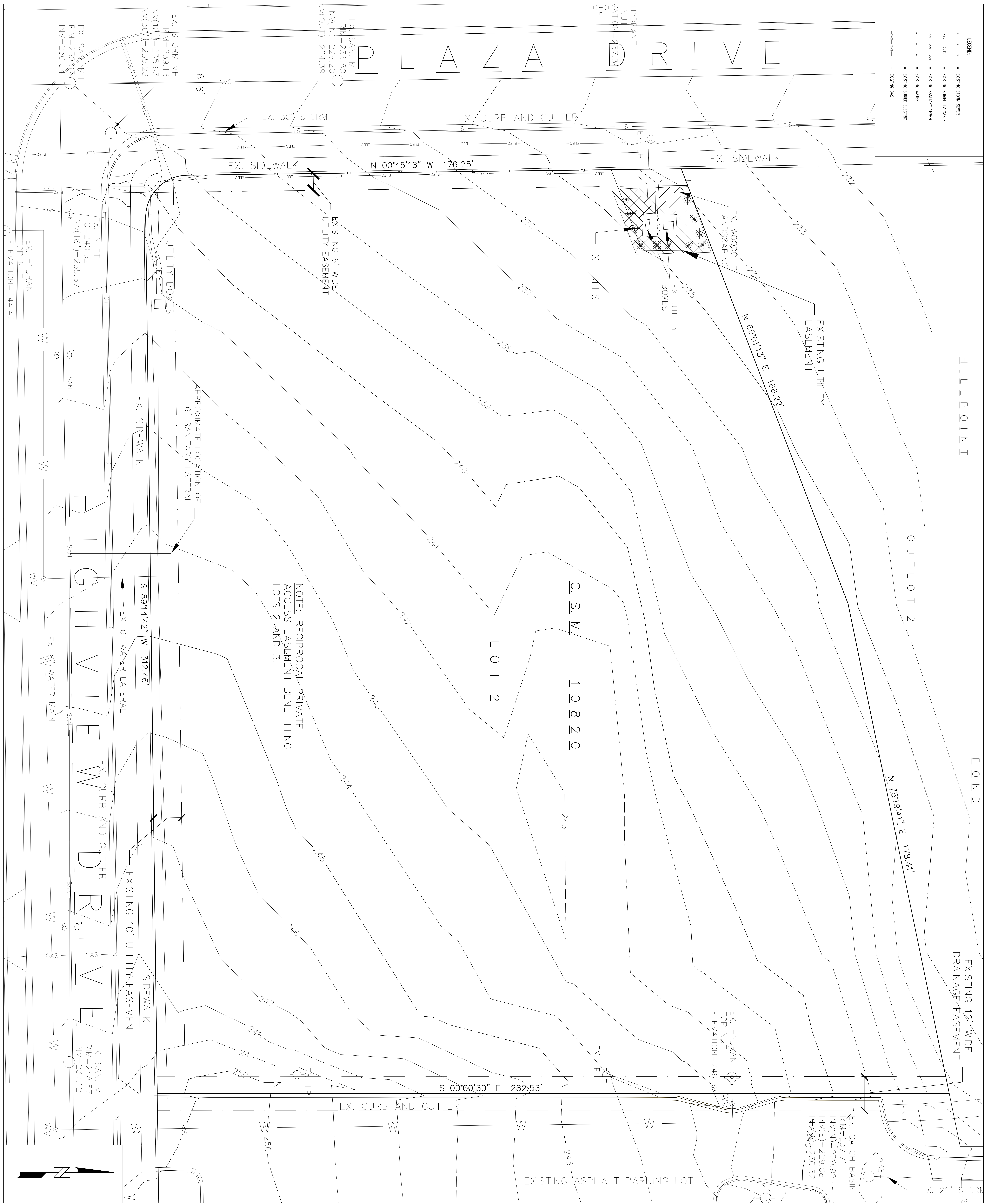
LOT 4

LOT 1

LOT 2

LOT 3

- LEGEND:**
- S1-S1-S1- EXISTING STORM SEWER
  - G1-V1-G1-V1- EXISTING BORED TV CABLE
  - S1-S1-S1-S1- EXISTING SANITARY SEWER
  - M1-M1-M1- EXISTING METERS
  - E1-E1-E1- EXISTING BORED ELECTRIC
  - G1-G1-G1- EXISTING GAS



