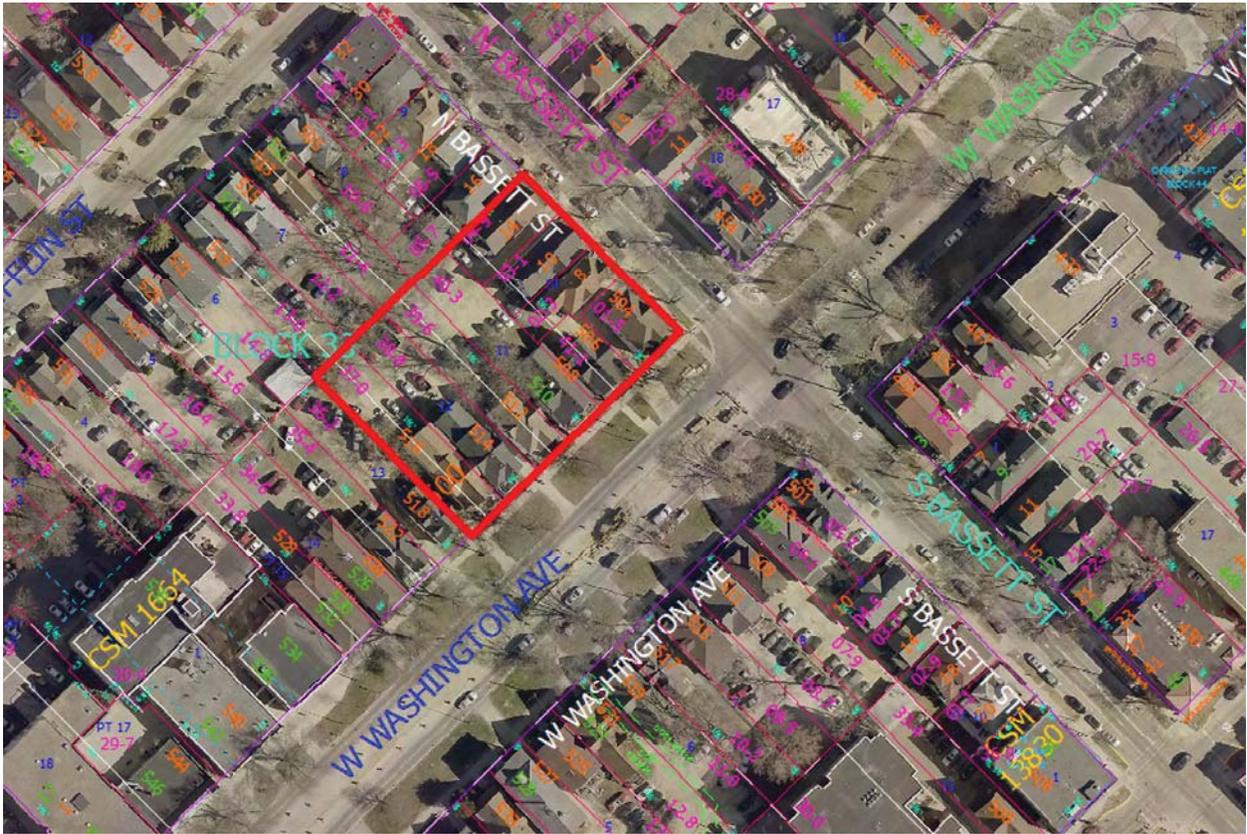


502 W Washington Avenue

Contract No. 8978

MUNIS No. 13273

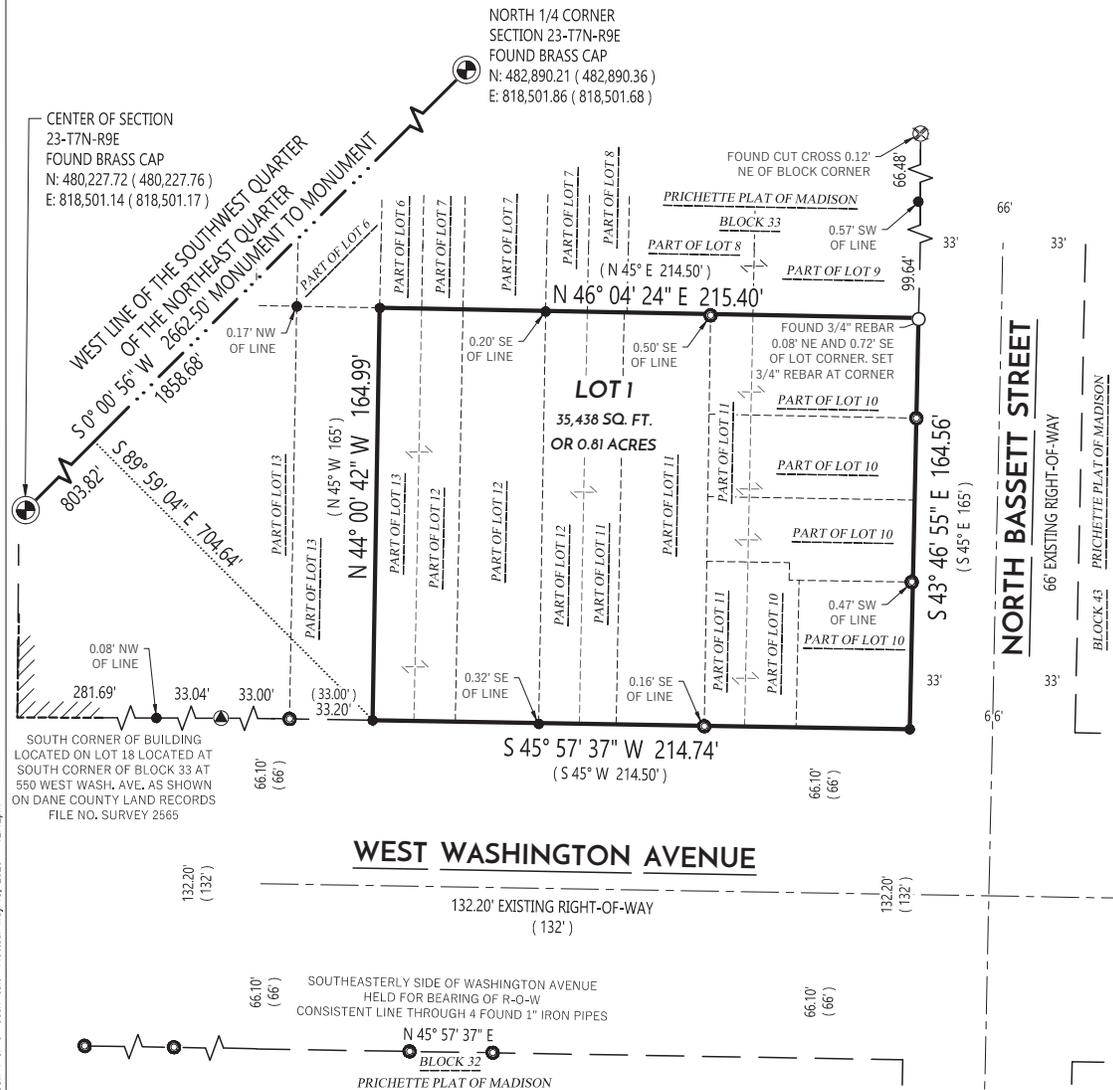


### Improvements Summary

- Public sidewalk remove & replace as needed to facilitate construction.
- Remove abandoned driveway apron(s) and close curb cuts with curb and gutter.
- Private utility service lateral connections to public utilities.
- Off-site sanitary sewer improvements if existing sanitary capacity is exceeded by the redevelopment.
- City street tree protection and replacement.
- Bus stop expansion.
- Construction staging and access due to limited access from W Washington Ave and N Bassett St.
- Coordinate project with City's W Washington St Resurfacing project.

