

APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL

AGENDA ITEM # \_\_\_\_\_  
Project # \_\_\_\_\_  
Legistar # 29576

DATE SUBMITTED: 3-25-13

Action Requested \*

- ☒ Informational Presentation  
☒ Initial Approval and/or Recommendation  
☒ Final Approval and/or Recommendation

UDC MEETING DATE: \_\_\_\_\_

PROJECT ADDRESS: 2655 East Washington Avenue

ALDERMANIC DISTRICT: 15

OWNER/DEVELOPER (Partners and/or Principals)

Cave Holdings Wisconsin, LLC - Adam Velarde

ARCHITECT/DESIGNER/OR AGENT:

Dauss Architects

1624 W 18th St.,

227 Historic West 11th Street

Chicago, IL 60608

Anderson, IN 46016

CONTACT PERSON: Michael Dauss

Address:

Dauss Architects

227 Historic West 11th Street, Anderson, IN 46016

Phone:

765-649-2258

Fax:

765-649-2337

E-mail address:

mikedauss@daussarchitects.com

CITY OF MADISON

TYPE OF PROJECT:

(See Section A for:)

- ☐ Planned Unit Development (PUD)  
☐ General Development Plan (GDP)  
☐ Specific Implementation Plan (SIP)  
☐ Planned Community Development (PCD)  
☐ General Development Plan (GDP)  
☐ Specific Implementation Plan (SIP)  
☐ Planned Residential Development (PRD)  
☐ New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)  
☐ School, Public Building or Space (Fee may be required)  
☐ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.  
☒ Planned Commercial Site

(See Section B for:)

- ☐ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- ☐ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- ☐ Comprehensive Design Review\* (Fee required)  
☐ Street Graphics Variance\* (Fee required)  
☐ Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

PLEASE PRINT!

PLEASE PRINT!

MAR 25 2013  
12:10 PM  
Planning & Community  
& Economic Development

**Proposed Remodel**

# **BURGER KING**

**2655 East Washington Avenue  
Madison, Wisconsin**

**Site Development Review**



**June 8, 2012  
Revised 11/19/2012  
03/15/2013**

# **Site Development Review**

Burger King - Store No. 1764,  
2655 East Washington Avenue  
Madison Wisconsin

## **Table of Contents**

### **Project Location**

Area Map  
Neighborhood Map  
Zoning Map

### **Property Information**

Legal Description  
Property Tax Map  
Property Tax Records  
Memorandum of Lease  
Cross-Easement Agreement

### **Project Description**

Letter of Design Intent

### **Existing Site Context Photos**

Photo Key Map  
Photos West Side, Washington Avenue  
Photos Adjoining Shopping Center  
Photos Existing Burger King Restaurant

### **Exterior Materials & Colors**

Cultured Stone Product Information Sheet  
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Metal Roofing Color  
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### **Building Signs**

Burger King "Button" Logo Sign

### **Site Lighting**

Type SP-1 - Island "Street Scape" Lighting  
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Type P6 - Building Canopy Lighting

## Site Development Review

### Table of Contents - Continued

#### Drawings

Existing Site Survey

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X-1.0 Existing Building & Demolition Plan

A-1.0 Floor Plan

A-2.0 Exterior Elevations

Exterior Elevations - Color

A-2.1 Exterior Finish Schedule

Submitted

June 8, 2012

Revised:

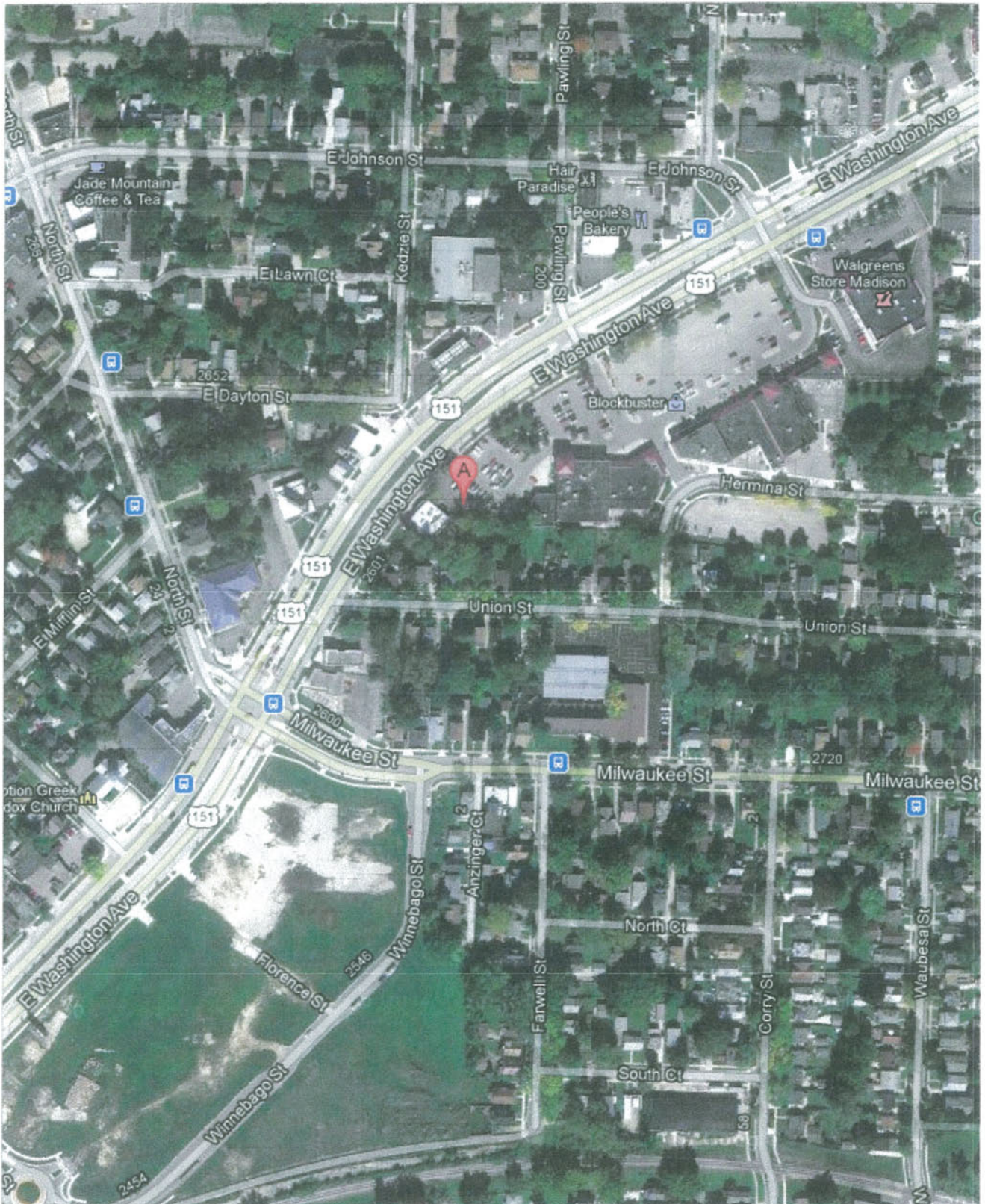
November 19, 2012

March 15, 2013





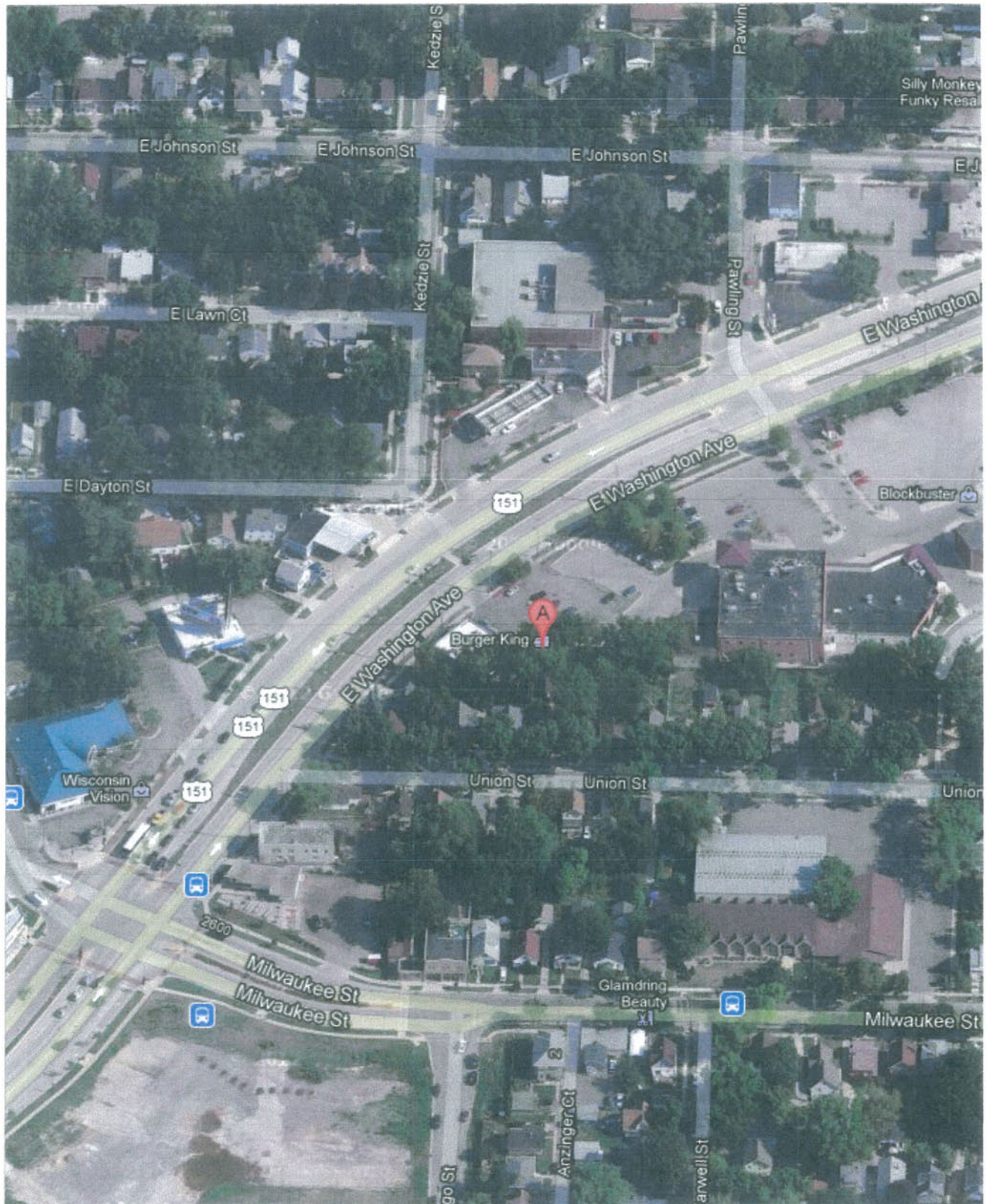
To see all the details that are visible on the screen, use the "Print" link next to the map.



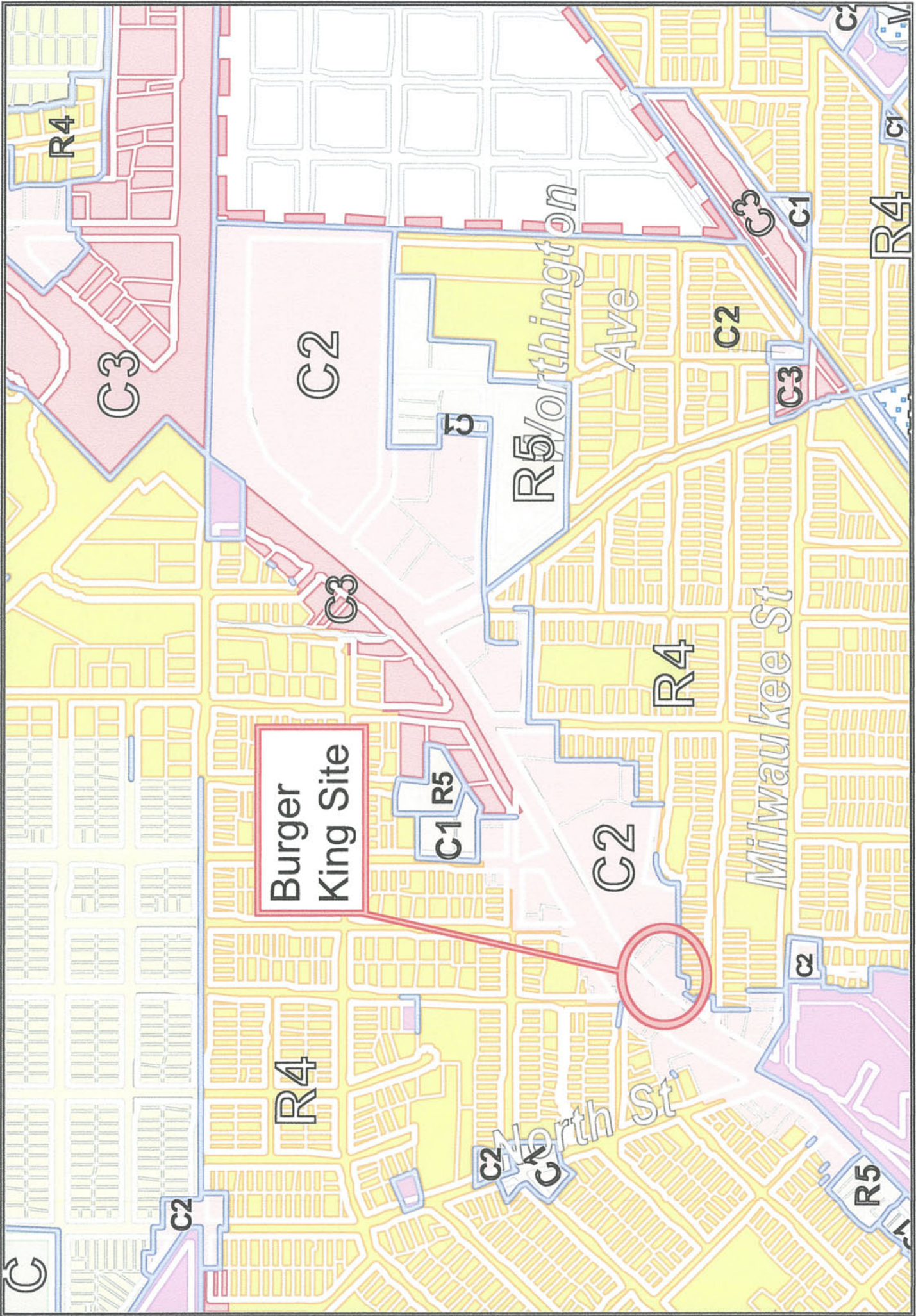




To see all the details that are visible on the screen, use the "Print" link next to the map.









PROPERTY SEARCH RESULTS: LEGAL DESCRIPTION

OWNER(S)

CAVE HOLDINGS  
WISCONCIN  
LLC  
1624 W 18TH ST  
CHICAGO, IL 60608

**PROPERTY ADDRESS:** 2655 E Washington Ave  
**Parcel Number:** 071006129384  
**Information current as of 3/14/13 11:00PM**

(Notice: This description may be abbreviated and is for assessment purposes only. It should not be used to transfer property)

RELATED DETAILS

- [Pay Taxes Online](#)
- [Sales for this Area](#)
- **Refuse Collection**
  - District: 03B
  - [Schedule](#)

SCHOOL DETAILS

District: [Madison](#)

- Lowell
- O'Keeffe
- East

CITY HALL

Aldermanic District: 6  
Ald. Marsha Rummel

- [Who are my elected officials?](#)
- [Where do I vote?](#)

**Lot Number:** 0

**Block:** 0

SEC 6, T7N, R10E, PRT NE 1/4 SE 1/4 DESC AS FOL, BEG AT NW COR LOT 29, C.A. GALLAGHER REP, TH S 01 DEG 17 MIN 40 SEC W ALG W LN SD LOT 45 FT, TH N 85 DEG 37 MIN 30 SEC W 134.8 FT TO SELY R/W E WASHINGTON AVE, TH ON A CUR TO THE RT, RAD 959.6 FT, LC BRS N 39 DEG 19 MIN 55 SEC E 239.3 FT, TH S 50 DEG 43 MIN 05 SEC E 152.2 FT, TH S 02 DEG 06 MIN 55 SEC W 54.7 FT TO NE COR LOT 26, C.A. GALLAGHER REP, TH N 89 DEG 45 MIN W 132 FT TO POB. ALSO DESC IN DOC # 4943783 AS: BEG NW COR LOT 29 C A GALLAGHER REPLAT, TH S 18 DEG 24 MIN 31 SEC W 45 FT, TH N 67 DEG 45 MIN 06 SEC W 136.22 FT TO SELY ROW OF E WASHINGTON AVE, TH ON ARC OF CUR CONCAVED SELY, RAD 959.60 FT, CHRD BRS N 57 DEG 16 MIN 11 SEC E 238.53 FT, TH S 33 DEG 00 MIN 03 SEC E 152.47 FT, TH S 19 DEG 25 MIN 56 SEC W 54.67 FT, TH N 71 DEG 38 MIN 13 SEC W 131.84 FT TO POB.





Dane County  
Wisconsin

[Searches](#)[Metadata](#)[View list of DCiMap updates](#)[Questions or Comments?](#)

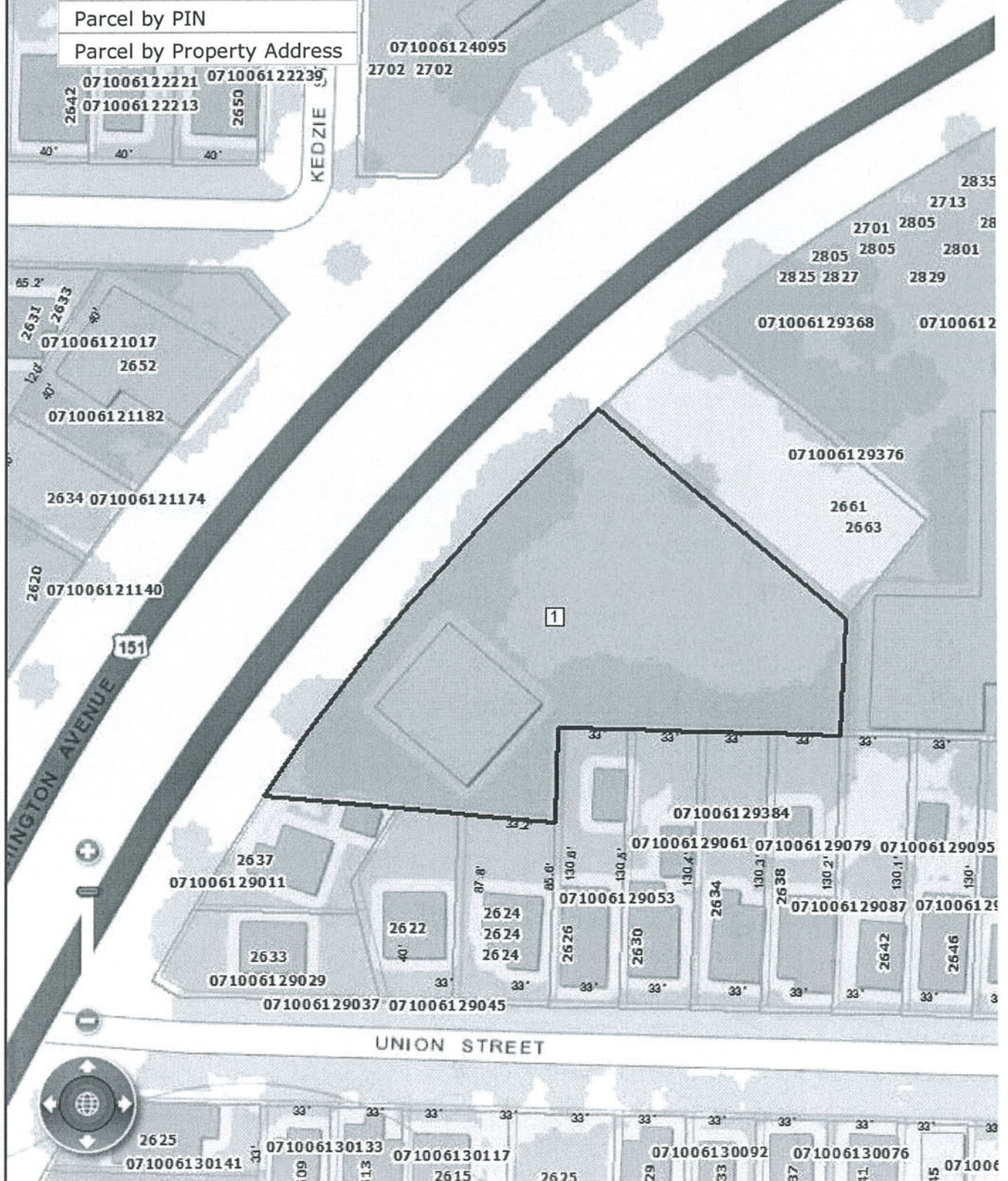
Tool

Municipality

Section

Parcel by PIN

Parcel by Property Address





Parcel Number 0710-061-2938-4

Situs 2655 E Washington Ave

Assessment Area

9914

|              |                         |                         |            |                               |                      |
|--------------|-------------------------|-------------------------|------------|-------------------------------|----------------------|
| <b>Owner</b> | CAVE HOLDINGS WISCONCIN | <b>Parcel Class:</b>    | Commercial | <b>Property Type:</b>         | Rest drive-in w/seat |
|              | LLC                     | <b>Parcel Code:</b>     |            | <b>Property Code:</b>         | 253                  |
|              | 1624 W 18TH ST          | <b>School District:</b> | Madison    | <b>Property Data Revised:</b> | 01/12/2013           |
|              | CHICAGO, IL 60608-0     | <b>TIF District:</b>    | 0          | <b>Building Data Revised:</b> |                      |

**Record of Transfer of Ownership**

| Grantor                           | Document # | Date    | Parcels | Consideration | Convey | Mkt | Ratio |
|-----------------------------------|------------|---------|---------|---------------|--------|-----|-------|
| CAPPAS FAMILY LIMITED PARTNERSHIP | 94943783   | 11/2012 | 1       | 216,700       | W.D.   | V   | V     |
| KARY TRUST, RUBY R                | 94943782   | 11/2012 | 1       | 216,700       | OTHER  | V   | V     |
| CAPPAS, ANGELO                    | 94943781   | 11/2012 | 1       | 216,600       | W.D.   | V   | V     |
| CAPPAS, ELIZABETH S               | 92926778   | 1/1998  | 1       | 0             | OTHER  | I   | I     |
| KARY, GREGORY & RUBY KARY         | 93872846   | 11/1997 | 1       | 0             | OTHER  | I   | I     |

| Zoning: C2                    | Lot Characteristics | Utilities           | Street      | Frontage                      |
|-------------------------------|---------------------|---------------------|-------------|-------------------------------|
| Width: 0                      | 1-Regular           | Water: 2-Stubbed In | Paved       | Primary: 300 E Washington Ave |
| Depth: 0                      | 0-None              | Sewer: 2-Stubbed In | Curb-gutter | Secondary: 0                  |
| Lot Size: 28,198 sqft         | 1-Level             | Gas: 2-Stubbed In   | Sidewalk    | Other 1: 0                    |
| Acreage: 0.65 acres           | 2-Medium            |                     | No Alley    | Other 2: 0                    |
| Buildability: 1-Buildable Lot | 0-None              |                     |             | Water: 0                      |
|                               | Traffic             |                     |             | 0-No Water Frontage           |
|                               | Wooded              |                     |             |                               |

