



# City of Madison

## Proposed Demolition

Location  
704-736 University Avenue

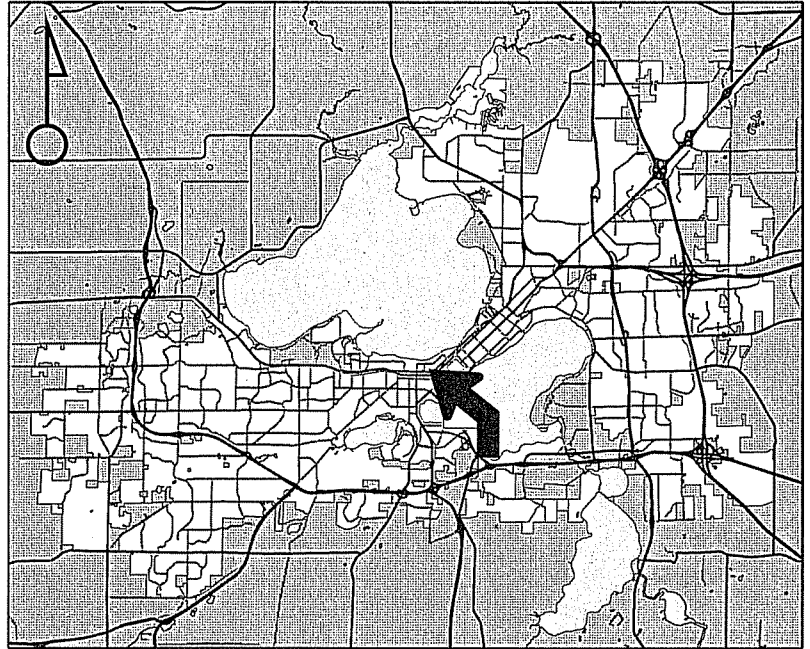
Project Name  
700 Block Demolitions

Applicant  
Board of Regents of the UW System/  
Gary Brown - UW-Madison

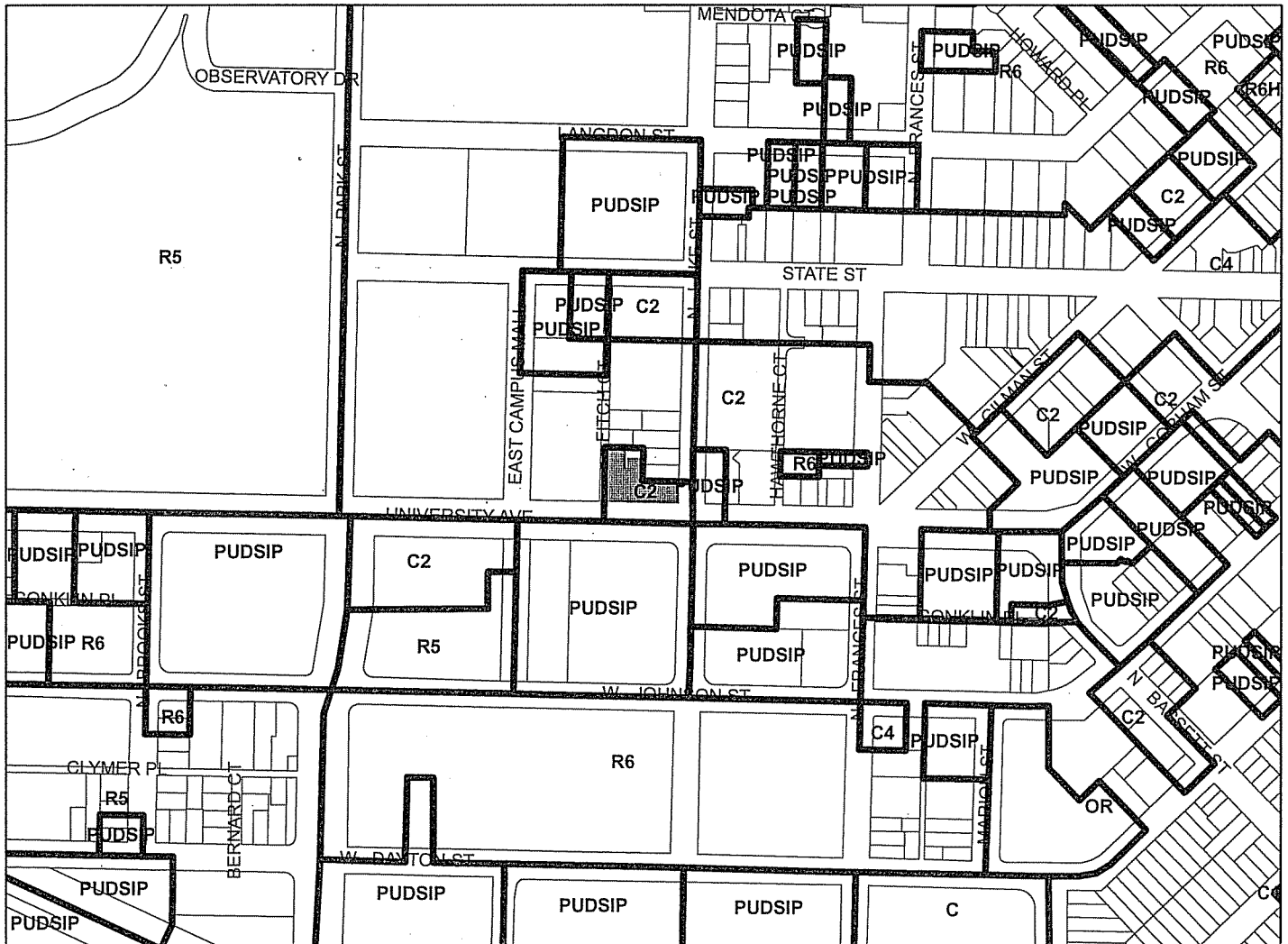
Existing Use  
5 commercial buildings

Proposed Use  
Demolish five commercial buildings  
to accommodate future University  
development

Public Hearing Date  
Plan Commission  
04 June 2012

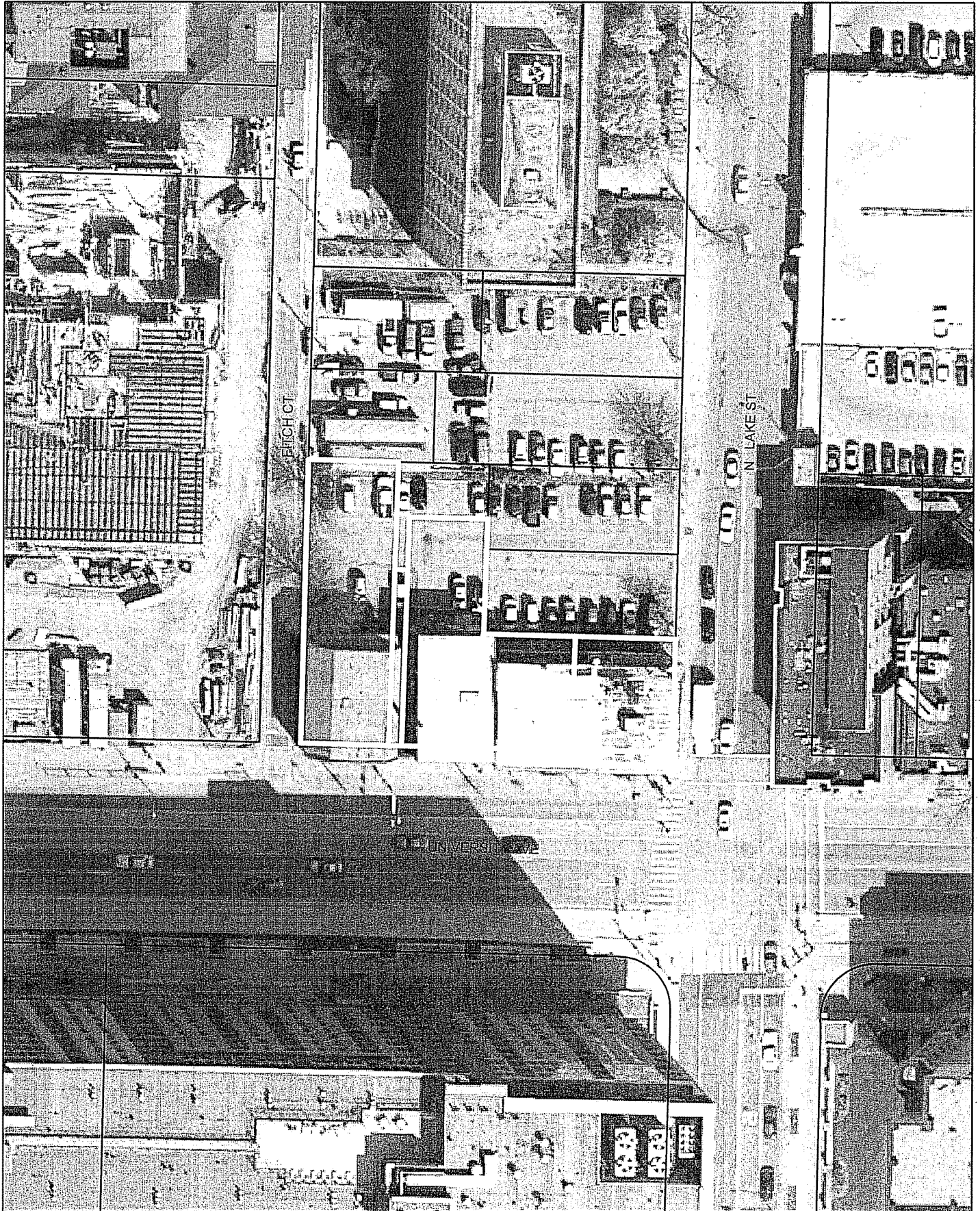


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 21 May 2012





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All Land Use Applications should be filed directly with the Zoning Administrator.