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

ALL OF LOTS 10-12, AND PART OF LOT 13, OF BLOCK 33, PRICHETTE PLAT OF MADISON - ALSO KNOWN AS - PLAT OF MADISON THE CAPITOL OF WISCONSIN, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



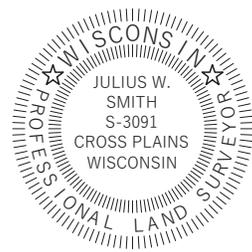
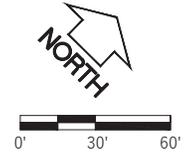
File: C:\Users\jue\Desktop\200688\_P1 - 500 W. Washington\mg\200688\_P1\_500 W. Wash - CSM.dwg Layout: CSM 1 OF 6 User: jue Pchitted, May 15, 2020 - 12:12pm

**LEGEND**

- SECTION CORNER FOUND
- 3/4" REBAR FOUND
- 1" IRON PIPE FOUND
- RAIL SPIKE FOUND
- CUT CROSS FOUND
- 3/4" REBAR SET 2.55 LB/FT
- CSM BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- SECTION/QUARTER LINE
- PLATTED LINE
- RECORDED INFORMATION

**NOTES:**

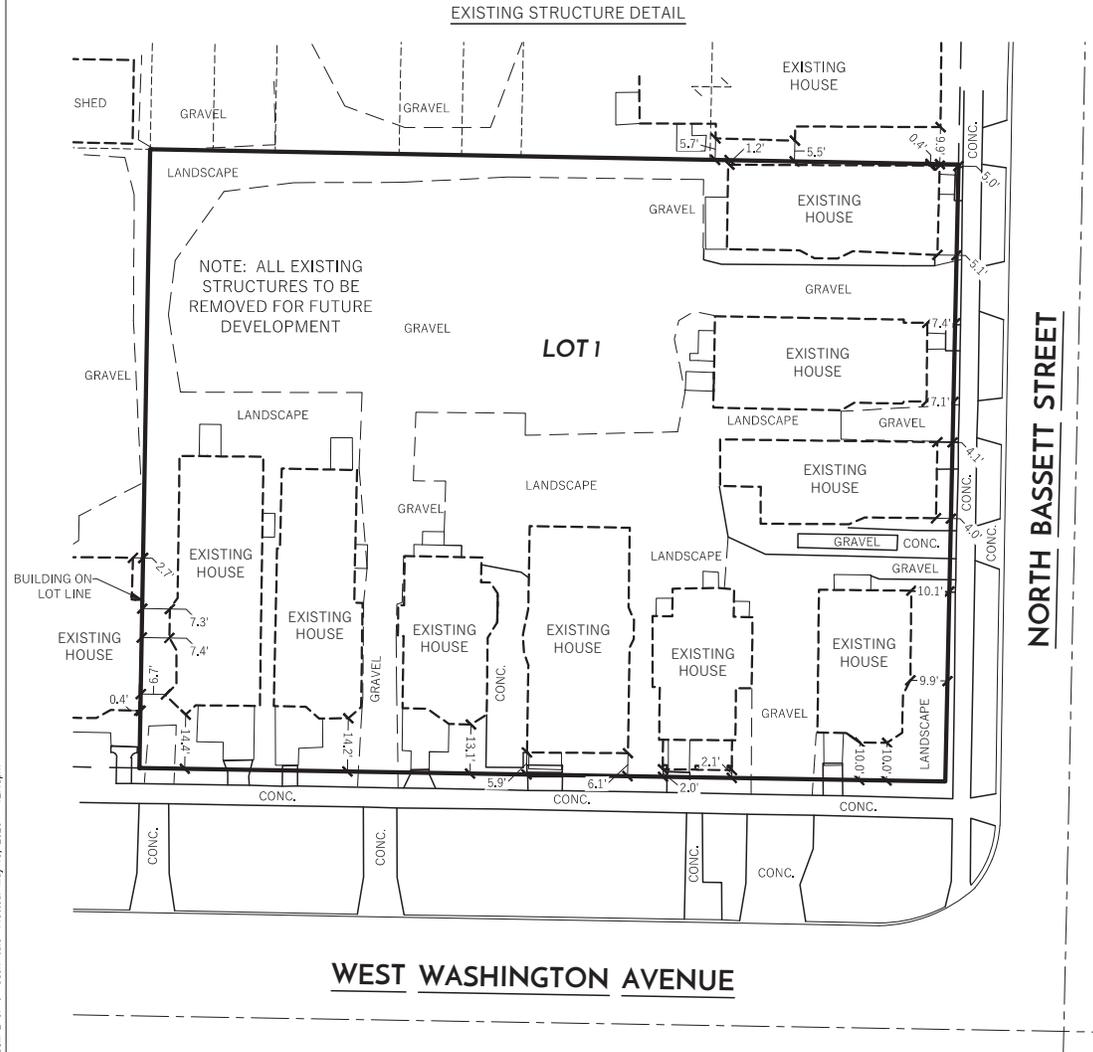
1. FIELD WORK PERFORMED BY WYSER ENGINEERING, LLC. ON MARCH 20 & 23, 2020 AND APRIL 13, 2020.
2. NORTH REFERENCE FOR THIS CERTIFIED SURVEY AND MAP ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, WISCRS DANE, NAD 83 (2011), GRID NORTH. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 23, T7N, R9E, MEASURED TO BEAR S 0°00' 56" W.
3. BOUNDARY FOR THIS SURVEY IS BASED ON FOUND IRONS AS SHOWN BY PREVIOUS SURVEY PERFORMED BY WYSER ENGINEERING, DATED APRIL 22, 2020.
4. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
5. SEE SHEET 2 OF 6 FOR EXISTING STRUCTURE DETAILS.
6. SEE SHEET 3 OF 6 FOR EXISTING EASEMENT DETAILS.



