



Location  
1402 Pankratz Street

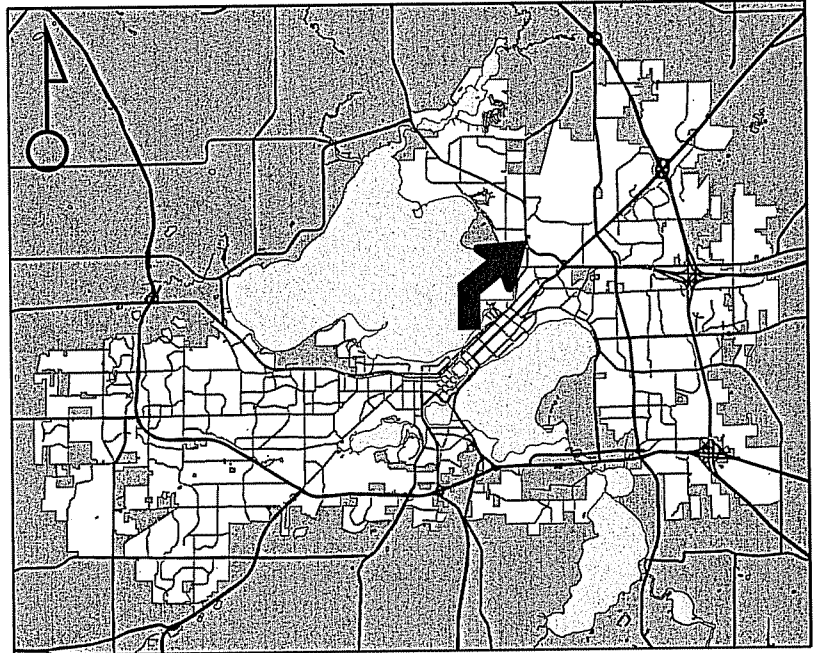
Project Name  
Isthmus Montessori Academy Relocation

Applicant  
Rifken Group LTD/Matthew Aro-  
Aro Eberle Architects

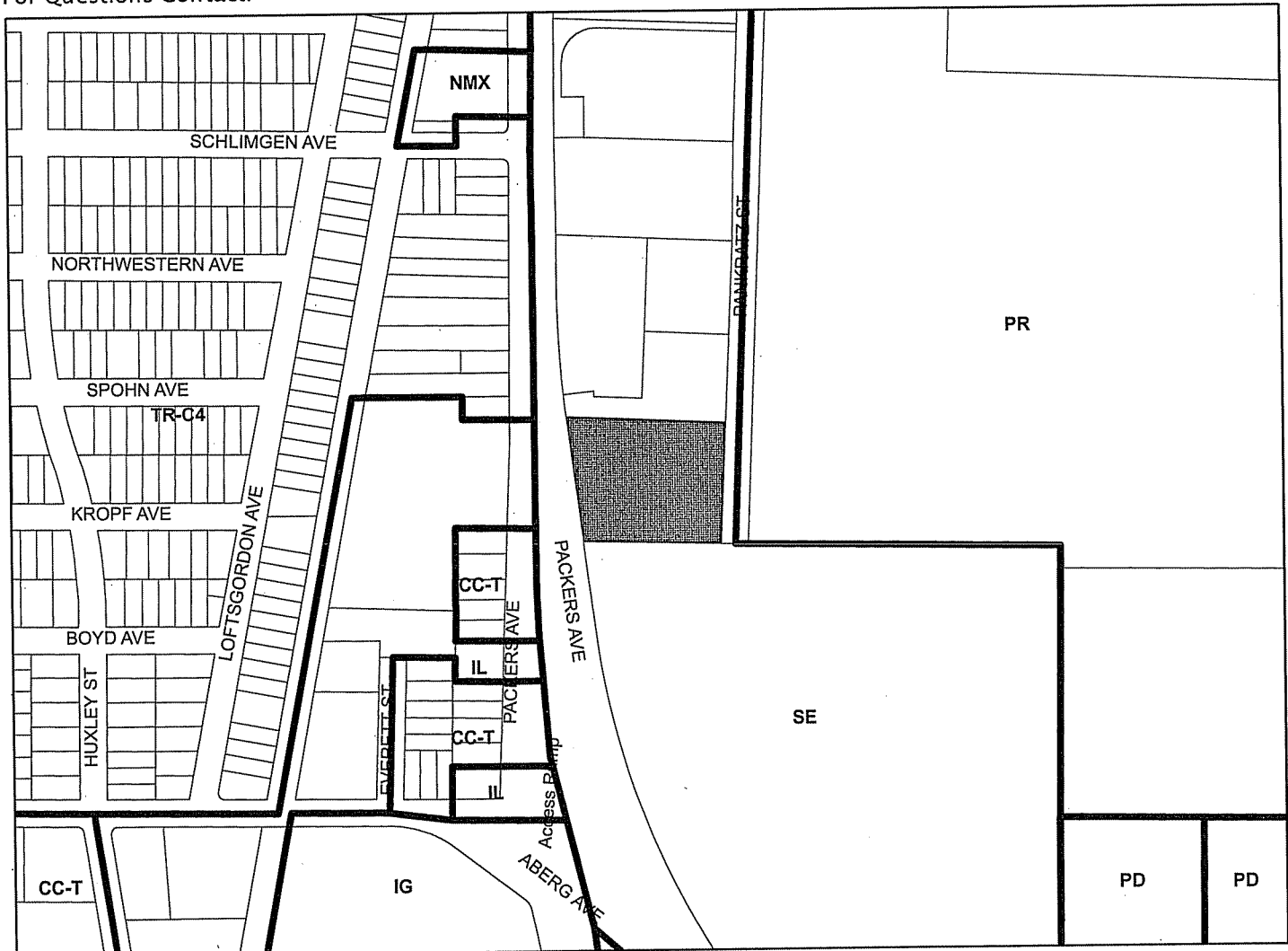
Existing Use  
Multi-tenant commercial building