**Parcel Building Summary**

| Floor Area     | GFA   | PFA   | Apartment               |
|----------------|-------|-------|-------------------------|
| 1st Floor:     | 2,925 | 2,925 | Total Units:            |
| 2nd Floor:     |       |       | Rooms:                  |
| 3rd Floor:     |       |       | Efficiency:             |
| 4th Floor:     |       |       | 1 Bdrm:                 |
| 5th Floor:     |       |       | 2 Bdrm:                 |
| Above:         |       |       | 3 Bdrm:                 |
| Mezz Loft:     |       |       | 4 Bdrm:                 |
| Basement:      |       |       | Other:                  |
|                |       |       | <b>Building Summary</b> |
|                |       |       | Buildings: 1            |
|                |       |       | Restaurant 2,925        |
| <b>Parking</b> |       |       |                         |
| Level 1:       |       |       |                         |
| Level 2:       |       |       |                         |
| Level 3:       |       |       |                         |
| Other lvls.:   |       |       |                         |
| Total:         |       |       |                         |
| Total:         | 2,925 | 2,925 |                         |



Notes: 7/2009:LEASE AGREEMENT DOC 4259578  
12/06 LESSOR GREGORY GUS KARY, RUBY  
KARY, ANGELO KAPPAS, MARY KAPPAS &  
ELIZABETH KAPPAS DTD 5/1/85. DOC 3872846  
REC 2/12/04 GREGORY GUS KARY CONVEYS  
TO RUBY R KARY TRUST. DOC 2926778 REC 1-  
26-1998 ELIZABETH S CAPPAS CONVEYS 100%  
OF 1/3 INT TO CAPPAS FAMILY LIMITED  
PARTNERSHIP. DOC 1468567 REC 5-13-1976  
GRANTEES GREGORY GUS KARY, ANGELO

Building Remarks:

**Assessment changes**

| Year       |  |  |  |
|------------|--|--|--|
| Hearing #  |  |  |  |
| Schedule # |  |  |  |
| Change     |  |  |  |

**Assessment Record**

|             | 2010    | 2011    | 2012    |
|-------------|---------|---------|---------|
| Change Code |         |         | /       |
| Land        | 155,000 | 155,000 | 155,000 |
| Improvement | 517,900 | 517,900 | 517,900 |
| Total       | 672,900 | 672,900 | 672,900 |

Parcel Number 0710-061-2938-4

Situs 2655 E Washington Ave

Assessment Area

9914



9914

|          |   |
|----------|---|
| Building | 1 |
|----------|---|

|                     |          |  |  |  |  |  |  |  |  |  |
|---------------------|----------|--|--|--|--|--|--|--|--|--|
| GFA:                | 2,925    |  |  |  |  |  |  |  |  |  |
| PFA:                | 2,925    |  |  |  |  |  |  |  |  |  |
| Yr. Built:          | 1976     |  |  |  |  |  |  |  |  |  |
| Yr. Remodeled:      |          |  |  |  |  |  |  |  |  |  |
| Quality:            | Ave+     |  |  |  |  |  |  |  |  |  |
| Exterior Condition: | Ave      |  |  |  |  |  |  |  |  |  |
| Stories:            | 1        |  |  |  |  |  |  |  |  |  |
| Story Height:       | 12       |  |  |  |  |  |  |  |  |  |
| Frame:              | MLB      |  |  |  |  |  |  |  |  |  |
| Wall Type:          | Brk      |  |  |  |  |  |  |  |  |  |
| Wall Type 2:        |          |  |  |  |  |  |  |  |  |  |
| Foundation:         | Conc     |  |  |  |  |  |  |  |  |  |
| Roof Type:          | Flat     |  |  |  |  |  |  |  |  |  |
| Roof Frame:         | Stl      |  |  |  |  |  |  |  |  |  |
| Roof Cover:         | Built Up |  |  |  |  |  |  |  |  |  |
| Floor Frame:        |          |  |  |  |  |  |  |  |  |  |
| Floor Deck:         |          |  |  |  |  |  |  |  |  |  |
| Basement            | None     |  |  |  |  |  |  |  |  |  |
| Apartment Units:    |          |  |  |  |  |  |  |  |  |  |

Building

[illegible][illegible]

9914

MEMORANDUM OF LEASE

THIS MEMORANDUM OF LEASE is made and entered into by and between the parties hereto, to evidence their execution of a certain Lease Agreement dated May 1, 1985, as amended on September 30, 1992.

WITNESSETH:

1. The name of the Lessor is Gregory Gus Kary a/k/a Gregory Kary and Ruby Kary, Angelo and Mary Cappas and Elizabeth Cappas (Karcap Group), whose address is 7400 East 75th Avenue, Schererville, Indiana 46375. West

2. The name of the Lessee is Pel-Wisconsin, Inc., an Indiana corporation, whose address is 4374 West 52nd Street, Indianapolis, Indiana 46254.

3. The legal description of the Leased Premises is as follows:

SEE ATTACHED LEGAL DESCRIPTION

and commonly known as 2655 East Washington St., Madison, Wisconsin.

4. The initial term of the Lease is for a period of twenty-seven (27) years and shall expire on September 30, 2012.)

5. The Lease grants to the Lessee the option to renew or extend the term of the Lease for two (2) successive periods of five (5) years each from the date of the expiration of the term as set out in Paragraph 4 above.

6. The Lease does not contain an option to purchase the Leased Premises or any part thereof.

7. Sixty Thousand Dollars (\$60,000.00) guaranteed minimum annual rent. All other rent terms remain in effect. (See Section 3.1, Minimum Rent.)

This Memorandum of Lease is executed for the purpose of giving notice of the existence of the Lease and certain terms thereof. Reference is made to the Lease and subsequent amendments which contain a full description of the rights and duties of Lessor and Lessee, and this Memorandum of Lease shall in no way affect the terms and conditions of the Lease or the interpretation of the rights and duties of Lessor and Lessee thereunder.

IN WITNESS WHEREOF, the parties hereto have executed this Memorandum of Lease the 24 day of July, 1992.

Lessor: KARCAP GROUP

By: Thomas S. Cappas

THOMAS S. CAPPAS  
(Printed Name)

Its Agent



## CROSS-EASEMENT AGREEMENT

THIS CROSS-EASEMENT AGREEMENT (the "Easement") is entered into this 10 day of May, 1994, by and among PEL-WISCONSIN, INC. ("PWI") and MADISON EAST SHOPPING CENTER PROPERTIES ("Madison East").

### R E C I T A L S :

A. Madison East owns a parcel of real estate located in the City of Madison, Dane County, Wisconsin, known as the "Madison East Shopping Center" and further described on Exhibit A attached hereto and made a part hereof (herein the "Madison East Shopping Center Parcel").

B. PWI is the tenant under a ground lease dated May 1, 1985, as amended on September 30, 1992, and naming Gregory Gus Kary a/k/a Gregory, Kary, Ruby Kary, Angelo and Mary Cappas and Elizabeth Cappas as landlord (the "Burger King Ground Lease") of certain real property more particularly described on Exhibit B attached hereto and made a part hereof and located at 2655 East Washington Avenue in the City of Madison, Dane County, Wisconsin (herein the "Burger King Parcel").

C. Madison East, as landlord, is entering on this date into a lease with PWI, as tenant (the "Parking Lot Lease") of certain real property more particularly described on Exhibit C attached hereto and made a part hereof and located at 2611 East Washington Avenue in the City of Madison, Dane County, Wisconsin (herein the "Parking Lot Parcel").

D. Madison East and PWI desire to subject the Madison East Shopping Center Parcel, the Burger King Parcel and the Parking Lot Parcel to this Easement for the purpose of allowing the three parcels to use the driveway areas as may exist on such parcels from time to time.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Madison East and PWI do hereby agree as follows:

### ARTICLE I

#### DEFINITIONS

SECTION 1.1. BENEFICIARIES. The term "Beneficiaries" shall mean the Occupants and Permittees, as those terms are defined below, of the Madison East Shopping Center Parcel, the Burger King Parcel and the Parking Lot Parcel. The Madison East Shopping Center Parcel, the Burger King Parcel and the Parking Lot Parcel shall hereinafter collectively be referred to as the "Parcels."

SECTION 1.2. OCCUPANT. The term "Occupant" shall mean and include the fee owner (if not leased), land contract vendee owner, or land lessee of any of the Parcels, from time to time.

SECTION 1.3. PERMITTEES. The term "Permittees" shall mean and refer to all Occupants and tenants occupying any portion of the Parcels, employees of Occupants, licensees and other business invitees of Occupants and Permittees.

## ARTICLE II

### EASEMENT

#### SECTION 2.1. IMPOSITION OF EASEMENTS.

(a) Madison East hereby declares and imposes upon that portion of the Madison East Shopping Center Parcel as may from time to time hereafter be laid out, constructed or used as a surface driveway, a non-exclusive easement for the benefit of the Occupants and the Permittees of the Burger King Parcel and the Parking Lot Parcel for the purpose of providing access to, from, over and across the Madison East Shopping Center Parcel to vehicular traffic from the other Parcels to have ingress and egress across the Madison East Shopping Center Parcel to East Washington Avenue.

(b) PWI hereby declares and imposes upon that portion of the Burger King Parcel as may from time to time hereafter be laid out, constructed or used as a surface driveway, a non-exclusive easement for the benefit of the Occupants and the Permittees of the Madison East Shopping Center Parcel and the Parking Lot Parcel for the purpose of providing access to, from, over and across the Burger King Parcel to allow vehicular traffic from the Madison East Shopping Center Parcel and the Parking Lot Parcel to have ingress and egress across the Burger King Parcel to East Washington Avenue.

(c) Madison East and PWI hereby declare and impose upon that portion of the Parking Lot Parcel as may from time to time hereafter be laid out, constructed or used as a surface driveway, a non-exclusive easement for the benefit of the Occupants and the Permittees of the Madison East Shopping Center Parcel and the Burger King Parcel for the purpose of providing access to, from, over and across the Parking Lot Parcel to allow vehicular traffic from the Madison East Shopping Center Parcel and the Burger King Parcel to have ingress and egress across the Parking Lot Parcel to East Washington Avenue.



(d) Nothing herein shall be construed as preventing the parties hereto or their successors and assigns from changing the design, configuration, layout, plan, dimension, length or width of any such driveways, provided, however, that there be, at all times, continuous drive aisles of at least two car widths:

(i) leading from the easternmost driveway to East Washington Avenue located upon the Burger King Parcel across the Burger King Parcel to the boundary of the Parking Lot Parcel;

(ii) leading from the terminus of the easement described in Section 2.1(d)(i) located at the boundary between the Burger King Parcel and the Parking Lot Parcel to: (aa) the driveway to East Washington Avenue located upon the Parking Lot Parcel and (bb) to the boundary of the Madison East Shopping Center Parcel; and

(iii) leading from the terminus of the easement described in Section 2.1(d)(ii), above, and located at the boundary of the Parking Lot Parcel and the Madison East Shopping Center Parcel to the driveway to East Washington Avenue located upon the Madison East Shopping Center Parcel.

SECTION 2.2. MAINTENANCE AND IMPROVEMENT OF EASEMENTS. Maintenance and improvement of the easement located upon the Madison East Shopping Center Parcel shall be performed by Madison East. Maintenance and improvement of the easement located upon the Burger King Parcel shall be borne by PWI. Maintenance and improvement of the easement located upon the Parking Lot Parcel shall be borne by PWI.

SECTION 2.3. NO EASEMENT FOR PARKING CREATED. The easements granted hereby shall be for vehicular ingress and egress only, and do not include easements for the use of any parking spaces.

SECTION 2.4. BENEFITTED PARCELS. In no event shall properties other than the Madison East Shopping Center Parcel, the Burger King Parcel and the Parking Lot Parcel be entitled to the benefit of any of the easements granted hereunder. Furthermore, in no event may either Madison East or PWI increase in any manner the burden upon, or the use of, the easements granted hereunder. Each party granting easement rights to the other under this Easement reserves the right to use the Parcels burdened by any such easement for purposes which will not interfere with the grantee's full enjoyment of the easement rights hereby granted.

SECTION 2.5. ASSIGNABILITY. The easements granted over the Burger King Parcel and the Parking Lot Parcel for the benefit of the Madison East Shopping Center Parcel shall be deemed easements appurtenant to the Madison East Shopping Center Parcel and may not be assigned, transferred or conveyed separately from, or severed from, the Madison East Shopping Center Parcel. The easements granted over the Madison East Shopping Center Parcel and the Burger King Parcel for the benefit of the Parking Lot Parcel shall be deemed easements appurtenant to the Parking Lot Parcel and may not be assigned, transferred or conveyed separately from, or severed from, the Parking Lot Parcel. The easements granted for the benefit of the Burger King Parcel over the Madison East Shopping Center Parcel and the Parking Lot Parcel shall be deemed easements appurtenant to the Burger King Parcel and may not be assigned, transferred or conveyed separately from, or severed from, the Burger King Parcel.

### ARTICLE III

#### INDEMNITY

Each party (the "Indemnifying Party") shall defend, save and hold the other party (the "Indemnified Party") harmless from and against any and all loss, cost (including reasonable attorney's fees), injury, death or damage to persons or property which at any time during the term of this Easement may be suffered or sustained by any person or entity in connection with the activities of the Indemnifying Party or its Permittees, conducted upon any portion of the Indemnified Party's property, regardless of the cause of the injury or damage, unless caused by the negligence or misconduct of the Indemnified Party or its Permittees.

### ARTICLE IV

#### GENERAL

SECTION 4.1. APPLICABLE LAW. This Easement shall be governed by, interpreted and construed in accordance with the laws of the State of Wisconsin. If any provisions, or portions hereof, or the application to any person or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of this Easement, or the application of such provisions, or portion thereof, to any persons or circumstances shall not be affected thereby, and each provision of this Easement shall be valid and enforceable to the fullest extent provided by law. Should there be any violation of this Easement by any party hereto, or by any Permittee or Occupant, any other Occupant, their respective successors and assigns, as the case may be, shall have the right to enjoin such violation or threatened violation by order or judgment of a court of competent jurisdiction, or to take any other remedy allowed by law.



SECTION 4.2. NOT A PUBLIC DEDICATION. Nothing contained in this Easement shall, or shall be deemed to, constitute a gift or dedication or any portion of the Parcels to the general public or to the City of Madison or for any public purpose whatsoever, it being the intention of the parties hereto that this Easement will be strictly limited to and for the purposes expressed herein.

SECTION 4.3. TERM. This Easement and all the terms hereof shall terminate upon the earlier of:

(a) the date on which the Burger King Ground Lease terminates, expires or otherwise ceases to be in effect; or

(b) the express written termination of this Easement by PWI (or its successor as tenant under the Parking Lot Lease and under the Burger King Ground Lease) and by Madison East (or its successor(s) as the holder(s) of the fee simple interest in the Madison East Parcel and the Parking Lot Parcel).

Upon termination of this Easement, the parties hereto agree to execute and record any documents necessary to terminate this Easement of record.

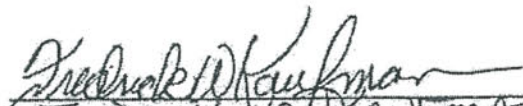
SECTION 4.4. BENEFIT. All the easements set forth herein shall be interpreted and construed as covenants running with the land, binding upon and inuring to the benefit of and enforceable by the Occupants of the Parcels and their respective heirs, successors and assigns.

IN WITNESS WHEREOF, the undersigned have executed as of the date and year first above written.

MADISON EAST SHOPPING CENTER PROPERTIES  
("Madison East")

By:   
Gregory A. Rice, Partner

PEL-WISCONSIN, INC. ("PWI")

By:   
Name: FREDRICK W. KAUFMAN  
Title: VICE PRESIDENT

## ACKNOWLEDGMENT

STATE OF WISCONSIN )  
 ) ss.  
 COUNTY OF DANE )

Personally came before me this 25 day of May, 1994, Gregory A. Rice, known to me to be a partner of Madison East Shopping Center Properties, who executed the above instrument and acknowledged the same.

Jennie N. Richards  
 Name: Jennie N. Richards  
 Notary Public, State of Wisconsin  
 My Commission: 1-05-94 to 1-4-98

## ACKNOWLEDGMENT

STATE OF WISCONSIN )  
 ) ss.  
 COUNTY OF DANE )

Personally came before me this 10 day of MAY, 1994, FREDRICK W. KAUFMAN, known to me to be the VICE PRESIDENT of Pel-Wisconsin, Inc., who executed the above instrument and acknowledged the same.

Gerrylynn Verasako  
 Name: GERRYLYNN VERASAKO  
 Notary Public, State of Wisconsin  
 My Commission: 8-11-96

This document was drafted by,  
 and should be returned to:

Jesse S. Ishikawa  
 Michael, Best & Friedrich  
 One South Pinckney Street  
 P.O. Box 1806  
 Madison, WI 53701-1806  
 (608) 257-3501



architecture  
planning

227 historic w. 11<sup>th</sup> st.  
p.o. box 1006  
anderson, in 46016

tel: 765.649.2258  
fax: 765.649.2337  
email: info@  
daussarchitects.com

Submitted: June 8, 2012  
Revised: November 19, 2012  
March 15, 2013

Ref: Burger King Store No.1764  
2655 East Washington  
Madison, Wisconsin

## **LETTER OF DESIGN INTENT**

The following is a summary of the design scope of work for the existing Burger King restaurant:

### **Site**

1. Removal of the existing sidewalk at the south/west corner of the building and replacing with landscape.
2. Rework the ADA access path to the front entrance to meet the 2010 ADAAG requirements.
3. Replacement of damaged sidewalk and pavement especially in the drive thru lane.
4. Removal of existing wood utility pole site lighting and replacement with new metal site lighting.
5. Removal of existing landscape and new plant materials in existing landscape beds.
6. Addition of new bicycle parking spaces.

### **Building - Exterior Remodeling**

1. Remove the existing drive-thru window and replace with new image element.
2. Remove existing entrance vestibule and replace with new image element.
3. Replace existing fluorescent light fixture light band with new LED light source light band.
4. Replace all shingle roofing with new metal roofing.
5. Paint existing brick to new image color scheme.

### **Building Signage**

1. New Burger King "button" logos at front entrance and over drive-thru window.

### **Building - Interior Remodel**

1. Replace front counter, furniture and décor with new image furniture and décor.

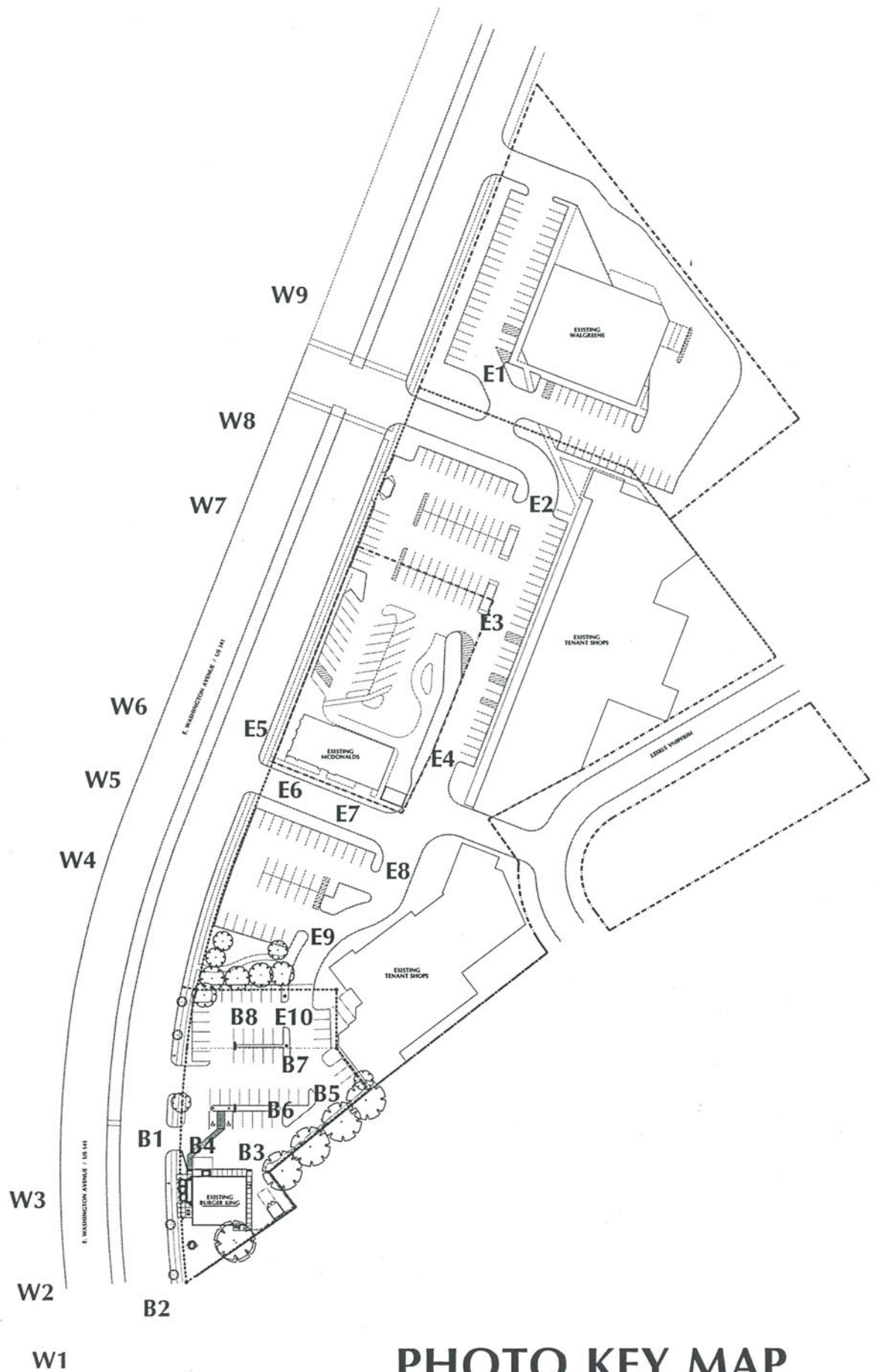
Remainder of the existing building is to remain.

Structural changes are limited to the framing associated with the drive-thru window and front entrance image elements.

Lighting will be replaced as required for new décor.

Existing plumbing and mechanical systems are to remain.