	PREPARED BY: 312 EAST MAIN STREET MOUNT HOREB, WI 53572 <a href="http://www.wyserengineering.com">www.wyserengineering.com</a>	PREPARED FOR: KELLER REAL ESTATE GROUP 448 WEST WASHINGTON AVENUE MADISON, WI 53703	SURVEYED BY: ZMR/MAL DRAWN BY: ZMR/JWS APPROVED BY: JWS	VOL. _____ PAGE _____ PROJECT NO: 200688 SHEET NO: 1 of 6	DOC. NO. _____ C.S.M. NO. _____
	NORTH 1/4 CORNER SECTION 23-T7N-R9E FOUND BRASS CAP N: 482,890.21 (482,890.36) E: 818,501.86 (818,501.68)				

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

ALL OF LOTS 10-12, AND PART OF LOT 13, OF BLOCK 33, PRICHETTE PLAT OF MADISON - ALSO KNOWN AS - PLAT OF MADISON THE CAPITOL OF WISCONSIN, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



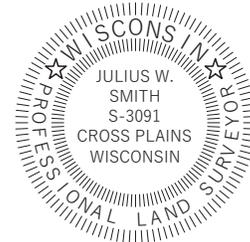
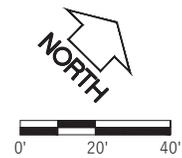
File: C:\Users\jude\Desktop\200688\_P1 - 500 W. Washington\Map\200688\_P1 500 W Wash - CSK.dwg Layout: CSM 2 OF 6 User: jule Plotter: May 15, 2020 - 12:13pm

**LEGEND**

- CSM BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- PLATTED LINE
- - - - BUILDING FOOTPRINT

**NOTES:**

1. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
2. SEE SHEET 3 OF 6 FOR EXISTING EASEMENT DETAILS
3. ALL EXISTING BUILDINGS TO BE REMOVED



PREPARED BY:  
312 EAST MAIN STREET  
MOUNT HOREB, WI 53572  
[www.wyserengineering.com](http://www.wyserengineering.com)