Proposed Use  
Allow private school in multi-tenant  
commercial building in SE zoning

Public Hearing Date  
Plan Commission  
04 May 2015

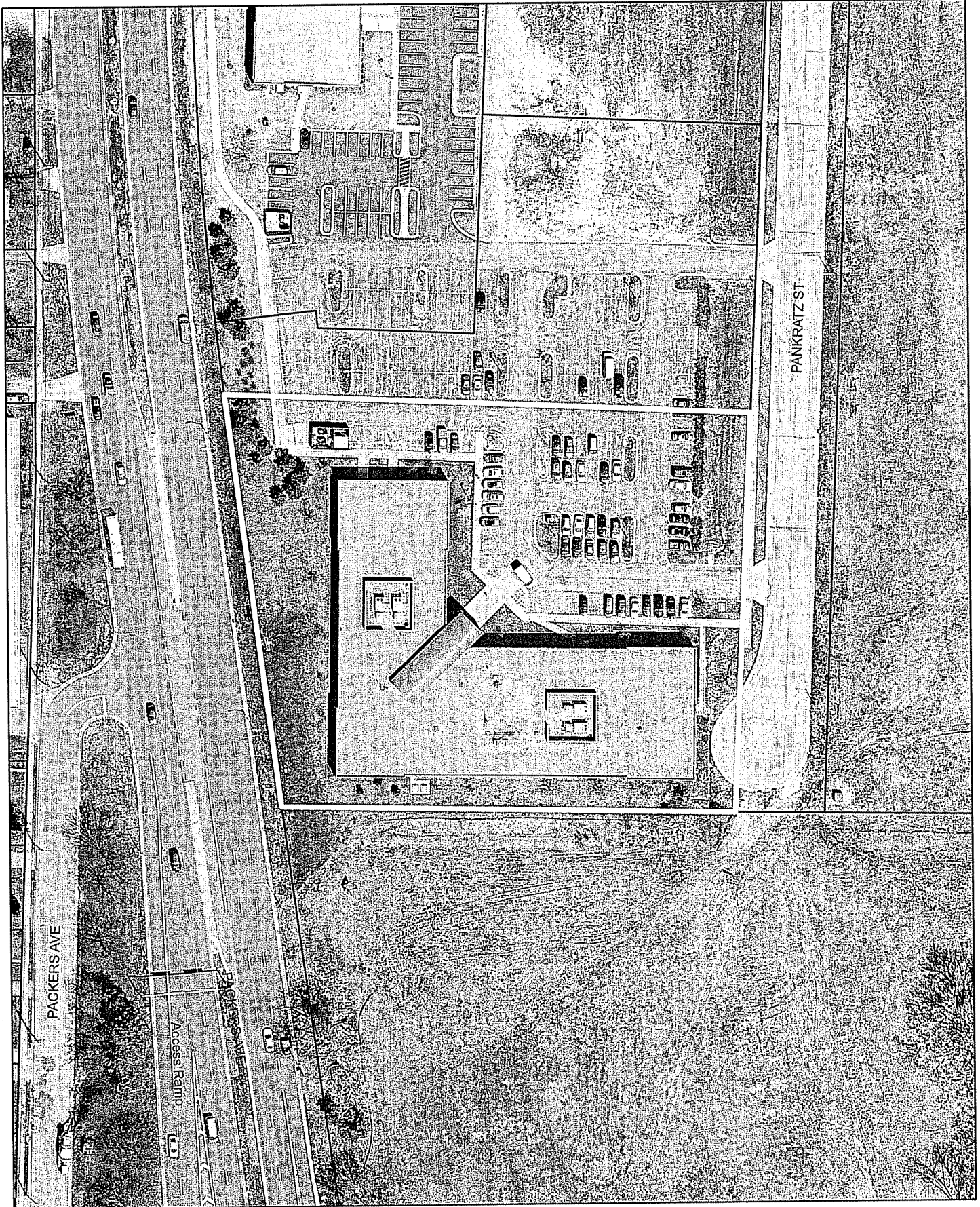


For Questions Contact: Kevin Firchow at: 267-1150 or [kfirchow@cityofmadison.com](mailto:kfirchow@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 29 April 2015