**PHOTO KEY MAP**





W1



W2





W3

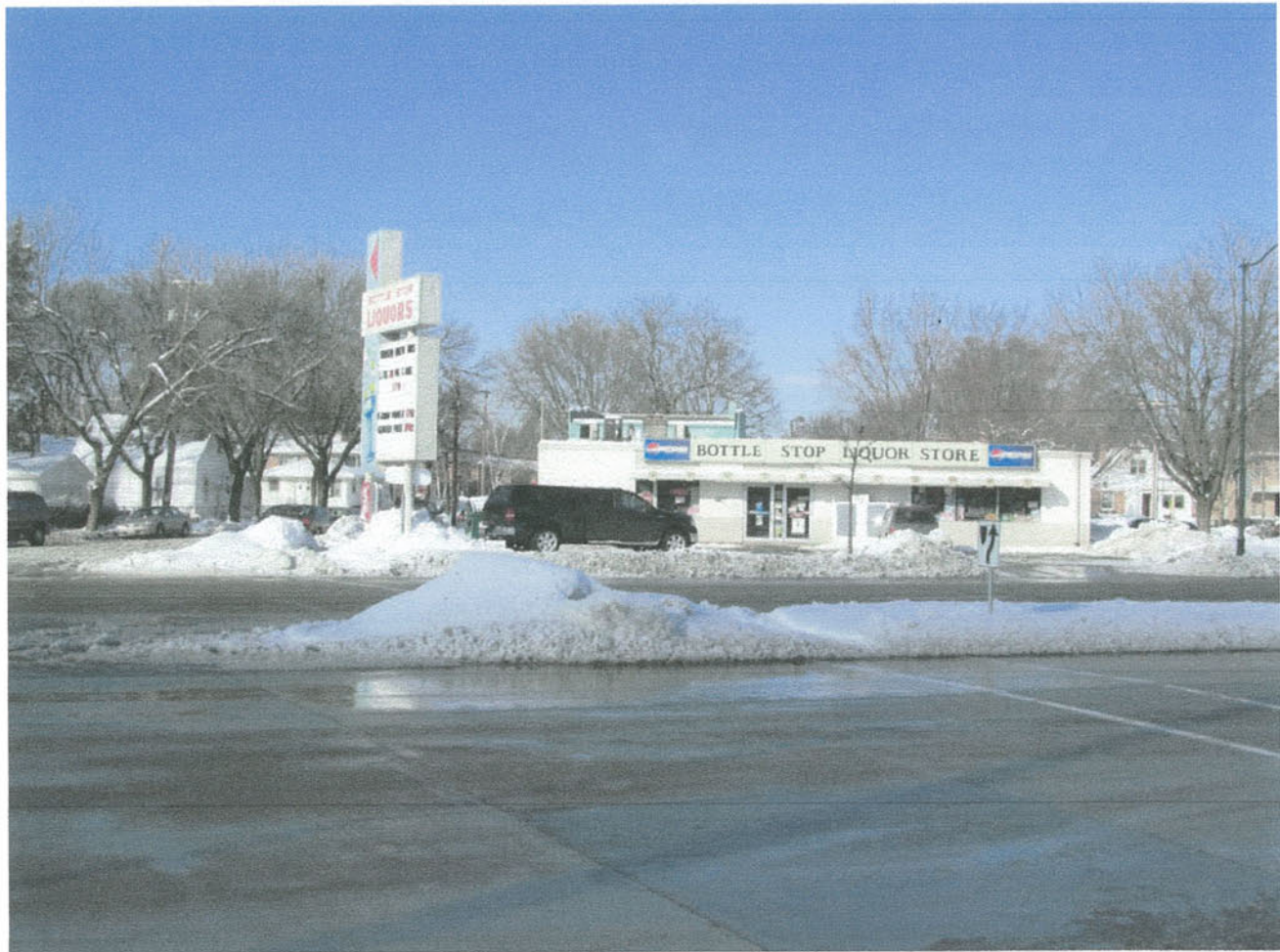


W4





W5



W6





W7



W8





W9





E1



E2





E3



E4





E5



E6





E7



E8





E9



E10





B1



B2





B3



B4





B5



B6





B7



B8





CULTURED STONE®

The Preferred Name In Stone™

## Country Ledgestone



New Black Rundle Country Ledgestone (CSV-391272) authentically depicts the smooth, blocky Rundle Rock of the Canadian Rockies.

**Installer-friendly Country Ledgestone** has an extensive palette of colors that differentiates one Ledgestone from another. Its shapes, textures and colors closely resemble those found in nature. And the color combinations can range from subtle to adventurous. If you prefer a bolder, more random look, pair with Cultured Stone® Dressed Fieldstone in matching or complementary colors.

**And now, introducing the all-new Black Rundle Country Ledgestone**—a rich blend of dark colors designed to create a striking contrast.

### New Color—Black Rundle Country Ledgestone



Black Rundle Country Ledgestone (CSV-391272)  
1/2" Mortar Joints



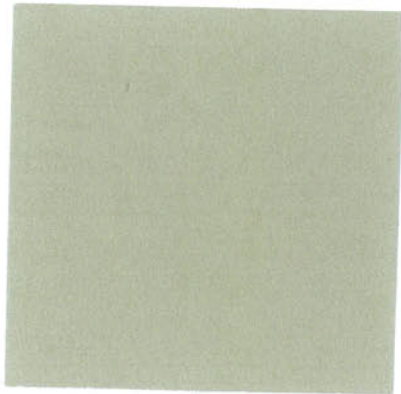
Black Rundle Country Ledgestone (CSV-391272)  
Tight-Fitted Joints

**EXTERIOR PAINT COLORS**

**Burger King 2020 Image**

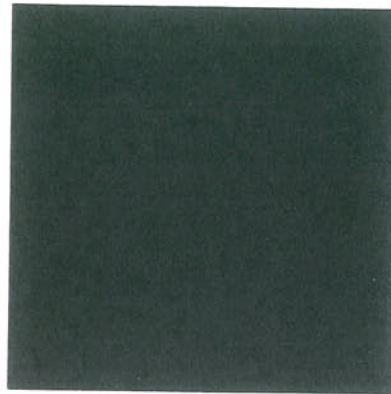
**Glidden Professional**

**EP-1**



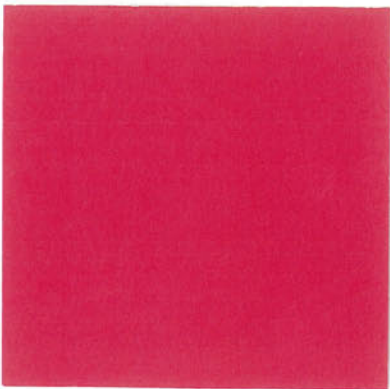
**Camel Tan**  
**20YY 41165**

**EP-2**



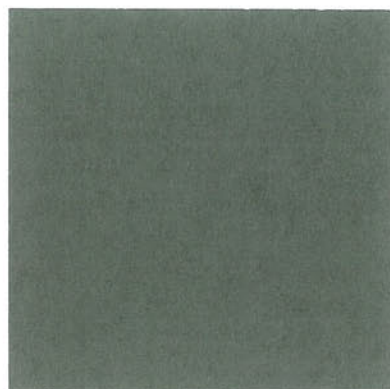
**Deep Onyx**  
**00NN 07/000**

**EP-3**



**Amazing**  
**04YR 11/537**

**EP-4**



**Monterey Cliffs**  
**10YY 14080**

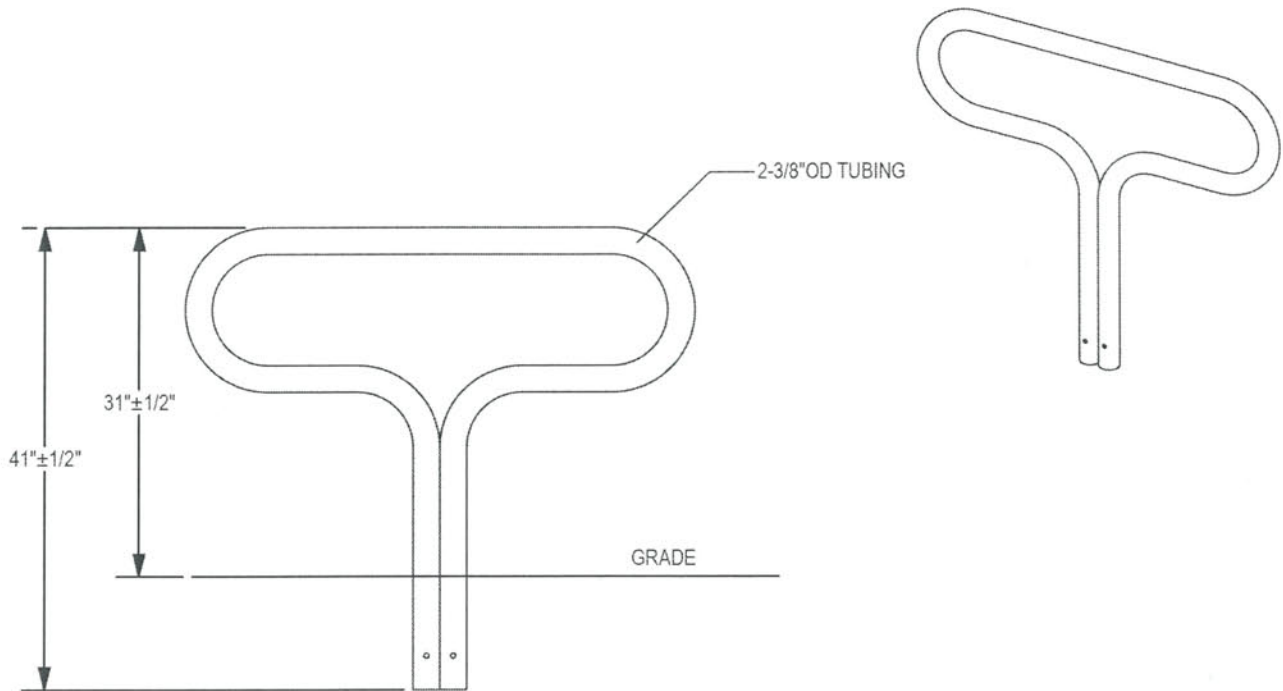


|   |  |  |  |
|---|--|--|--|
|  STONE WHITE       |  BONE WHITE       |  ALMOND               |  SANDSTONE  |
|  SLATE GRAY        |  CITYSCAPE        |  CHARCOAL GRAY        |  SIERRA TAN   |
|  MEDIUM BRONZE     |  DARK BRONZE      |  EXTRA DARK BRONZE    |  MATTE BLACK  |
|  BRANDYWINE       |  COLONIAL RED    |  TERRA COTTA         |  MANSARD BROWN   |
|  REGAL RED       |  AWARD BLUE     |  SKY BLUE           |  ELECTRIC BLUE  |
|  REGAL BLUE      |  TEAL           |  PATINA GREEN       |  DARK IVY   |
|  SHERWOOD GREEN  |  HARTFORD GREEN |  HEMLOCK GREEN      |  TROPICAL PATINA  |
|  SILVER METALLIC |  CLASSIC COPPER |  CHAMPAGNE METALLIC |  CRRC<br>LOW CARBON<br>RATING FOR STEEL<br>CHARTER MEMBER |
|   |  |  |  ENERGY STAR  |



MADRAX DIVISION

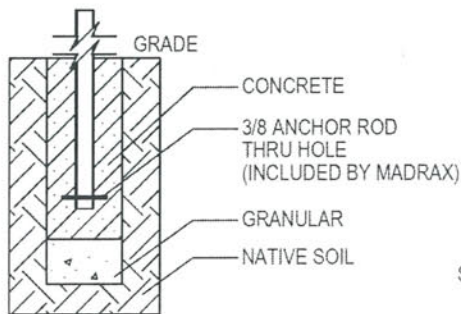
TRILARY, INC.  
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WAUNAKEE, WI 53597  
P(800) 448-7931, P(608) 849-1080, F(608) 849-1081  
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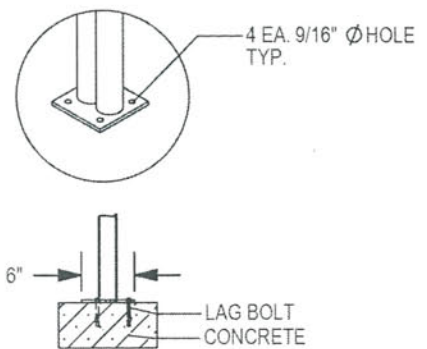
ELEVATION VIEW

1 HOOP - 2 BIKE CAPACITY

CHECK DESIRED MOUNT ☐



☐ IN GROUND MOUNT (IG)



☐ SURFACE FLANGE MOUNT (SF)

PRODUCT: KY2-IG(SF)  
DESCRIPTION: KEYRAC II BIKE RACK  
2 BIKE, SURFACE OR IN GROUND MOUNT  
DATE: 8-5-02  
ENG: TLG

PROTECTED BY U.S. PATENT D408,764

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SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

- NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
  2. CONSULTANT TO SELECT COLOR(FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
  3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

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10

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St. Louis • Louisville • Indianapolis • Columbus  
Channahon • Westerville • Knoxville • Tunica  
Miami • Tampa • Daytona Beach • Winter Park

3.3.1 RETAINER SIZE CHANGE &amp; SPACE BETWEEN VINYL &amp; RETAINER ADJUSTED JCR 1.5-10

Account Rep: **FIONA PAUL**  
Project Manager: **KATE SCHROEDER**  
Drawn By: **JOHN C. ROBERGE**

Project / Location:

Burger King  
various

Case Number: BK1060CS.20

12-16-09

1 2 3

Sheet Number: 1 Of 2

BK1060CS-20

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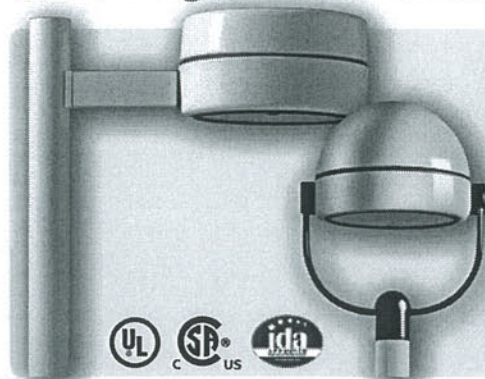


## TYPE SP-1 Magnudisc™ II Small

- Spun aluminum two-piece, flat or dome style which totally encloses electrical and optical assemblies; Rigid design with galvanized steel Powr-Pan®; The DS Series offers flat and dome shapes available in a minimum of .10 wall acrylic top; Allows visibility of fixture shape at night and maintains aesthetics after dark
- Stainless steel lens band with black oxide finish
- Flat glass provides sharp IESNA full cut-off to reduce light trespass; Multi-piece segmented reflector systems for excellent performance; Tool-free rotatable optics
- Units are available in arm, ceiling, vertical spoke (post top), single and double horizontal spoke and wall mount: The arm is extruded

aluminum; Spoke mount assemblies allow luminaire to be tilted in the field

- HPF Quad-Tap® or Tri-Tap®; All components mounted on galvanized Powr-Pant® which easily installs without tools; Fusing and photocontrol options available; For 50HZ ballasts, consult factory
- Durable Lektrocote® TGIC thermoset polyester powder paint with a textured finish assures long life and maintenance-free service
- Listed to UL1598 for use in wet locations, Ceiling mount is damp listed
- IESNA full cut-off classification when configured with flat lens
- IDA fixture seal of approval



ROUND LUMINAIRES

## ORDERING INFORMATION

| DS - S -  |                           | 150P -                                    | 2 -   | W -  | F8 -                            | 2 -  |  |  |
|---|---------------------------|---|---|--|---------------------------------|--|--|--|
| SERIES  |                           | WATTAGE/SOURCE                            | CONSTRUCTION                                | OPTICS                                     | COLOR                           | OPTIONS  |  |  |
| DS  | Magnudisc Small (70-175w) | PULSE START METAL HALIDE                  | 1 Solid top                                 | I Type I (horiz.) segmented                | 1 Dark Bronze                   | F(X) Fusing (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 5-480, 6-347)<br>PC(X) Photo Button (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 6-347)<br>L Lamp |  |  |
|   | STYLE                     | 070P 70w (ED-17)                          | 2 Luminous glow Top (V optic not available) | P <sup>1</sup> Type III (horiz.) segmented | 2 Black                         |  |  |  |
|   |                           | 100P 100w (ED-17)                         |   | T Type IV (horiz.) segmented               | 4 White                         |  |  |  |
|   |                           | 150P 150w (ED-17)                         |   | W Type V (horiz.) segmented                | 3 Gray                          |  |  |  |
|   |                           | HIGH PRESSURE SODIUM                      |   | V Type V (vertical) segmented              | P Platinum Silver               |  |  |  |
|   |                           | 000S No ballast                           |   |  | R Red (premium color)           |  |  |  |
|   |                           | 070S 70w (ED-17)                          |   |  | 7 Forest Green (premium color)  |  |  |  |
|   |                           | 100S 100w (ED-17)                         |   |  |                                 |  |  |  |
|   |                           | 150S 150w (ED-17)                         |   |  |                                 |  |  |  |
| MOUNT   |                           | VOLTAGE                                   | SPOKE COLOR (req'd for spoke mount only)    |  | MOUNTING ARM (order separately) |  |  |  |
| A <sup>4</sup> Arm mount (arm not included, order separately) |                           | 8 <sup>2</sup> Quad-Tap* 120/208/240/277V | DB Dark Bronze                              |  | MAS-4-X                         | 4" rigid arm for flat surfaces (0.12 ft <sup>2</sup> EPA)  |  |  |
| C Ceiling   |                           | 5 <sup>3</sup> 480V                       | BL Black                                    |  | MAS-10-X                        | 10" rigid arm for flat surfaces (0.31 ft <sup>2</sup> EPA)   |  |  |
| D <sup>5</sup> Spoke - vertical                               |                           | 6 <sup>2</sup> Tri-Tap* 120/277/347V      | WH White                                    |  | RSD-44-X                        | Nominal 4" OD round pole adapter for MAS arms  |  |  |
| F <sup>5</sup> Spoke - horizontal (single)                    |                           | E <sup>6</sup> 220/240V, 50Hz             | GR Gray                                     |  | RSD-55-X                        | Nominal 5" OD round pole adapter for MAS arms  |  |  |
| G <sup>5</sup> Spoke - horizontal (double - 180°)             |                           | O No ballast                              | PS Platinum Silver                          |  | DSP-WP-X                        | Wall plate for flush or arm mounting fixtures  |  |  |
| K Spoke - wall  |                           |   | RD Red (premium color)                      |  |                                 |  |  |  |
|   |                           |   | FG Forest Green (premium color)             |  |                                 |  |  |  |

1 Field adjustable to Type II

2 Factory wired for highest voltage unless specified

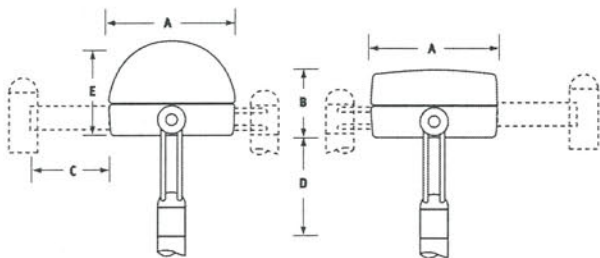
3 Not available in 70w and 100w PSMH

4 DS arm mount - use #4 drill pattern when ordering poles

5 DS spoke mount requires .226 or .220 wall thickness on round four inch open top pole; see specialty pole page

6 Not available in 70 and 100w

Note: Replace X with color selection, 1-Dark Bronze, 2-Black, 3-Gray, 4-White, P-Platinum Silver, R-Red, 7-Forest Green



|          | A      | B      | C            | D      | E      | EPA                 | Weight  |
|----------|--------|--------|--------------|--------|--------|---------------------|---------|
| DS Spoke | 18"    | 9 5/8" | 10" 1/4"     | 15"    | 13.5"  | 1.1 ft <sup>2</sup> | 34 lbs. |
|          | 457 mm | 244 mm | 254 / 102 mm | 381 mm | 343 mm | 0.1 m <sup>2</sup>  | 15.4 kg |

Note: Arm mounting also available

Note: DSF arm mount EPA = 1.1 ft<sup>2</sup> (luminaire only)

DSS arm mount EPA = 1.0 ft<sup>2</sup> (luminaire only)

See Spaulding EPA Value pgs. 622-623 for more detailed information.



## RSS-14-40-3-XX-BL (TYPE SP-1)

## Round Straight Steel

- Round straight steel shaft
- One-piece construction
- Side, tenon, or pad mounting available (Group 1: OT and TA selections only)

- Ground lug standard
- Galvanized anchor bolts and template included (4-bolt design) (Group 1: non-galvanized anchor bolts)
- Base cover standard (square)

- Gasketed hand hole cover standard (3"x5") (Group 2 only)
- Lektrocote® finish standard
- Optional round base cover (Group 2 only)

### ORDERING INFORMATION

| Catalog Number    | Pole Ht. |      | Nominal Shaft Dim. | Wind Load Rating <sup>1</sup> |        |        |         | Wall Thick. | Bolt Circle (Sug.) | Bolt Circle | Bolt Sq.   | Base Plate (sq.) | Anchor Bolt Size | Bolt Prj. | Pole Wt (lbs) |
|-------------------|----------|------|--------------------|-------------------------------|--------|--------|---------|-------------|--------------------|-------------|------------|------------------|------------------|-----------|---------------|
|                   | ft       | m    |                    | 70 MPH                        | 80 MPH | 90 MPH | 100 MPH |             |                    |             |            |                  |                  |           |               |
| Group 1           |          |      |                    |                               |        |        |         |             |                    |             |            |                  |                  |           |               |
| RSS-08-30-1-XX-XX | 8        | 2.44 | 3"                 | 15.0                          | 11.6   | 9.0    | 7.2     | .119"       | -                  | 8"          | 5.7"       | 8.50 x 0.50"     | 1/2 x 15 x 3"    | 3.12"     | 45            |
| Group 2           |          |      |                    |                               |        |        |         |             |                    |             |            |                  |                  |           |               |
| RSS-10-40-3-XX-XX | 10       | 3.05 | 4"                 | 25.0                          | 23.8   | 18.6   | 15.0    | .226"       | 8"                 | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 116           |
| RSS-10-45-1-XX-XX | 10       | 3.05 | 4.5"               | 25.0                          | 22.0   | 17.2   | 14.2    | .119"       | 11"                | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 71            |
| RSS-10-50-7-XX-XX | 10       | 3.05 | 5"                 | 25.0                          | 25.0   | 25.0   | 25.0    | .179"       | 11"                | 8 - 11"     | 5.7 - 7.7" | 10.25 x 1"       | 3/4 x 30 x 3"    | 4"        | 110           |
| RSS-12-40-3-XX-XX | 12       | 3.66 | 4"                 | 25.0                          | 19.2   | 15.0   | 12.0    | .226"       | 8"                 | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 135           |
| RSS-12-45-1-XX-XX | 12       | 3.66 | 4.5"               | 23.4                          | 18.0   | 13.8   | 11.2    | .119"       | 11"                | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 84            |
| RSS-12-50-7-XX-XX | 12       | 3.66 | 5"                 | 25.0                          | 25.0   | 25.0   | 22.6    | .179"       | 11"                | 8 - 11"     | 5.7 - 7.7" | 10.25 x 1"       | 3/4 x 30 x 3"    | 4"        | 130           |
| RSS-14-40-3-XX-XX | 14       | 4.27 | 4"                 | 17.2                          | 12.8   | 10.0   | 7.8     | .226"       | 8"                 | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 153           |
| RSS-14-45-1-XX-XX | 14       | 4.27 | 4.5"               | 16.0                          | 12.0   | 9.2    | 7.4     | .119"       | 11"                | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 94            |
| RSS-14-50-7-XX-XX | 14       | 4.27 | 5"                 | 25.0                          | 23.4   | 18.8   | 15.0    | .179"       | 11"                | 8 - 11"     | 5.7 - 7.7" | 10.25 x 1"       | 3/4 x 30 x 3"    | 4"        | 150           |
| RSS-16-40-3-XX-XX | 16       | 4.88 | 4"                 | 13.8                          | 11.8   | 8.8    | 6.8     | .226"       | 8"                 | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 171           |
| RSS-16-45-1-XX-XX | 16       | 4.88 | 4.5"               | 14.4                          | 10.6   | 8.2    | 6.4     | .119"       | 11"                | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 105           |
| RSS-16-50-7-XX-XX | 16       | 4.88 | 5"                 | 25.0                          | 21.4   | 17.2   | 13.8    | .179"       | 11"                | 8 - 11"     | 5.7 - 7.7" | 10.25 x 1"       | 3/4 x 30 x 3"    | 4"        | 170           |
| RSS-18-40-3-XX-XX | 18       | 5.49 | 4"                 | 13.2                          | 9.6    | 7.2    | 5.4     | .226"       | 8"                 | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 189           |
| RSS-18-45-1-XX-XX | 18       | 5.49 | 4.5"               | 12.0                          | 8.6    | 6.2    | 5.2     | .119"       | 11"                | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 116           |
| RSS-18-50-7-XX-XX | 18       | 5.49 | 5"                 | 24.0                          | 18.2   | 14.4   | 11.6    | .179"       | 11"                | 8 - 11"     | 5.7 - 7.7" | 10.25 x 1"       | 3/4 x 30 x 3"    | 4"        | 190           |
| RSS-20-40-3-XX-XX | 20       | 6.10 | 4"                 | 11.0                          | 8.0    | 5.6    | 4.2     | .226"       | 8"                 | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 208           |
| RSS-20-45-1-XX-XX | 20       | 6.10 | 4.5"               | 10.0                          | 7.0    | 5.2    | 4.0     | .119"       | 11"                | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 127           |
| RSS-20-50-7-XX-XX | 20       | 6.10 | 5"                 | 20.8                          | 15.5   | 12.2   | 9.8     | .179"       | 11"                | 8 - 11"     | 5.7 - 7.7" | 10.25 x 1"       | 3/4 x 30 x 3"    | 4"        | 210           |
| RSS-20-60-3-XX-XX | 20       | 6.10 | 6"                 | 25.0                          | 25.0   | 25.0   | 21.0    | .259"       | 11"                | 9 - 11"     | 6.4 - 7.7" | 10.25 x 1"       | 3/4 x 30 x 3"    | 4"        | 322           |
| RSS-25-45-1-XX-XX | 25       | 7.62 | 4.5"               | 6.2                           | 3.8    | 2.4    | 1.6     | .119"       | 11"                | 7.5 - 11"   | 5.3 - 7.7" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"        | 171           |
| RSS-25-50-7-XX-XX | 25       | 7.62 | 5"                 | 14.7                          | 10.4   | 8.0    | 6.2     | .179"       | 11"                | 8 - 11"     | 5.7 - 7.7" | 10.25 x 1"       | 1 x 36 x 4"      | 4"        | 260           |
| RSS-25-60-3-XX-XX | 25       | 7.62 | 6"                 | 25.0                          | 24.4   | 19.0   | 15.4    | .259"       | 11"                | 9 - 11"     | 6.4 - 7.7" | 10.25 x 1"       | 1 x 36 x 4"      | 4"        | 399           |
| RSS-30-60-3-XX-XX | 30       | 9.14 | 6"                 | 21.6                          | 16.4   | 12.8   | 10.2    | .259"       | 11"                | 9 - 11"     | 6.4 - 7.7" | 10.25 x 1"       | 1 x 36 x 4"      | 4"        | 475           |