PREPARED FOR:  
KELLER REAL ESTATE GROUP  
448 WEST WASHINGTON AVENUE  
MADISON, WI 53703

SURVEYED BY: ZMR/MAL  
DRAWN BY: ZMR/JWS  
APPROVED BY: JWS

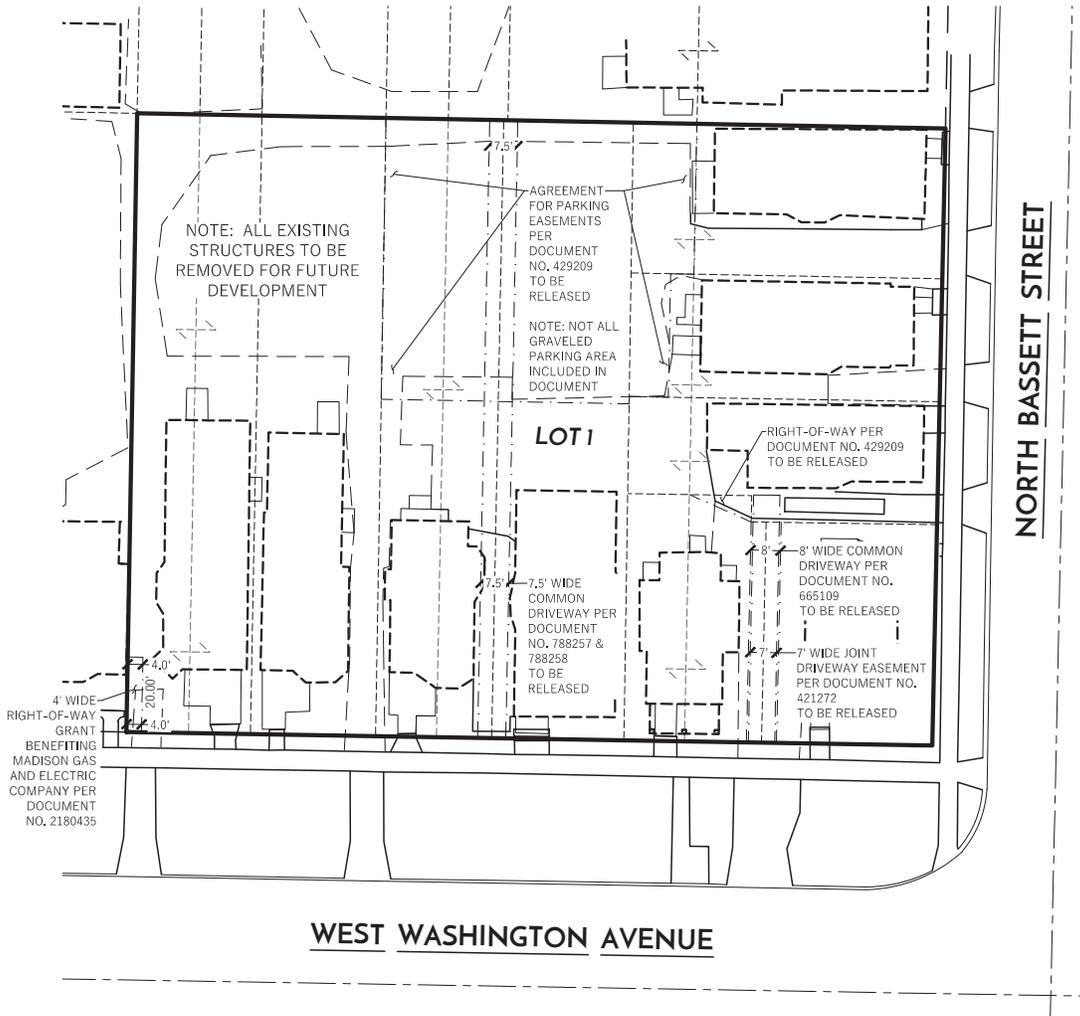
PROJECT NO: 200688  
SHEET NO: 2 of 6

VOL. \_\_\_\_\_ PAGE \_\_\_\_\_  
DOC. NO. \_\_\_\_\_  
C.S.M. NO. \_\_\_\_\_

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

ALL LOTS 10-12, AND PART OF LOT 13, OF BLOCK 33, PRICHETTE PLAT OF MADISON - ALSO KNOWN AS - PLAT OF MADISON THE CAPITOL OF WISCONSIN, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