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

*non-profit*

**FOR OFFICE USE ONLY:**

Amt. Paid \$ 0 Receipt No. \_\_\_\_\_

Date Received 3/16/15

Received By JLK

Parcel No. 0610-311-0399-8

Aldermanic District 12-Larry Palm

Zoning District SE

Special Requirements WAD-04, prox to

Review Required By: land fill

Urban Design Commission     Plan Commission

Common Council     Other: \_\_\_\_\_

Form Effective: February 21, 2013

1. Project Address: 1402 Pankratz Street, MADISON, WI 53704  
Project Title (if any): ISTHMUS MONTESSORI ACADEMY RELOCATION

### 2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning     Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

Applicant Name: Carrie Marlette Company: Isthmus Montessori Academy  
Street Address: 255 N. Sherman Ave. City/State: Madison, WI Zip: 53704  
Telephone: (608) 661-8200 Fax: ( ) Email: administration@isthmusmontessoriacademy.org

Project Contact Person: Matthew Aro Company: Aro Eberle Architects  
Street Address: 116 King Street, Suite 202 City/State: Madison, WI Zip: 53703  
Telephone: (608) 204-7464 Fax: ( ) Email: aro@aroeberle.com

Property Owner (if not applicant): Rifken Group Ltd.  
Street Address: 14 W. Mifflin St. #300 City/State: Madison, WI Zip: 53703

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Remodel of existing office space to K-8 Montessori school.

Development Schedule: Commencement May 2015 Completion August 2015

## 5. Required Submittal Information

All Land Use applications are required to include the following:

**Project Plans** including:\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations **in writing** no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

see March 18 waiver

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: \_\_\_\_\_ Date: 3/16/2015 Zoning Staff: \_\_\_\_\_ Date: 3/16/2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant CARRIE MARLETTE Relationship to Property: TENANT  
Authorizing Signature of Property Owner [Signature] Date 3.16.15 8



116 King St, Suite 202  
Madison, WI 53703  
(608) 204-7464

Matt Tucker  
City of Madison Zoning Administrator  
215 Martin Luther King, Jr. Blvd  
Madison, Wisconsin

March 18, 2015

Letter of Intent – 1402 Pankratz

## Description of Operations

Isthmus Montessori Academy (IMA) seeks Plan Commission approval of a conditional use to operate a K-8 school at 1402 Pankratz in a portion of an existing office building. The northern leg of the L shaped building will become the school, also housing a preschool and child care facility on the same premises. Day care centers are a permitted use on the site which IMA will also operate on site. An outdoor play area will be created to meet separate licensing requirements. Doors will be added to classrooms and child care rooms to allow direct access outside as required by code.

IMA's vision is "to help all children of the Madison area reach their highest and unique potentialities. To accomplish this we seek to reflect and inspire the true diversity of our urban setting and to encourage a society of compassionate, responsible, and productive leaders."

## Project Team

### **Owner:**

Isthmus Montessori Academy, Inc.; Contact: Carrie Marlette;  
[administration@isthmusmontessoriacademy.org](mailto:administration@isthmusmontessoriacademy.org); 608-661-8200

### **Architect:**

Aro Eberle Architects; Contact: Matt Aro; [aro@aroeberle.com](mailto:aro@aroeberle.com); 608-204-7464

## Existing Site Conditions & Proposed Site Alterations

The existing site has an L shaped office building with paved parking and landscaping per the attached plans. It is zoned SE, Suburban Employment district.

A fenced outdoor play area will be created adjacent to the north wing of the building, to the north and west sides. The existing northwest portion of the parking lot will be reconfigured to allow



116 King St, Suite 202  
Madison, WI 53703  
(608) 204-7464

a functional drop off and pick up zone. Some parking will be reduced as a result, however, the parking demand is reduced significantly with the change of use from office space. There are 8 bike stalls currently on site.

The existing trash and recycling enclosure will be relocated as shown on the plans. The building will remain intact except for doors that allow direct exiting to the outside from certain rooms as required by code and IMA programming.

Occupants: up to 92 children/15 staff  
Hours of operation: 7:30am-5:30pm  
Drop off peak time: 7:30-8:30

Best regards,

A handwritten signature in black ink, appearing to read "Matt Aro", with a long, sweeping horizontal stroke at the end.