<sup>1</sup> Allowable EPA with 1.3 gust factor; To determine maximum pole loading weight, multiply allowable EPA by 30 lbs; Example: RSS-20-40-3 pole in 80 MPH zone = 240 lbs (8.0 x 30); Published allowable EPA values based upon calculations of Spaulding Lighting; Allowable EPA values for projects requiring AASHTO methodology are available upon request

Note: Factory supplied template must be used when setting anchor bolts; Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts

### ORDERING INFORMATION ORDERING EXAMPLE: RSS-10-45-1-A1-DB-Q55

Complete part number requires shaft above plus mounting type, finish, and appropriate options below.

| MOUNTING TYPE   |                         | MOUNTING TYPE (con't) |                                    | FINISH |                                | OPTIONS          |                                 | OPTIONS (con't)  |  |
|-----------------|-------------------------|-----------------------|------------------------------------|--------|--------------------------------|------------------|---------------------------------|------------------|--|
| AX <sup>1</sup> | Side - single           | TA                    | Tenon (2 3/8" OD)                  | DB     | Dark Bronze                    | Q55              | Internal coating (Hubbell Seal) | Q30 <sup>2</sup> | 2" coupling  |
| BX <sup>1</sup> | Side - double at 90°    | TB                    | Tenon (2 7/8" OD)                  | BL     | Black                          | Q18 <sup>2</sup> | 15A GFCI receptacle & cover     | Q32 <sup>2</sup> | Mid-pole luminaire bracket (12" long w/ 2 3/8" OD tenon) |
| CX <sup>1</sup> | Side - double at 180°   | CD                    | Concord luminaire                  | WH     | White                          | Q22 <sup>2</sup> | Extra hand hole                 | Q40              | Vibration damper   |
| DX <sup>1</sup> | Side - triple at 90°    | OT                    | Open top (for post-top luminaires) | GR     | Gray                           | Q26 <sup>2</sup> | 1/2" coupling                   | Q46              | Round Base Cover (Group 2 only)                          |
| EX <sup>1</sup> | Side - triple at 120°   |                       |                                    | PS     | Platinum                       | Q27 <sup>2</sup> | 3/4" coupling                   | LAB              | Less anchor bolts  |
| FX <sup>1</sup> | Side - quad at 90°      |                       |                                    | RD     | Red (premium color)            |                  |                                 |                  |  |
| P1              | Pad mount - spider type |                       |                                    | FG     | Forest Green (premium color)   |                  |                                 |                  |  |
| P2              | Pad mount - yoke type   |                       |                                    | CC     | Custom Color (consult factory) |                  |                                 |                  |  |
|                 |                         |                       |                                    | PR     | Primer only                    |                  |                                 |                  |  |

- DRILL PATTERNS: Replace X with the following numbers to indicate the appropriate arm/hole pattern: 1 = AL, DL, MY, NK, OD, OR, SF, WN (Note on 4" diameter poles use #2 arm/hole pattern for the preceding luminaires); 2 = CL1, CM1, CM2, CR1, MSV, RCS (Raven), RCL (Raven); 4 = DS, MSS; 6 = DM, 9 = Devine RA Series
- Specify option location using logic found in pole introduction pages; The location of all options must start a minimum of one foot above the hand hole and be located one foot apart from one another; Consult factory for any exceptions

**SPAULDING**  
LIGHTING



### TYPE SP-2 (TWO HEADS)



- 590



## Square Straight Steel SSS-25-50-3-CX-BL (TYPE SP-2, TWO HEAD)

- Square straight steel shaft
- One-piece construction
- Side, tenon, or pad mounting available
- Ground lug standard
- Galvanized anchor bolts and template included (4-bolt design)
- Base cover standard (Square)
- Gasketed hand hole cover standard (3"x5")
- Lektrocote® finish standard
- CSA certification available

### ORDERING INFORMATION

| Catalog Number    | Pole Ht. |      | Nominal Shaft Dim. | Wind Load Rating <sup>1</sup> |        |        |         |         | Wall Thick. | Bolt Circle (Sug.) | Bolt Circle | Bolt Sq.   | Base Plate (sq.) | Anchor Bolt Size | Bolt Proj. | Pole Wt (lbs) |
|-------------------|----------|------|--------------------|-------------------------------|--------|--------|---------|---------|-------------|--------------------|-------------|------------|------------------|------------------|------------|---------------|
|                   | ft       | m    |                    | 70 MPH                        | 80 MPH | 90 MPH | 100 MPH | 120 MPH |             |                    |             |            |                  |                  |            |               |
| SSS-10-40-1-XX-XX | 10       | 3.0  | 4"                 | 25                            | 25     | 22     | 17      | 11.8    | .119"       | 11"                | 8 - 11"     | 5.6 - 7.8" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"         | 91            |
| SSS-10-50-1-XX-XX | 10       | 3.0  | 5"                 | 25                            | 25     | 25     | 23      | 15      | .119"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 106           |
| SSS-12-40-1-XX-XX | 12       | 3.7  | 4"                 | 25                            | 21     | 16     | 13.0    | 8.8     | .119"       | 11"                | 8 - 11"     | 5.6 - 7.8" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"         | 104           |
| SSS-12-50-1-XX-XX | 12       | 3.7  | 5"                 | 25                            | 25     | 23     | 18      | 11.8    | .119"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 122           |
| SSS-14-40-1-XX-XX | 14       | 4.3  | 4"                 | 24                            | 18     | 14.2   | 11.0    | 6.8     | .119"       | 11"                | 8 - 11"     | 5.6 - 7.8" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"         | 116           |
| SSS-14-40-7-XX-XX | 14       | 4.3  | 4"                 | 25                            | 25     | 23     | 18      | 12.2    | .179"       | 11"                | 8 1/2 - 12" | 6 - 8.4"   | 11 x 1"          | 3/4 x 30 x 3"    | 4"         | 158           |
| SSS-14-50-1-XX-XX | 14       | 4.3  | 5"                 | 25                            | 24     | 19     | 14.4    | 9.0     | .119"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 138           |
| SSS-16-40-1-XX-XX | 16       | 4.9  | 4"                 | 16                            | 12.2   | 9.0    | 6.8     | 3.8     | .119"       | 11"                | 8 - 11"     | 5.6 - 7.8" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"         | 128           |
| SSS-16-40-7-XX-XX | 16       | 4.9  | 4"                 | 25                            | 20     | 15     | 12.2    | 7.6     | .179"       | 11"                | 8 1/2 - 12" | 6 - 8.4"   | 11 x 1"          | 3/4 x 30 x 3"    | 4"         | 176           |
| SSS-16-50-1-XX-XX | 16       | 4.9  | 5"                 | 22                            | 16     | 12.2   | 9.2     | 5.2     | .119"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 153           |
| SSS-16-50-7-XX-XX | 16       | 4.9  | 5"                 | 25                            | 25     | 24     | 19      | 12.4    | .179"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 214           |
| SSS-18-40-1-XX-XX | 18       | 5.5  | 4"                 | 13.8                          | 10.0   | 7.2    | 5.2     | 2.4     | .119"       | 11"                | 8 - 11"     | 5.6 - 7.8" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"         | 147           |
| SSS-18-40-7-XX-XX | 18       | 5.5  | 4"                 | 23                            | 17     | 13.0   | 10.0    | 6.0     | .179"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 11 x 1"          | 3/4 x 30 x 3"    | 4"         | 201           |
| SSS-18-50-1-XX-XX | 18       | 5.5  | 5"                 | 18                            | 13.2   | 9.6    | 7.0     | 3.4     | .119"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 175           |
| SSS-18-50-7-XX-XX | 18       | 5.5  | 5"                 | 25                            | 25     | 20     | 16      | 9.8     | .179"       | 11"                | 8 1/2 - 12" | 6 - 8.4"   | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 243           |
| SSS-20-40-1-XX-XX | 20       | 6.1  | 4"                 | 11.4                          | 8.0    | 5.6    | 3.8     | 1.4     | .119"       | 11"                | 8 - 11"     | 5.6 - 7.8" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"         | 160           |
| SSS-20-40-7-XX-XX | 20       | 6.1  | 4"                 | 19                            | 14.6   | 10.8   | 8.0     | 4.4     | .179"       | 11"                | 8 1/2 - 12" | 6 - 8.4"   | 11 x 1"          | 3/4 x 30 x 3"    | 4"         | 225           |
| SSS-20-50-1-XX-XX | 20       | 6.1  | 5"                 | 15                            | 10.8   | 7.6    | 5.2     | 2.0     | .119"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 191           |
| SSS-20-50-7-XX-XX | 20       | 6.1  | 5"                 | 25                            | 23     | 17     | 13.2    | 7.6     | .179"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 3/4 x 30 x 3"    | 4"         | 266           |
| SSS-20-60-7-XX-XX | 20       | 6.1  | 6"                 | 25                            | 25     | 24     | 18      | 11.2    | .179"       | 12"                | 11 - 13.5"  | 7.8 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 312           |
| SSS-25-40-1-XX-XX | 25       | 7.6  | 4"                 | 7.0                           | 4.2    | 2.2    | NR      | NR      | .119"       | 11"                | 8 - 11"     | 5.6 - 7.8" | 10.25 x 0.75"    | 3/4 x 30 x 3"    | 4"         | 190           |
| SSS-25-40-7-XX-XX | 25       | 7.6  | 4"                 | 13.4                          | 9.4    | 6.4    | 4.2     | 1.4     | .179"       | 11"                | 8.5 - 12"   | 6 - 8.4"   | 11 x 1"          | 3/4 x 30 x 3"    | 4"         | 266           |
| SSS-25-50-1-XX-XX | 25       | 7.6  | 5"                 | 9.6                           | 6.0    | 3.4    | 1.4     | NR      | .119"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 231           |
| SSS-25-50-7-XX-XX | 25       | 7.6  | 5"                 | 22                            | 15     | 11.2   | 7.8     | 3.4     | .179"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 324           |
| SSS-25-50-3-XX-XX | 25       | 7.6  | 5"                 | 25                            | 22     | 16     | 12.4    | 6.6     | .250"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 437           |
| SSS-25-60-7-XX-XX | 25       | 7.6  | 6"                 | 25                            | 22     | 16     | 11.6    | 5.6     | .179"       | 12"                | 11 - 13.5"  | 7.8 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 404           |
| SSS-27-40-7-XX-XX | 27       | 8.2  | 4"                 | 11.4                          | 7.8    | 5.0    | 3.0     | NR      | .179"       | 11"                | 8.5 - 12"   | 6 - 8.4"   | 11 x 1"          | 1 x 36 x 4"      | 4"         | 290           |
| SSS-30-40-7-XX-XX | 30       | 9.1  | 4"                 | 8.2                           | 5.0    | 2.8    | 1.2     | NR      | .179"       | 11"                | 8.5 - 12"   | 6 - 8.4"   | 11 x 1"          | 1 x 36 x 4"      | 4"         | 313           |
| SSS-30-50-7-XX-XX | 30       | 9.1  | 5"                 | 14.2                          | 9.4    | 6.0    | 3.4     | NR      | .179"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 398           |
| SSS-30-50-3-XX-XX | 30       | 9.1  | 5"                 | 20                            | 14.6   | 10.2   | 6.8     | 2.4     | .250"       | 11"                | 10 - 13.5"  | 7.1 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 537           |
| SSS-30-60-7-XX-XX | 30       | 9.1  | 6"                 | 20                            | 13.8   | 9.2    | 5.8     | 1.2     | .179"       | 12"                | 11 - 13.5"  | 7.8 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 467           |
| SSS-30-60-3-XX-XX | 30       | 9.1  | 6"                 | 25                            | 24     | 17     | 12.8    | 6.2     | .250"       | 12"                | 11 - 13.5"  | 7.8 - 9.5" | 12 x 1"          | 1.25 x 42 x 6"   | 4"         | 630           |
| SSS-35-60-7-XX-XX | 35       | 10.7 | 6"                 | 14.2                          | 8.4    | 4.6    | 1.6     | NR      | .179"       | 12"                | 11 - 13.5"  | 7.8 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 538           |
| SSS-35-60-3-XX-XX | 35       | 10.7 | 6"                 | 25                            | 17     | 11.6   | 7.4     | 1.8     | .250"       | 12"                | 11 - 13.5"  | 7.8 - 9.5" | 12 x 1"          | 1.25 x 42 x 6"   | 4"         | 726           |
| SSS-40-60-7-XX-XX | 40       | 12.2 | 6"                 | 9.0                           | 4.0    | NR     | NR      | NR      | .179"       | 12"                | 11 - 13.5"  | 7.8 - 9.5" | 12 x 1"          | 1 x 36 x 4"      | 4"         | 614           |
| SSS-40-60-3-XX-XX | 40       | 12.2 | 6"                 | 18                            | 11.8   | 6.8    | 3.2     | NR      | .250"       | 12"                | 11 - 13.5"  | 7.8 - 9.5" | 12 x 1"          | 1.25 x 42 x 6"   | 4"         | 802           |

<sup>1</sup> Allowable EPA with 1.3 gust factor; To determine max; pole loading weight, multiply allowable EPA by 10 lbs; Published allowable EPA values based upon calculations of Spaulding Lighting; Allowable EPA values for projects requiring AASHTO methodology are available upon request

Note: Factory supplied template must be used when setting anchor bolts; Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts

### ORDERING INFORMATION ORDERING EXAMPLE: SSS-25-40-1-TA-DB-Q55

Complete part number requires shaft above plus mounting type, finish, and appropriate options below.

CX

BL

| MOUNTING TYPE                         | MOUNTING TYPE (con't)                          | FINISH                            | OPTIONS                                      | OPTIONS (con't)   |
|---------------------------------------|--|-----------------------------------|--|---|
| AX <sup>1</sup> Side - single         | TA Tenon (2 3/8" OD)                           | DB Dark Bronze                    | Q55 Internal coating (Hubbell Seal)          | Q30 <sup>3</sup> 2" coupling  |
| BX <sup>1</sup> Side - double at 90°  | TB Tenon (2 7/8" OD)                           | BL Black                          | Q18 <sup>3</sup> 15A GFCI receptacle & cover | Q32 <sup>3</sup> Mid-pole luminaire bracket (12" long w/ 2 3/8" OD tenon) |
| CX <sup>1</sup> Side - double at 180° | TR <sup>2</sup> Removable tenon (2.375"x4.25") | WH White                          | Q22 <sup>3</sup> Extra hand hole             | Q40 Vibration damper  |
| DX <sup>1</sup> Side - triple at 90°  | CD Concord luminaire                           | GR Gray                           | Q26 <sup>3</sup> 1/2" coupling               | LAB Less anchor bolts   |
| FX <sup>1</sup> Side - quad at 90°    | OT No drilling (includes pole cap)             | PS Platinum                       | Q27 <sup>3</sup> 3/4" coupling               | CSA CSA certified (consult factory)                                       |
| P1 Pad mount - spider type            |  | RD Red (premium color)            |  |   |
| P2 Pad mount - yoke type              |  | FG Forest Green (premium color)   |  |   |
|                                       |  | CC Custom color (consult factory) |  |   |
|                                       |  | PR Primer only                    |  |   |

<sup>1</sup> DRILL PATTERNS: Replace X with the following numbers to indicate the appropriate arm/hole pattern: 1 = AL, DL, DT2, MY, NK, OD, OR, SF, WN; 2 = CL1, CM1, CM2, CR1, MSV, RCS, RCL; 4 = DS, MSS; 5 = DT3; 6 = DM  
<sup>2</sup> Removable tenon used in conjunction with side arm mounting; First specify desired arm configuration followed by the "TR" notation. Example: SSS-25-40-7-C6-TR-DB  
<sup>3</sup> Specify option location using logic found in pole introduction pages; The location of all options must start a minimum of one foot above the hand hole and be located one foot apart from one another; Consult factory for any exceptions

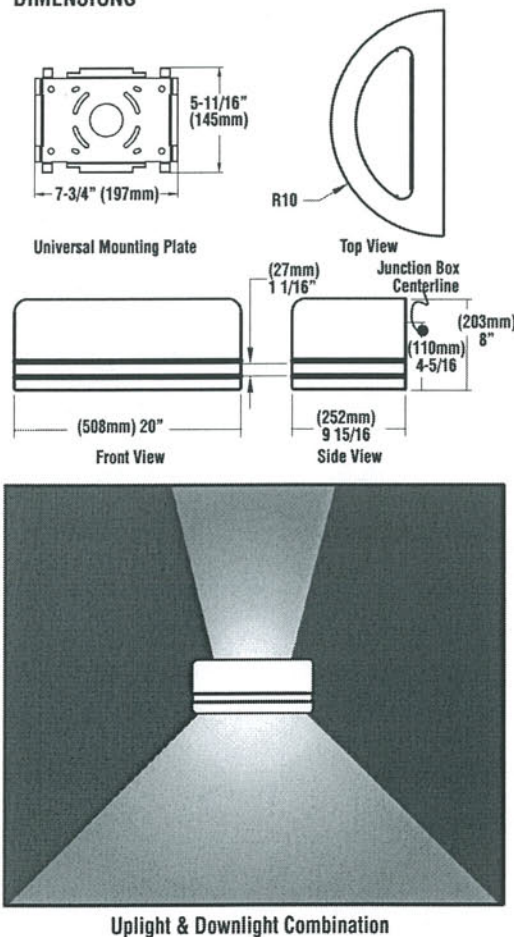


# TYPE P6 (CANOPY)

## HILTON® WALL SCONCE (Various reflectors are protected by U.S. Patent No. 6,464,378.)



### DIMENSIONS



Uplight & Downlight Combination

### SHIPPING WEIGHTS - Hilton Wall Sconce

| Catalog Number | Est. Weight (kg./lbs.) | Length (mm/in.) | Width (mm/in.) | Height (mm/in.) |
|----------------|------------------------|-----------------|----------------|-----------------|
| HIWSD - HID    | 11 / 24                | 616 / 24.25     | 394 / 15.5     | 343 / 13        |
| HIWSD - CFL    | 8 / 17                 | 616 / 24.25     | 394 / 15.5     | 343 / 13        |
| HIWSU - HID    | 10 / 22                | 616 / 24.25     | 394 / 15.5     | 343 / 13        |
| HIWS - HID     | 11 / 24                | 616 / 24.25     | 394 / 15.5     | 343 / 13        |
| HIWS - CFL     | 8 / 17                 | 616 / 24.25     | 394 / 15.5     | 343 / 13        |



Downlight used in uplight position is listed for damp locations. (covered locations only)



**HOUSING** – The one-piece die-formed aluminum half-cylindrical housing is designed for downlight only, uplight only, and combination uplight/downlight applications. All mounting hardware is stainless steel or electro-zinc plated steel.

**WALL MOUNT** – A galvanized-steel universal wall mounting plate easily mounts directly to a 4" octagonal or square junction box. An EPDM gasket is supplied to be installed between the mounting plate and junction box, sealing the junction box from entrance of water. The galvanized-steel universal plate allows the fixture to securely attach to the mounting plate using a unique clamping design which is locked into place with two hex-head screws. The universal plate permits the fixture to be mounted in the uplighting or downlighting position. Downlight fixture used in uplight position is listed for damp (covered) locations.

**DOOR FRAME** – The aluminum pan style door frame mounts to the housing using two stainless steel, recessed and captive fasteners for easy access into the fixture. A one-piece extruded silicone gasket seals the door frame against the housing. The door swings open and is held in place by a wire retainer.

**LENS/GASKET** – A flat clear tempered glass downlight lens is sealed to the door with a one-piece EPDM gasket. The uplight lens utilizes a diffused tempered glass lens secured with multiple lens clips and a one-piece extruded silicone gasket. An optional polycarbonate downlight lens is available on most Compact Fluorescent fixtures.

**BALLASTS/ELECTRICAL COMPONENTS** – Electrical components are factory-mounted in housing and prewired with voltage specific leads which extend from the back of the unit through a rubber grommet. This grommet prevents the entry of insects, dust, and moisture into the fixture. The need to open the fixture to make wiring connections is eliminated, thus making installation quick and easy. UL listed HID components with high-power factor ballasts rated for -20° F starting. Compact Fluorescent ballasts are Electronic Universal Voltage (120-277V, 50/60Hz) or 347V (60Hz), 0° F starting. Compact Fluorescent fixtures with UE (Universal Electronic) voltage are available with an optional dimming ballast for multiple types of controls such as building lighting controls and occupancy sensors. Battery back-up is available for 120 or 277 voltage only. Available battery back-up of BB (32° starting temperature) and CWBB (0° starting temperature) are voltage specific for U.S. applications for 26 watt through 42 watt lamps. Consult factory for available wattages and voltages for use in Canada.

**SOCKETS** – HID lamp holders are glazed porcelain, medium base for wattages up to 150 watts and mogul base for 175 watt and 250 watt – both are 4KV pulse rated. The Compact Fluorescent fixtures feature a one-piece thermoplastic socket.

**LIGHT SOURCES** – The fixture is designed to operate with horizontal Pulse-Start Metal Halide, Ceramic Metal Halide, Metal Halide, High Pressure Sodium and single or double Compact Fluorescent lamps. Lamps supplied as standard – HID (clear, shipped installed) and Compact Fluorescent (coated, 4100K).

