

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>October 21, 2008</u>	Action Requested
UDC MEETING DATE: <u>November 12, 2008</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 610 Junction Rd., Ste. 101, Madison, Wisconsin

ALDERMANIC DISTRICT: District 9

OWNER/DEVELOPER (Partners and/or Principals)	ARCHITECT/DESIGNER/OR AGENT:
<u>City Center Junction, llc.</u>	<u>Blue Design Group, llc.</u>
<u>6495 S. 27th St.</u>	<u>P.O. Box 357, 202 W. Main St.</u>
<u>Franklin, WI 53132</u>	<u>Hortonville, WI 54944</u>

CONTACT PERSON: Steve Jamroz
Address: P.O. Box 357, 202 W. Main St.
Hortonville, WI 54944
Phone: (920) 841-2583
Fax: (920) 779-0521
E-mail address: Sjamroz.bdg@charterinternet.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

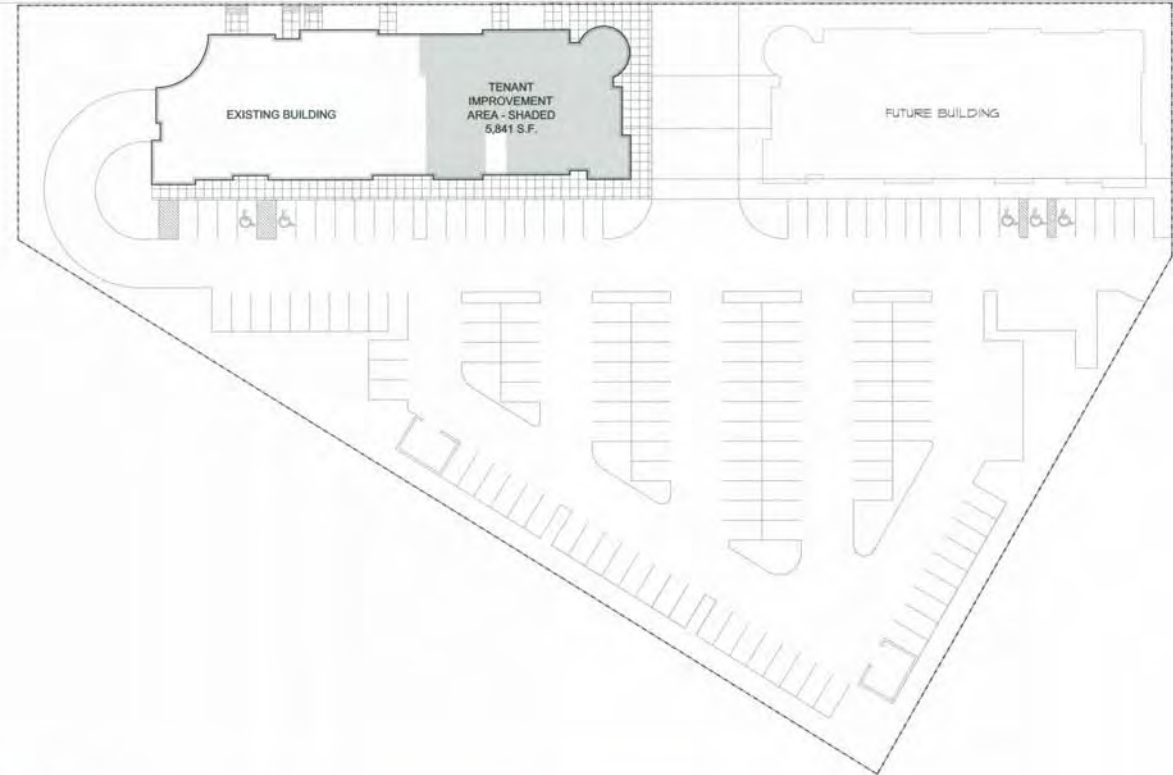
(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