NO.	DATE	BY	DESCRIPTION
1	01/15/20	AMJ	AS-BUILT
2	01/15/20	AMJ	REVISED
3	01/15/20	AMJ	REVISED
4	01/15/20	AMJ	REVISED
5	01/15/20	AMJ	REVISED
6	01/15/20	AMJ	REVISED
7	01/15/20	AMJ	REVISED
8	01/15/20	AMJ	REVISED
9	01/15/20	AMJ	REVISED
10	01/15/20	AMJ	REVISED

NO. DATE BY DESCRIPTION

1 01/15/20 AMJ AS-BUILT

2 01/15/20 AMJ REVISED

3 01/15/20 AMJ REVISED

4 01/15/20 AMJ REVISED

5 01/15/20 AMJ REVISED

6 01/15/20 AMJ REVISED

7 01/15/20 AMJ REVISED

8 01/15/20 AMJ REVISED

9 01/15/20 AMJ REVISED

10 01/15/20 AMJ REVISED

**SCALE: 1" = 10'**

**PROJECT #:** 2019-001

**DRAWN BY:** CHNG BY: AMJ

**BLDG. SUBMITTAL:** -

**SITE SURVEY**

**CONTRACTOR/DEVELOPER:**  
 ALL SAINTS  
 1031 NORTH EDGE TRAIL  
 VERONA, WI 53593

**ENGINEER:**  
 Colkins Engineering, Inc.  
 1102 PARKWAY STREET  
 MADISON, WI 53716  
 (608) 238-4444

**OWNER/REPRESENTATIVE:**  
 ELMER SPAN MANAGEMENT  
 1102 PARKWAY STREET, STE 110  
 MADISON, WI 53716  
 (608) 238-4444

**ASSISTED LENDING - CDRF**  
 2020 HOMEOWNERS DRIVE  
 VERONA, WI 53593

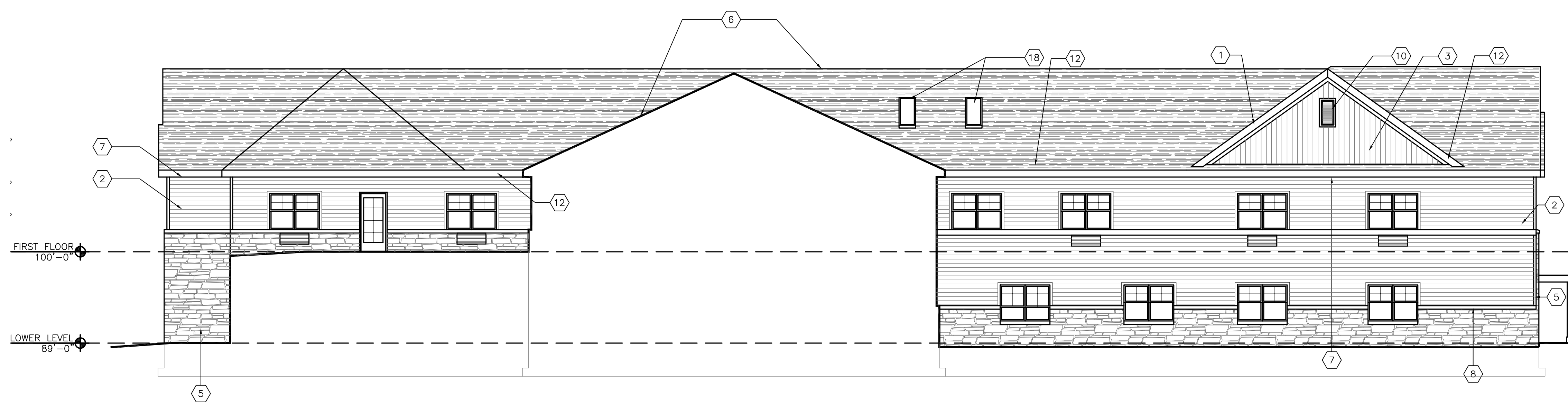
**ARCHITECTURE 2000**  
 1102 PARKWAY STREET  
 MADISON, WI 53716  
 (608) 238-4444  
 © 2017 ARCHITECTURE 2000