**EMERGENCY OPERATION** – A variety of integral emergency options are available to comply with Life Safety Codes which require emergency lighting along the path of egress on the building's exterior, so building occupants can exit safely. Integral Emergency Battery Back-up options are available on Compact Fluorescent units. Emergency Quartz options are offered on HID units. Options for one or two 12 volt separate circuit(s), for use with up to 35 watt Halogen lamp(s) are available on both Compact Fluorescent and HID units.

### REFLECTORS/DISTRIBUTION PATTERNS –

Multiple reflector systems are available to deliver a narrow, wide or wall wash pattern.

Downlight – Forward Throw (FTM, FT), Wall Wash (WW) and Type III (3) reflectors.

Uplight – Wall Wash (WW).

Up & Downlight Combination – Forward Throw with 10° uplight (FTM 10, FT10), Type III with 10° uplight (310), Forward Throw with narrow uplight (FTN), Forward Throw with wide uplight (FTW), and Type III with wide uplight (3W).

**FINISHES** – Each fixture is finished with LSI's DuraGrip® polyester powder finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling and is guaranteed for five full years. Standard colors include bronze, black, platinum plus, white, satin verde green, metallic silver, and graphite.

**DECAL STRIPING** – LSI offers optional color-coordinated decals in 9 standard colors to accent the fixture. Decals are guaranteed for 5 years against peeling, cracking or fading.

**PHOTOMETRICS** – Please visit our web site at [www.lsi-industries.com](http://www.lsi-industries.com) for detailed photometric data.



Project Name BK1764 MADISON, WI

Fixture Type P6

12/06/11

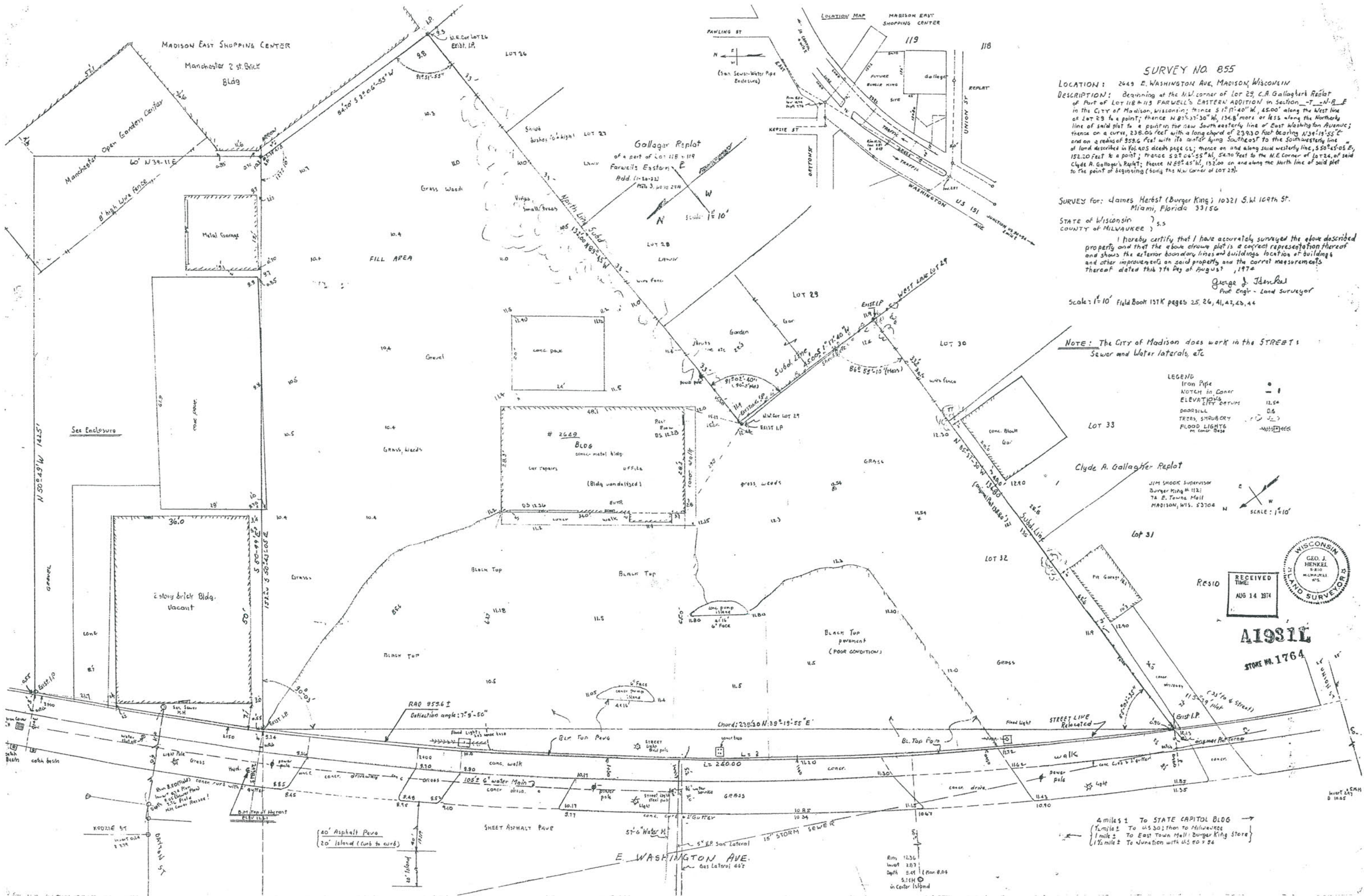
Catalog # HIWSD-FT-150-CMH-F-120-MSV

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LSI INDUSTRIES INC.







**SURVEY NO. 855**

**LOCATION:** 2449 E. WASHINGTON AVE. MADISON, WISCONSIN  
**DESCRIPTION:** Beginning at the N.W. corner of Lot 29, C.A. Gallagher's Replot of Part of Lot 118 & 119 FARWELL'S EASTERN ADDITION in Section -T-N-R-E in the City of Madison, Wisconsin; thence S 17° 11' 40" W, 45.00' along the West line of Lot 29 to a point; thence N 81° 37' 30" W, 134.8' more or less along the Northern line of said plot to a point in the new South easterly line of East Washington Avenue; thence on a curve, 238.05 feet with a long chord of 239.30 feet bearing N 34° 19' 55" E and on a radius of 358.6 feet with its center lying Southeast to the Southwesterly line of land described in Vol. 405 deeds page 61; thence on and along said westerly line, S 50° 45' 05" E, 152.20 feet to a point; thence S 25° 06' 55" W, 54.70 feet to the N.E. corner of Lot 26, of said Clyde A. Gallagher's Replot; thence N 89° 45' 41", 152.00' on and along the North line of said plot to the point of beginning (being the N.W. corner of Lot 29).

**SURVEY FOR:** James Herbst (Burger King) 10321 S.W. 109th St.  
Miami, Florida 33156

**STATE OF Wisconsin**  
**COUNTY OF MILWAUKEE**

I hereby certify that I have accurately surveyed the above described property and that the above drawn plot is a correct representation thereof and shows the exterior boundary lines and buildings location of buildings and other improvements on said property and the correct measurements thereof dated this 7th Day of August, 1974

George J. Henkel  
Prof. Engr. - Land Surveyor

Scale: 1" = 10' Field Book 13TK pages 25, 26, 41, 42, 43, 44

**NOTE:** The City of Madison does work in the STREETS  
Sewer and Water laterals, etc

- LEGEND**
- Iron Pipe
  - NOTCH in Corner
  - ELEVATIONS
  - DOORSILL
  - TREES, SHRUBS
  - FLOOD LIGHTS
- 12.54  
0.6  
12.54  
on corner base

JIM SHOOK Supervisor  
Burger King # 112  
74 E. Towne Mall  
MADISON, WIS. 53704

RESID  
RECEIVED  
AUG 14 1974



**A1931E**

STORE NO. 1764

4 miles ± To STATE CAPITAL BLDG  
1 mile ± To US 50; then to Milwaukee  
1 mile ± To East Town Mall; Burger King Store  
1 1/2 mile ± To Junction with US 9 & 94

Rim 12.36  
Invert 2.87  
Depth 9.49 (Plan 8.04)  
5.14' in Center Island



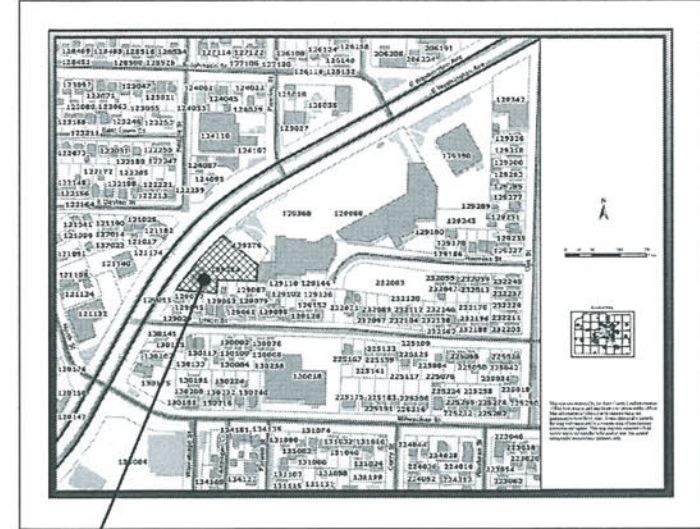


# BURGER KING

2020 IMAGE REMODEL FOR  
STORE NO. BK1764

2655 EAST WASHINGTON  
MADISON, WI

BURGER KING SITE  
2655 EAST WASHINGTON AVENUE



VICINITY MAP



ARCHITECTURE  
PLANNING

227 HISTORIC W. 11th ST.  
PO BOX 1006  
ANDERSON, IN 46016

TEL: 765/649-2258  
FAX: 765/649-2337  
info@daussarchitects.com

SCOPE OF DRAWINGS

These drawings are the property of the Architect and are not to be used for any other project without the written consent of the Architect. The drawings are prepared for the use of the Contractor and are not to be used for any other purpose without the written consent of the Architect.

COPYRIGHT

DAUSS ARCHITECTS

DRAWN CHECK

DATE

ISSUED FOR REVIEW

NOVEMBER 19, 2012

ISSUED FOR UDC REVIEW

MARCH 15, 2013

## ABBREVIATIONS

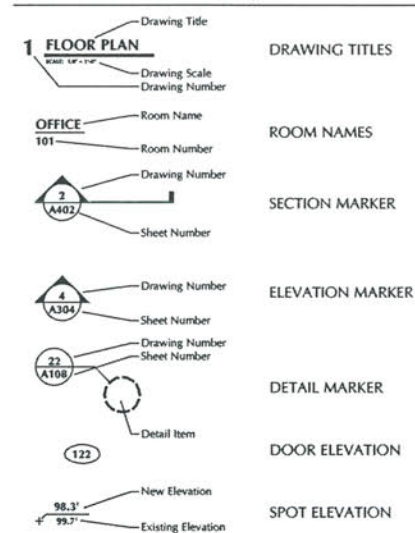
|        |                                     |          |                                   |          |   |         |                        |         |                                 |
|--------|-------------------------------------|----------|-----------------------------------|----------|---|---------|------------------------|---------|---------------------------------|
| A.B.   | Anchor Bolt                         | E.I.F.S. | Exterior Insulating Finish System | HOR.     | Horizontal                                | O.D.    | Outside Dimension      | S.T.C.  | Sound-Transmission Class        |
| A.C.   | Air Conditioning                    | E.L.     | Expansion Joint                   | HR.      | Hour                                      | O.F.D.  | Overflow Drain         | STD.    | Standard                        |
| A.F.F. | Above Finish Floor                  | ELEC.    | Electrical                        | HTR.     | Heater                                    | OPNG.   | Opening                | STL.    | Steel                           |
| ALT.   | Alternate                           | ELEV.    | Elevation                         | H.V.A.C. | Heating, Ventilation and Air Conditioning | OPP.    | Opposite               | STC.    | Storage                         |
| ALUM.  | Aluminum                            | EQ.      | Equal                             | H.W.     | Hot Water                                 | O.S.B.  | Oriented Strand Board  | STRUC.  | Structure or Structural         |
| APX.   | Approximate                         | EQUIP.   | Equipment                         | H.W.R.   | Hot Water Return                          | OZ.     | Ounce                  | SUBFL.  | Subfloor                        |
| ARCH.  | Architect/Architectural             | EMERG.   | Emergency                         | I.D.     | Inside Dimension                          | PART.   | Partition              | SUP.    | Supplier                        |
| A.T.   | Acoustical Tile                     | E.T.R.   | Existing To Remain                | I.E.     | Invert Elevation                          | PLAS.   | Plaster                | SURF.   | Surface                         |
| B/     | Bottom of                           | E.W.     | Each Way                          | IN.      | Inch                                      | PLYWD.  | Plywood                | SUSP.   | Suspended                       |
| B.D.   | Balancing Damper                    | E.W.C.   | Electric Water Cooler             | INFO.    | Information                               | P.N.L.  | Panel                  | SW.     | Switch                          |
| B.F.F. | Below Finish Floor                  | E.W.F.   | Exterior Wall                     | INST.    | Instruction or Installation               | PL.     | Plate                  | SYS.    | System                          |
| B.I.   | Batt Insulation                     | EXC.     | Excavate                          | INT.     | Interior                                  | PLAS.   | Plaster                | T.      | Thickness or Tread              |
| BLDG.  | Building                            | EXH.     | Exhaust                           | INSUL.   | Insulation                                | PR.     | Pair                   | T/      | Top of                          |
| BLKG.  | Blocking                            | EXP.     | Expansion                         | INT.     | Interior                                  | PREFAB. | Prefabricated          | T.A.    | Top of Accessory                |
| BM.    | Bench Mark                          | EXT.     | Exterior                          | J.B.     | Junction Box                              | P.S.F.  | Pounds per Square Foot | T.B.    | Top of Beam                     |
| B.M.   | Bench Mark                          | EXT.     | Exterior                          | JT.      | Joint                                     | P.S.I.  | Pounds per Square Inch | T.C.    | Top of Concrete/Curb            |
| BOT.   | Bottom                              | F/       | Face of                           | K.D.     | Knock-Down                                | P.T.    | Pneumatic Tube         | TEL     | Telephone                       |
| BRG.   | Bearing                             | F.A.     | Fresh Air                         | K.E.C.   | Kitchen Equipment Contractor              | P.T.D.  | Paper Tower Dispenser  | TEMP.   | Temperature                     |
| BTWN.  | Between                             | FAB.     | Fabricate                         | L        | Angle                                     | P.V.C.  | Polyvinyl Chloride     | T.F.    | Top of Footing                  |
| B.T.U. | British Thermal Unit                | F.B.     | Face of Brick                     | L.A.M.   | Laminate or Laminated                     | P.V.C.  | Polyvinyl Chloride     | T.G.    | Tongue and Groove               |
| C.     | Channel                             | F.C.     | Face of Concrete                  | L.A.V.   | Lavatory                                  | P.V.C.  | Polyvinyl Chloride     | THRESH. | Threshold                       |
| C.B.   | Catch Basin                         | F.D.     | Floor Drain or Fire Damper        | L.C.     | Locker                                    | Q.T.    | Quarry Tile            | TS      | Tube Steel                      |
| C.C.T. | Cubic Feet Per Minute               | F.E.     | Fire Extinguisher                 | L.L.     | Live Load                                 | R.      | Radius or River        | T.V.    | Typical                         |
| C.F.M. | Cubic Feet Per Minute               | F.E.C.   | Fire Extinguisher Cabinet         | L.L.D.   | Long Leg Down                             | R.A.    | Return Air             | U.B.C.  | Uniform Building Code           |
| C.G.   | Cast Iron                           | F.F.     | Face of Finish                    | L.L.U.   | Long Leg Up                               | R.B.    | Resilient Base         | UC.     | Undercounter                    |
| C.I.   | Circuit                             | F.G.     | Fiber Glass                       | L.L.U.   | Long Leg Up                               | R.D.    | Roof Drain             | U.L.    | Underwriters Laboratories, Inc. |
| C.J.   | Control Joint or Construction Joint | FIN.     | Finish                            | L.L.U.   | Long Leg Up                               | REBAR.  | Reinforcing Bar        | U.M.C.  | Uniform Mechanical Code         |
| C.L.   | Center Line                         | FL.      | Fixture                           | L.L.U.   | Long Leg Up                               | RECEPT. | Receptacle             | UNFIN.  | Unfinished                      |
| C.L.R. | Clear                               | FLR.     | Floor                             | L.T.     | Light                                     | REF.    | Reference              | UNF.    | Unless Noted Otherwise          |
| C.L.G. | Ceiling                             | FLRG.    | Flooring                          | L.T.G.   | Lighting                                  | RFRG.   | Refrigerator           | U.N.O.  | Utility Pole                    |
| C.M.U. | Concrete Masonry Unit               | FLUOR.   | Fluorescent                       | M        | Miscellaneous Steel                       | RELOC.  | Relocate               | U.P.    | Uniform Plumbing Code           |
| C.O.   | Clean Out                           | FM       | Face of Masonry                   | M.A.S.   | Masonry                                   | REQD.   | Required               | U.P.C.  | Uniform Plumbing Code           |
| COL.   | Column                              | F.O.I.C. | Furnished by Owner                | MAT.     | Material                                  | REV.    | Revision               | UT.     | Utility                         |
| COMP.  | Composition                         | FP.      | Face of Stud                      | M.C.     | Mechanical Contractor                     | R.F.    | Resilient Flooring     | U.V.    | Unit Ventilator or Ultraviolet  |
| CONC.  | Concrete                            | F.S.     | Foot or Feet                      | M.C.     | Mechanical Contractor                     | R.I.    | Rigid Insulation       | V.      | Volt                            |
| CONST. | Construction                        | FTG.     | Footings                          | MC       | Miscellaneous Steel                       | R.M.    | Room                   | VERT.   | Vertical                        |
| CONTR. | Contractor                          | F.T.C.   | Furnished by Tenant               | MECH.    | Mechanical                                | R.O.    | Rough Opening          | V.T.R.  | Vent Thru Roof                  |
| CPT.   | Carpet                              | F.T.I.C. | Furnished by Contractor           | MEMB.    | Membrane                                  | R.S.    | Rough Sawn             | V.W.C.  | Vinyl Wall Covering             |
| C.T.   | Ceramic Tile or Curtain Track       | F.T.I.V. | Furnished by Vendor               | MEZZ.    | Mezzanine                                 | R.T.    | Resilient Tile         | W.      | West, Width, Waste or Watt      |
| CTR.   | Center                              | GA.      | Gage or Gauge                     | M.F.R.   | Manufacturer                              | RUB.    | Rubber                 | W/      | Widened Steel                   |
| CU.    | Cubic                               | G.C.     | General Contractor                | M.H.     | Manhole                                   | S       | South                  | W/W.    | Wainscot                        |
| C.W.   | Cold Water                          | G.C.     | General Contractor                | M.I.     | Miscellaneous                             | SAN.    | Sanitary               | W.C.    | Water Closet                    |
| D.     | Depth                               | G.C.     | General Contractor                | M.O.     | Masonry Opening                           | SCH.    | Schedule               | W.D.    | Window Dimension                |
| db.    | Decibel                             | GEN.     | General                           | MTD.     | Mounted                                   | S.C.S.  | Suspended Ceiling      | WDW.    | Window                          |
| DBL.   | Double                              | G.F.I.   | Ground-Fault Interrupter          | MUL.     | Mullion                                   | S.E.C.  | Structural Facing Tile | W.G.    | Wire Gauge                      |
| DET.   | Detail                              | G.L.     | Glass                             | N.       | North                                     | S.F.T.  | Shower                 | W.H.    | Water Heater                    |
| D.F.   | Drinking Fountain                   | G.L.     | Glass                             | N.A.     | Not Applicable                            | SHT.    | Sheet                  | W.M.    | Wire Mesh                       |
| DIA.   | Diameter                            | G.L.A.M. | Ground Laminated Wood             | N.E.C.   | National Electrical Code                  | SHTG.   | Sheet Gypsum           | W.O.    | Without                         |
| DM.    | Dimension                           | G.P.H.   | Gallons Per Hour                  | NEC.     | National Electrical Code                  | SIM.    | Similar                | W.S.    | Weathershipping                 |
| DISC.  | Disconnect                          | GRAN.    | Granular                          | N.F.P.A. | National Fire Protection Association      | S.L.D.  | Short Leg Down         | W.T.    | Weight                          |
| DIST.  | Distribution                        | G.W.B.   | Gypsum Wall Board                 | N.I.C.   | Not In Contract                           | S.L.U.  | Short Leg Up           | W.W.F.  | Welded Wire Fabric              |
| D.L.   | Dead Load                           | GYP.     | Gypsum                            | N.O.     | Number                                    | SPEC.   | Specification          | YD.     | Yard                            |
| DN.    | Down                                | H.B.     | Hose Bibb                         | N.T.S.   | Not To Scale                              | S.R.    | Straight Rubber        | 4+      | Plus-or-Minus or Approximate    |
| DR.    | Drain                               | H.C.     | Handicap or Hollow Core           | O.A.     | Overall                                   | S.S.    | Stainless Steel        |         |                                 |
| D.S.   | Downspout                           | H.C.W.   | Hot and Cold Water                | O.C.     | On Center                                 |         |                        |         |                                 |
| DWG.   | Drawing                             | HDR.     | Header                            |          |   |         |                        |         |                                 |
| E.     | East                                | HDW.     | Hardware                          |          |   |         |                        |         |                                 |
| E.A.   | Each                                | H.M.     | Hollow Metal                      |          |   |         |                        |         |                                 |
| E.C.   | Electrical Contractor               |          |                                   |          |   |         |                        |         |                                 |

## GENERAL NOTES

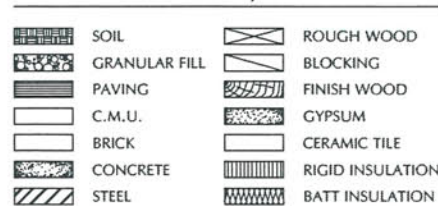
- ALL WORK SHALL COMPLY WITH GOVERNING BUILDING CODE, CODES AND ORDINANCES OF LOCAL AUTHORITY HAVING JURISDICTION. CONTRACTORS SHALL BE RESPONSIBLE FOR THE APPROVAL OF ALL INSTALLED MATERIALS. DISCREPANCIES BETWEEN DESIGN AND CODE REQUIREMENTS SHOULD BE REPORTED TO THE BKC CONSTRUCTION MANAGER PRIOR TO BEGINNING THE WORK.
- BUILDING PERMITS SHALL BE PURCHASED BY CONTRACTOR.
- NO WORK SHALL BEGIN UNTIL ALL REQUIRED PERMITS HAVE BEEN OBTAINED.
- CONSTRUCTION INSPECTION COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY PENALTIES OR FINES SHALL BE PAID BY THE GENERAL CONTRACTOR.
- CONTRACTOR TO VERIFY AND CHECK EXISTING SITE CONDITIONS PERTINENT TO HIS WORK PRIOR TO SUBMITTING BIDS AND FABRICATING OF ANY BUILDING COMPONENTS.
- VERIFY GRADES, DIMENSIONS AND EXISTING CONDITIONS ON THE JOB SITE PRIOR TO STARTING WORK.
- CONTRACTOR TO VERIFY AND CHECK EXISTING DIMENSIONS ON JOB SITE. DIMENSIONS ARE TO FACE OF ROUGH FRAMING, MASONRY, CONCRETE OR CENTERLINE OF COLUMNS, POSTS AND BEAMS. UNLESS OTHERWISE NOTED ON DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING DIMENSIONS FOR ITEMS FURNISHED AND INSTALLED BY THEM. STARTING WORKS CONSTITUTES ACCEPTANCE OF SUBSTRATE.
- CONTRACTOR SHALL CONSULT PLANS OF OTHER TRADES FOR DUCTS, PIPING, CONDUIT AND EQUIPMENT AND SHALL VERIFY SIZE AND LOCATION OF ROUGH OPENINGS.
- FINISH FLOOR LINE REFERS TO TOP OF SLAB. FINISH MATERIALS ARE APPLIED ABOVE THIS LINE.
- DO NOT SCALE DRAWINGS. NOTIFY BKC C.M. OF CONFLICTING DIMENSIONS.
- REPETITIVE FEATURES DRAWN ONLY ONCE SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- ALL WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE OF ALL MATERIAL ON SITE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR GENERAL CLEAN-UP, TRASH DISPOSAL AND SHALL MAINTAIN THE SITE IN A CLEAN SAFE MANNER.
- EACH SUBCONTRACTOR AT THE COMPLETION OF HIS WORK SHALL REMOVE ALL DEBRIS RESULTING FROM HIS WORK.
- EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THEY MAY CAUSE TO ADJACENT WORK AND MAKE GOOD SUCH DAMAGE AT NO COST TO THE OWNER.
- EQUIPMENT NOTED AS INSTALLED BY THE GENERAL CONTRACTOR, SHALL INCLUDE UTILITY CONNECTIONS, LEVELING, AND FINAL INSTALLATION, INCLUDING START-UP.
- SEAL AROUND PIPES AND CONDUITS WHERE THEY PENETRATE AND ARE SLEEVED THROUGH FLOOR SLAB, WALLS AND ROOF.
- STANDARD INDUSTRY PRACTICES SHALL BE USED FOR FLASHING AND WATERPROOFING.
- CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMEN AND THE GENERAL PUBLIC FROM INJURY AND THE ADJOINING PROPERTY FROM DAMAGE.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY AND SHALL EMPLOY LATEST INDUSTRY SAFETY STANDARDS WHILE THE JOB IS IN PROGRESS.