Matt Aro  
Aro Eberle Architects, Inc.

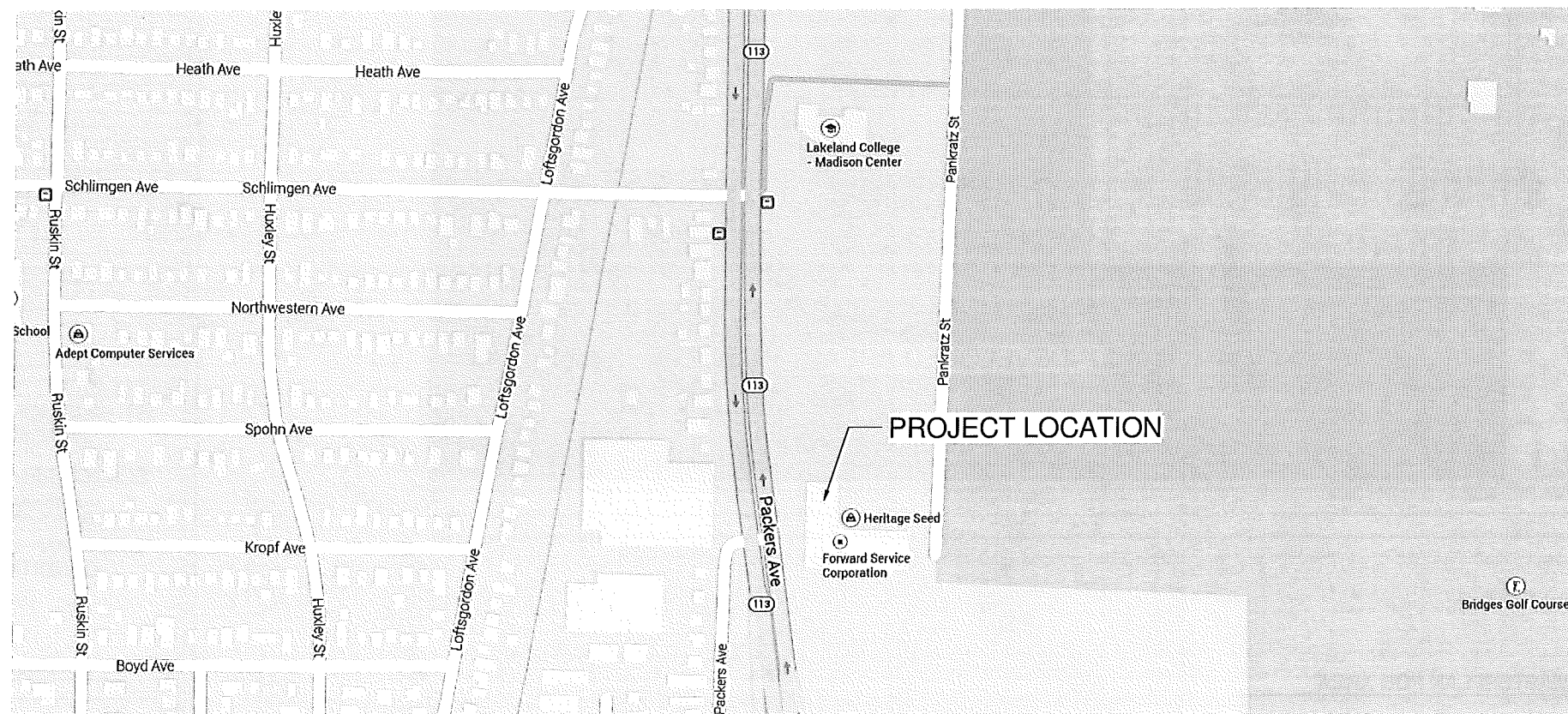
# ISTHMUS MONTESSORI ACADEMY SCHOOL RELOCATION

1402 PANKRATZ ST.  
MADISON, WI 53704

## LAND USE APPLICATION SET

ARCHITECT CONTACT INFORMATION:  
ARO EBERLE ARCHITECTS INC.  
MATTHEW ARO  
116 KING STREET, SUITE 202  
MADISON, WI 53703  
608-204-7464