**ALL SAINTS**  
 ASSISTED LIVING - CBRF  
 8210 HIGHVIEW DRIVE  
 MADISON, WI 53719

OWNER REPRESENTATIVE:  
 ELDERSPAN MANAGEMENT  
 1402 PANKRATZ STREET, STE 110  
 MADISON, WI 53704

CONTRACTOR/DEVELOPER:  
 HORIZON CONSTRUCTION GROUP  
 1031 NORTH EDGE TRIAL  
 VERONA, WI 53593

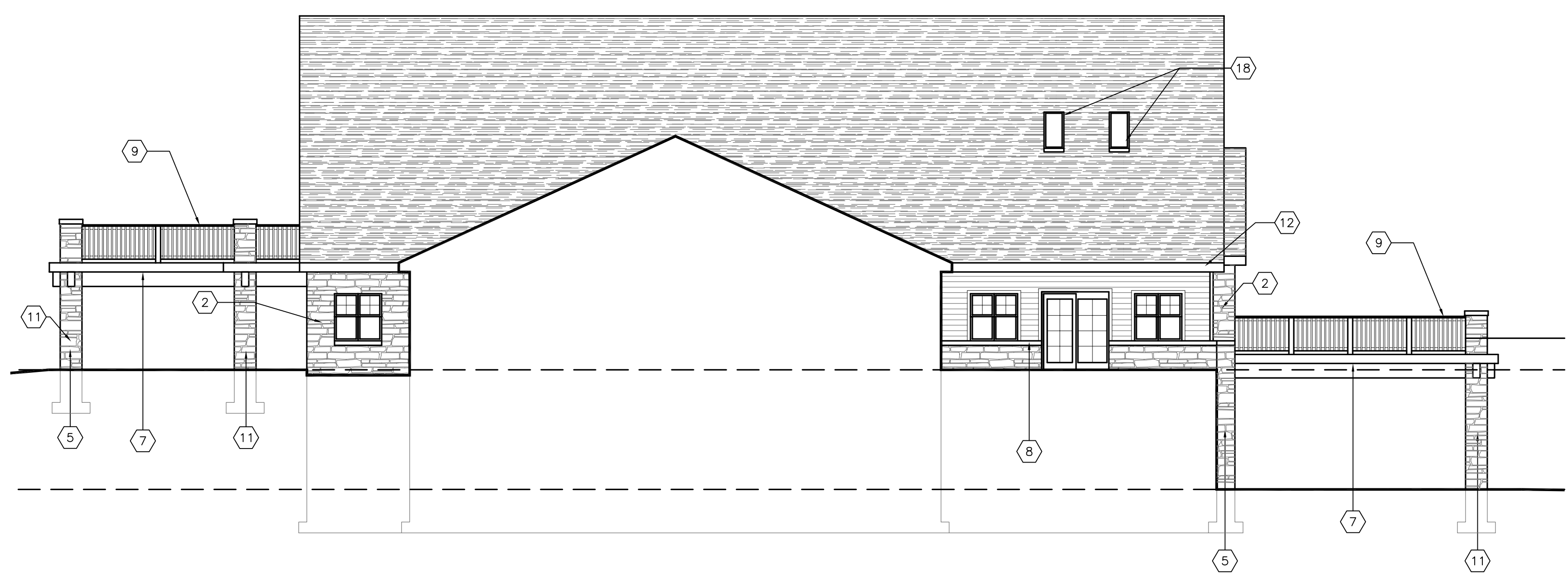
ELEVATION KEY NOTES	
①	TRIM - ALUMINUM
②	HORIZONTAL SIDING - VINYL
③	VERTICAL SIDING - VINYL
④	SHAKER SIDING - VINYL
⑤	STONE
⑥	ROOFING
⑦	SOFFIT - ALUMINUM
⑧	BILL
⑨	RAILING - VINYL
⑩	LOUVER
⑪	COLUMN
⑫	FACE - ALUMINUM
⑬	PAINTED DOOR AND FRAME
⑭	NOT USED
⑮	PROPOSED GRADE, VERIFY w/ CIVIL
⑯	RETAINING WALL, SEE LANDSCAPE PLAN
⑰	FOOTING AND FOUNDATION, SEE STRUCTURAL
⑱	BRIDGE, SEE
⑲	FIRE DEPARTMENT SHASEE CONNECTION
⑳	RETAINING WALL, SEE SITE PLAN