## SYMBOLS

### Drawing Symbol



### Material Symbol



## LOCATION MAP



## Project Information

|                               |                              |
|-------------------------------|------------------------------|
| PROJECT                       | BUILDING DATA                |
| 2020 IMAGE REMODEL            | FACILITY USE: RESTAURANT     |
| BURGER KING RESTAURANT        | SCOPE OF WORK: REMODEL       |
| STORE NO. BK1764              | FLOOR AREAS                  |
| 2655 EAST WASHINGTON          | TOTAL BUILDING: 2,984 SQ.FT. |
| MADISON, WI 53704             | BUILDING HEIGHT: ONE STORY   |
| DANE COUNTY                   |                              |
| OWNER                         |                              |
| ARCHITECT                     |                              |
| DAUSS ARCHITECTS              |                              |
| 227 HISTORIC WEST 11TH STREET |                              |
| ANDERSON, IN 46016            |                              |
| CONTACT:                      |                              |
| MIKE DAUSS                    |                              |
| 765.649.2258                  |                              |

## DRAWING INDEX

- A-0.0 COVER SHEET
- SITE IMPROVEMENT PLANS
- C-1.0 SITE DEMOLITION AND SITE LAYOUT PLANS
- C-2.0 EXISTING LANDSCAPE AND DETAILS
- C-2.1 LANDSCAPE PLAN
- C-3.0 SITE REFERENCE PLAN AND DETAILS
- C-4.0 SITE LIGHTING PLAN
- BUILDING PLANS
- X-1.0 EXISTING AND DEMOLITION PLANS
- A-1.0 FLOOR PLAN
- A-2.0 EXTERIOR ELEVATIONS
- A-2.01 EXTERIOR ELEVATIONS (COLOR)
- A-2.1 EXTERIOR FINISH SCHEDULE

2020 REMODEL  
FOR  
BURGER KING  
STORE NO. BK1764



2655 EAST WASHINGTON  
MADISON, WI



SHEET TITLE  
COVER  
SHEET

SHEET NUMBER

A-0.0

OF SHEETS

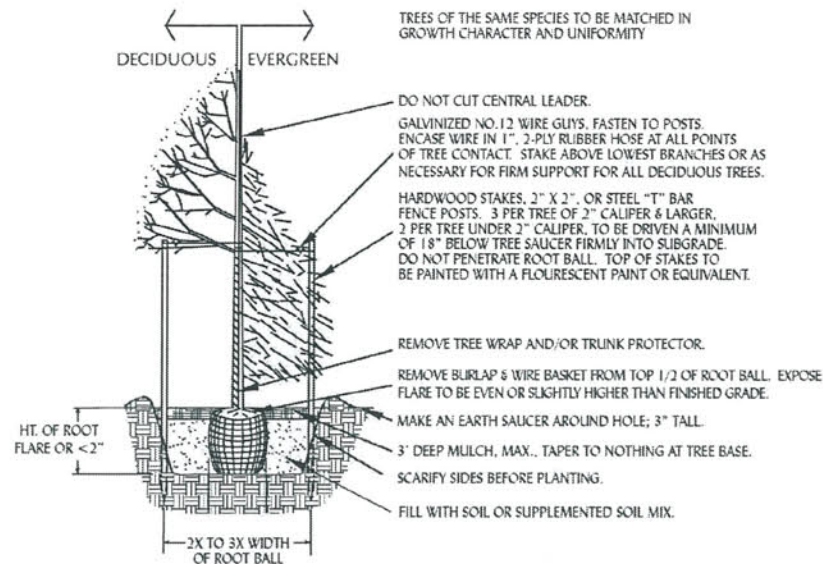
PROJECT NUMBER

B001-1113

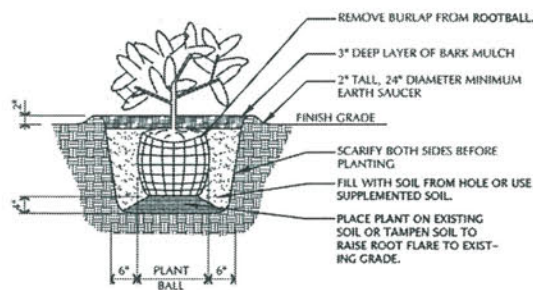








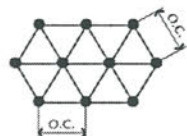
**5 TREE PLANTING DETAIL  
DECID. & EVERGRN.**  
NOT TO SCALE



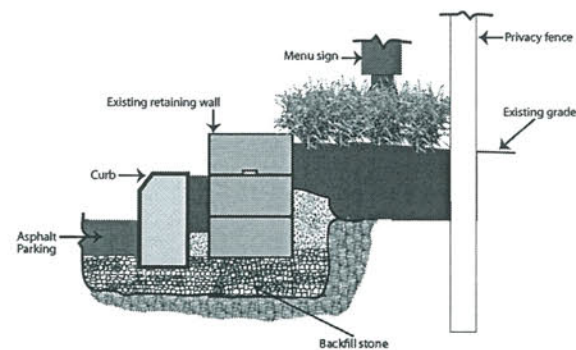
**5 PLANTING DETAIL**  
NOT TO SCALE

## PLANT SCHEDULE NOTES

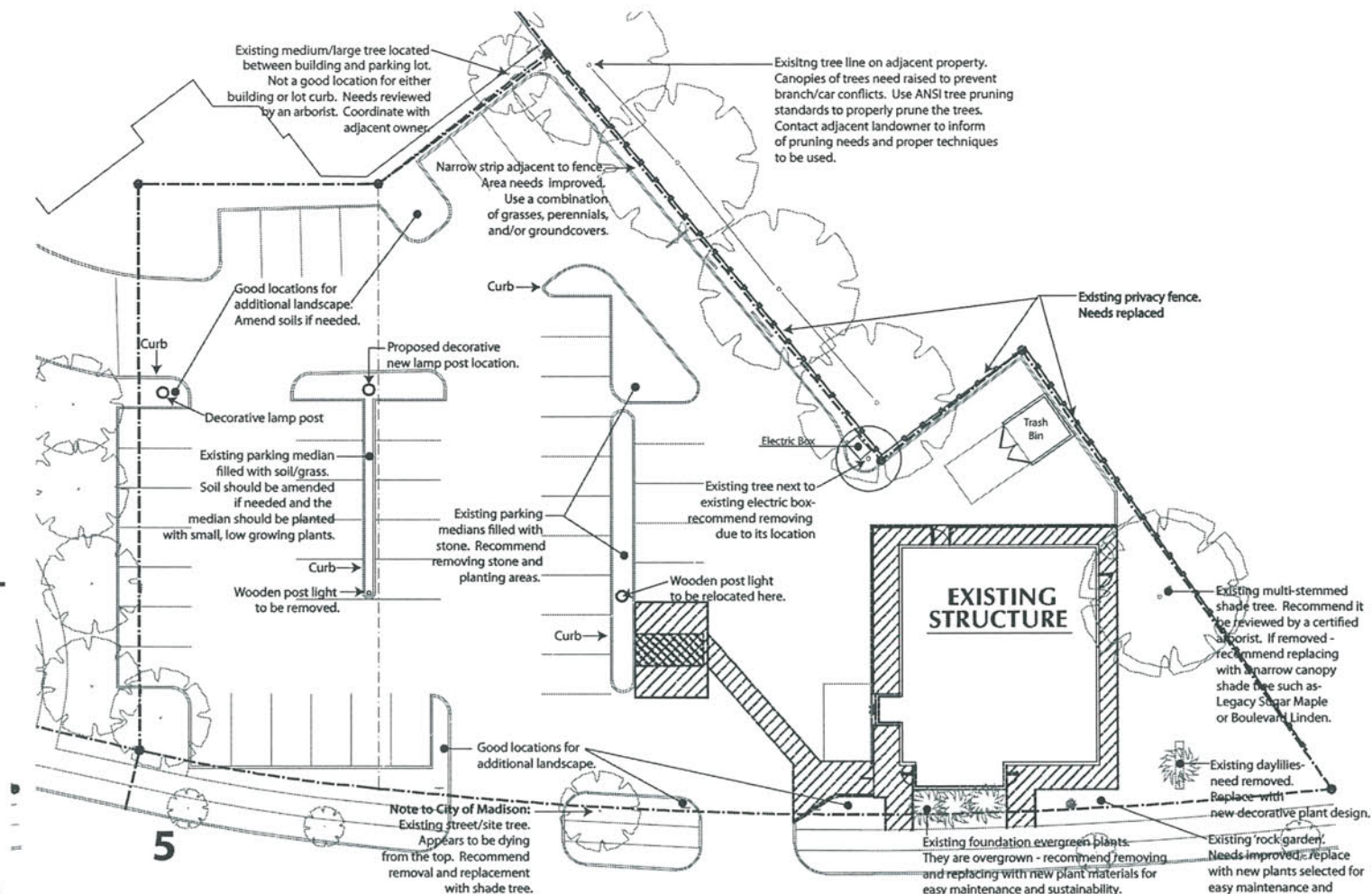
- ALL GROUNDCOVER BEDS SHALL BE PLANTED USING TRIANGULAR PLANTING GRID, REF. SCHEDULE FOR GRID SPACING



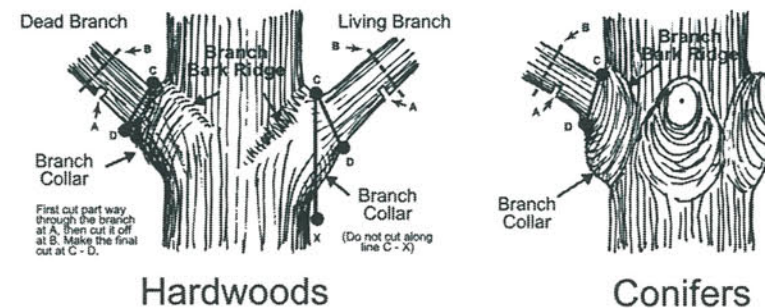
**6 TYPICAL FENCE ELEVATION**  
NOT TO SCALE



**7 WALL PLANTING DETAIL**  
NOT TO SCALE



**8 SITE ANALYSIS OF EXISTING LANDSCAPE**  
SCALE: 1" = 20'0"



**9 PROPER PRUNING DETAIL**  
NOT TO SCALE

## ARCHITECTURE PLANNING

227 HISTORIC W. 11th ST.  
PO BOX 1006  
ANDERSON, IN 46016  
TEL: 765/649-2258  
FAX: 765/649-2337  
info@daussarchitects.com

2020 REMODEL  
FOR  
BURGER KING  
STORE NO. BK1764



2655 EAST WASHINGTON  
MADISON, WI



SHEET TITLE  
EXISTING  
LANDSCAPE  
AND DETAILS

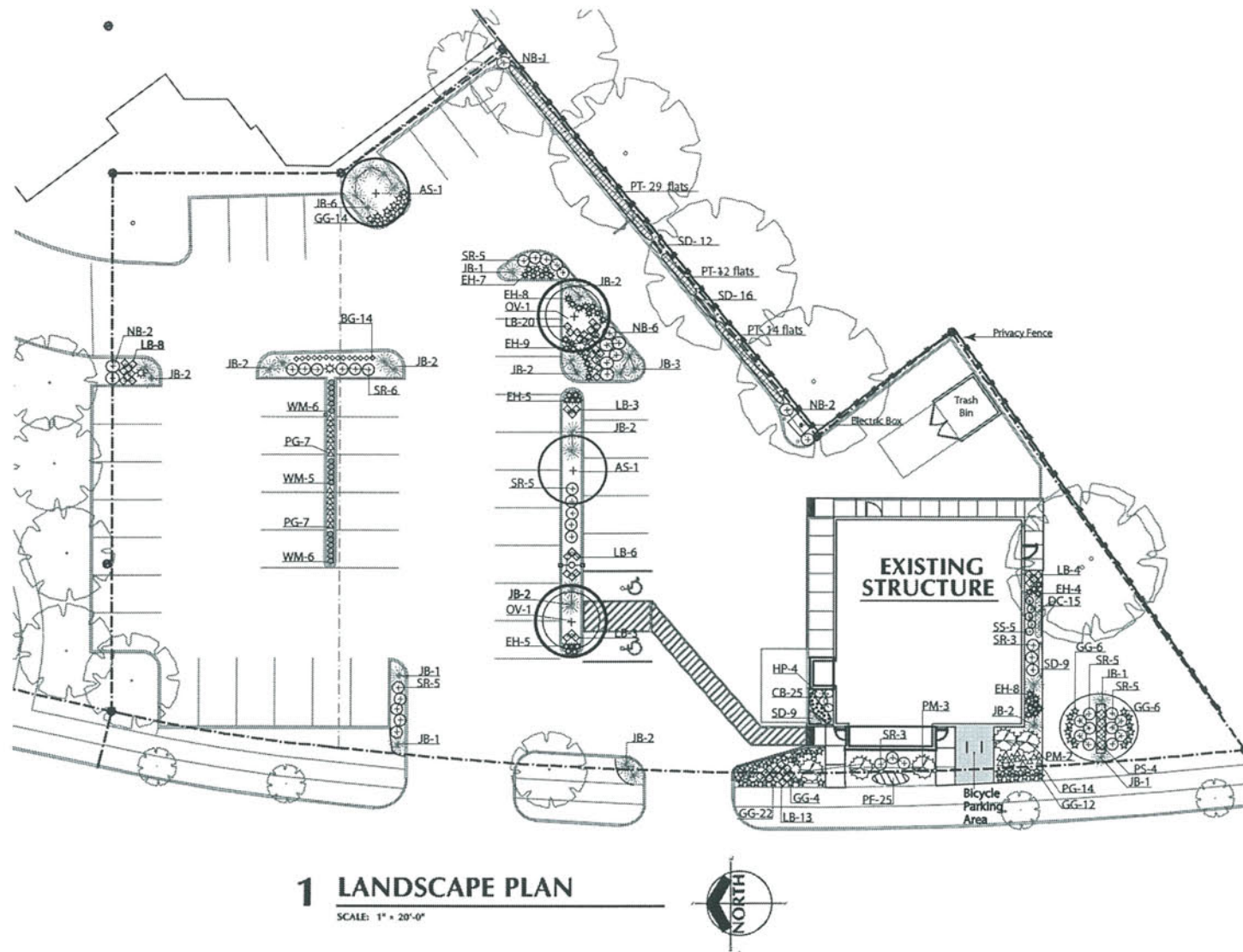
SHEET NUMBER

**C-2.0**  
OF SHEETS

PROJECT NUMBER

**B001-1113**





| PLANT SCHEDULE      |          |  |                  |                    |
|---------------------|----------|--|------------------|--------------------|
| Symbol              | Qty.     | Plant Name   | Planting Size    | Remarks            |
| <b>Trees</b>        |          |  |                  |                    |
| AS                  | 2        | Acer saccharum 'Morton' (Crescendo Sugar Maple)              | 2 1/2" B&B       | See Tree Detail    |
| OV                  | 2        | Ostrya virginiana (Chancellor Linden)                        | 2 1/2" B&B       | *                  |
| <b>Shrubs</b>       |          |  |                  |                    |
| JB                  | 32       | Juniperus h. 'Buffalo' (Buffalo Juniper)                     | 5G               | Plant 6' o.c.      |
| NB                  | 11       | Physocarpus opulifolius 'Donna May' (Little Devil Ninebark)  | 5G               | Plant 3'-4' o.c.   |
| SR                  | 37       | Rosa 'Radtko' (Double Knockout Shrub Rose)                   | 3G               | Plant 3' o.c.      |
| PM                  | 5        | Pinus mugo pumilio (True Dwarf Mugo Pine)                    | 5G               | Plant 5'-6' o.c.   |
| WM                  | 17       | Weigela florida 'Verweig' (My Monet Weigela)                 | 3G               | Plant 18" o.c.     |
| <b>Grasses</b>      |          |  |                  |                    |
| PS                  | 4        | Panicum virgatum 'Shenandoah' (Shenandoah Switch Grass)      | 3G               | Plant 18"-24" o.c. |
| BG                  | 14       | Pennisetum a. Little Bunny (Little Bunny Fountain Grass)     | 3G               | Plant 18"-24" o.c. |
| PG                  | 28       | Pennisetum a. 'Piglet' (Piglet Fountain Grass)               | 3G               | Plant 18"-24" o.c. |
| LB                  | 57       | Schizachyrium scorparium 'The Blues' (Little Bluestem Grass) | 3G               | Plant 18"-24" o.c. |
| <b>Perennials</b>   |          |  |                  |                    |
| CB                  | 25       | Heuchera 'Gypsy Dancer' (Gypsy Dancer Coral Bells)           | 3G               | Plant 12" o.c.     |
| DC                  | 15       | Dianthus deltoides 'Zing Rose' (Zing Rose Maiden Pinks)      | 3G               | Plant 12" o.c.     |
| EH                  | 46       | Echinacea p. 'Hot Papaya' (Hot Papaya Coneflower)            | 3G               | Plant 12"-18" o.c. |
| GG                  | 64       | Gaillardia a. 'Goblin' (Goblin Blanket Flower)               | 3G               | Plant 12"-15" o.c. |
| HP                  | 4        | Hosta f. 'Patriot' (Patriot Hosta)                           | 3G               | Plant 24"-30" o.c. |
| PF                  | 25       | Scabiosa c. 'Butterfly Blue' (Blue Pincushion Flower)        | 3G               | Plant 12"-18" o.c. |
| SS                  | 5        | Sedum spectabilis 'Autumn Fire' (Autumn Fire Stonecrop)      | 3G               | Plant 18"-24" o.c. |
| <b>Groundcovers</b> |          |  |                  |                    |
| SD                  | 46       | Liriope spicata 'Silver Dragon' (Silver Dragon Liriope)      | 1G               | Plant 9"-12" o.c.  |
| PT                  | 55 flats | Pachysandra terminalis (Japanese Spurge)                     | 50 peat pot flat | Plant 6"-9" o.c.   |

## 2 PLANT SCHEDULE

NOT TO SCALE



Top picture- Current view looking southwest at order lane.  
Bottom picture.

Top picture: Current view looking west at parking and exit/entrance.  
Bottom picture: Proposed view (\*reference lighting detail page for actual fixture type)

## 3 PROPOSED VIEWS

NOT TO SCALE

| Landscape Plan Point Summary          |                      |                                    |  |            |
|---------------------------------------|----------------------|------------------------------------|--|------------|
| Required Landscape Points for Site    |                      |                                    |  |            |
| Required Points for Site              | Hard Surface (sf)    | Land Units<br>(1 land unit=300 sf) | Landscape Points<br>(1 land unit=5 landscape pts.) |            |
|                                       | 30,300 sf            | 101 land units                     | 101 x 5= 505 landscape pts.                        |            |
| Point Total Breakdown                 |                      |                                    |  |            |
| Plant Type or Amenity                 | Single Plant Points  | Proposed Quantity                  | Qty. x points                                      | Sub-Totals |
| Overstory deciduous tree              | 35                   | 4                                  | 35 pts. X 4 trees                                  | 140        |
| Deciduous shrub                       | 2                    | 65                                 | 2 pts. X 65 shrubs                                 | 130        |
| Evergreen shrub                       | 3                    | 36                                 | 3 pts. X 36 shrubs                                 | 108        |
| Ornamental Grass                      | 2                    | 103                                | 2 pts. X 104 grasses                               | 206        |
| Ornamental/decorative fencing or wall | 4 per 10 linear feet | 200 linear feet /10 = 20 units     | 4 pts. X 20 units                                  | 80         |
| TOTAL LANDSCAPE POINTS                |                      |                                    |  | 664 pts.   |

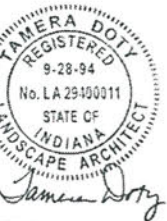
## 4 LANDSCAPE POINT BREAKDOWN & SUMMARY

NOT TO SCALE

2020 REMODEL  
FOR  
BURGER KING  
STORE NO. BK1764



2655 EAST WASHINGTON  
MADISON, WI



SHEET TITLE  
LANDSCAPE  
PLAN

SHEET NUMBER

**C-2.1**  
OF SHEETS

PROJECT NUMBER

**B001-1113**





**SCOPE OF DRAWINGS**

These Drawings indicate the general scope of the Project in terms of location and site context, the dimensions of the building, the major architectural elements of the site of structural, mechanical and electrical systems. The Drawings do not necessarily indicate or describe all work required for full performance and completion of the improvement of the Concept. On the basis of the general scope indicated in this drawing, the study contractor shall furnish all items required by the owner for execution and completion of the Work.