University

### FOR OFFICE USE ONLY:

Amt. Paid NA Receipt No. \_\_\_\_\_  
Date Received 4/18/12  
Received By JJK  
Parcel No. D709-232-0414-6  
Aldermanic District 8 Scott Rognick  
GQ ZBA  
Zoning District C2

### For Complete Submittal

Application	Letter of Intent	<input checked="" type="checkbox"/>
IDUP	Legal Descript.	<input checked="" type="checkbox"/>
Plan Sets	Zoning Text	<input checked="" type="checkbox"/>
Alder Notification	Waiver	_____
Nbrhd. Assn Not.	Waiver	_____
Date Sign Issued		<u>4/18/12</u>

1. **Project Address:** 704 - 736 University Avenue **Project Area in Acres:** 0.433  
**Project Title (if any):** 700 Block of University Avenue Building Demolitions

### 2. This is an application for:

<b>Zoning Map Amendment</b> (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> <b>Rezoning to a Non-PUD or PCD Zoning Dist.:</b> Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<b>Rezoning to or Amendment of a PUD or PCD District:</b>	
	<input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP	
	<input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP	
	<input type="checkbox"/> Amended Gen. Dev.	<input type="checkbox"/> Amended Spec. Imp. Plan
<input type="checkbox"/> <b>Conditional Use</b>	<input checked="" type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests (Specify):</b> _____

### 3. Applicant, Agent & Property Owner Information:

Applicant's Name: Gary A. Brown Company: University of Wisconsin-Madison  
Street Address: 610 Walnut Street City/State: Madison, WI Zip: 53726  
Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Project Contact Person: Gary A. Brown Company: University of Wisconsin-Madison  
Street Address: 610 Walnut Street City/State: Madison, WI Zip: 53726  
Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Property Owner (if not applicant): Board of Regents of the UW System  
Street Address: 1220 Linden Drive City/State: Madison, WI Zip: 53706

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: \_\_\_\_\_  
Demolition of 5 buildings in preparation of the future Music Performance Facility construction.

Development Schedule: Commencement September, 2012 Completion October 31, 2012

**5. Required Submittals:**

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ N/A See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

**In Addition, The Following Items May Also Be Required With Your Application:**

- For any applications proposing demolition or removal of existing buildings, the following items are required:
  - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
  - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
  - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 

→ The site is located within the limits of 2005 Campus Plan Plan, which recommends: \_\_\_\_\_ for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:  
 On line demo notification, February 17, 2012

*NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 

Planning Staff: Tim Parks Date: 3/1/2012 Zoning Staff: Brad Murphy Date: 3/1/2012
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

**The signer attests that this form is accurately completed and all required materials are submitted:**

Printed Name Gary A. Brown Date 04/16/12  
 Signature Gary A. Brown Relation to Property Owner Owner's Representative  
 Authorizing Signature of Property Owner Gary A. Brown Date 04/16/12



**WISCONSIN**  
UNIVERSITY OF WISCONSIN-MADISON

April 18, 2012

Mr. Matthew Tucker  
City of Madison Zoning Administrator  
215 Martin Luther King Jr. Blvd  
Rm. LL-100, Municipal Bldg  
Madison, WI 53710

**RE: DEMOLITION APPLICATION – Letter of Intent**  
**700 BLOCK OF UNIVERSITY AVENUE BUILDING DEMOLITIONS**  
**704, 710-716, 720-724, 728 & 730-736 University Avenue**  
**University of Wisconsin-Madison**

Dear Mr. Tucker,

This is an application for demolition of five structures located in the 700 block of University Avenue. Demolition of the structures is necessary for the future Music Performance Building. This application is being submitted for Plan Commission action at their June 4, 2012 meeting. Demolition of the buildings is scheduled to begin in September 2012 and be completed by October 31, 2012. All land is owned by the Board of Regents of the University of Wisconsin System.

**Application Materials**

- Zoning Application
- Plans (7 full size copies, 7 reduced size 11" x 17" copies, 1 letter size copy)
- Letter of Intent (12 copies)
- Legal Descriptions

**Project Participants**

**Owner:** State of Wisconsin  
Agency: University of Wisconsin System  
Board of Regents  
Room 1860 Van Hise Hall  
1220 Linden Drive  
Madison, Wisconsin 53706

**Owner's Contact:** University of Wisconsin – Madison  
Facilities Planning and Management  
919 WARF Building  
610 Walnut Street  
Madison, Wisconsin 53726  
Phone: 608-263-3023  
Fax: 608-265-3139  
Attr: Gary Brown  
E-Mail: [gbrown@fpm.wisc.edu](mailto:gbrown@fpm.wisc.edu)

**Facilities Planning & Management**

9<sup>th</sup> Floor WARF Building 610 Walnut Street Madison, Wisconsin 53726-2397  
(608) 263-3000 FAX (608) 265-3139 TTY (608) 265-5147

**Architect:** **Strang, Inc.**  
6411 Mineral Point Road  
Madison, Wisconsin 53705-4395  
Phone: 608-276-9200  
Attn: Jeff Gaard  
E-Mail: jgaard@strang-inc.com

**Engineering:** **Ayers Associates**  
1802 Pankratz Street  
Madison, WI 53704  
Phone: 608-443-1200  
Attn: Dennis Johnson  
E-Mail: johnsond@ayresassociates.com

**Landscape Architect:** **Ken Saiki Design**  
303 S. Paterson St, Ste 1  
Madison, Wisconsin 53703  
Phone: 608-251-3600  
Fax: 608-251-2330  
Attn: Ken Saiki  
E-Mail: ksaiki@ksd-la.com

**Project Description:**

The University of Wisconsin – Madison is proposing to demolish five structures located at 704, 710-716, 720-724, 728 & 730-736 University Avenue in preparation of the proposed Music Performance Facility. Three of the buildings are vacant and the remaining two buildings will be vacant in the summer of 2012. The university has shut off major utilities to the vacant buildings except for heat and electricity. Demolition is being requested now because the unoccupied buildings are at risk for break-in and vandalism and stand to pose a risk to public safety in their current condition. Once the buildings are removed, the land will be graded and seeded to provide useable open space until the design for the Music Performance Facility is completed and construction begins. The current projected schedule for the Music Performance Facility is for the design to occur in 2013 with construction beginning in 2014. Fund raising efforts for the new facility are currently well underway. Demolition of the buildings now eliminates the risk to public safety and benefits fund raising efforts by providing tangible proof the project is moving forward.

Pictures of the existing buildings are attached. The buildings are described as follows:

**704 University Avenue**

This 5,662 GSF two story building, presently the home for Brothers Bar, was constructed in 1899 for Cardinal Creamery. The building is the former home to Tiedeman Drug and Restaurant, Klein Dicker Paint and Dunkell Shoes along with a host of various commercial establishments over the years. The brick faced building with glass storefronts is in average condition. (Parcel #0709-232-0414-6)

**710-716 University Avenue**

This 6,310 GSF structure is a two story brick faced building with wood storefronts. It is presently the home for a student organization. The building was constructed circa 1920 for Kleinheinz Dry Goods. It is the former home to Evans Radio & TV, Diamond Grocery and other assorted commercial establishments. The structure is in poor condition. (Parcel #0709-232-0413-8)

**720-724 University Avenue**

This 5,927 GSF two story building was constructed circa 1920. It is vacant and in poor condition. It has a brick face with wood storefronts. (Parcel #0709-232-0412-0)

728 University Avenue

This 286 GSF "building" consists of a roof and floor. The sides are the exterior walls of the adjacent buildings. The space was originally an exterior staircase for the adjacent buildings. The structure was constructed in 1926. It was home to Bill's Key Shop as early as 1955. It has a wood face storefront and is in very poor condition. (Parcel #0709-232-0410-4)

730-736 University Avenue

This 6,560 GSF building, constructed circa 1900, was home for Burger Hardware between 1902 and 1943. It has a three story brick façade with wood storefronts. It is in poor condition. (Parcel #0709-232-0411-2)

**Schedule:**

Begin Demolition: September 2012  
Complete Restoration: October 31, 2012

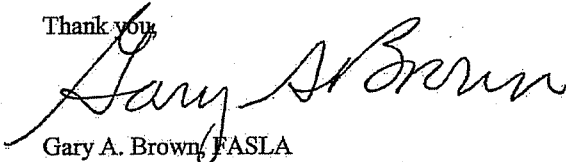
The project was presented to the City of Madison Development Assistance Team on March 1, 2012.

**Legal Descriptions:**

See attachment.

Please contact me at 608-263-3023 if you have any questions or need further information.

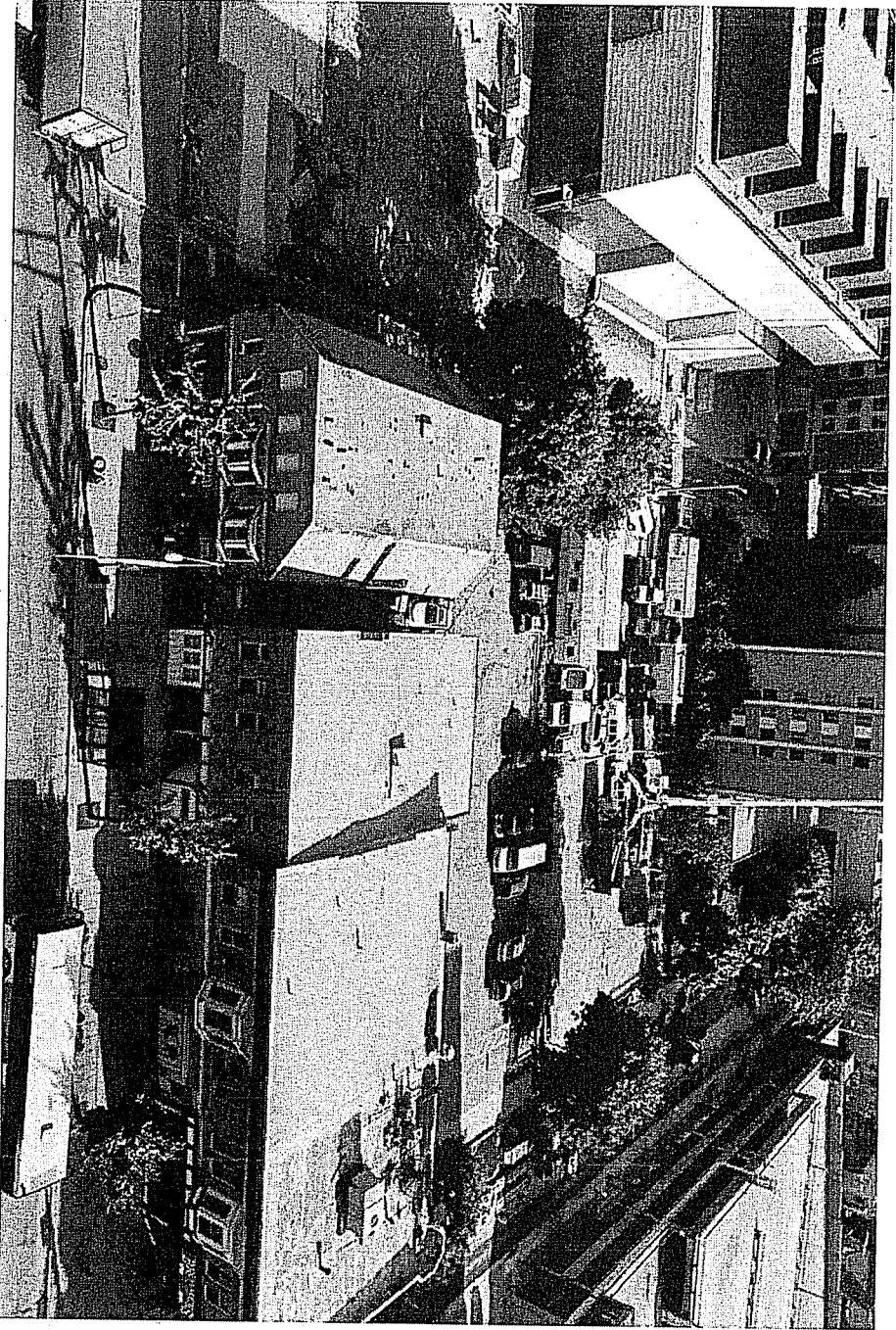
Thank you,



Gary A. Brown, FASLA  
Director, Campus Planning & Landscape Architecture  
Facilities Planning & Management, University of Wisconsin-Madison