OWNER CONTACT INFORMATION:  
CARRIE MARLETTE  
255 N. SHERMAN AVE.  
MADISON, WI 53704  
608-661-8200

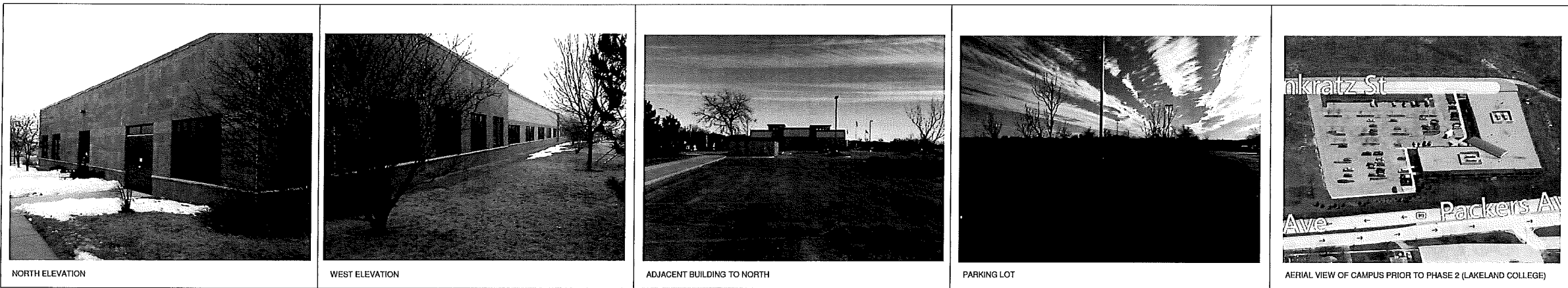


No.	Description	Date

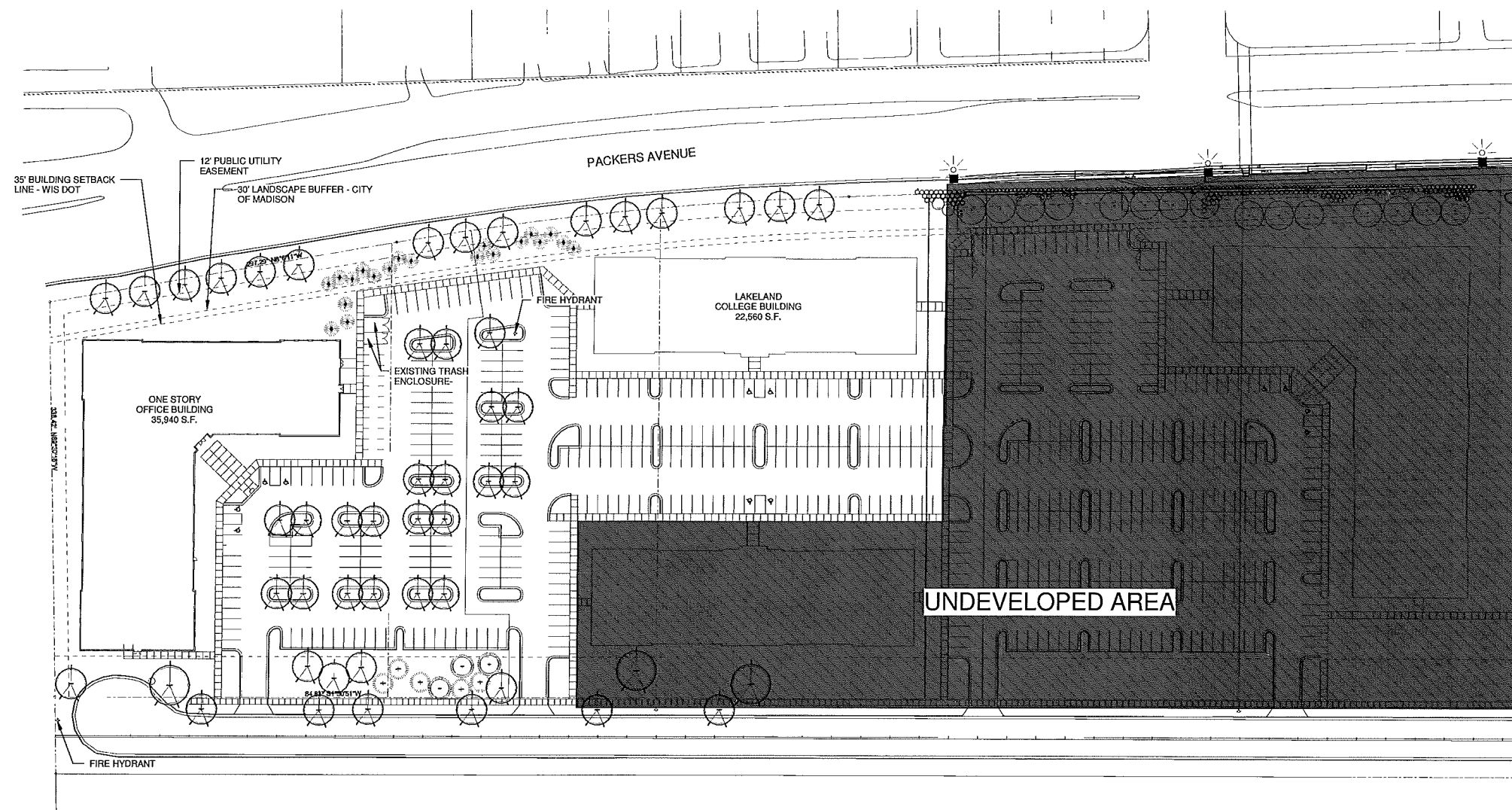
ISTHMUS MONTESSORI  
ACADEMY  
SCHOOL RELOCATION  
1402 PANKRATZ ST.  
MADISON, WI 53704  
**COVER SHEET**