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ALUSS ARCHITECTS

|                       |       |
|-----------------------|-------|
| DRAWN                 | CHECK |
| DATE                  |       |
| ISSUED FOR REVIEW     |       |
| NOVEMBER 19, 2012     |       |
| REVISED               |       |
| DECEMBER 21, 2012     |       |
| ISSUED FOR UDC REVIEW |       |
| MARCH 15, 2013        |       |



SCALE: 1" = 50'-0"



SCALE: 3/4" = 1'-0"



SCALE: 1/4" = 1'-0"



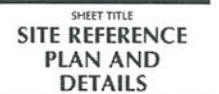
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NOT TO SCALE



SCALE: 1/2" = 1'-0"

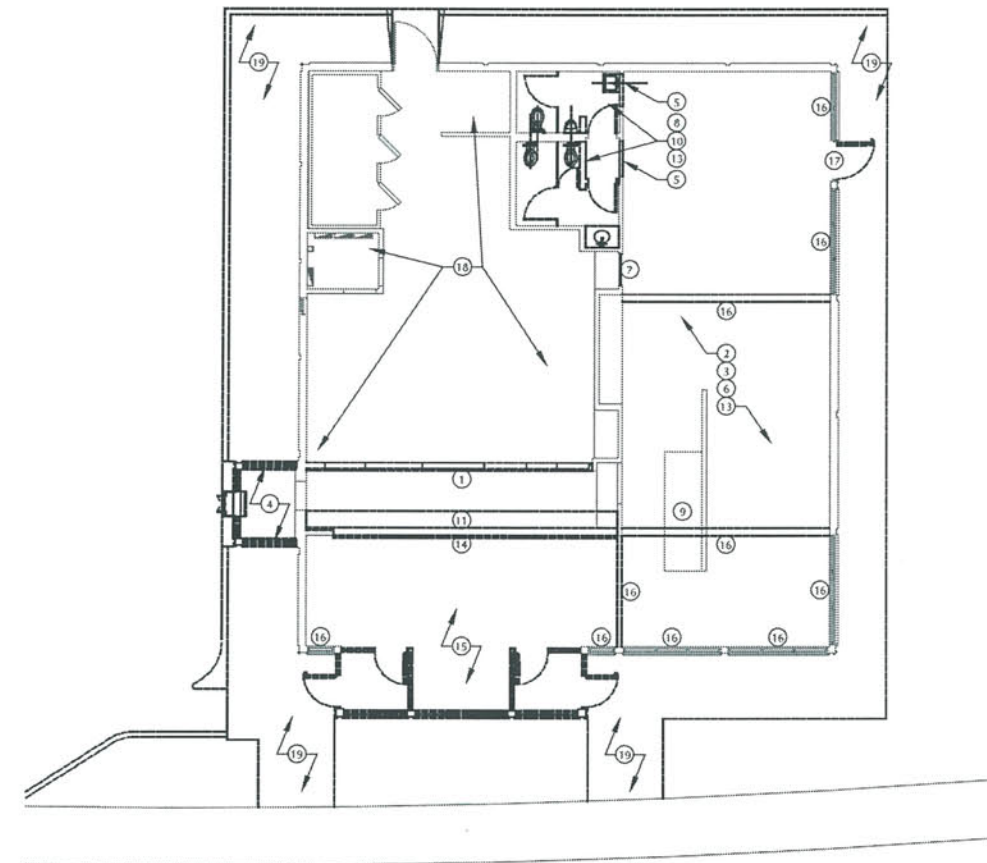


SHEET NUMBER  
**C-3.0**  
OF SHEETS  
PROJECT NUMBER  
**B001-1113**



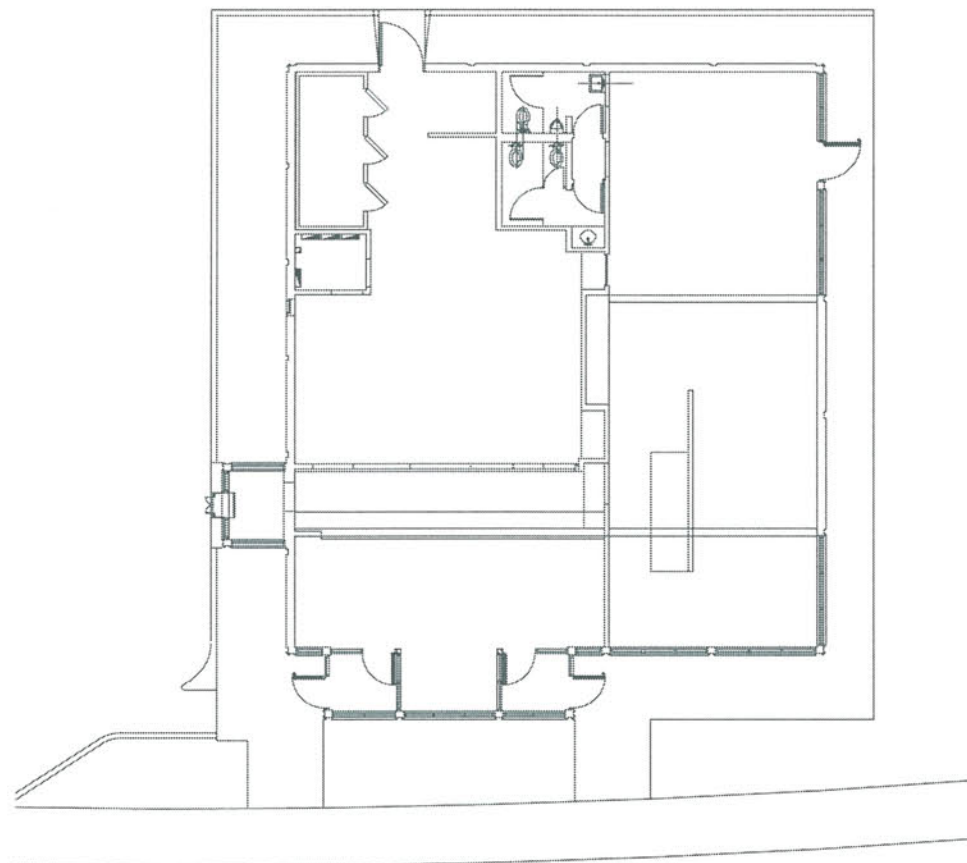






## 2 DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"



## 1 EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"



### GENERAL DEMOLITION NOTES

- ALL EXISTING CONDITIONS TO BE FIELD VERIFIED - NOTIFY THE OWNER OF ANY DEVIATIONS TO HINDER NEW CONSTRUCTION PRIOR TO BEGINNING THE WORK.
- DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE. ALL DEMOLISHED MATERIAL SHALL BE DISPOSED OF OFF SITE AT NO ADDITIONAL COST TO OWNER. MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- CONTRACTOR MUST FILE A NOTICE OF DEMOLITION PRIOR TO BEGINNING OF ANY DEMOLITION ACTIVITIES, WITH THE STATE A MINIMUM OF (10) TEN DAYS PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PURCHASING LOCAL DEMOLITION PERMIT. WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL PROVIDE PROTECTION TO EXISTING STRUCTURE, FINISHES, EQUIPMENT & FIXTURING THAT ARE TO REMAIN. REPAIR ANY DAMAGES AT NO ADDITIONAL COST TO OWNER.
- EXISTING WALLS TO RECEIVE NEW FINISHES SHALL BE PATCHED AND REPAIRED AS IF THEY WERE NEW CONSTRUCTION.
- CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH WITH COMPACTED CRUSHED STONE.
- REPAIR & PATCH EXISTING FLOORS WHERE EXISTING WALLS, FIXTURING, OR EQUIPMENT HAVE BEEN REMOVED. FILL VOIDS WITH HIGH STRENGTH GROUT. USE ONLY NEW FULL TILE WHEN REPAIRING OR PATCHING EXISTING FLOOR TILE. NEW TILE TO MATCH EXISTING.
- COORDINATE DEMOLITION WORK WITH INTERIOR DECOR DRAWINGS, BY DECOR VENDOR. PRIOR TO BEGINNING ANY DEMOLITION WORK. REFERENCE INTERIOR DECOR DRAWINGS FOR DETAILED INFORMATION CONCERNING NEW SEATING AND FINISHES TO BE INSTALLED BY THE GENERAL CONTRACTOR.
- DOTTED LINES INDICATE MATERIALS TO BE REMOVED - REFERENCE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND EQUIPMENT DRAWINGS FOR NEW LOCATIONS OF ITEMS TO BE RELOCATED.
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO STARTING ANY WORK. PROTECT UTILITIES THAT ARE TO REMAIN THROUGH OUT THE ENTIRE CONSTRUCTION SCHEDULE. REPAIR OF DAMAGED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COORDINATE DEMOLITION AND SHUT-OFF OF UTILITY SERVICE WITH THE RESPECTIVE UTILITY COMPANY AND OWNER PRIOR TO PERFORMING THE WORK. OBTAIN APPROVAL WITH RESPECTIVE UTILITY COMPANY AND OWNER TO ASSURE MINIMAL INTERRUPTIONS IN SERVICE TO EXISTING FACILITY.
- ANY ADJUSTMENTS OF EXISTING UTILITY SERVICES IS TO BE PERFORMED BY THE RESPECTIVE UTILITY COMPANY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REMOVE EXISTING KEYING CORES FROM DOORS AND TURN OVER TO STORE MANAGER. CONTRACTOR SHALL LABEL CORES AND REINSTALL CORES IN NEW DOORS.

### DEMOLITION PLAN NOTES

- REMOVE EXISTING WALLS AND BULKHEAD.
- REMOVE EXISTING LIGHT FIXTURES AND CEILING MTD. DEVICES, INCLUDING CONDUIT, JUNCTION BOXES AND WIRING AS REQUIRED FOR NEW CONSTRUCTION. EXISTING SOUND SYSTEM WIRING AND HVAC DUCTWORK TO REMAIN FOR INSTALLATION OF NEW SPEAKERS AND HVAC DIFFUSERS/GRILLES.
- REMOVE EXISTING CEILING TILE AND GRID. (TYPICAL).
- REMOVE EXISTING DRIVE THRU "BUMP OUT" STRUCTURE. REF. SECTIONS AND ELEVATIONS FOR EXTENTS.
- REMOVE EXISTING WALL CASING AND/OR WALL AS REQUIRED FOR NEW DOOR AND FRAME.
- REMOVE EXISTING WOOD PANELS AND ASSOCIATED TRIM. ALL APPLIED 1 x WOOD TRIM, LOW WALLS, COUNTERS, SEATING, TABLES, TRASH RECEPTACLES AND DECOR IN DINING ROOM, RESTROOMS, VESTIBULE & HALLWAY. ALL FLOOR MOUNTED TABLES/SEATS SHALL BE COMPLETELY REMOVED AND ALL SLAB PENETRATIONS FILLED WITH HIGH STRENGTH GROUT TO PROVIDE REQUIRED SUBSTRATE FOR FLOOR FINISH SCHEDULED. ALL WALL SURFACES SHALL BE ONE CONTINUOUS FLAT, SMOOTH PLANE PREPARED TO RECEIVE NEW SCHEDULED WALL FINISHES. INSTALL SOLID BLOCKING AND GWS WHERE REQUIRED TO PROVIDE SOLID WALL SURFACE FOR WALL FINISH AND FLOOR BASE INSTALLATION.
- REMOVE INTERIOR DOOR AND FRAME. INFILL WALL TO MATCH ADJACENT CONSTRUCTION AND NEW WALL FINISHES.
- REMOVE ALL EXISTING DOORS, PLUMBING FIXTURES, CEILING, LIGHT FIXTURES, DIFFUSERS, FINISHES, ETC. BACK TO EXISTING STUDS AND CONCRETE FLOOR SLAB.
- REMOVE EXISTING SELF SERVICE COUNTER AND ALL UNUSED UTILITIES. NEW ELECTRICAL AND PLUMBING CONNECTIONS ARE TO BE MADE BELOW THE COUNTER. GC TO REINSTALL COUNTER.
- ADJUST FLOOR DRAINS IN TOILET ROOMS AND "FLOAT" FLOOR WITH A SELF-LEVELING UNDERLAYMENT. SLOPE OF FINISHED FLOOR SHALL NOT EXCEED 2% IN ANY DIRECTION OR DISTANCE. FLOOR TO RECEIVE NEW FLOOR TILE. REF. DECOR DRAWINGS FOR NEW FINISHES.
- REMOVE FRONT COUNTER AND EXISTING LOW WALL.
- GENERAL CONTRACTOR TO PROVIDE A MINIMUM OF 40 POUNDS HIGH STRENGTH GROUT FOR INSTALLATION OF NEW SEATING AND FIXTURING REFERENCE INTERIOR DECOR DRAWINGS FOR CORE LOCATIONS.
- ALL WOOD BLOCKING REQUIRED FOR INSTALLATION OF TOILET ACCESSORIES, SEATING, TABLES, DECOR PACKAGE, ETC. INSTALLED BY THE G.C. COORDINATE LOCATION OF BLOCKING WITH SUPPLIERS PRIOR TO APPLYING PATCHING OR REPAIRING EXISTING WALL FINISHES.
- REMOVE EXISTING BULKHEAD TRIM, ETC. AS REQUIRED TO MATCH NEW FINISHED WALL WIDTH BELOW. VERIFY IF BULKHEAD REMOVAL IS REQUIRED.
- REMOVE EXISTING ENTRANCE VESTIBULE STRUCTURE. REF. SECTIONS AND ELEVATIONS FOR EXTENTS.
- REMOVE EXISTING CEILING BULKHEAD. VERIFY IF REMOVAL OF BULKHEADS WILL ALLOW FOR NEW CEILING HEIGHT TO MATCH TOP OF EXISTING WINDOWS. EXISTING CEILING LEVEL IS BELOW TOP OF WINDOW HEIGHT.
- REMOVE EXISTING ALUMINUM ENTRANCE DOOR. REPLACE WITH NEW ADA COMPLIANT DOOR AND NEW HARDWARE.
- REMOVE EXISTING CEILING SYSTEM, HVAC DIFFUSERS/GRILLES AND LIGHT FIXTURES. TYPICAL FOR ALL "BACK OF HOUSE" SPACES.
- REMOVE EXISTING SIDEWALKS, PAVING AND LANDSCAPE AS REQUIRED FOR NEW ADA COMPLIANT SITE WORK. REFERENCE SITE PLAN.



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#### SCOPE OF DRAWINGS

These drawings indicate the general scope of the Project in terms of preliminary design and conceptual drawings. They are not intended to be used for construction or for any other purpose. The drawings are subject to change without notice. The drawings are not to be used for any other purpose without the written consent of the Architect.

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DATE

ISSUED FOR REVIEW

MAY 9, 2012

ISSUED FOR REVIEW

NOVEMBER 19, 2012

REVISED

DECEMBER 21, 2012

ISSUED FOR UOC REVIEW

MARCH 15, 2013

2020 REMODEL  
FOR  
BURGER KING  
STORE NO. BK1764



2655 EAST WASHINGTON  
MADISON, WI



SHEET TITLE  
EXISTING AND  
DEMOLITION  
PLANS

SHEET NUMBER

X-1.0

OF SHEETS

PROJECT NUMBER

B001-1113



#### RESTROOM DOORS

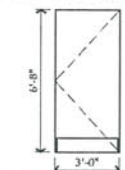
OPENING: 3'-0"x6'-8"x1 3/4" WD x MF  
MATERIAL: SOLID CORE HPL  
FINISH: REFERENCE INTERIOR DECOR DRAWINGS

#### HARDWARE

EACH DOOR TO RECEIVE:  
HINGES: 1 EACH HAGER: BR1279 4 1/2 x 4 1/2 x 652  
LOCKSET: 1 EACH SCHLAGE: AL405 SAT x 626  
CLOSER: 1 EACH LCN 1461 X 689

FLOOR STOP: 1 EACH HAGER 241F x US26D  
KICKPLATES: 2 EACH HAGER 1935 8"x2" LDW 628  
SILENCERS: 3 EACH HAGER 357D RBR

NOTE:  
UNDERCUT DOOR 1" FOR AIR FLOW  
WHEN HVAC SUPPLY NOT PROVIDED.



DOOR A

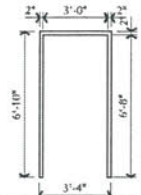
SCALE: 1/4" = 1'-0"

#### FRAME

MATERIAL: ALUMINUM  
FINISH: REFERENCE INTERIOR DECOR DRAWINGS

#### REMARKS

SIGN PACKAGE: 1 "LADIES", 1 "GENTLEMEN" AND  
CORRESPONDING SIGNAGE IN GRADE TWO BRAILLE PER ADA  
REQUIREMENTS. SIGNS FURNISHED BY DECOR SUPPLIER.  
SIGNS INSTALLED BY GENERAL CONTRACTOR  
REF. 6/A-3.0 FOR INSTALLATION REQUIREMENTS.



DOOR FRAME

SCALE: 1/4" = 1'-0"

#### ALUM. ENTRANCE DOORS

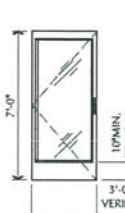
OPENING: 3'-0"x7'-0"x1 3/4" AD x AF  
MATERIAL: ALUMINUM / GLASS  
FINISH: REFERENCE BUILDING ELEVATIONS

#### HARDWARE

ENTRANCE DOOR HARDWARE SHALL CONSIST OF OFFSET  
PIVOTS, ADAMS RITE M.S. 185 IS DEAD BOLT LOCK,  
NORTON 1605 SURFACE CLOSERS WITH BACK CHECK,  
9" "CLASSIC" STRAIGHT DOOR PULLS IN POLISHED  
STAINLESS OR CHROME, STANDARD THRESHOLDS,  
EXIT INDICATOR (EGRESS SIDE OF DOOR). THIS DOOR  
TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.  
SIGNAGE AND ADA WINDOW DECAL AT ALL ACCESSIBLE  
DOORS. LOCKS, CYLINDERS AND THRESHOLD SHALL BE  
OMITTED ON INTERIOR VESTIBULE DOORS. IF VESTIBULE  
IS PROVIDED, DUMMAY CYLINDERS SHALL BE PROVIDED  
ON THE EXTERIOR OF ALL DOORS EXCEPT AT MAIN ENTRY.

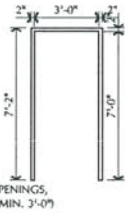
#### FRAME

MATERIAL: ALUMINUM  
FINISH: REFERENCE BUILDING ELEVATIONS



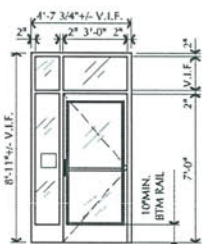
DOOR C

SCALE: 1/4" = 1'-0"



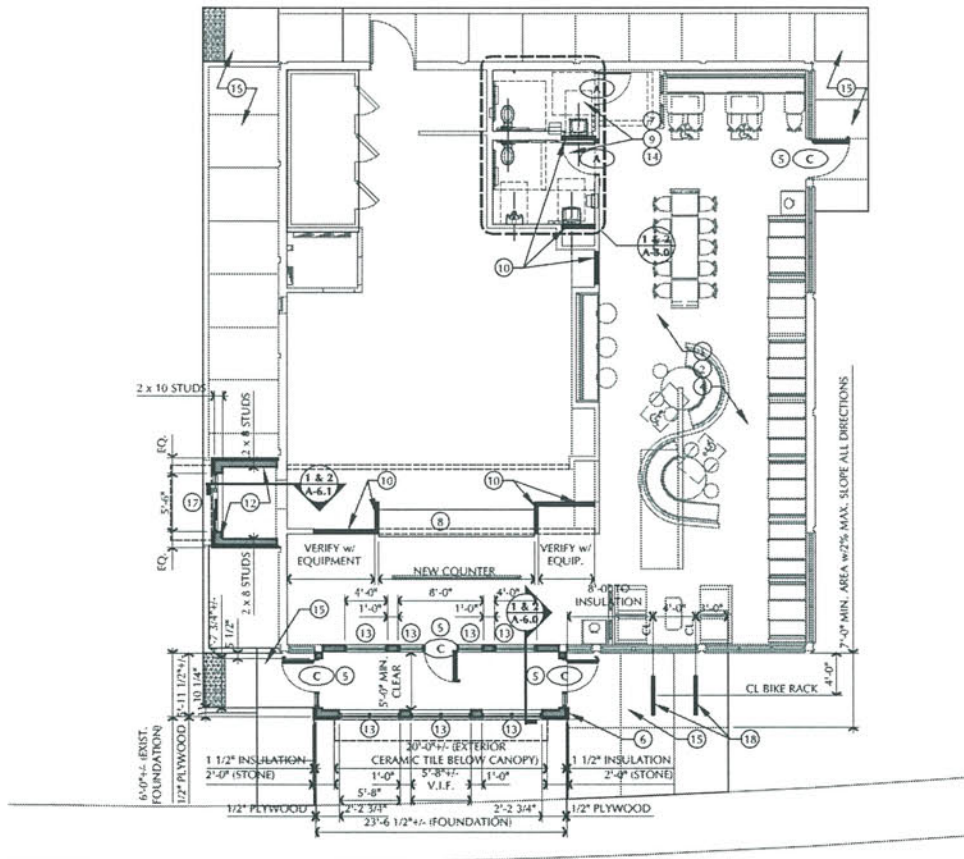
DOOR FRAME

SCALE: 1/4" = 1'-0"



STORE FRONT FRAME

SCALE: 1/4" = 1'-0"



### PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"



#### GENERAL PLAN NOTES

1. ALL EXISTING CONDITIONS TO BE FIELD VERIFIED  
- NOTIFY THE ARCHITECT OF ANY DEVIATIONS  
TO HINDER NEW CONSTRUCTION PRIOR TO BEGINNING  
THE WORK.
2. GENERAL CONTRACTOR TO PROVIDE A MINIMUM OF  
40 POUNDS HIGH STRENGTH FLOOR TILE GROUT TO FINISH  
REFERENCE INTERIOR DECOR DRAWINGS FOR CORE LOCATIONS.
3. ALL WOOD BLOCKING REQUIRED FOR INSTALLATION OF  
TOILET ACCESSORIES, SEATING, TABLES, DECOR PACKAGE, ETC.  
TO BE INSTALLED BY THE G.C. ALL WOOD BLOCKING TO BE  
COORDINATED WITH SUPPLIERS PRIOR TO APPLYING  
GYPSUM BOARD.
4. REFERENCE INTERIOR DECOR DRAWINGS FOR DETAILED  
INFORMATION CONCERNING SEATING AND FINISHES TO BE  
INSTALLED BY THE GENERAL CONTRACTOR.
5. COORDINATE ROUGH OPENING REQUIREMENTS WITH OTHER  
TRADES PRIOR TO APPLYING FINISHES.
6. USE GALVANIZED CORNER BEADS AND EDGE TRIMS IN ALL  
EXPOSED DRYWALL WORK.
7. WATER RESISTANT "PAPERLESS" GWB SHALL BE USED FOR  
NEW CONSTRUCTION IN RESTROOMS AND  
KITCHEN WALLS.
8. INSTALL CLEAR VINYL CORNER GUARDS AT PAINTED OUTSIDE  
CORNERS IN DINING ROOM. EXTEND FROM FLOOR OR WAINSCOT  
TO CEILING.
9. CONTRACTOR SHALL REMOVE EXISTING KEYING CORES FROM DOORS AND  
TURN OVER TO STORE MANAGER. CONTRACTOR SHALL LABEL CORES AND  
REINSTALL CORES IN NEW DOORS.

#### PLAN NOTES

1. DINING ROOM, RESTROOMS, VESTIBULE & HALLWAY TO RECEIVE NEW  
WALL BASE, WALL FINISHES, INTERIOR DECOR,  
SEATING, TABLES, FLOOR TILE, AND EQUIPMENT. REFERENCE ROOM  
FINISHES ON INTERIOR DECOR DRAWINGS.
2. FLOOR TILE TRANSITIONS TO BE CONCEALED BENEATH DOORS.
3. NOT USED.
4. EXISTING FLOORS ARE TO BE LEVELED AND PATCHED  
WHERE EXISTING WALLS HAVE BEEN REMOVED. PREP  
FOR NEW FLOOR TILE.
5. NEW STOREFRONT DOOR WITH SIDE LITE AND TRANSOM LITE  
WHERE APPLICABLE. REF. ELEVATIONS.
6. NEW EXTERIOR WALL, REF. WALL SECTIONS.
7. NEW 3'-0" DOORS, FRAMES & HARDWARE AT RESTROOMS.
8. NEW COUNTER REF. DECOR DRAWING FOR FINISHES
9. G.C. TO PROVIDE NEW FINISHES IN TOILET ROOMS.  
REF. INTERIOR DECOR DRAWINGS FOR FINISH SCHEDULE.
10. NEW INTERIOR PARTITION. 2X4 WD STUDS AT 1'-4" O.C. WITH  
5/8" PAPERLESS GWB. FILL CAVITY WITH SOUND BATT INSULATION.
11. NEW INTERIOR PARTITION. 2X8 WD STUDS AT 1'-4" O.C. WITH  
5/8" PAPERLESS GWB. FILL CAVITY WITH SOUND BATT INSULATION.
12. NEW EXTERIOR WALLS w/ 2" EIFS SYSTEM. REF. 2/A-6.1.
13. NEW ALUMINUM STOREFRONT WINDOW SYSTEM.
14. NEW PLUMBING FIXTURES AND TOILET ACCESSORIES AT RESTROOMS.
15. NEW CONCRETE SIDEWALK TO PROVIDE ADA COMPLIANT ACCESS.  
REFERENCE SITE PLAN.
16. NOT USED.
17. NEW DRIVE THRU WINDOW WITH TRANSOM AND SIDE LITES. REF.  
BUILDING ELEVATIONS.
18. TWO, TWO BIKE RACKS FOR TOTAL OF (4) BIKE PARKING SPACES.  
MADRAX, KEYRAC II - DOUBLE LEG, KY2-IG-BLACK. PROVIDE  
CONCRETE FOOTING PER MFR. DETAILS.