EXISTING EASEMENT DETAIL



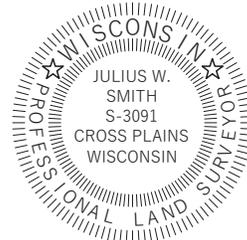
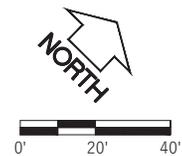
File: C:\Users\jude\Desktop\200688\_P1 - 500 W. Washington\Map\200688\_P1 500 W. Wash - CSM.dwg Layout: CSM 3 OF 6 User: jude Plotted: May 15, 2020 - 12:13pm

**LEGEND**

- CSM BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- PLATTED LINE
- EXISTING EASEMENT
- BUILDING FOOTPRINT

**NOTES:**

1. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.



	PREPARED BY: 312 EAST MAIN STREET MOUNT HOREB, WI 53572 <a href="http://www.wyserengineering.com">www.wyserengineering.com</a>	PREPARED FOR: KELLER REAL ESTATE GROUP 448 WEST WASHINGTON AVENUE MADISON, WI 53703	SURVEYED BY: ZMR/MAL DRAWN BY: ZMR/JWS APPROVED BY: JWS	PROJECT NO: 200688 SHEET NO: 3 of 6	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____





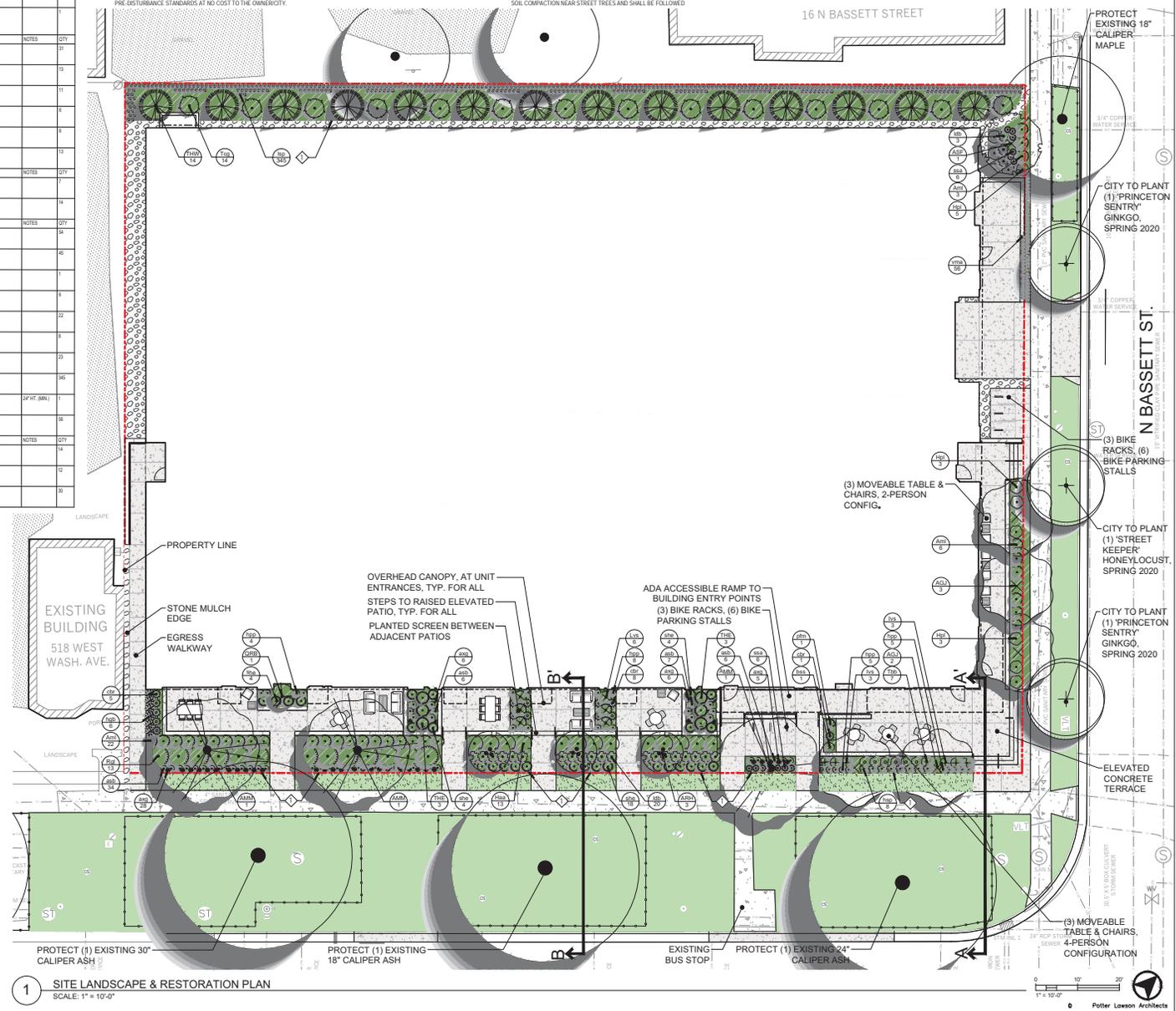
PLANT SCHEDULE - SITE PLANTING PLAN						
SYMBOL	TREE	BOTANICAL / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	TR	Thunbergia 'Desert' / Emerald Aboretia	B.B.	8"	8' HT (MIN)	1
	TR	Thunbergia 'Nazi Whiskey' / Nazi Whiskey Aboretia	B.B.	8"	8' HT (MIN)	14
	OR	Alexander's ginkgo / Robin Hill / Robin Hill Secretary	B.B.	SPRINT MULTI-STEM	8' HT (MIN)	3
	QR	Quercus alba 'Scarlet' / Scarlet Oak	B.B.	7"	7'	1
	AM	Acer maple 'Norfolk' / The State Street Maple	B.B.	7"	7'	1
	AD	Azalea glabra 'J.A. Bird' / J.A. Bird Azalea	B.B.	7"	7'	1
	AS	Alexander's weigela 'Spring Fury' / Spring Fury Weigela	B.B.	7"	7'	1
	DE	Deciduous shrub	B.B.	7"	7'	1
	FR	Fern	B.B.	7"	7'	1
	VE	Vertical fern	B.B.	7"	7'	1
	GR	Grass	B.B.	7"	7'	1