JUNCTION ROAD



UDC COMMISSION REVIEW
FOR STREET GRAPHICS
VARIANCE

MADISON, WISCONSIN

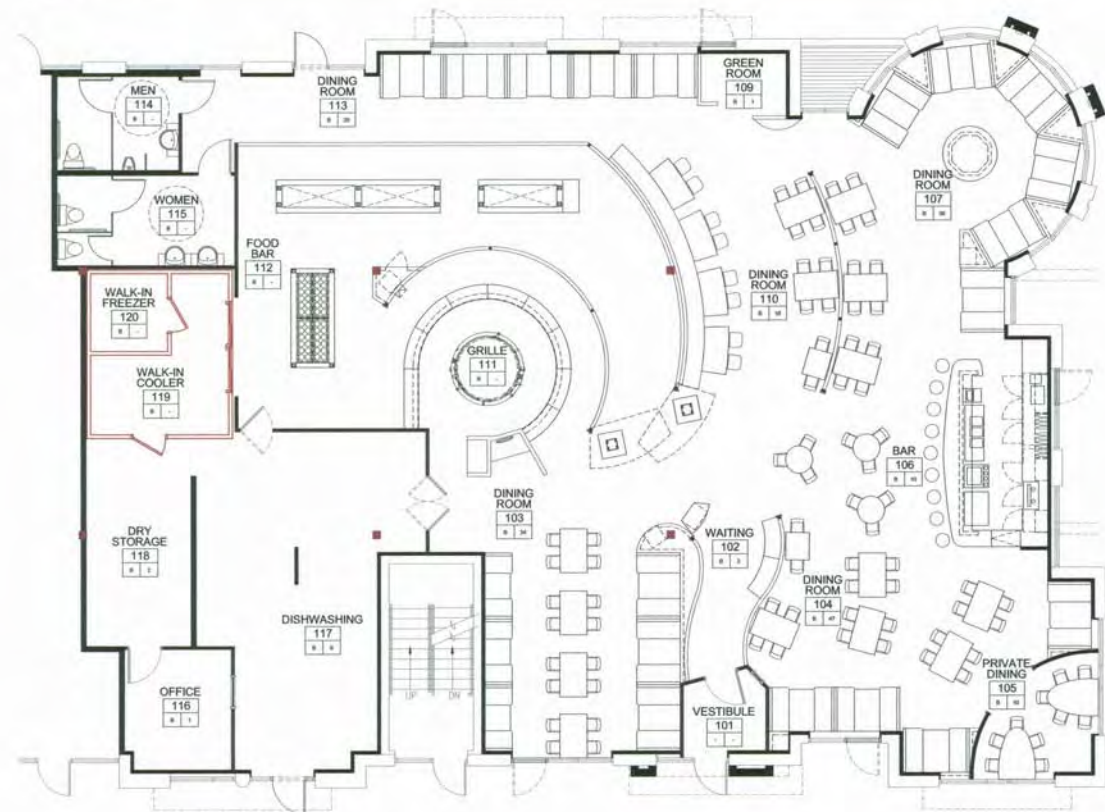
INDEX OF DRAWINGS

G1.0	COVER SHEET AND DRAWING INDEX
TD1.0	EXTERIOR DETAILS
TD1.1	EXTERIOR DETAILS



PROFESSIONAL SEAL

2 SITE PLAN
G1.0 1" = 40'-0"



ARCHITECT

BLUE DESIGN GROUP, LLC.
STEVEN JAMROZ, AIA
202 W. MAIN ST., (PO BOX 357)
HORTONVILLE, WI 54944
(920) 841-2583 FAX (920) 779-0521
EMAIL: SJAMROZ.BDG@CHARTERINTERNET.COM

FRANCHISE CONTACT

HUHOT MONGOLIAN GRILLS, LLC
ANDY VAP
223 MAIN STREET
MISSOULA, MONTANA 59802
(406) 251-4303
(406) 544-3174 (CELL)
WEBSITE: WWW.HUHOT.COM
EMAIL: AVAP@HUHOT.COM
CONTRACTOR ONLINE RESOURCES AVAILABLE FROM ABOVE EMAIL ADDRESS

FOODSERVICE CONTACT

HIGH COUNTRY DESIGN AND CONSULTING
MICHAEL MILES
6682 FERGUSON AVENUE, SUITE 5
BOZEMAN, MONTANA 59718
(406) 522-7700 FAX (406) 522-7701
EMAIL: TRACY@H-CDESIGN.COM
MICHAEL@H-CDESIGN.COM