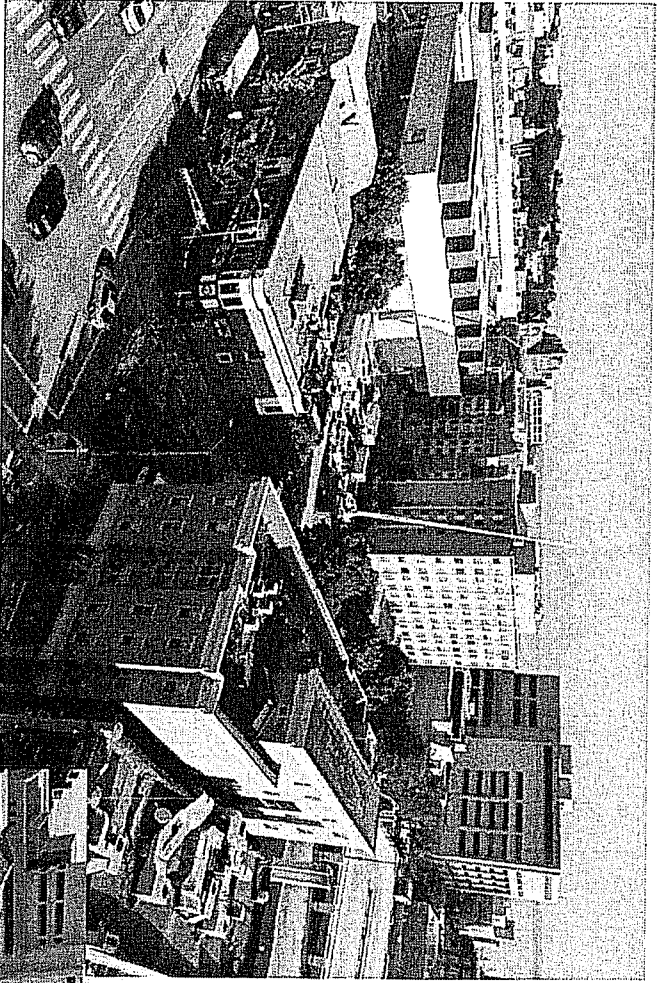
Xc: Julie Grove, UW-Madison FP&M Project Manager  
Russ Van Gilder, DOA/DSF Project Manager