EAST ELEVATION

2

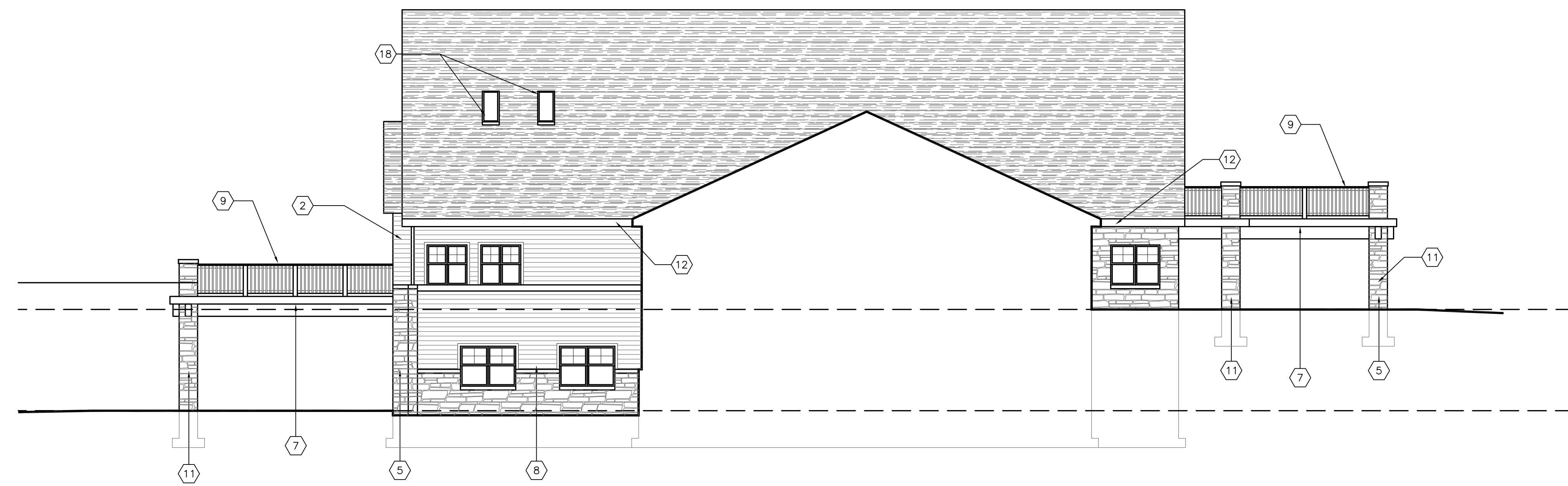
SCALE: 1/8" = 1'-0"



EAST ELEVATION

28

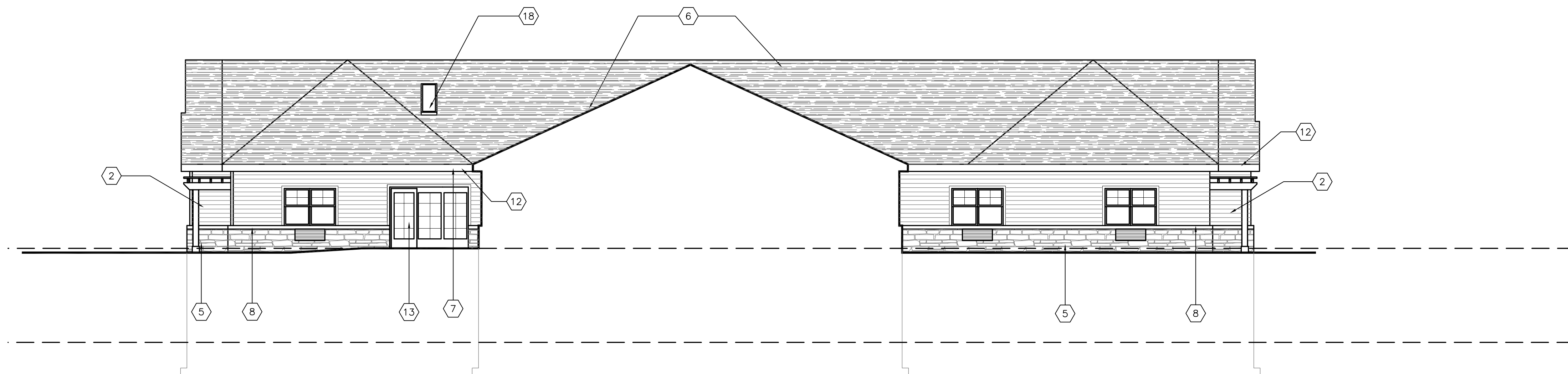
SCALE: 1/8" = 1'-0"



WEST ELEVATION

4

SCALE: 1/8" = 1'-0"



WEST ELEVATION

6

SCALE: 1/8" = 1'-0"