3 LOCATION PLAN
G1.0 NO SCALE

1 FLOOR PLAN
G1.0 1/8" = 1'-0"

PROJECT:
HuHot-Madison
LOCATION:

Madison, WI
PREPARED FOR:
HuHot Mongolian
Grills, LLC

DATE:	REVISION:
8-29-08	HUHOT REVIEW
8-29-08	TRADE DRESS SET

DRAWN BY:
JF/SJ

CHECKED BY:

PROJECT NO:
08-018

COVER SHEET
DRAWING INDEX

G1.0



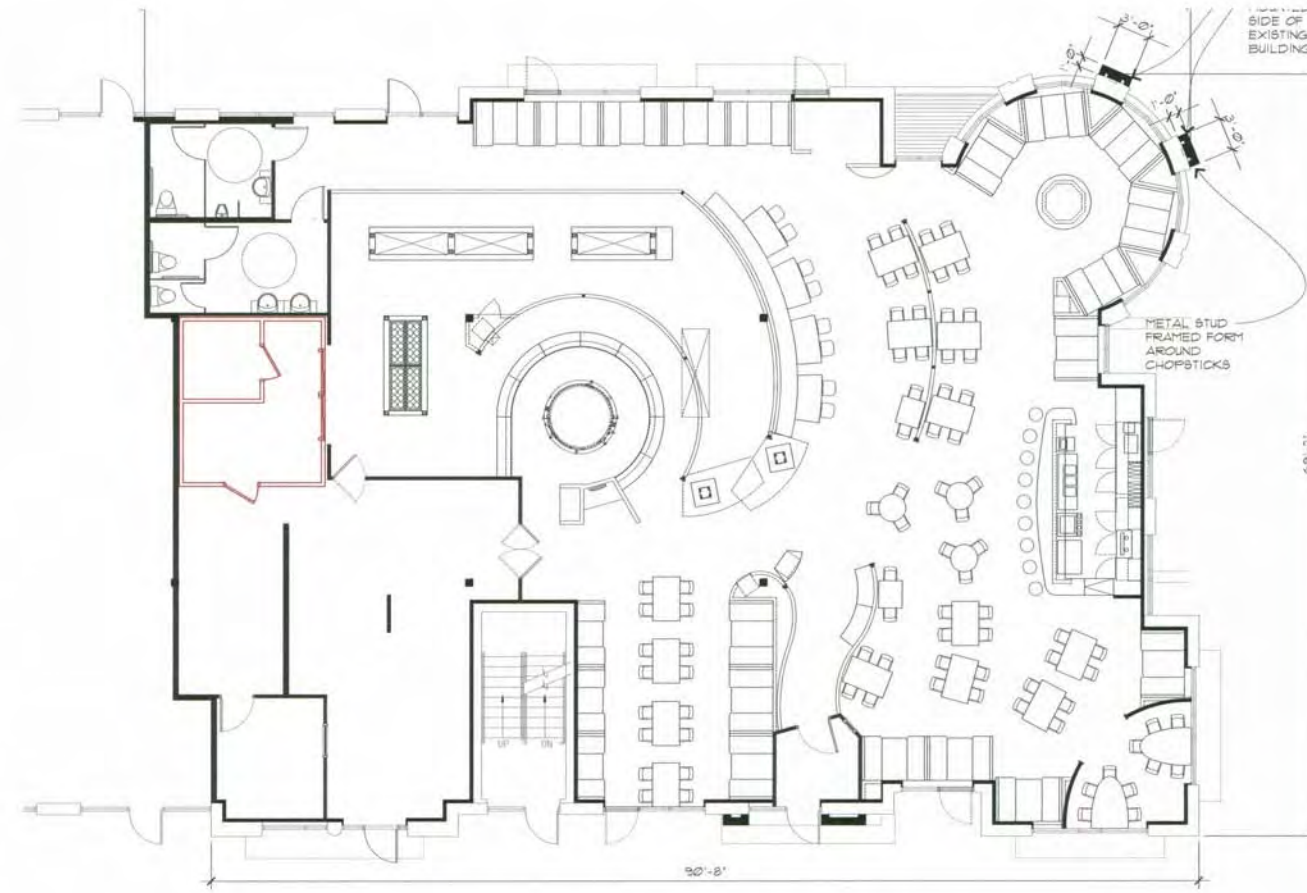
1 EXTERIOR WEST ELEVATION
TD1.0 1/8" = 1'-0"