Alder Scott Resnick, District 1, City of Madison Common Council

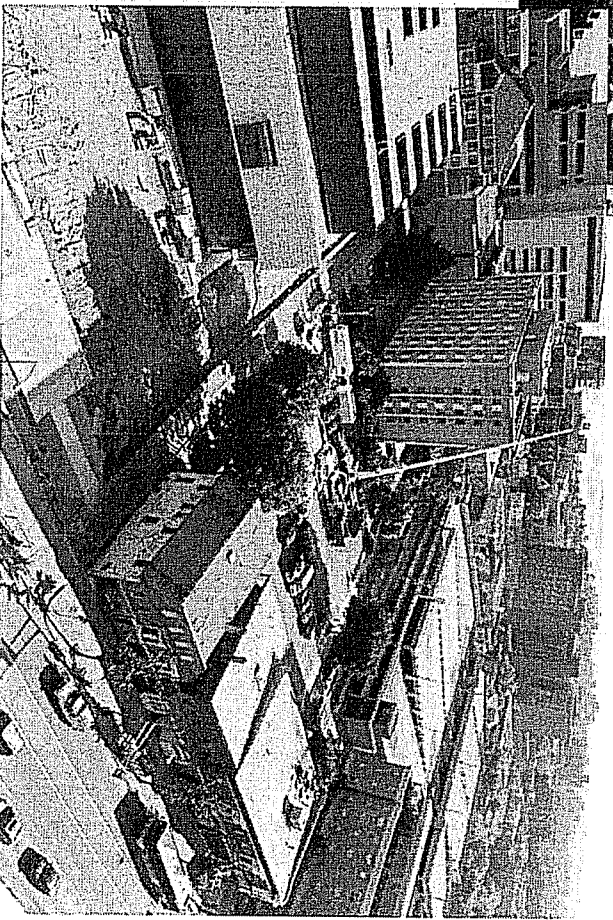


View to North



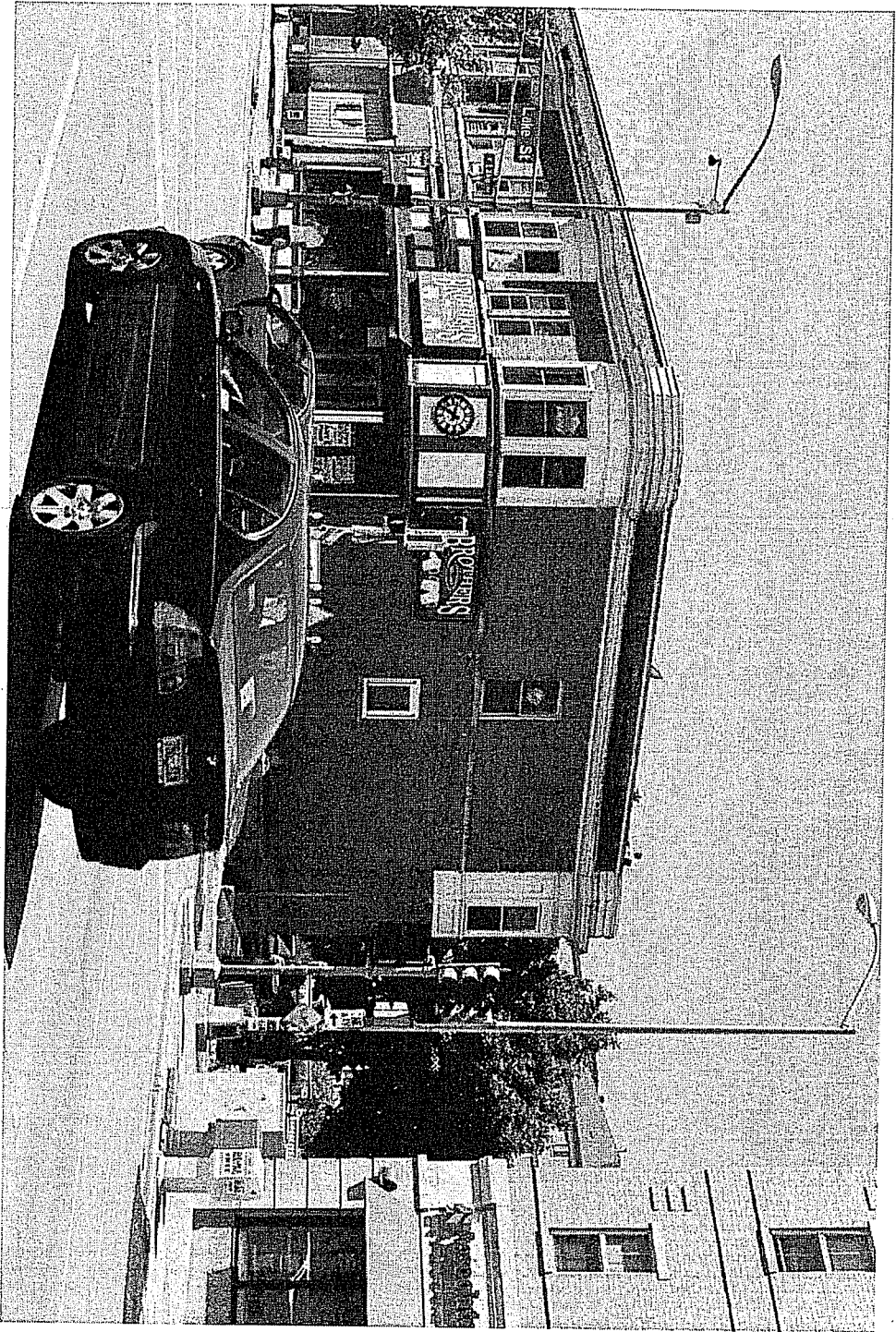


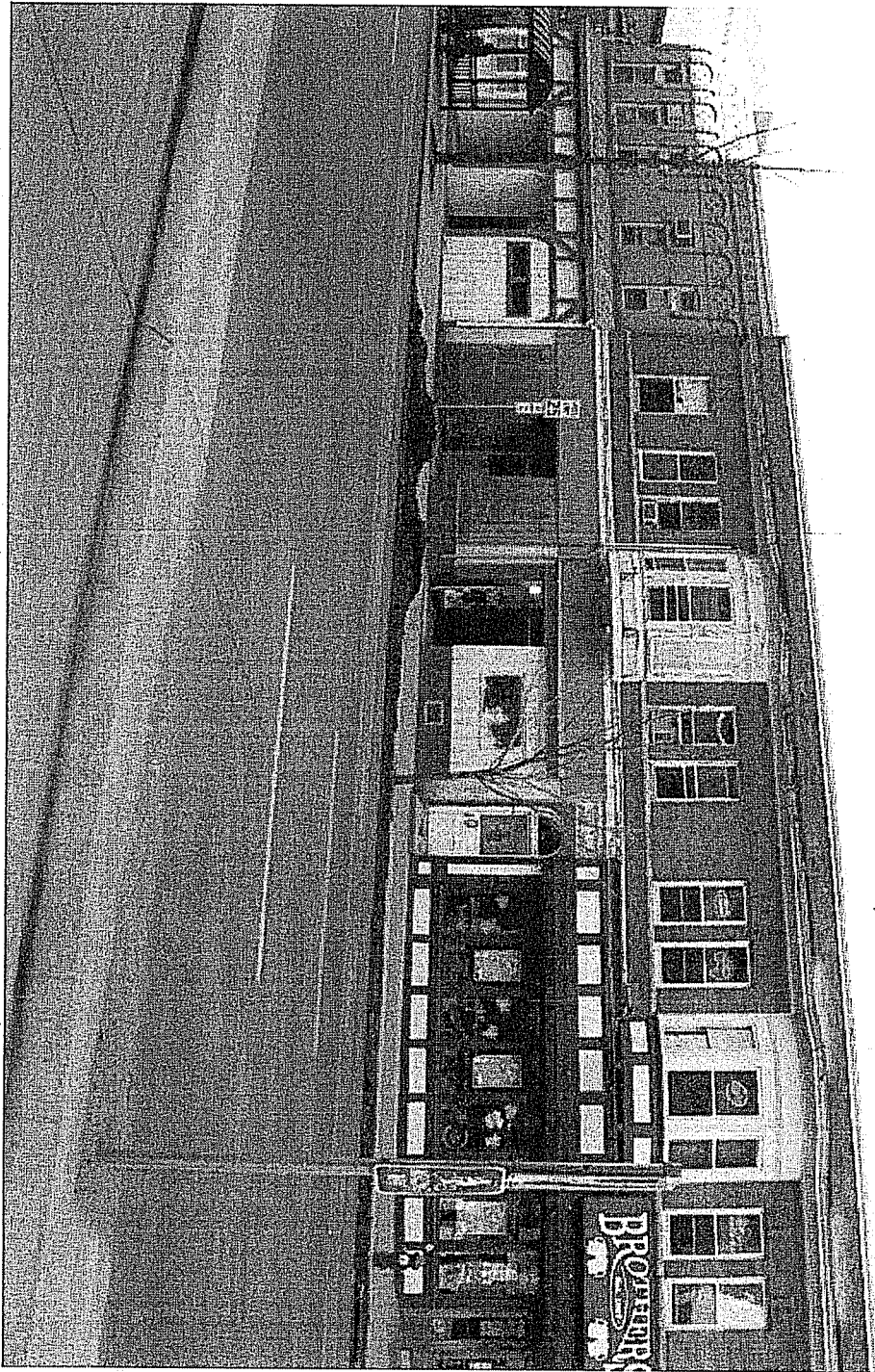
View to Northwest



View to Northeast

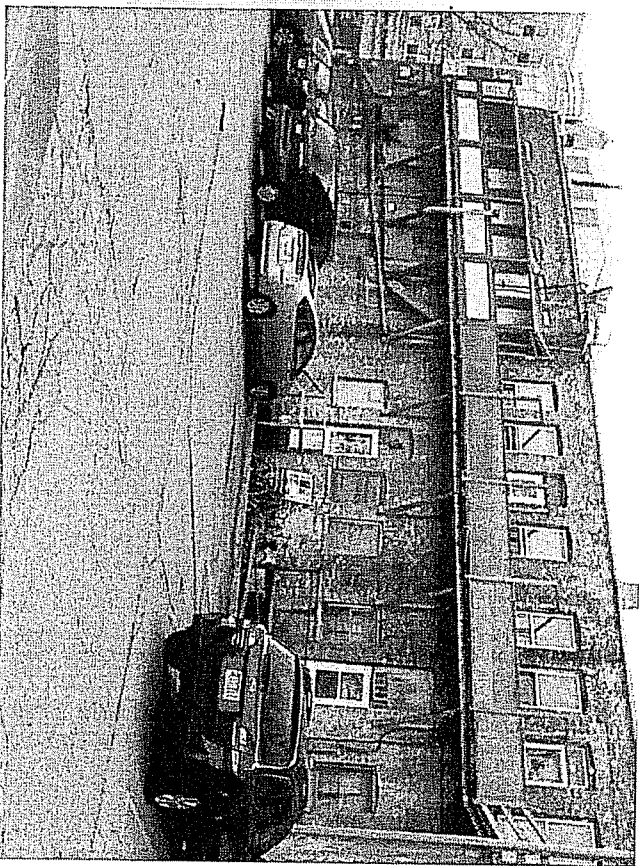
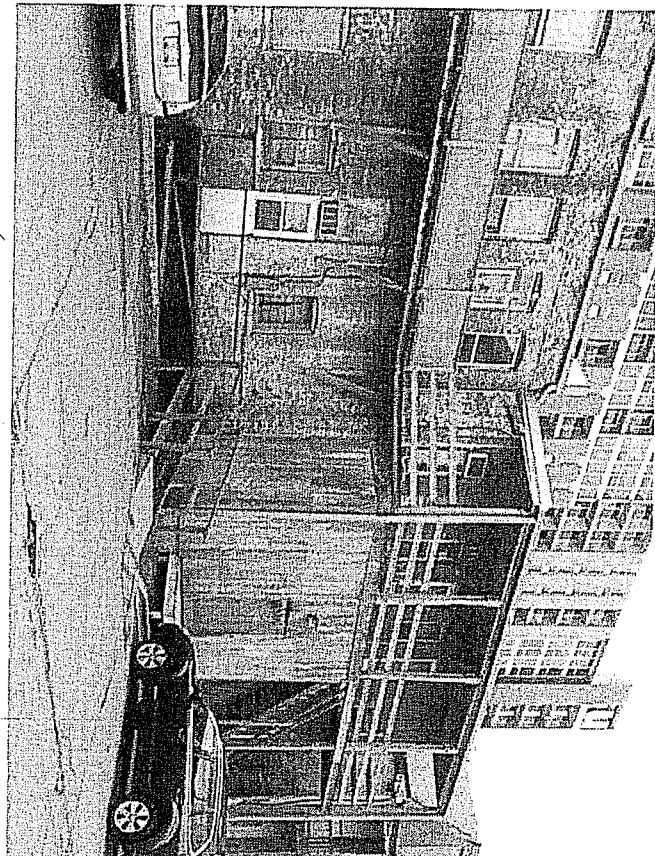
View to Northwest