NO.	DATE	BY	DESCRIPTION
△	1-3-07	JCB	JOB - INFORMATIONAL SUBMITTAL
△	3-8-07	JCB	JOB - LAND USE - SUBMITTAL
△	5-16-07	JCB	JOB - INITIAL APPROVAL SUBMITTAL
△	5-30-07	JCB	JOB - INITIAL APPROVAL SUBMITTAL
△			
△			
△			
△			
△			
△			

**EXTERIOR ELEVATIONS**

SCALE: 1/8" = 1'-0" SHEET  
 PROJECT #: 0611  
 DRWN BY: cec/CHKD BY:  
 BLDG. SUBMITTAL: 5/30/07

A3.1

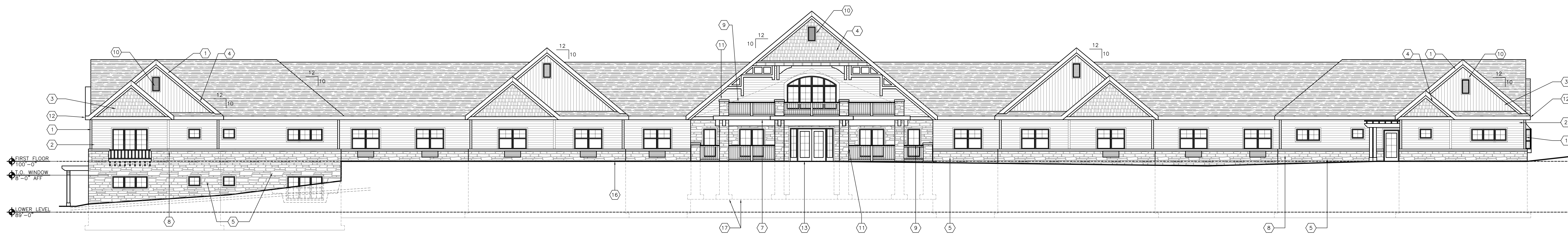
**ALL SAINTS**  
 ASSISTED LIVING - CBRF  
 820 HIGHVIEW DRIVE  
 MADISON, WI 53719

OWNER REPRESENTATIVE:  
**ELDERSPAN MANAGEMENT**  
 1402 PANKRATZ STREET, STE 10  
 MADISON, WI 53704

CONTRACTOR/DEVELOPER:  
**HORIZON CONSTRUCTION GROUP**  
 1031 NORTH EDGE TRAIL  
 VERONA, WI 53593

**ELEVATION KEY NOTES**

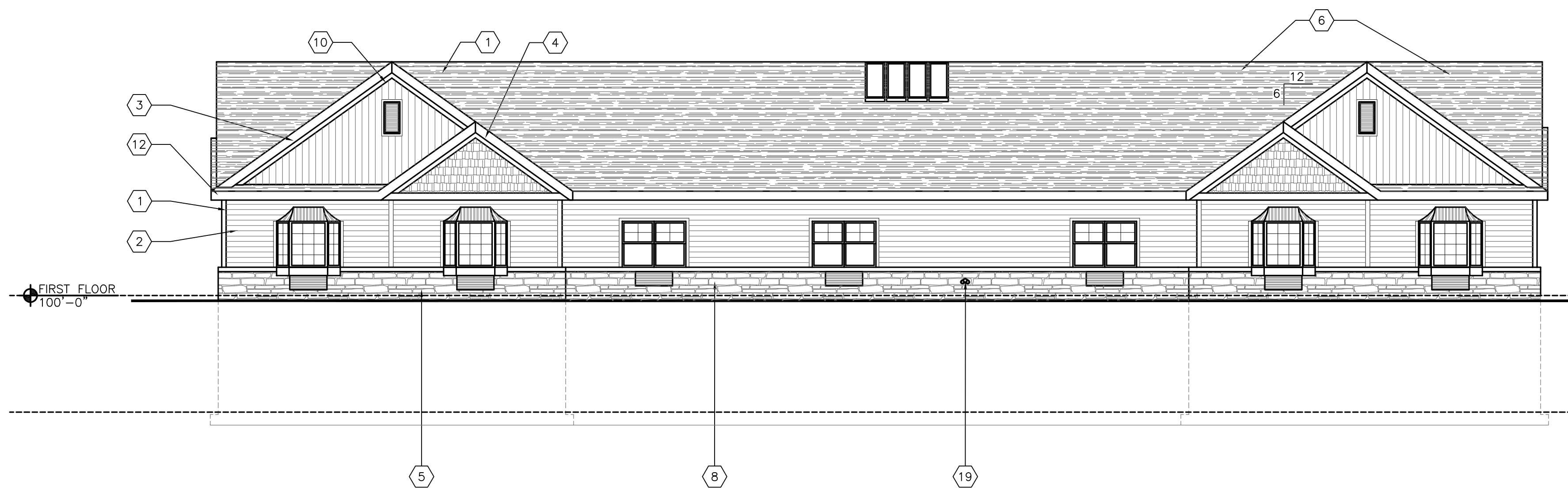
- ① TRIM - ALUMINUM
- ② HORIZONTAL SIDING - VINYL
- ③ VERTICAL SIDING - VINYL
- ④ SHAKER SIDING - VINYL
- ⑤ STONE
- ⑥ ROOFING
- ⑦ SOFFIT - ALUMINUM
- ⑧ GILL
- ⑨ RAILING - VINYL
- ⑩ LOWER
- ⑪ COLUMN
- ⑫ FENCE - ALUMINUM
- ⑬ PAINTED DOOR AND FRAME
- ⑭ NOT USED
- ⑮ PROPOSED GRADE VERIFY w/ CIVIL
- ⑯ RETAINING WALL SEE LANDSCAPE PLAN
- ⑰ FOOTINGS AND FOUNDATION SEE STRUCTURAL
- ⑱ BRICK/CLAY TILE
- ⑲ FIRE DEPARTMENT SHIMASE CONNECTION
- ⑳ RETAINING WALL SEE SITE PLAN