NOT FOR CONSTRUCTION

Project number	Project Number
Date	Project Issue Date
<b>T000</b>	



**2 Exterior Photos**  
1/4" = 1'-0"



**1 SITE PLAN - OVERALL EXISTING CONDITIONS AND MASTERPLAN FOR AREA**  
1" = 60'-0"

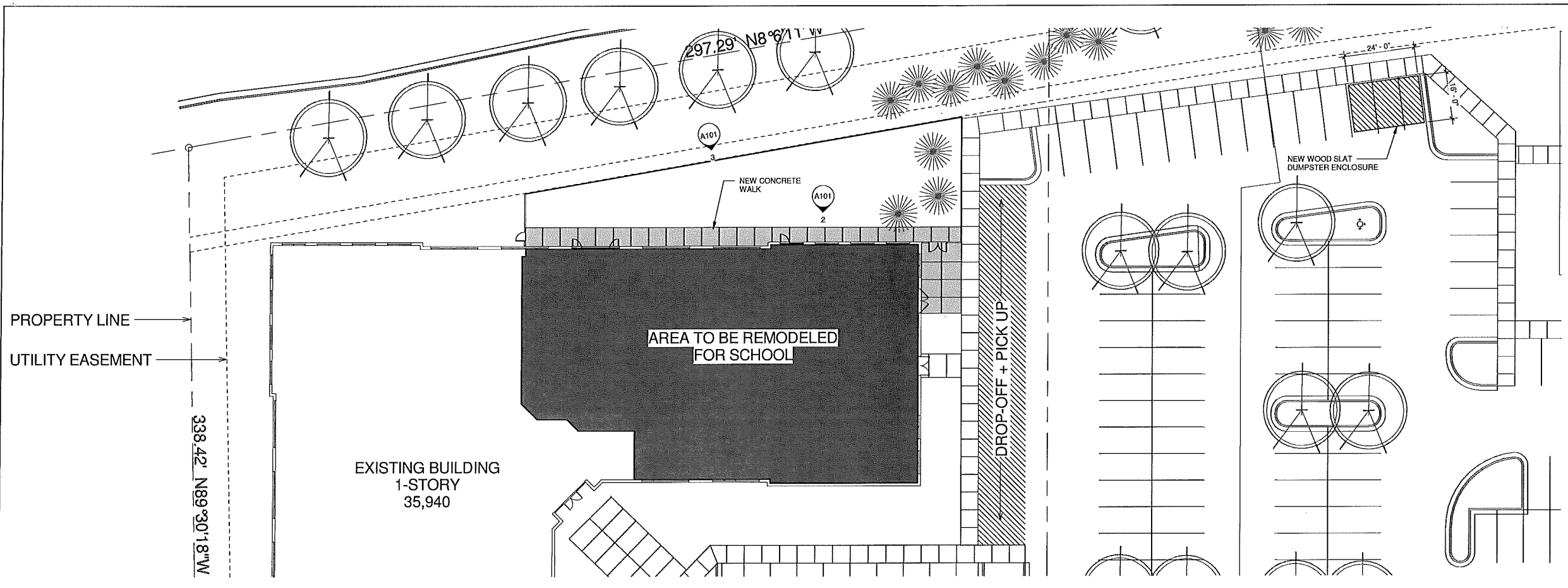
No.	Description	Date

**ISTHMUS MONTESSORI ACADEMY**  
SCHOOL RELOCATION  
1402 PANKRATZ ST.  
MADISON, WI 53704  
**SITE PLAN - EXISTING CONDITIONS**