2 EXTERIOR SOUTH ELEVATION
TD1.0 1/8" = 1'-0"



3 EXTERIOR EAST ELEVATION
TD1.0 1/8" = 1'-0"



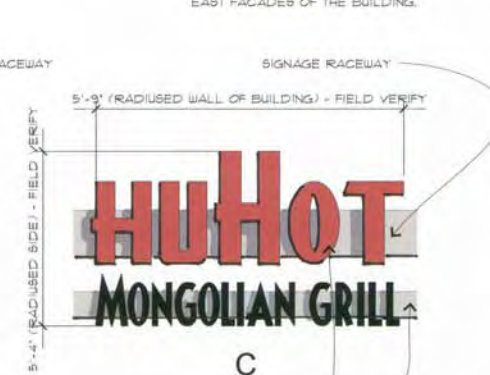
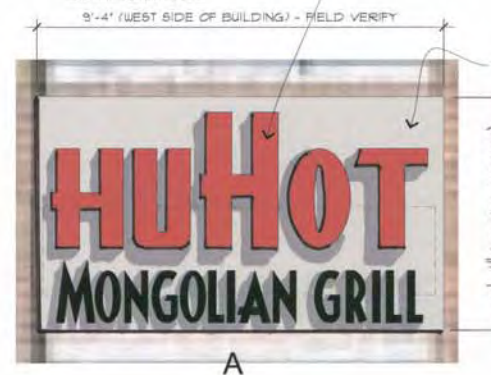
FLOOR PLAN
1/8" = 1'-0"

PER MADISON ZONING CODE: 31.07(3) SIGNAGE SHALL NOT EXCEED 40% OF SIGNABLE AREA OR (2) SQUARE FEET OF GRAPHICS FOR EACH LINEAL FOOT OF BUILDING FRONTAGE BUT NOT EXCEED (100%) OF THE SIGNABLE AREA.

SIGNAGE AREA PERMITTED:
EAST SIDE OF BUILDING: 192 SF.
(AREA REQUESTED: 50 SF, +/-)
SIGNAGE AREA: 50 SF.
WEST SIDE OF BUILDING: 180 SF.
(AREA REQUESTED: 151 SF.)
CHOPSTICK AREA: 126 SF.
SIGNAGE AREA: 31 SF.
SOUTH SIDE OF BUILDING: 138 SF.
(AREA REQUESTED: 0 SF, +/-)

*PLEASE NOTE, ONLY (1) SIGN IS BEING REQUESTED FOR THE SOUTH AND EAST SIDE OF THE BUILDING AS IT IS BEING PLACED ON A PROJECTING PORTION OF THE BUILDING WHICH IS LOCATED AT THE CORNER OF THE SOUTH AND EAST FACADES OF THE BUILDING.

INTERNALLY ILLUMINATED INDIVIDUAL LETTERS W/BRUSHED ALUMINUM FINISH - MOUNTED TO RACEWAY WHICH IS ANCHORED TO EXISTING EXTERIOR BUILDING WALL - VERIFY FINAL SIZE, LOCATION, FINISH AND CONSTRUCTION W/OWNER BEFORE COMMENCING WORK.



INTERNALLY ILLUMINATED INDIVIDUAL LETTERS W/BRUSHED ALUMINUM FINISH - MOUNTED TO RACEWAY WHICH IS ANCHORED TO EXISTING EXTERIOR BUILDING WALL - VERIFY FINAL SIZE, LOCATION, FINISH AND CONSTRUCTION W/OWNER BEFORE COMMENCING WORK.