**SOUTH ELEVATION (HIGHVIEW DRIVE)**

SCALE: 1/8" = 1'-0"

2



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

28



**WEST ELEVATION (PLAZA DRIVE)**

SCALE: 1/8" = 1'-0"

4



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

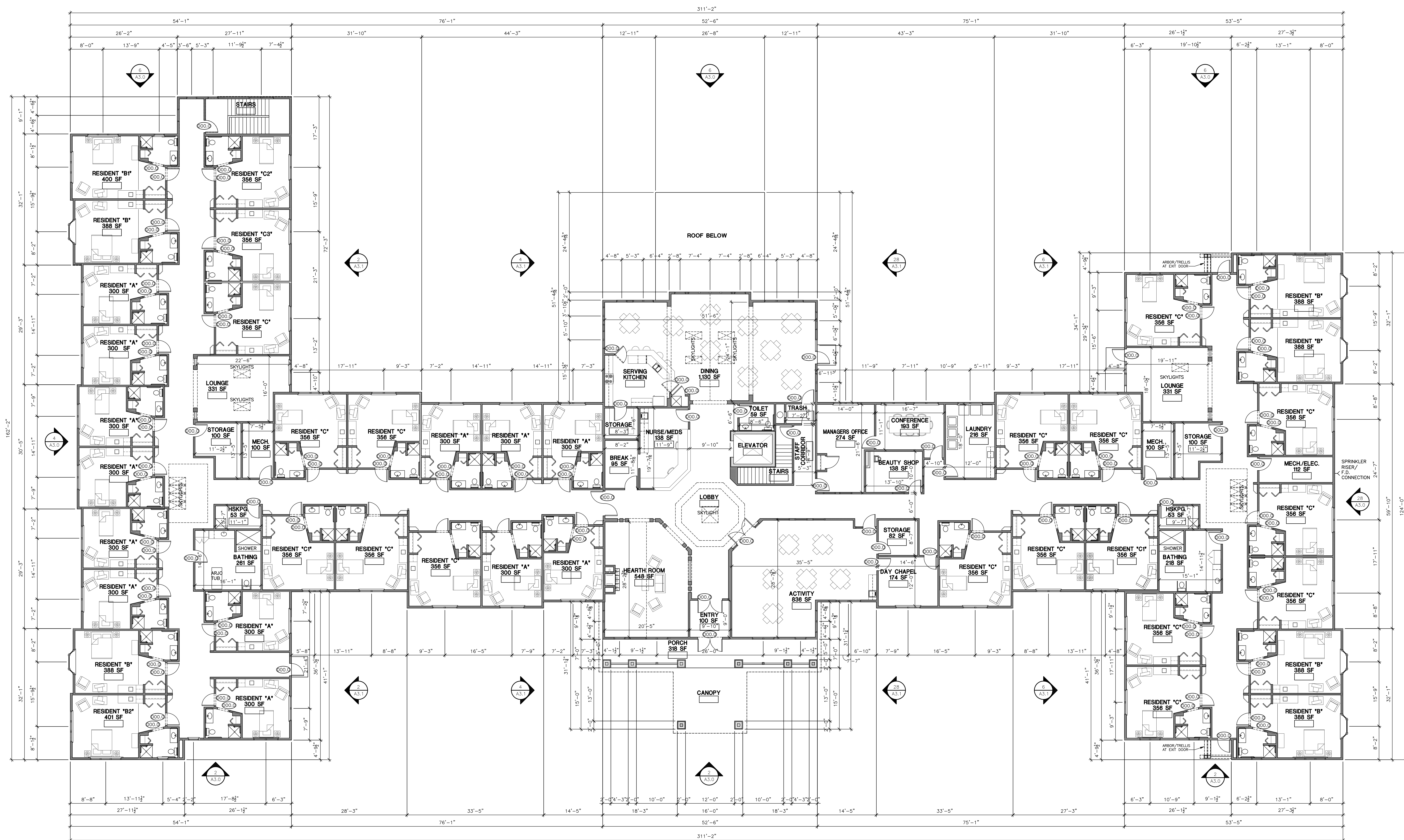
6

NO.	DATE	BY	DESCRIPTION
1	1-3-07	JOB	JOB - INFORMATIONAL SUBMITTAL
2	3-8-07	JOB	JOB - LAND USE - SUBMITTAL
3	5-16-07	JOB	JOB - INITIAL APPROVAL SUBMITTAL
4	5-30-07	JOB	JOB - INITIAL APPROVAL SUBMITTAL
5			
6			
7			
8			
9			
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11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

**EXTERIOR ELEVATIONS**

SCALE: 1/8" = 1'-0" SHEET  
 PROJECT #: 0611  
 DRWN BY: cec/CHKD BY: [Signature]  
 BLDG. SUBMITTAL: 5/30/07