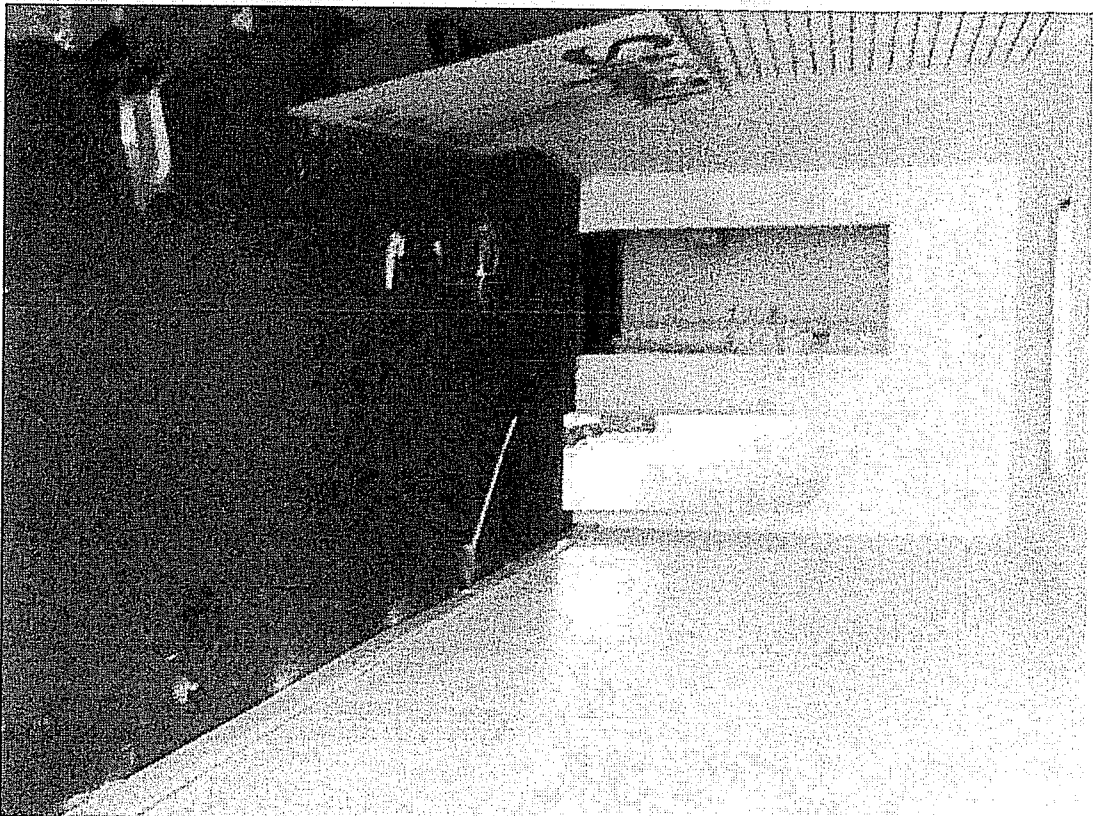
University Avenue

Views at rear of buildings

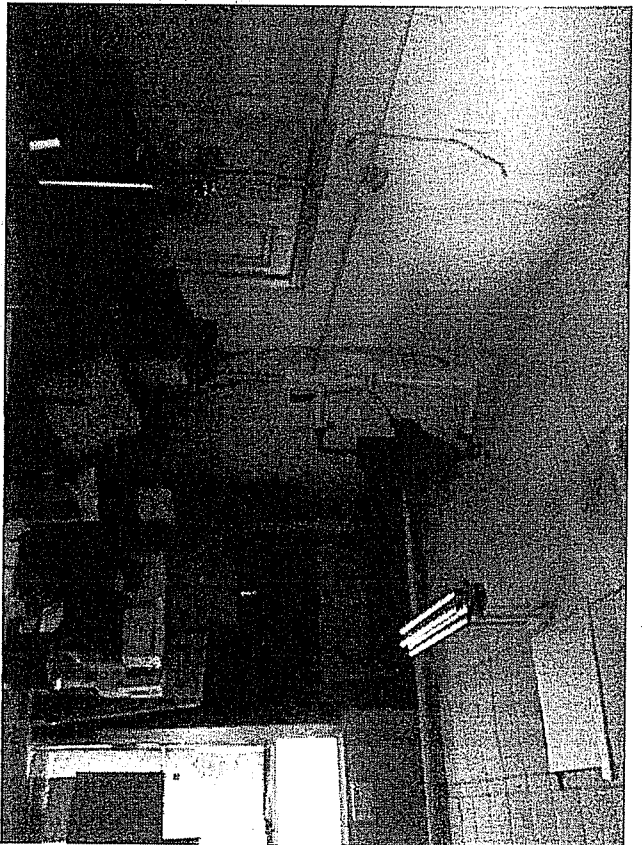
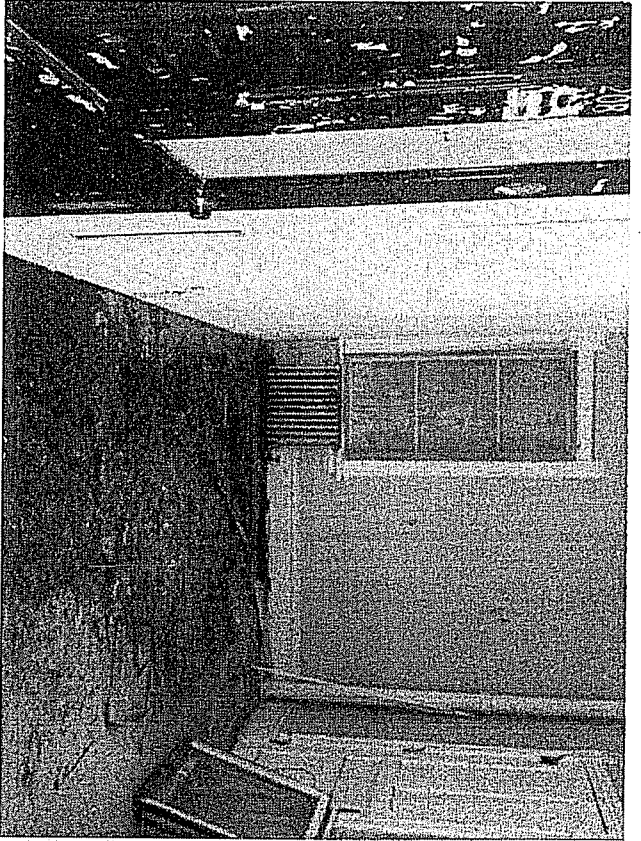
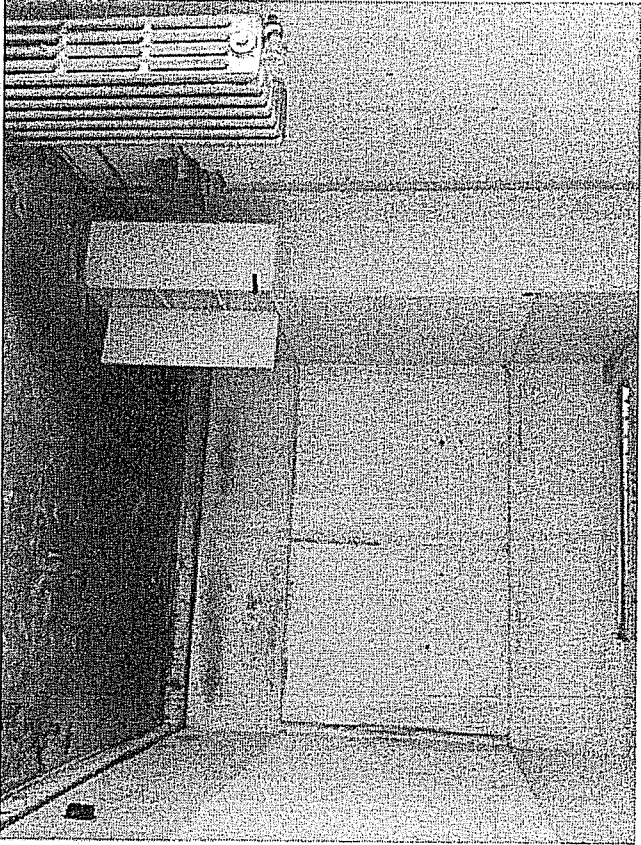




704 University Ave.



728 University Ave.



730 - 736 University Ave.

# 700 Block of University Avenue Building Demolition

## University of Wisconsin - Madison

### Madison, Wisconsin

#### DSF Project No. 10F2J

**OWNER:**  
 UNIVERSITY OF WISCONSIN  
 DEPARTMENT OF ADMINISTRATION  
 DIVISION OF FACILITIES  
 STATE ADMINISTRATION BUILDING  
 101 EAST WILSON STREET - P.O. BOX 7868  
 MADISON, WISCONSIN 53706



SEAL  
 Civil / Landscape

CONSULTANTS  
**Ken Sakai**  
 Design  
 303 S. Parkview St.  
 Suite 1  
 Madison, WI 53703  
 Ph: 608-251-3800  
 Fax: 608-251-2330

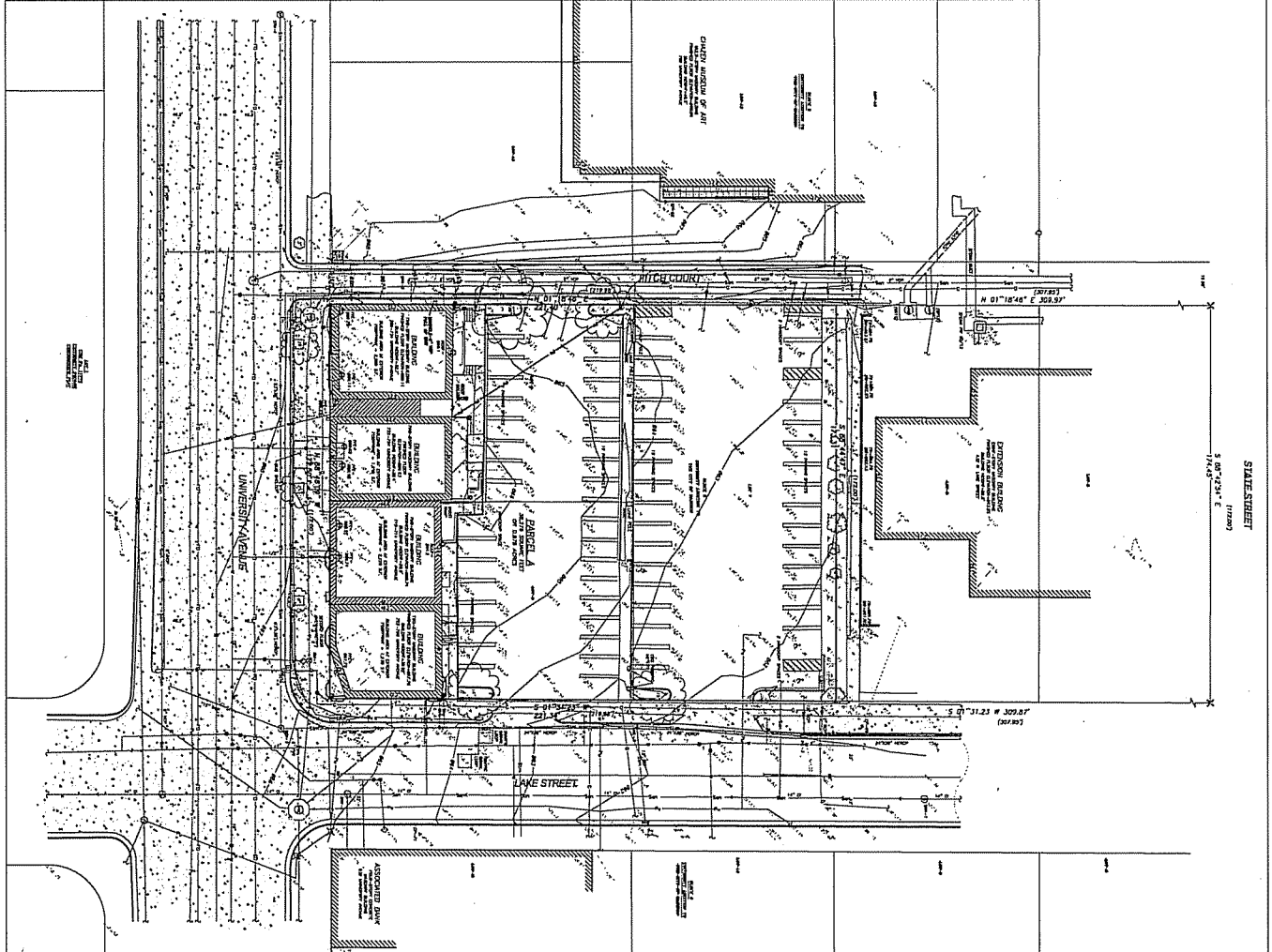
DRAWINGS  
 CDS EXISTING DEMOLITION PLAN  
 CDS DEMOLITION PLAN  
 CDS DEMOLITION PLAN  
 CDS DEMOLITION PLAN  
 CDS DEMOLITION PLAN

LOCATION MAP



			
PROJECT TITLE: MUSIC PERFORMANCE BUILDING-BLDG DEMO PROJECT LOCATION: UNIVERSITY AVENUE MADISON, WI SHEET TITLE:		AGENCY / INSTALLER: UNIVERSITY OF WISCONSIN - MADISON	
DRAWING NUMBER: T100	PROJECT NUMBER: 10F2J	SHEET NUMBER: 10F2J	DATE: 4/18/2012

STATE SHEET  
1/1/2013  
5 07 4231 - E  
1/1/13



- LEGEND**
- 1. CENTER LINE
  - 2. CONCRETE
  - 3. FINISH FLOOR
  - 4. FINISH CEILING
  - 5. FINISH WALL
  - 6. FINISH DOOR
  - 7. FINISH WINDOW
  - 8. FINISH CASE
  - 9. FINISH SIGN
  - 10. FINISH FURNITURE
  - 11. FINISH EQUIPMENT
  - 12. FINISH MECHANICAL
  - 13. FINISH ELECTRICAL
  - 14. FINISH PLUMBING
  - 15. FINISH PAINT
  - 16. FINISH LIGHTING
  - 17. FINISH VENTILATION
  - 18. FINISH SOUNDING
  - 19. FINISH SOUND BARRIER
  - 20. FINISH SOUND ISOLATION
  - 21. FINISH SOUND ABSORPTION
  - 22. FINISH SOUND REFLECTION
  - 23. FINISH SOUND TRANSMISSION
  - 24. FINISH SOUND DIFFUSION
  - 25. FINISH SOUND REFRACTION
  - 26. FINISH SOUND REFRACTION
  - 27. FINISH SOUND REFRACTION
  - 28. FINISH SOUND REFRACTION
  - 29. FINISH SOUND REFRACTION
  - 30. FINISH SOUND REFRACTION