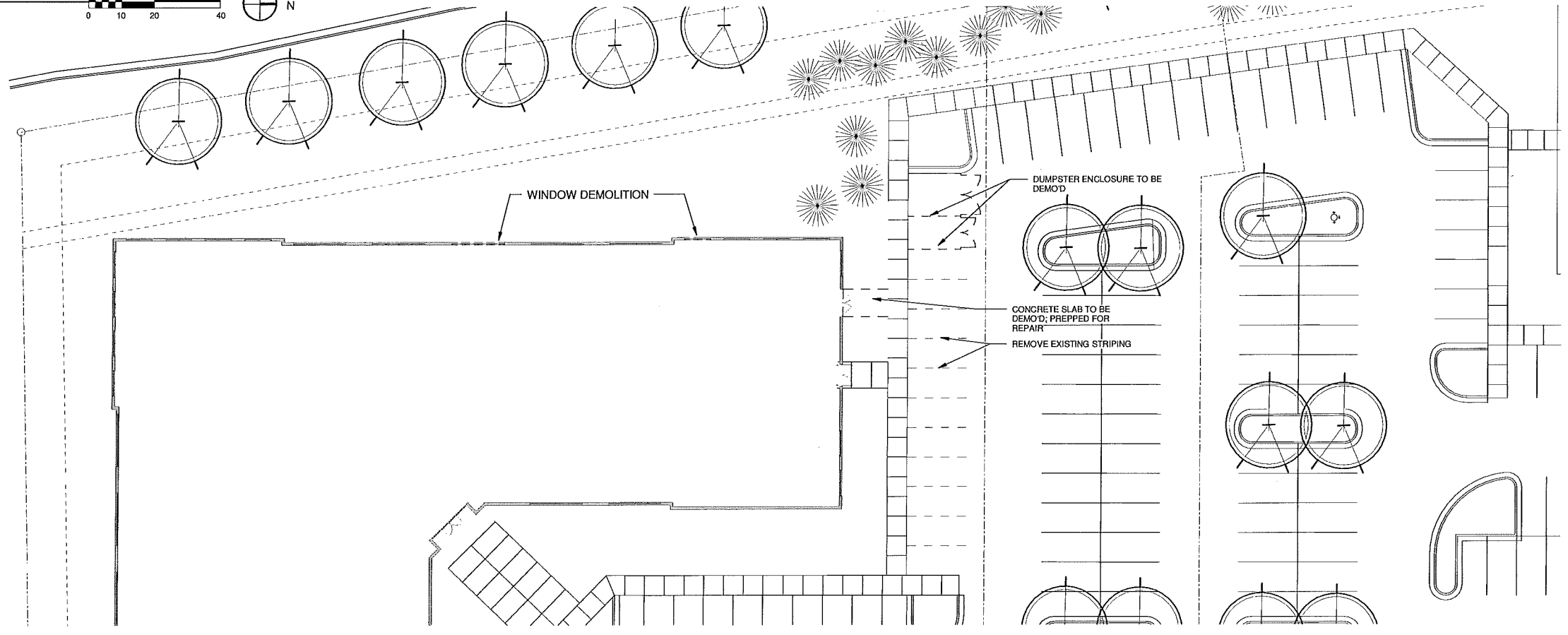
NOT FOR CONSTRUCTION  
Project number          Project Number  
Date                          Project Issue Date

**A001**





**2 NEW WORK SITE PLAN**  
1" = 20'-0"



**1 SITE DEMO PLAN**  
1" = 20'-0"



No.	Description	Date

ISTHMUS MONTESSORI  
ACADEMY

SCHOOL RELOCATION

1402 PANKRATZ ST.  
MADISON, WI 53704

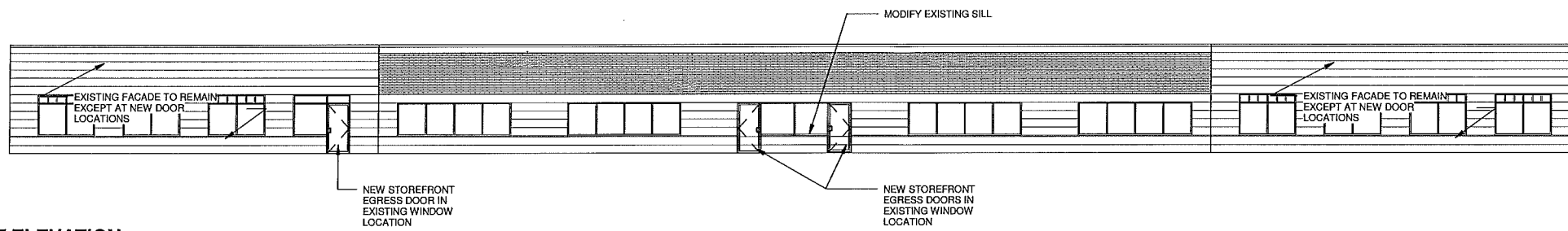
**DEMO SITE PLAN & NEW  
WORK SITE PLAN**