**A3.0**



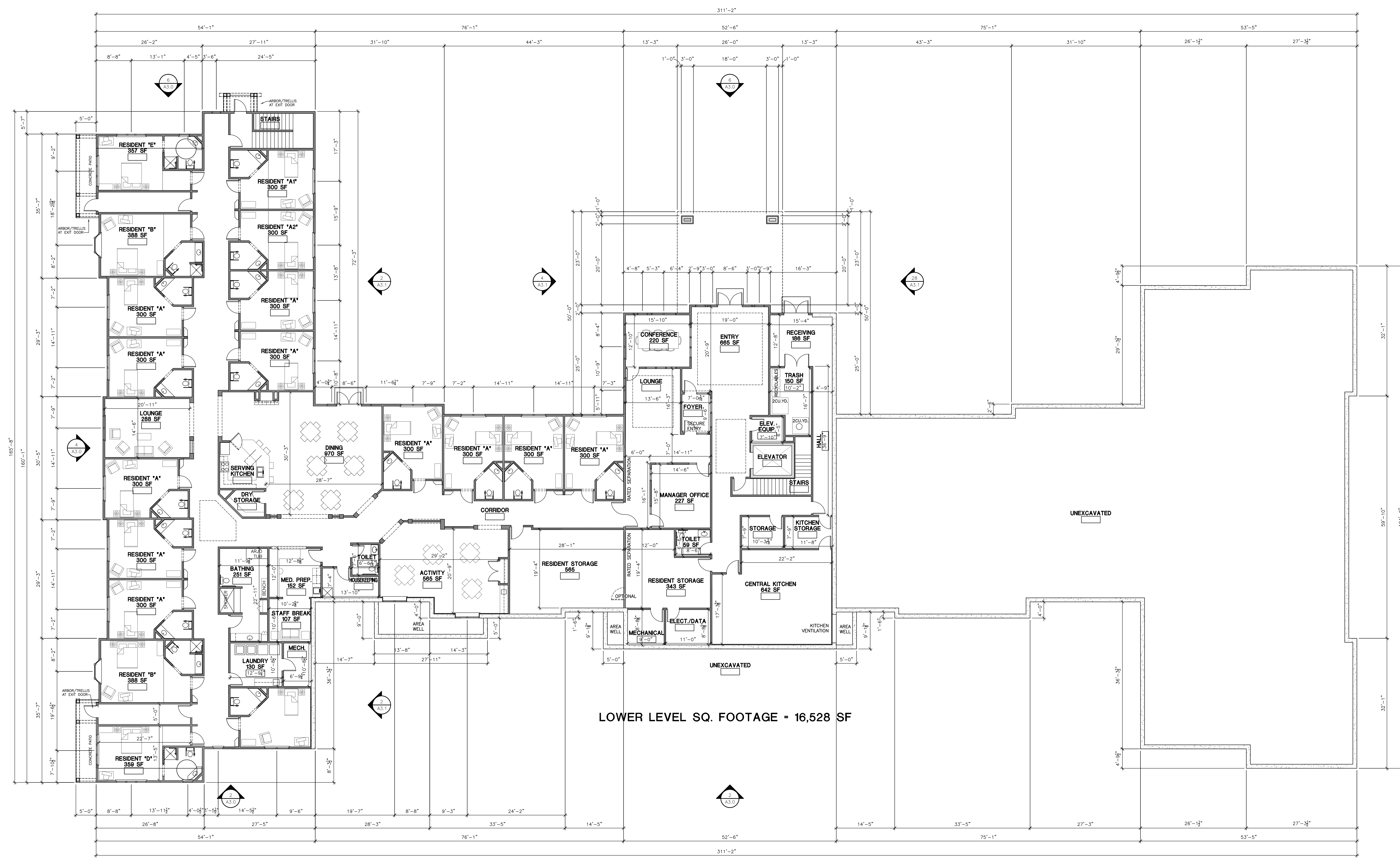
UPPER LEVEL SQ. FOOTAGE = 26,331 SF

FIRST FLOOR PLAN

NO.	DATE	BY	DESCRIPTION
1	1-3-07	JCB	JOB - INFORMATIONAL SUBMITTAL
2	3-4-07	JCB	JOB - LAND USE - SUBMITTAL
3	5-16-07	JCB	JOB - INT'L APPROVAL SUBMITTAL
4	5-30-07	JCB	JOB - INT'L APPROVAL SUBMITTAL
5			
6			
7			
8			
9			
10			

FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"  
 PROJECT #: 0613  
 DRWN. BY: JON CHKD BY: A.11  
 BLDG. SUBMITTAL: 5/30/07



LOWER LEVEL SQ. FOOTAGE = 16,528 SF

LOWER LEVEL FLOOR PLAN

NO.	DATE	BY	DESCRIPTION
1-3-07	JOB	USE - INFORMATIONAL SUBMITTAL	
2-8-07	JOB	USE - LAND USE - SUBMITTAL	
3-16-07	JOB	USE - INITIAL APPROVAL SUBMITTAL	
5-30-07	JOB	USE - FINAL APPROVAL SUBMITTAL	

LOWER LEVEL FLOOR PLAN

SCALE: SHEET:  
 PROJECT #: 0613  
 DRWN. BY: JEM CHKD. BY:  
 BLDG. SUBMITTAL: 5/30/07

# ZONING TEXT – PUD (GDP-SIP)

All Saints Assisted Living

8210 Highview Drive

May 30, 2007

**Legal Description:** LOT 2, CERTIFIED SURVEY MAP NUMBER 10820, AS RECORDED IN VOLUME 64 OF CERTIFIED SURVEY MAPS, ON PAGES 258-261, AS DOCUMENT NUMBER 3767667, DANE COUNTY REGISTRY AND LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 NORTH, RANGE 8 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**A. Statement of Purpose:** This zoning district is established to allow for the construction of 58 units of assisted living (CBRF), the lower level will consist of 18 memory care units and the first floor level will consist of 40 frail care units. The occupancy (residents) of this building will be restricted to seniors age 55 and older.

**B. Permitted Uses:**

1. 58 units of Assisted Living (CBRF) and support spaces as shown on approved plans.
2. Uses accessory to permitted uses as listed under Section 28.03(2) Madison General Ordinances.

**C. Lot Area:** 80,272 sq. ft. (1.84 acres)

**D. Floor Area Ratio:**

1. Floor area ratio permitted is 700 per efficiency unit as defined under the R5 zoning district.
2. Maximum building height shall be 3 stories as defined by the R5 zoning district.

**E. Yard Requirements:** Yard areas will be provided as shown on approved plans.

**F. Landscaping:** Site landscaping will be provided as shown on the approved plans.

**G. Accessory Off-Street Parking & Loading:** Accessory off-street parking and loading will be provided as shown on approved plans.

**H. Lighting:** Site lighting will be provided as shown on approved plans.

**I. Signage:** Signage will be allowed as defined by the R5 zoning district of the Madison General Ordinances and as shown on approved plans.

**J. Family Definition:** The family definition of this PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the R-5 zoning district.

**K. Alterations and Revisions:** No alteration or revision of this planned unit development shall be permitted unless approved by the City of Madison Plan Commission. However, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.