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#### SCOPE OF DRAWINGS

These drawings indicate the general scope of the Project in terms of architectural design. However, the dimensions of the building, the exact architectural elements and the materials to be used are not indicated on this set of drawings. The drawings are not intended to be used for construction purposes. The drawings are not intended to be used for construction purposes. The drawings are not intended to be used for construction purposes.

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DATE:

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MAY 9, 2012

ISSUED FOR REVIEW  
NOVEMBER 19, 2012

REVISED  
DECEMBER 21, 2012

ISSUED FOR UDC REVIEW  
MARCH 15, 2013

### 2020 REMODEL FOR BURGER KING STORE NO. BK1764



2655 EAST WASHINGTON  
MADISON, WI



#### SHEET TITLE FLOOR PLAN

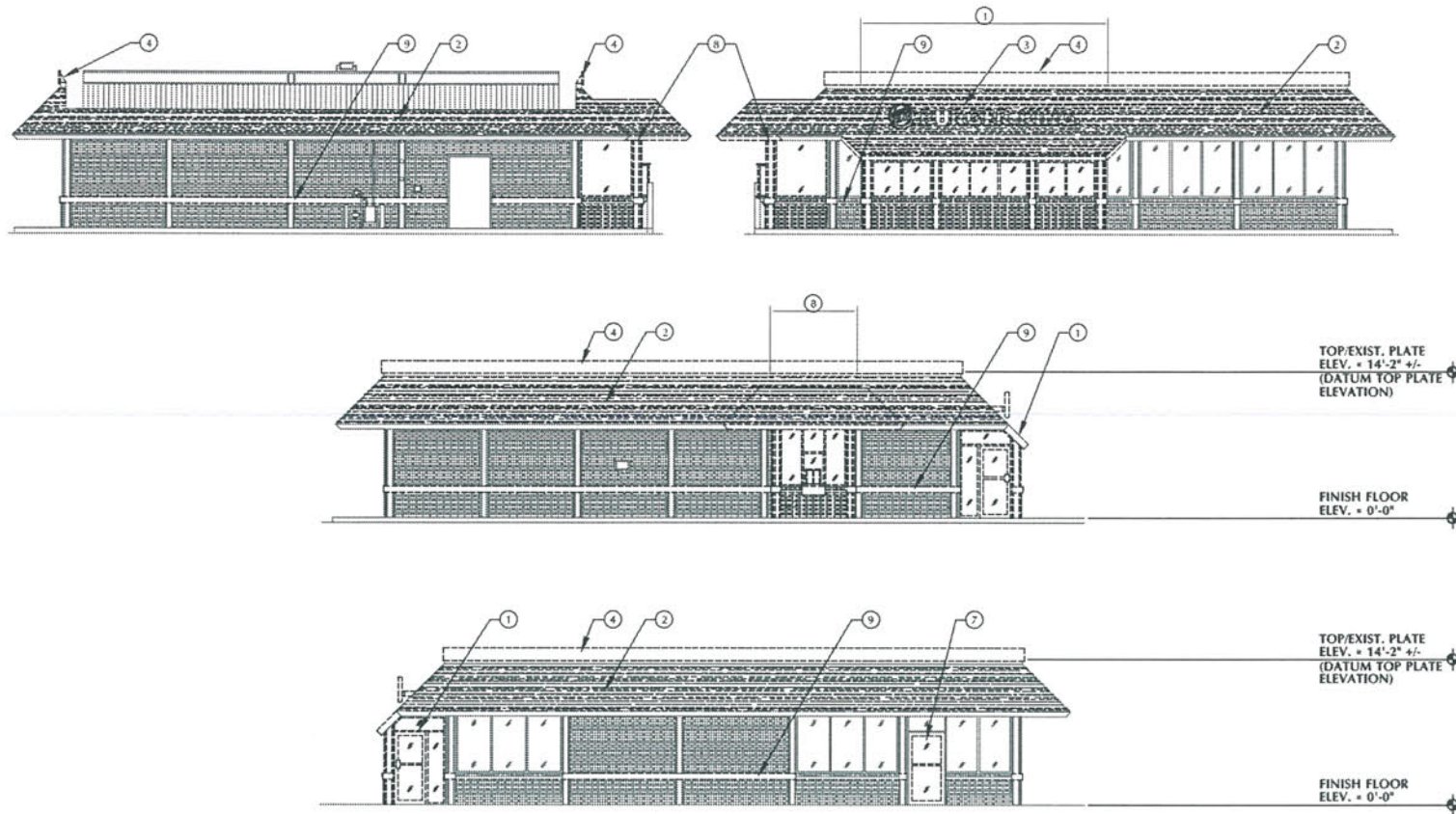
SHEET NUMBER

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PROJECT NUMBER

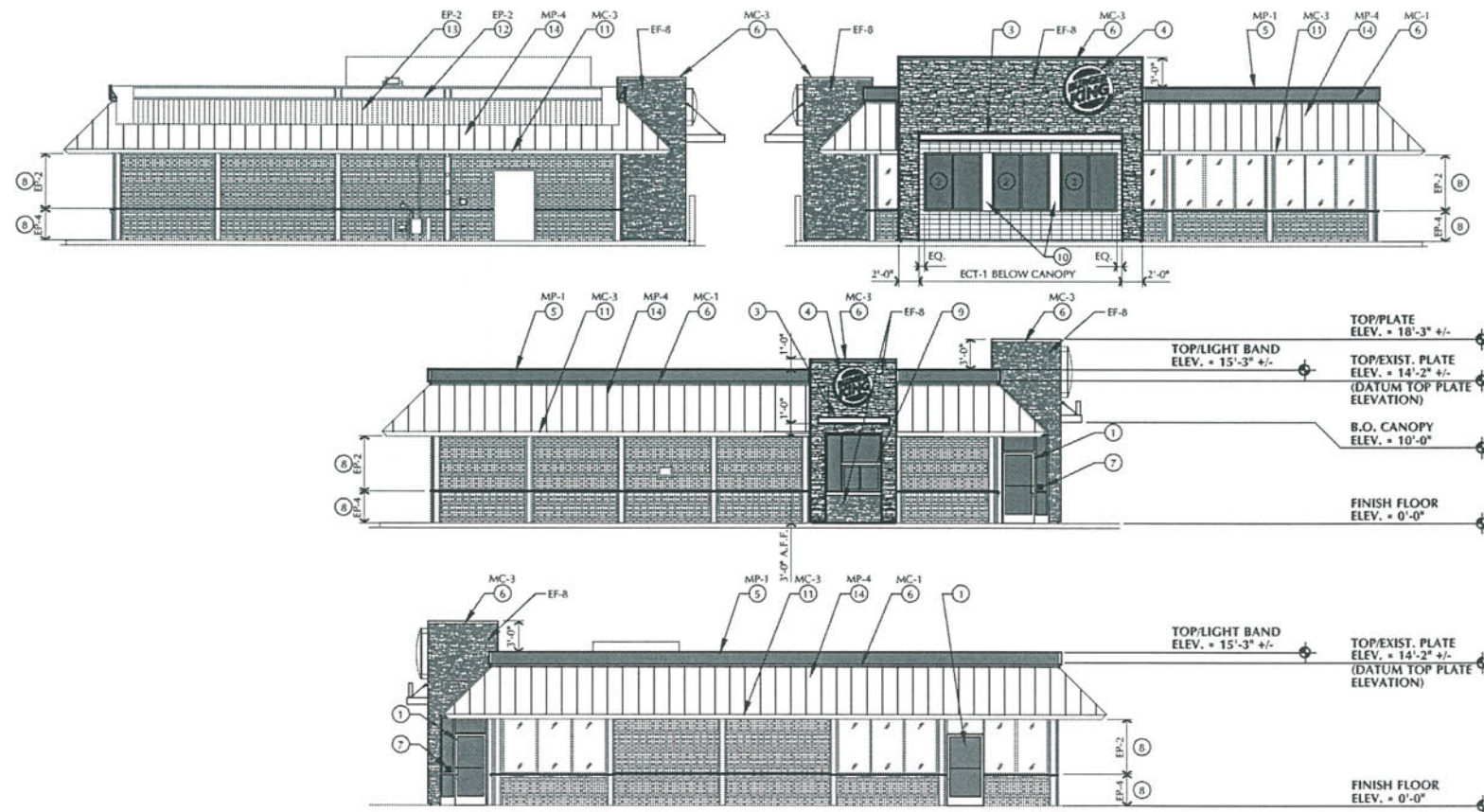
B001-1113





## 1 EXISTING/DEMOLITION ELEVATIONS

SCALE: 1/8" = 1'-0"



## 2 PROPOSED BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"



INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) DECAL TO BE LOCATED ON STOREFRONT GLASS ADJACENT TO ALL ACCESSIBLE ENTRY DOORS.

+40" A.F.F.

## 3 WINDOW DECAL

NOT TO SCALE

## DEMOLITION NOTES

1. REMOVE EXISTING ENTRANCE VESTIBULE STRUCTURE BACK TO EXISTING FLOOR SLAB AND BRICK LEDGE. REMOVE ROOF SYSTEM AS REQUIRED FOR NEW WALLS AND ROOF. REF. SECTIONS.
2. REMOVE EXISTING SHINGLE ROOF SYSTEM AND UNDERLAYMENT BACK TO EXISTING SHEATHING.
3. REMOVE EXISTING BK SIGNAGE. TERMINATE EXISTING ELECTRICAL CONNECTION BACK TO PANEL.
4. REMOVE EXISTING "LIGHT BAND" AS DIRECTED BY OWNER. TERMINATE EXISTING ELECTRICAL CONNECTION BACK TO PANEL. MODIFY AND REUSE EXISTING SECTIONS OF EXISTING "LIGHT BAND" AS DIRECTED BY OWNER.
5. REMOVE EXISTING BRICK VENEER BACK TO EXISTING WALL SHEATHING.
6. NOT USED.
7. REMOVE EXISTING ALUMINUM STOREFRONT DOOR.
8. REMOVE EXISTING DRIVE THRU "BUMP OUT" STRUCTURE BACK TO EXISTING FLOOR SLAB AND BRICK LEDGE. REMOVE ROOF SYSTEM AS REQUIRED FOR NEW WALLS AND ROOF. REF. SECTIONS.
9. REMOVE EXISTING WOOD TRIM BAND. REPAIR WALL AS REQUIRED FOR NEW PAINT FINISH.



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SCOPE OF DRAWINGS  
These drawings indicate the general location of the proposed building and the location of the proposed building. The drawings do not constitute a contract. The drawings are subject to change without notice. The drawings are not to be used for any other purpose without the written consent of the architect.

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|-------------------------------|-------------------|
| DRAWN                         | CHECK             |
|                               |                   |
| DATE                          |                   |
| ISSUED FOR REVIEW             | MAY 9, 2012       |
| ISSUED FOR REVIEW             | NOVEMBER 19, 2012 |
| REVISED                       | DECEMBER 21, 2012 |
| ISSUED FOR UDC REVIEW         | MARCH 15, 2013    |

## BUILDING ELEVATION NOTES

1. NEW ALUMINUM STOREFRONT ENTRANCE SYSTEM/DOOR.
2. NEW ALUMINUM STOREFRONT WINDOW SYSTEM.
3. NEW METAL CANOPY. VERIFY LENGTH w/ SIGN AND BUILDING.
4. NEW BK SIGNAGE. CONNECT TO EXISTING SIGN CIRCUIT. CIRCUIT BACK TO EXISTING PANEL.
5. MODIFY AND REUSE EXISTING SECTIONS OF "LIGHT BAND" AS DIRECTED BY OWNER. CIRCUIT BACK TO EXISTING PANEL.
6. NEW METAL COPING (TYPICAL).
7. ADA SYMBOL WINDOW DECAL AT ENTRANCE DOORS.
8. PAINT EXISTING AND NEW BRICK VENEER. COORDINATE WITH EXTERIOR FINISH SCHEDULE.
9. NEW DRIVE THRU WINDOW WITH TRANSOM AND SIDE LITES. QUICKSERV MODEL #4836.
10. ALUMINUM BRAKE METAL PANEL BETWEEN ALUMINUM WINDOW FRAMES.
11. WRAP EXISTING FASCIA WITH NEW METAL. REPLACE ALL DAMAGED WOOD AS REQUIRED.
12. PAINT EXISTING WOOD PARAPET BAND.
13. PAINT EXISTING WOOD ROOF PARAPET SCREEN WALL.
14. NEW STANDING SEAM METAL ROOF SYSTEM.

2020 REMODEL  
FOR  
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STORE NO. BK1764



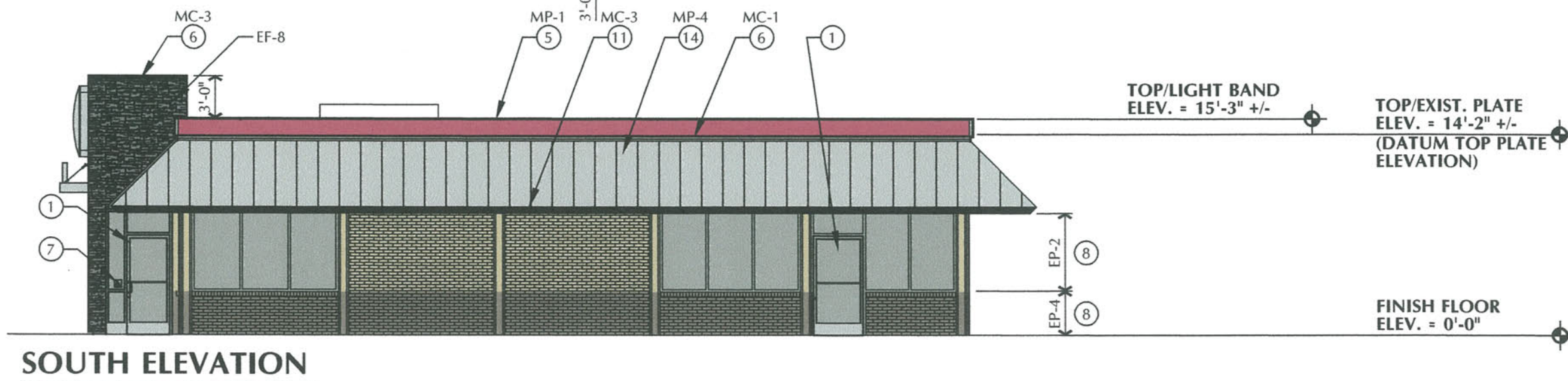
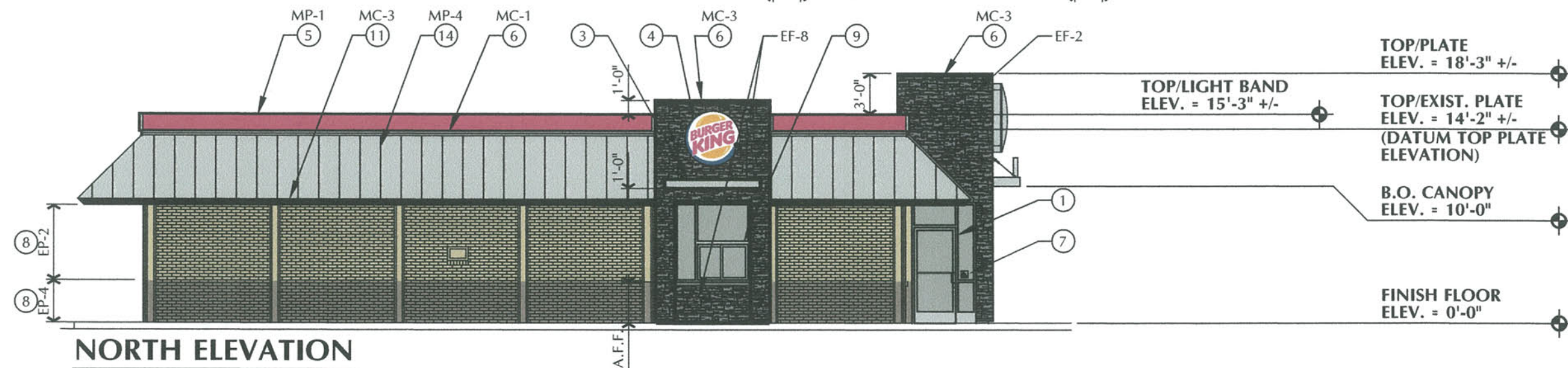
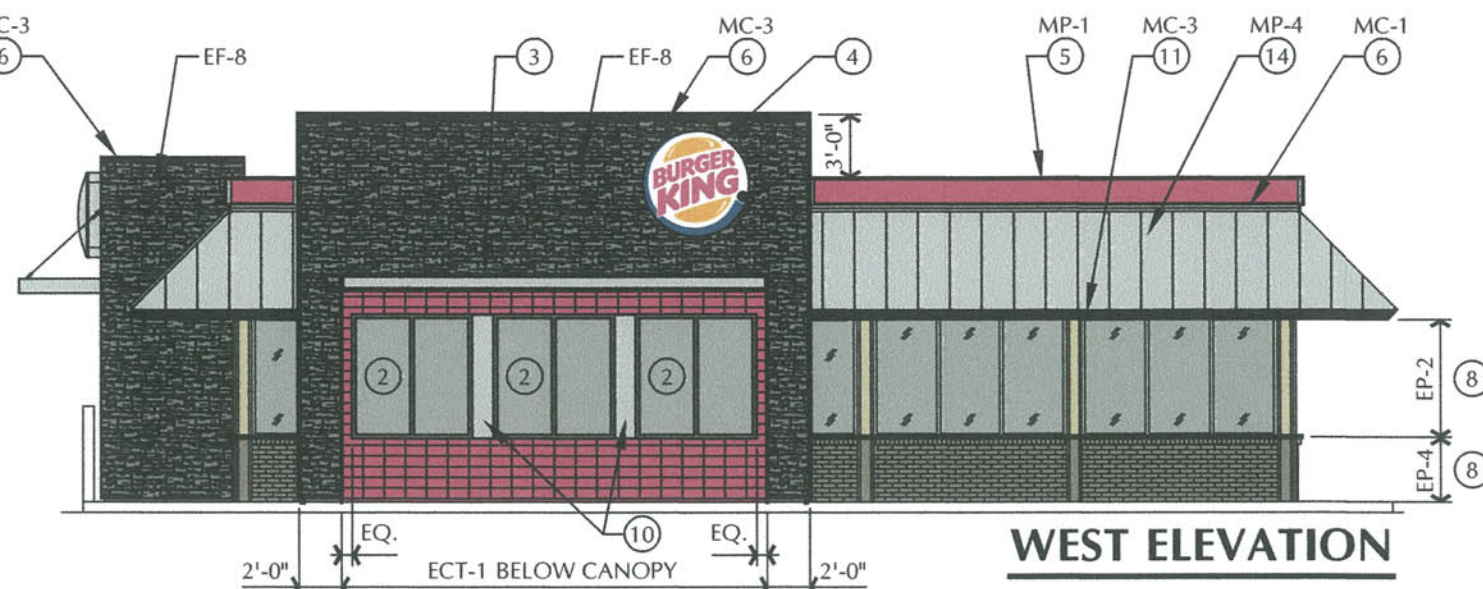
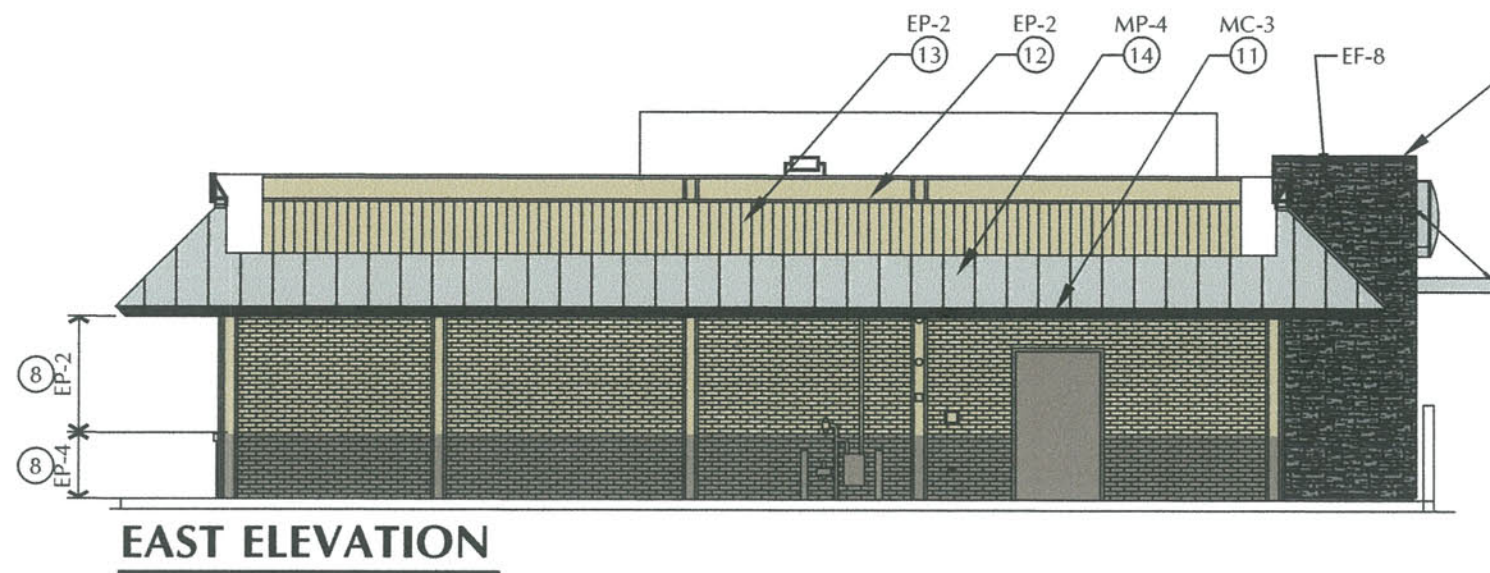
2655 EAST WASHINGTON  
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SHEET TITLE  
EXTERIOR  
ELEVATIONS

SHEET NUMBER  
**A-2.0**  
OF SHEETS  
PROJECT NUMBER  
B001-1113





## PROPOSED BUILDING ELEVATIONS





**SCOPE OF DRAWINGS**

These Drawings indicate the general scope of the Project in terms of architectural design, structure, the dimensions of the building, the major architectural elements, and the site of structural, mechanical and electrical systems. The Drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract. On the basis of the general scope indicated or described, two trade contractors shall furnish all items required for the proper execution and completion of the Work.

| DRAWN | CHIEF |
|-------|-------|
|-------|-------|

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