NOT FOR CONSTRUCTION

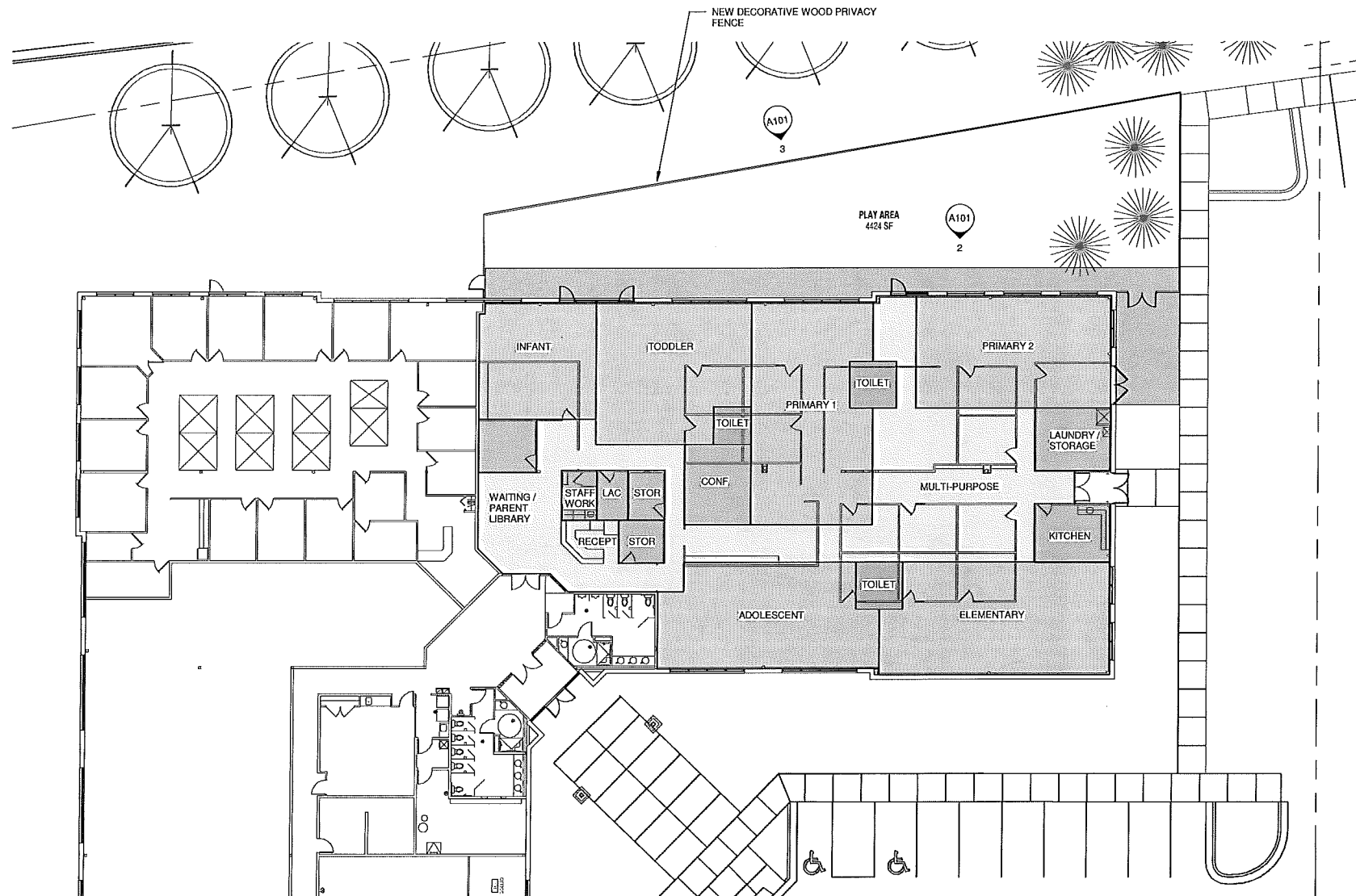
Project number \_\_\_\_\_ Project Number \_\_\_\_\_

Date \_\_\_\_\_ Project Issue Date \_\_\_\_\_

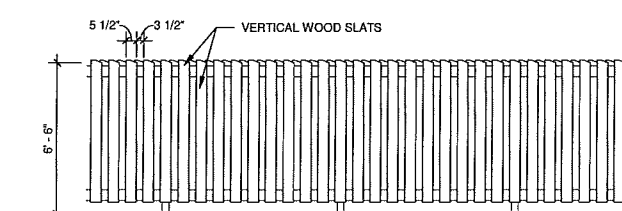
**A002**



**2 WEST ELEVATION**  
3/32" = 1'-0"



**1 CONCEPT FLOOR PLAN**  
1/16" = 1'-0"



**3 TYPICAL FENCE ELEVATION**  
1/4" = 1'-0"

No.	Description	Date

ISTHMUS MONTESSORI ACADEMY  
SCHOOL RELOCATION  
1402 PANKRATZ ST.  
MADISON, WI 53704  
CONCEPT FLOOR PLAN /  
ELEVATION

NOT FOR CONSTRUCTION  
Project number \_\_\_\_\_ Project Number \_\_\_\_\_  
Date \_\_\_\_\_ Project Issue Date \_\_\_\_\_

A101