**EXISTING CONDITIONS**

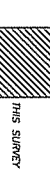
NO.	DESCRIPTION	DATE
1	EXISTING WALLS	2012
2	EXISTING FLOORING	2012
3	EXISTING CEILING	2012
4	EXISTING DOORS	2012
5	EXISTING WINDOWS	2012
6	EXISTING CASES	2012
7	EXISTING SIGNAGE	2012
8	EXISTING FURNITURE	2012
9	EXISTING EQUIPMENT	2012
10	EXISTING MECHANICAL	2012
11	EXISTING ELECTRICAL	2012
12	EXISTING PLUMBING	2012
13	EXISTING PAINT	2012
14	EXISTING LIGHTING	2012
15	EXISTING VENTILATION	2012
16	EXISTING SOUNDING	2012
17	EXISTING SOUND BARRIER	2012
18	EXISTING SOUND ISOLATION	2012
19	EXISTING SOUND ABSORPTION	2012
20	EXISTING SOUND REFLECTION	2012
21	EXISTING SOUND TRANSMISSION	2012
22	EXISTING SOUND DIFFUSION	2012
23	EXISTING SOUND REFRACTION	2012
24	EXISTING SOUND REFRACTION	2012
25	EXISTING SOUND REFRACTION	2012

**NOTES**

1. SEE GENERAL NOTES AND SPECIFICATIONS FOR COMPLETE LIST OF NOTES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN.
7. THE CONTRACTOR SHALL MAINTAIN CLEAR EGRESS PATHS AND FIRE EXITS AT ALL TIMES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING INFORMATION FROM THE ARCHITECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MEETING INFORMATION FROM THE ARCHITECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DRAWING INFORMATION FROM THE ARCHITECT.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CHANGE ORDER INFORMATION FROM THE ARCHITECT.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY VALUE ADDED TAX INFORMATION FROM THE ARCHITECT.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EMPLOYMENT TAX INFORMATION FROM THE ARCHITECT.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SOCIAL SECURITY TAX INFORMATION FROM THE ARCHITECT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FEDERAL INCOME TAX INFORMATION FROM THE ARCHITECT.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY STATE INCOME TAX INFORMATION FROM THE ARCHITECT.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL INCOME TAX INFORMATION FROM THE ARCHITECT.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PROPERTY TAX INFORMATION FROM THE ARCHITECT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SALES TAX INFORMATION FROM THE ARCHITECT.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY USE TAX INFORMATION FROM THE ARCHITECT.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WITHHOLDING TAX INFORMATION FROM THE ARCHITECT.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EMPLOYER CONTRIBUTION INFORMATION FROM THE ARCHITECT.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EMPLOYEE CONTRIBUTION INFORMATION FROM THE ARCHITECT.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PENSION CONTRIBUTION INFORMATION FROM THE ARCHITECT.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY 401K CONTRIBUTION INFORMATION FROM THE ARCHITECT.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY 403B CONTRIBUTION INFORMATION FROM THE ARCHITECT.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY 529 CONTRIBUTION INFORMATION FROM THE ARCHITECT.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY IRAC CONTRIBUTION INFORMATION FROM THE ARCHITECT.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UGMA CONTRIBUTION INFORMATION FROM THE ARCHITECT.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TOD CONTRIBUTION INFORMATION FROM THE ARCHITECT.
32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GRATUITIES CONTRIBUTION INFORMATION FROM THE ARCHITECT.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CHARITABLE CONTRIBUTION INFORMATION FROM THE ARCHITECT.
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35. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RETIREMENT CONTRIBUTION INFORMATION FROM THE ARCHITECT.
36. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HEALTH CONTRIBUTION INFORMATION FROM THE ARCHITECT.
37. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LIFE CONTRIBUTION INFORMATION FROM THE ARCHITECT.
38. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCIDENT CONTRIBUTION INFORMATION FROM THE ARCHITECT.
39. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DISABILITY CONTRIBUTION INFORMATION FROM THE ARCHITECT.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LONG TERM CONTRIBUTION INFORMATION FROM THE ARCHITECT.
41. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CAPITAL CONTRIBUTION INFORMATION FROM THE ARCHITECT.
42. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INCOME CONTRIBUTION INFORMATION FROM THE ARCHITECT.
43. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ESTATE CONTRIBUTION INFORMATION FROM THE ARCHITECT.
44. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CHARITABLE CONTRIBUTION INFORMATION FROM THE ARCHITECT.
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49. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCIDENT CONTRIBUTION INFORMATION FROM THE ARCHITECT.
50. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DISABILITY CONTRIBUTION INFORMATION FROM THE ARCHITECT.
51. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LONG TERM CONTRIBUTION INFORMATION FROM THE ARCHITECT.
52. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CAPITAL CONTRIBUTION INFORMATION FROM THE ARCHITECT.
53. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INCOME CONTRIBUTION INFORMATION FROM THE ARCHITECT.
54. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ESTATE CONTRIBUTION INFORMATION FROM THE ARCHITECT.
55. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CHARITABLE CONTRIBUTION INFORMATION FROM THE ARCHITECT.
56. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EDUCATIONAL CONTRIBUTION INFORMATION FROM THE ARCHITECT.
57. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RETIREMENT CONTRIBUTION INFORMATION FROM THE ARCHITECT.
58. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HEALTH CONTRIBUTION INFORMATION FROM THE ARCHITECT.
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**UNIVERSITY AVENUE**

**LAKE STREET**



THIS SURVEY

**STRANS**

STRANS  
1410 WEST KENNETH AVENUE  
MADISON, WI 53713  
PH: 608.261.1000  
FAX: 608.261.1001  
WWW.STRANS.COM

State of Wisconsin  
Department of Administration  
Division of Facilities Development  
UNIVERSITY OF WISCONSIN - MADISON

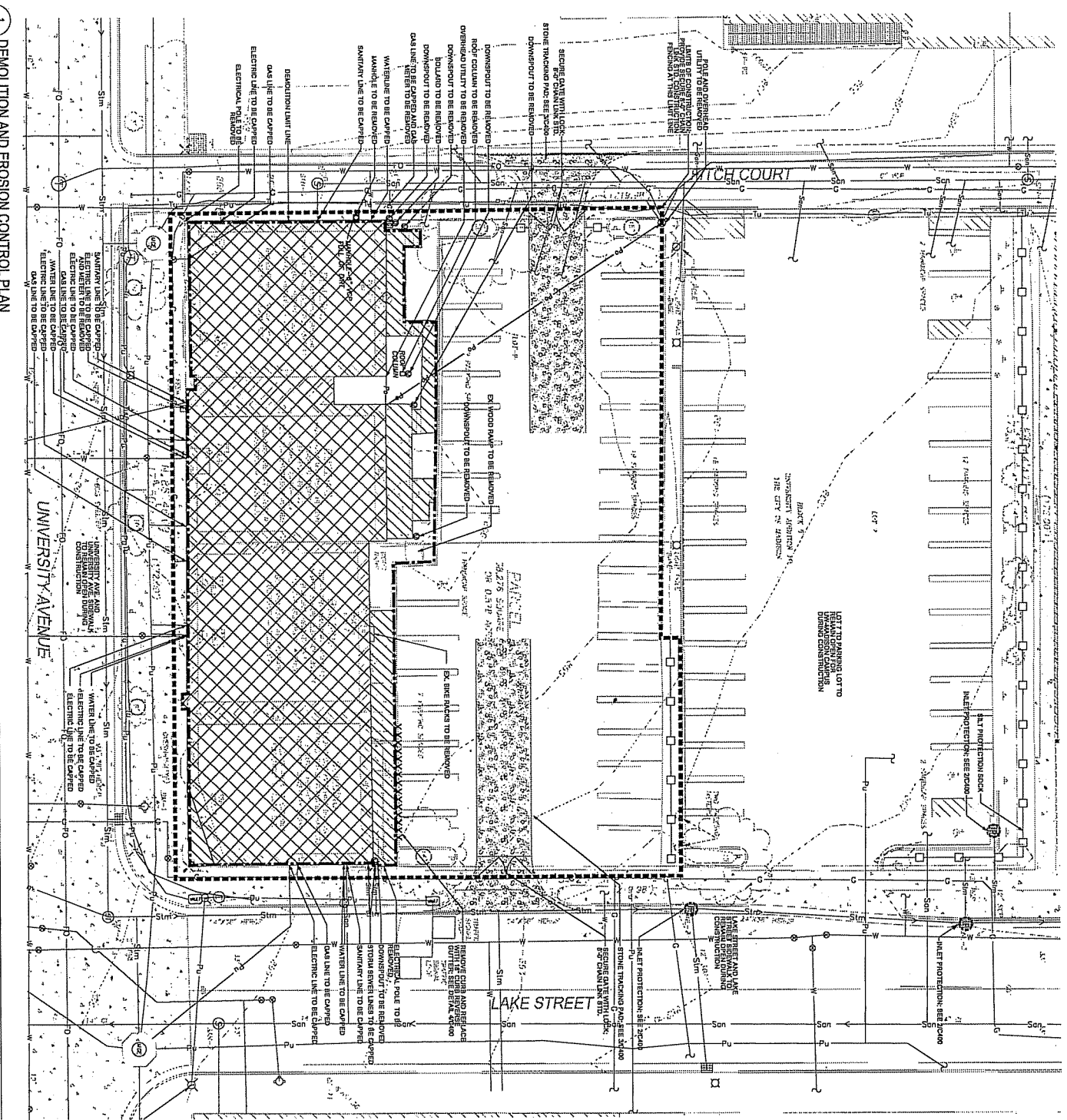
MUSIC PERFORMANCE BUILDING-BLDG DEMO  
UNIVERSITY AVENUE  
MADISON, WI  
EXISTING CONDITIONS