**NOTES**

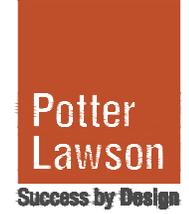
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER PROTECTIVE MATERIALS SHALL BE COMPLETELY REMOVED FROM ALL SHRUBS AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS THAT ARE DISTURBED SHALL BE RE-SEEDED AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNERSHIP.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 264-4814 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLANS ARE APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 24-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ADJACENT PERSON WITH WHOM THE DISTRICT IS AFFECTED BY THE STREET TREE REMOVALS PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (608-264-4814) PRIOR TO EXCAVATION. CITY OF MADISON PERSONNEL SHALL ASSESS THE IMPACT OF THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES EITHER ABOVE OR BELOW GROUND SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY (608-264-4814).
- SECTION 107.13(d) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SOILS OR EMBURGING OF HAZARDOUS MATERIALS ON AROUND TREES AND ROOTS WITHIN 5 FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- STREET TREE PRUNING, IF NECESSARY, SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z600 - PART 1 STANDARDS FOR PRUNING.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF THE TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.

**LEGEND**

- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE
- PLANTING BED
- SODDED LAWN
- SEEDED LAWN
- STONE MULCH
- SHOULDER CUT EDGE
- METAL EDGE
- CONCRETE PAVEMENT
- C.I.P. CONCRETE RETAINING WALL
- PROPERTY LINE



**1 SITE LANDSCAPE & RESTORATION PLAN**  
SCALE: 1" = 10'-0"



PRELIMINARY  
NOT FOR CONSTRUCTION

500 West Washington  
Development  
Keller Real Estate Group  
502 West Washington Avenue  
Madison, WI

05/18/20 MADISON LAND USE APPLICATION  
CONDITIONS OF APPROVAL SUBMITTAL

**SITE LANDSCAPE & RESTORATION PLAN**

**L100**