4 ENLARGED SIGNAGE ELEVATION
TD1.0 1/2" = 1'-0"

HUHOT MONGOLIAN GRILL
223 MAIN STREET
MISSOULA, MT 59802
PHONE: 406.251.4303
AVAP @ HUHOT.COM



PROFESSIONAL SEAL

PROJECT:
HuHot-Madison
LOCATION:

Madison, WI
PREPARED FOR:
HuHot Mongolian
Grills, LLC

DATE: 8-29-08
REVISION: HUHOT REVIEW

8-29-08 TRADE DRESS SET

DRAWN BY:
JF

CHECKED BY:

PROJECT NO:
08-018

EXTERIOR
DETAILS

TD1.0



PROFESSIONAL SEAL

PROJECT:
 HuHot-Madison
 LOCATION:

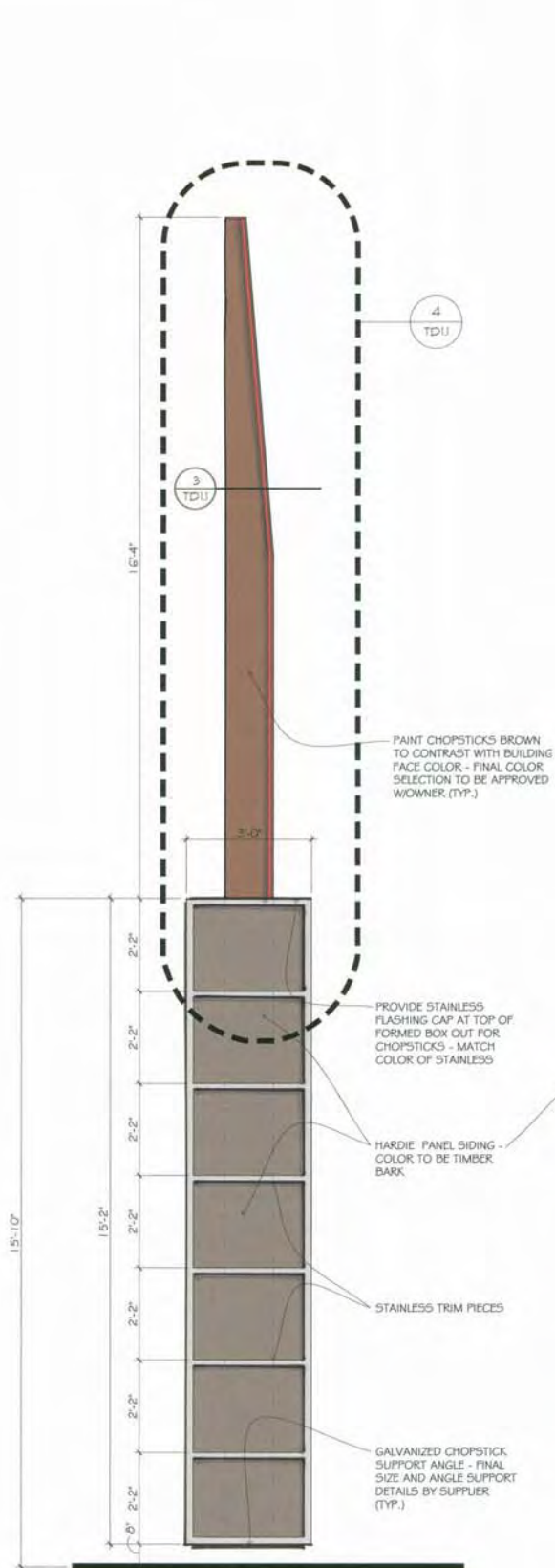
Madison, WI
 PREPARED FOR:
 HuHot Mongolian
 Grills, LLC