NO.	REVISION	DATE	BY	CHK

DATE: 4/18/2012  
SCALE: AS INDICATED  
C100



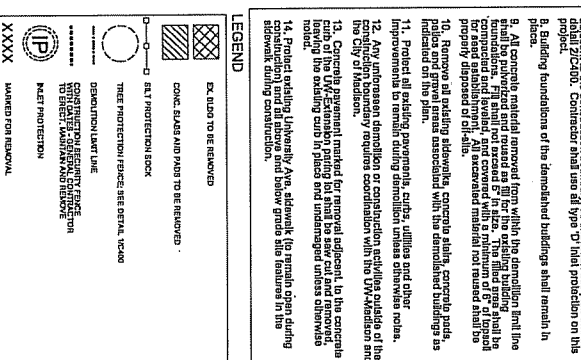
**1** DEMOLITION AND EROSION CONTROL PLAN  
 C200



- ### TREE PROTECTION NOTES
1. Contact City Forestry regarding any pruning of existing street trees.
  2. If any street trees are damaged or need to be removed to accommodate construction, the appraised value of the tree(s) will be paid by the contractor. The appraisal value of street trees includes all trunk and stump removal.
  3. Install tree protection fencing at least 5'0" on each side of all existing trees or the width of the tree stem to 100% of the trunk diameter. City Forestry shall be called to evaluate the excavation and approve any root cutting.
  4. Landscape contractor shall contact City Forestry at least 48 hours prior to painting street trees to approve painting codes and mark the tree location. Contact Dan Kohn, 608-268-4816. [DKohn@cityofmadison.com](mailto:DKohn@cityofmadison.com)

### DEMOLITION AND EROSION CONTROL NOTES

1. Existing site topographic, benchmarks and utility information was provided for reference. The contractor shall be responsible for verifying the accuracy of this information and report any inaccuracies.
2. See sheet C400 for erosion control details.
3. Provide storm tracking and when shown.
4. All historic material for removal shall be plugged or capped at the building foundation.
5. Demolition work is to be performed as indicated. A mass and recycling plan is to be prepared by the GC.
6. Install all fence where shown, see detail 4/C100.
7. Install all protection measures on all public and private lots adjacent to the construction boundary, as shown on this plan and in detail 2/C400. Contractor shall use all type O thorn protection on this property.
8. Building foundations of the demolished buildings shall remain in place.
9. All concrete material removed from within the demolition limit shall be pulverized and reused as fill for the existing building footprint. All concrete material removed from within the demolition limit shall be compacted and leveled, and covered with a minimum of 6" of good quality crushed stone.
10. Remove all existing asbestos, asbestos pipe, asbestos panels, and all other asbestos materials with the demolished buildings as indicated on the plan.
11. Protect all existing pavements, curbs, gutters and other improvements to remain during demolition unless otherwise noted.
12. Any underground utility or construction activities outside of the City of Madison shall be coordinated with the City of Madison.
13. Concrete pavement marked for removal adjacent to the concrete curb of the University Avenue sidewalk to remain, with the existing curb and sidewalk to be removed and reinstalled as shown elsewhere on this plan.
14. Protect existing University Ave. sidewalk to remain, with the existing sidewalk and all above and below grade site features in the sidewalk during construction.



**PRELIMINARY  
NOT FOR CONSTRUCTION**

**KEY PLAN**

North Arrow

Scale: 1" = 50'

DATE: 01/02/2012

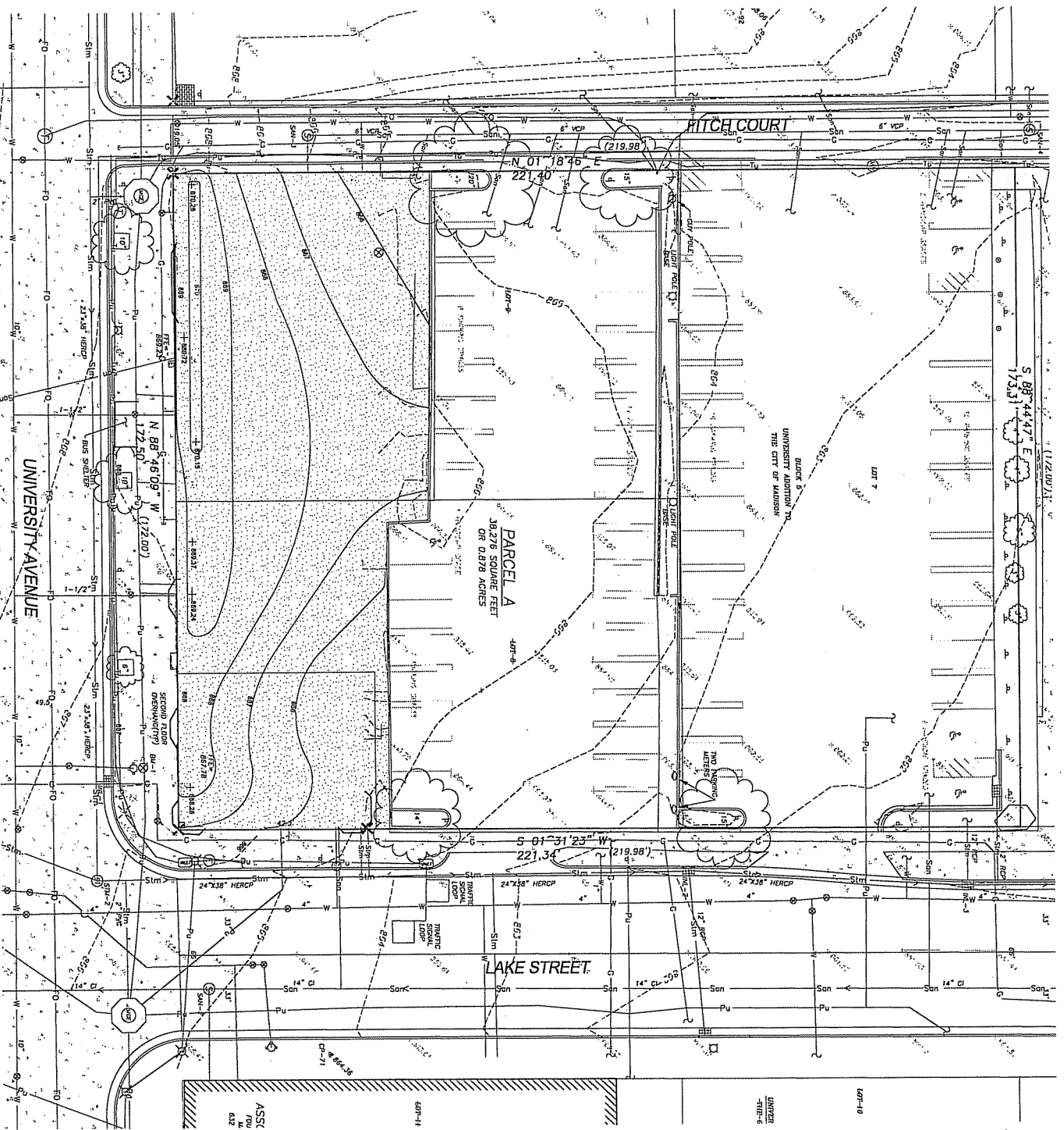
PROJECT: MUSIC PERFORMANCE BUILDING - BLDG DEMO

LOCATION: UNIVERSITY AVENUE, MADISON, WI

DRAWN BY: C200

<p>State of Wisconsin          Department of Administration          Division of Facilities Development</p> <p>UNIVERSITY OF WISCONSIN - MADISON</p>	<p>Project Name: MUSIC PERFORMANCE BUILDING - BLDG DEMO</p> <p>Project Location: UNIVERSITY AVENUE, MADISON, WI</p> <p>Sheet Title: DEMOLITION AND EROSION CONTROL PLAN</p>	<p>STRANG</p> <p>Architect</p>	<p>C200</p>
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1 GRADING AND SITE RESTORATION



**PRELIMINARY  
NOT FOR CONSTRUCTION**

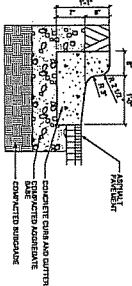
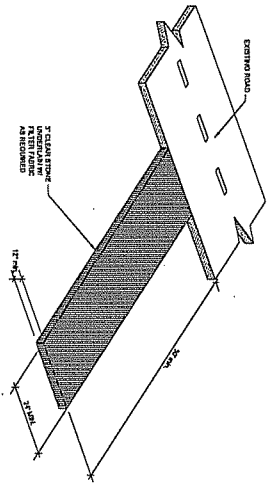
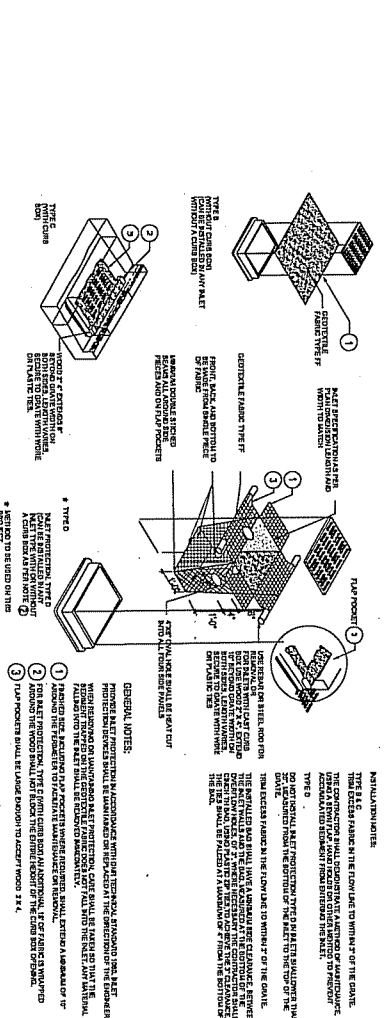
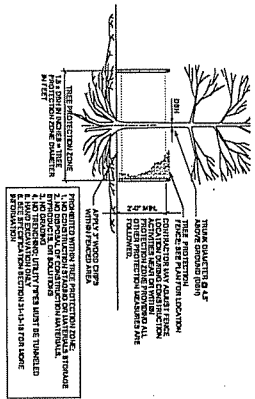
THE LOCATION OF DESIGN UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN IS FOR INFORMATION ONLY AND SHALL BE OBTAINED BY THE USER. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG.

CALL NUMBERS INCLUDE:  
 1-800-342-8511  
 FAX A LOCATE 1-800-338-3866  
 TDD (FOR HEARING IMPAIRED) 1-800-562-2289



- NOTES:**
1. Contractor is responsible for restoring any and all damage to adjacent properties. Filled areas shall be restored, damaged lawn areas shall be repaired with seed, and adjacent lawn and pavement shall be re-paved.
  2. Contractor is responsible for site clean up, to be approved by the state or the state's agent.
  3. All demolished building areas and other graded areas shall be covered with a minimum of 6" of soil, seeded, mulched and stabilized with urban mat erosion control fabric.
  4. Construction fence shall remain around graded areas for four (4) weeks or until substantial establishment of lawn.
- LEGEND**
- SEEDED LAWN

<p>STRONG ENGINEERING</p> <p>1000 UNIVERSITY AVENUE, SUITE 200                  MADISON, WI 53706                  TEL: 608-261-1234                  FAX: 608-261-1235</p>	<p><b>MUSIC PERFORMANCE BUILDING-BLDG DEMO</b></p>	<p>State of Wisconsin                  Department of Administration                  Division of Facilities Development</p>	
	<p>Project Location:                  UNIVERSITY AVENUE                  MADISON, WI</p>	<p>Agency / Institution:                  UNIVERSITY OF WISCONSIN - MADISON</p>	
	<p>Sheet Title:                  GRADING AND SITE RESTORATION</p>	<p>Scale:                  AS INDICATED</p>	



**PRELIMINARY  
NOT FOR CONSTRUCTION**

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES NOT SHOWN. THE PROJECT AREA SHOWN ARE NOT SHOWN.

CALL FOR UTILITY LOCATIONS  
1-800-447-2811

TOLL FREE  
1-800-447-2811

FOR A LIST OF  
PROJECTS CALL  
1-800-447-2811

FOR A LIST OF  
PROJECTS CALL  
1-800-447-2811



<p>STRANG ENGINEERING 1015 N. GARDNER ST. MADISON, WI 53706 TEL: 608-261-1111 FAX: 608-261-1112 WWW.STRANGENGINEERING.COM</p>		<p>Project Name: <b>MUSIC PERFORMANCE BUILDING-BLDG DEMO</b></p> <p>Project Location: <b>UNIVERSITY AVENUE MADISON, WI</b></p> <p>Sheet Title: <b>EROSION CONTROL DETAILS</b></p>	<p>State of Wisconsin Department of Administration Division of Facilities Development</p> <p>Approved / Reviewed: UNIVERSITY OF WISCONSIN - MADISON</p>
<p>Scale: <b>AS INDICATED</b></p> <p>Graphic: <b>AS INDICATED</b></p> <p>Rev: <b>107.72</b></p> <p>File: <b>0576 OF MADISON BLDG DEMO (REV) 4/18/2012</b></p> <p>Sheet Number: <b>C400</b></p>	<p>Project No: <b>107.72</b></p> <p>Project Location: <b>UNIVERSITY AVENUE MADISON, WI</b></p> <p>Sheet Title: <b>EROSION CONTROL DETAILS</b></p> <p>Scale: <b>AS INDICATED</b></p> <p>Graphic: <b>AS INDICATED</b></p> <p>Rev: <b>107.72</b></p> <p>File: <b>0576 OF MADISON BLDG DEMO (REV) 4/18/2012</b></p> <p>Sheet Number: <b>C400</b></p>		



THE UNIVERSITY  
**WISCONSIN**  
 MADISON

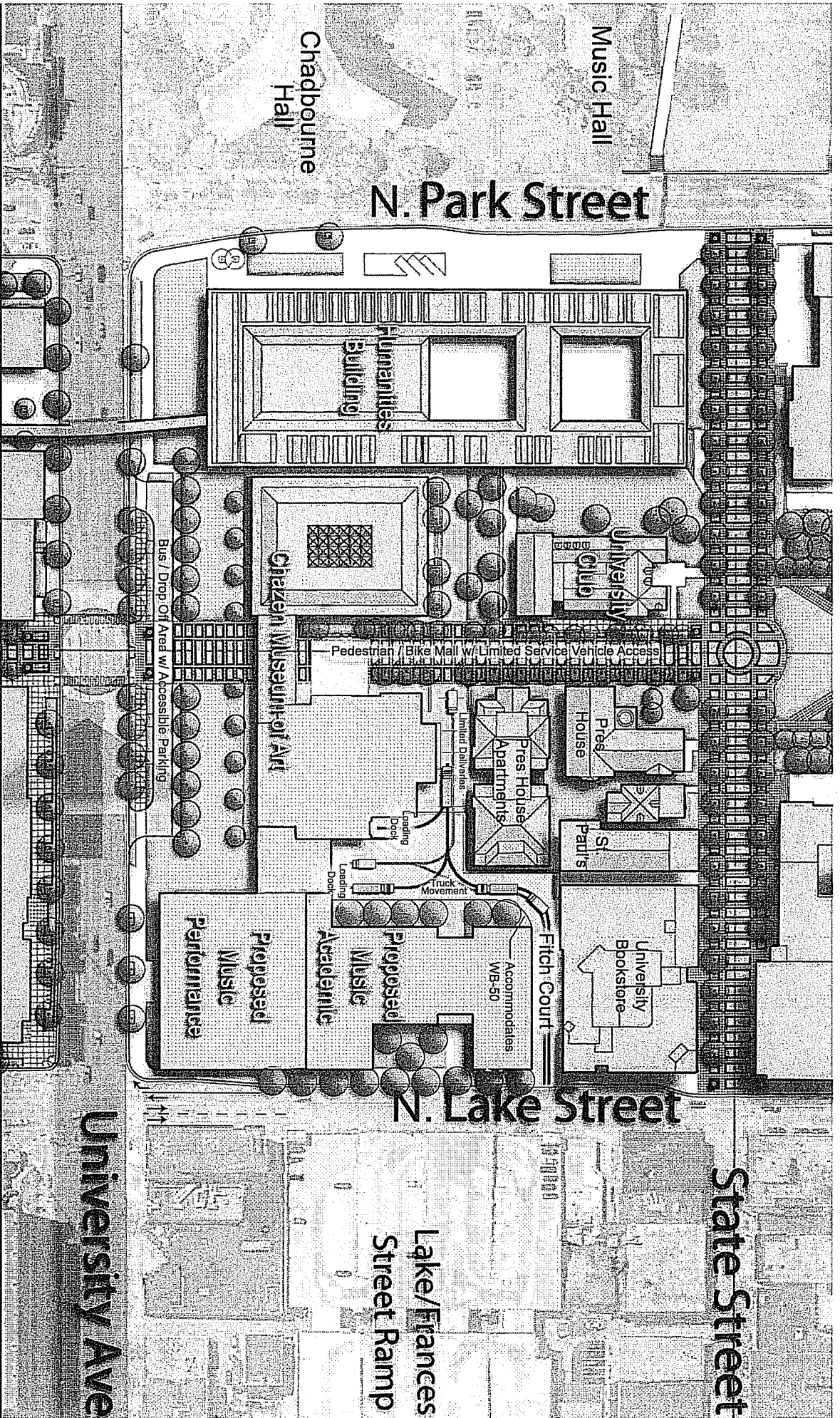
# Music / Art Museum Block Master Plan

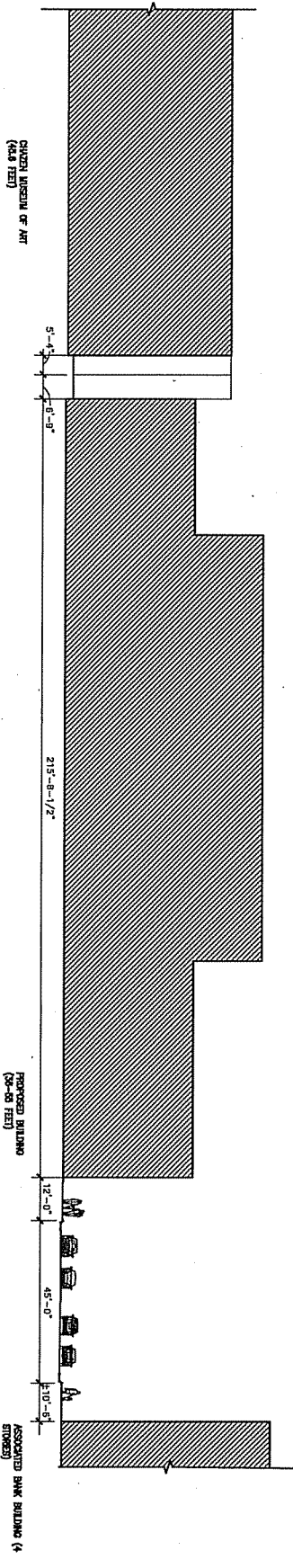
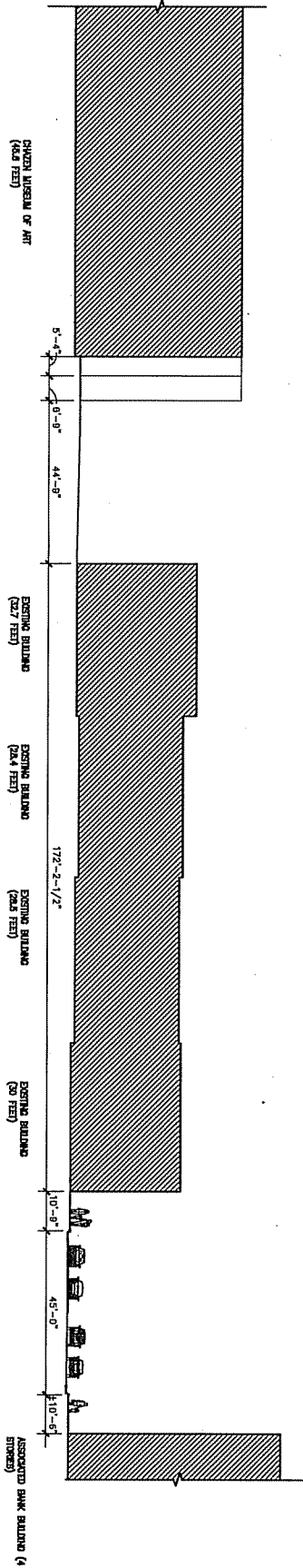
Facilities: Planning and Management ... Campus Planning and Landscape Architecture

04.18.2012



North  
 No Scale





PROPOSED  
SITE CROSS SECTION  
SCALE: 1" = 30'-0"

EXISTING  
SITE CROSS SECTION  
SCALE: 1" = 30'-0"