DATE	REVISION
x-xx-08	HUHOT REVIEW
x-xx-08	TRADE DRESS SET

DESIGN BY:
 JF/SJ

CHECKED BY:
 08-018

EXTERIOR
 DETAILS



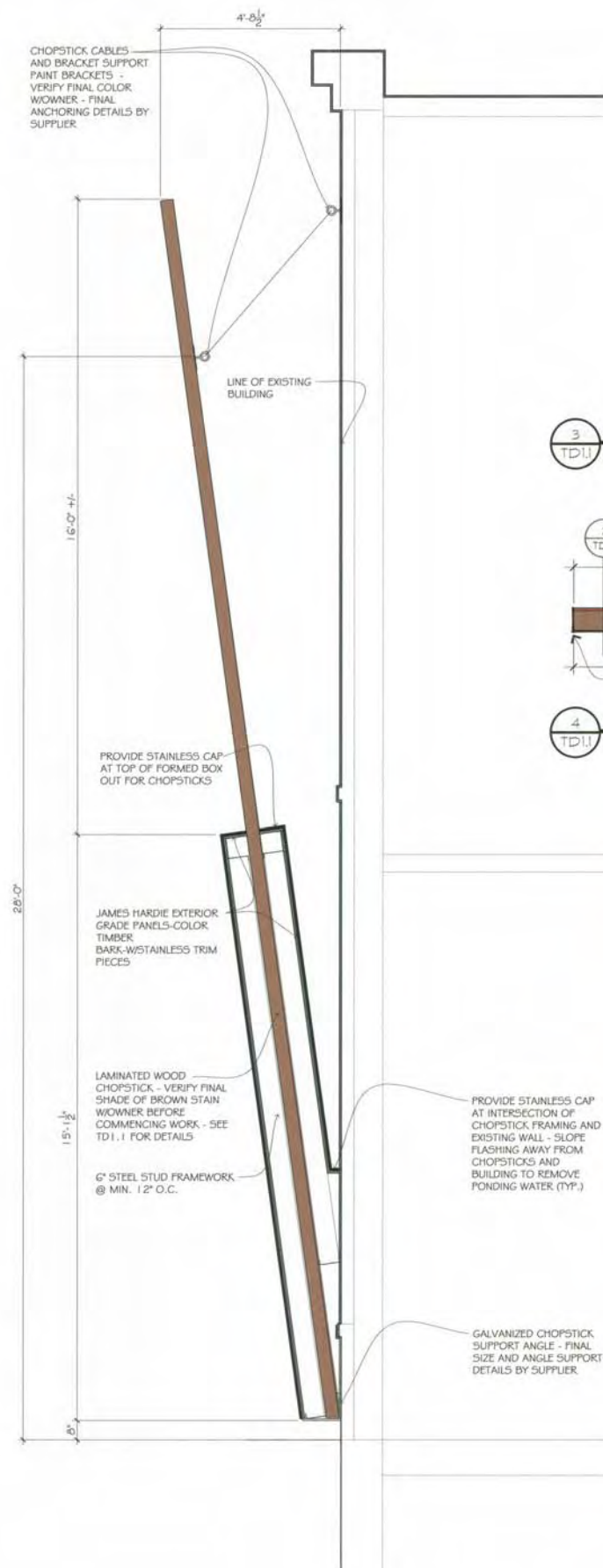
1 CHOPSTICK ELEVATION
 TDU 1/2" = 1'-0"

Your ColorPlus® Palette

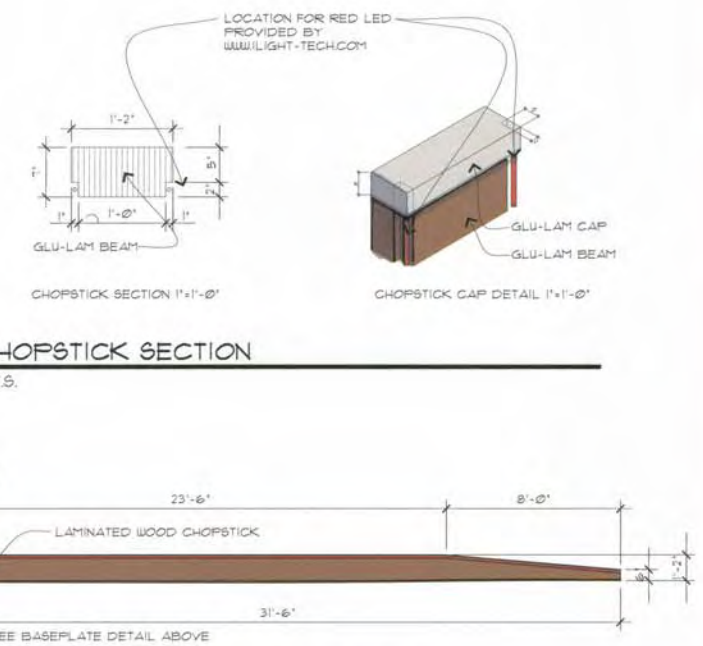
Return to the map if you want to change locations

Click on a swatch below to see a specific color

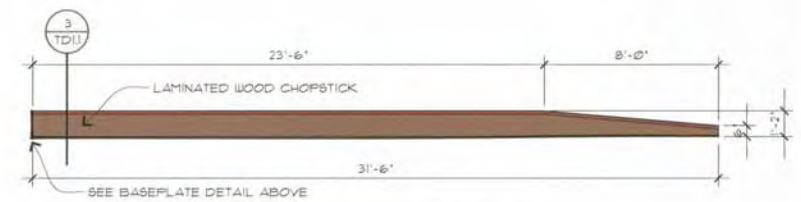
Timber Bark



2 CHOPSTICK FOUNDATION DETAIL
 TDU 1/2" = 1'-0"



3 CHOPSTICK SECTION
 TDU 1/2" = 1'-0"



4 GLU-LAM CHOPSTICK ELEVATION
 TDU 1/2" = 1'-0"



5 REFERENCE PHOTO OF CHOPSTICKS
 TDU 1/2" = 1'-0"

October 21, 2008

Department of Planning & Development
Madison Municipal Building
215 Martin Luther King, Jr. Blvd.
P.O. Box 2984
Madison, WI 53701-2984

Re: UDC Street Graphics Variance
City Center Junction – HuHot Tenant Build-Out
610 Junction Rd. Ste. 101, Madison, WI

To Members of the Urban Design Commission

Please find outlined below a written explanation of the variance requested for the HuHot Tenant Build-Out, which is located within the City Center Junction project (previously approved by the City of Madison Department of Planning & Development). Also included, please find attached, the UDC variance application and related drawings.

The intent of the changes outlined in the drawings and further described below are related to signage and graphics as they relate to the tenant build-out for HuHot Mongolian Grill. The proposed changes include the following; overall size of tenant building signage and the provision for vertical signage elements (chopsticks) that project from the face of the building.

- **Building Signage:** Per the Madison Zoning Code: 31.07(3) signage shall not exceed 40% of the signable area or (2) square feet of graphics for each lineal foot of building frontage, but not exceed (100%) of the signable area. The proposed building signage for the HuHot Tenant Build-Out as described in detail on the attached drawing TD1.0, illustrates that the proposed signage will not exceed this amount. The proposed signage however, is in conflict with the dashed areas represented on the previously approved PUD plan for signable area. This request for variance asks that the HuHot Tenant build-out be allowed to provide signage as allowed by Zoning Code Section 31.07(3) in lieu of the conceptual sign band area as shown 'dashed' in the previously approved PUD agreement.
- **Vertical Signage Elements:** When beginning the exterior design for the HuHot Tenant Build-Out, the design team sat down with the City of Madison Planning Department to discuss HuHot Franchise Signage. At the time of the discussions, the design team was informed that ground mounted signs were not permitted as a part of the Final PUD Agreement for City Center Junction. Coincidentally, one of the main signage requirements for HuHot Franchises are ground mounted chopsticks. These vertical signage elements define the franchise, much like the golden arches define McDonald's restaurants.

Because there is no specific signage category for these vertical franchise signage elements, this variance request, asks for permission to attach these vertical sign elements (a pair of chopsticks and related base elements) to the building and be included as part of the allowable building signage. If allowed to be a part of the building signage, these chopsticks in combination with proposed signage would comply with the allowable area for building signage as defined by Madison Zoning Code: 31.07(3). This section allows for allowable signage areas to be calculated based upon the calculation of 2 S.F. per lineal foot of building frontage. The allowable square footage of signage along the east façade when calculated at 2 S.F. per lineal foot, would allow for a signable area of approximately 180 S.F. The allowable square footage of signage along the south façade when calculated as 2 S.F. per lineal foot, would allow for a signable area of approximately 138 S.F. As the chopsticks and building signage are located at the corner of both the east and south facades, it could be assumed that an average of both sides could be used to calculate the allowable signable area. When calculated on an average of the two sides (east and south) the allowable signable area would be approximately 165 S.F.. When the building signage and chopsticks are calculated, they total approximately 157 S.F.

On behalf of the Owner, we respectfully ask that you consider our request for variance on the above mentioned items. We thank you in advance for your time and consideration on these issues. If there are any other items that you require or have any questions, please do not hesitate to contact me directly at (920) 841-2583.

Respectfully,



Steven J. Jamroz, AIA, NCARB, **LEED® AP**
Owner/Partner, Blue Design Group, llc.