

LOT 1
CSM #14510

LOT 1
CSM #6504



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350
madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.5350
denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION
**MMSD - RIMROCK
SOUTHSIDE
ELEMENTARY SCHOOL**

501 E BADGER RD
MADISON, WI 53713

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/21/2021	100% SD SET

KEY PLAN

SHEET INFORMATION

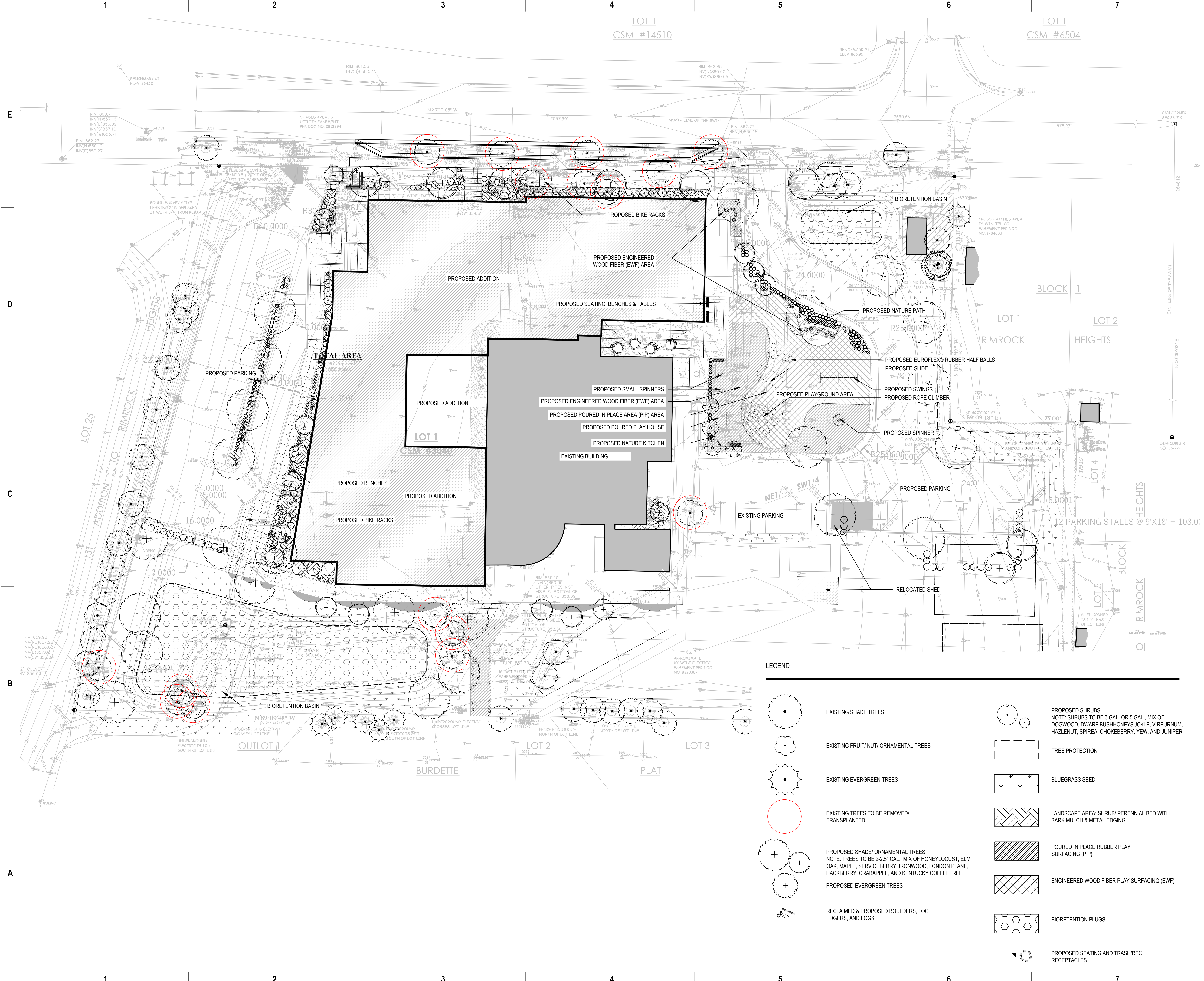
**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER
PROJECT NUMBER

LANDSCAPE PLAN

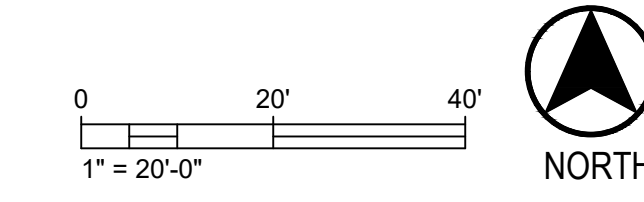
L-1

© 2021 Eppstein Uhen Architects, Inc.



LEGEND

- EXISTING SHADE TREES
- EXISTING FRUIT/ NUT/ ORNAMENTAL TREES
- EXISTING EVERGREEN TREES
- EXISTING TREES TO BE REMOVED/ TRANSPLANTED
- PROPOSED SHADE/ ORNAMENTAL TREES
NOTE: TREES TO BE 2.5" CAL., MIX OF HONEYLOCUST, ELM, OAK, MAPLE, SERVICEBERRY, IRONWOOD, LONDON PLANE, HACKBERRY, CRABAPPLE, AND KENTUCKY COFFEETREE
- PROPOSED EVERGREEN TREES
- RECLAIMED & PROPOSED BOULDERS, LOG EDGERS, AND LOGS
- PROPOSED SHRUBS
NOTE: SHRUBS TO BE 3 GAL. OR 5 GAL., MIX OF DOGWOOD, DWARF BUSHHONEYSUCKLE, VIRBURNUM, HAZELNUT, SPIREA, CHOKEBERRY, YEW, AND JUNIPER
- TREE PROTECTION
- BLUEGRASS SEED
- LANDSCAPE AREA: SHRUB/ PERENNIAL BED WITH BARK MULCH & METAL EDGING
- POURED IN PLACE RUBBER PLAY SURFACING (PIP)
- ENGINEERED WOOD FIBER PLAY SURFACING (EWF)
- BIORETENTION PLUGS
- PROPOSED SEATING AND TRASH/REC RECEPTACLES



LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- - - EASEMENT
- ▭ BUILDING FOOTPRINT
- ▭ 18" CURB AND GUTTER
- ▭ ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2590

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.595.4500

PROJECT INFORMATION

**SOUTHSIDE
ELEMENTARY
ADDITION**

**501 E Badger Rd,
Madison, WI 53713**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

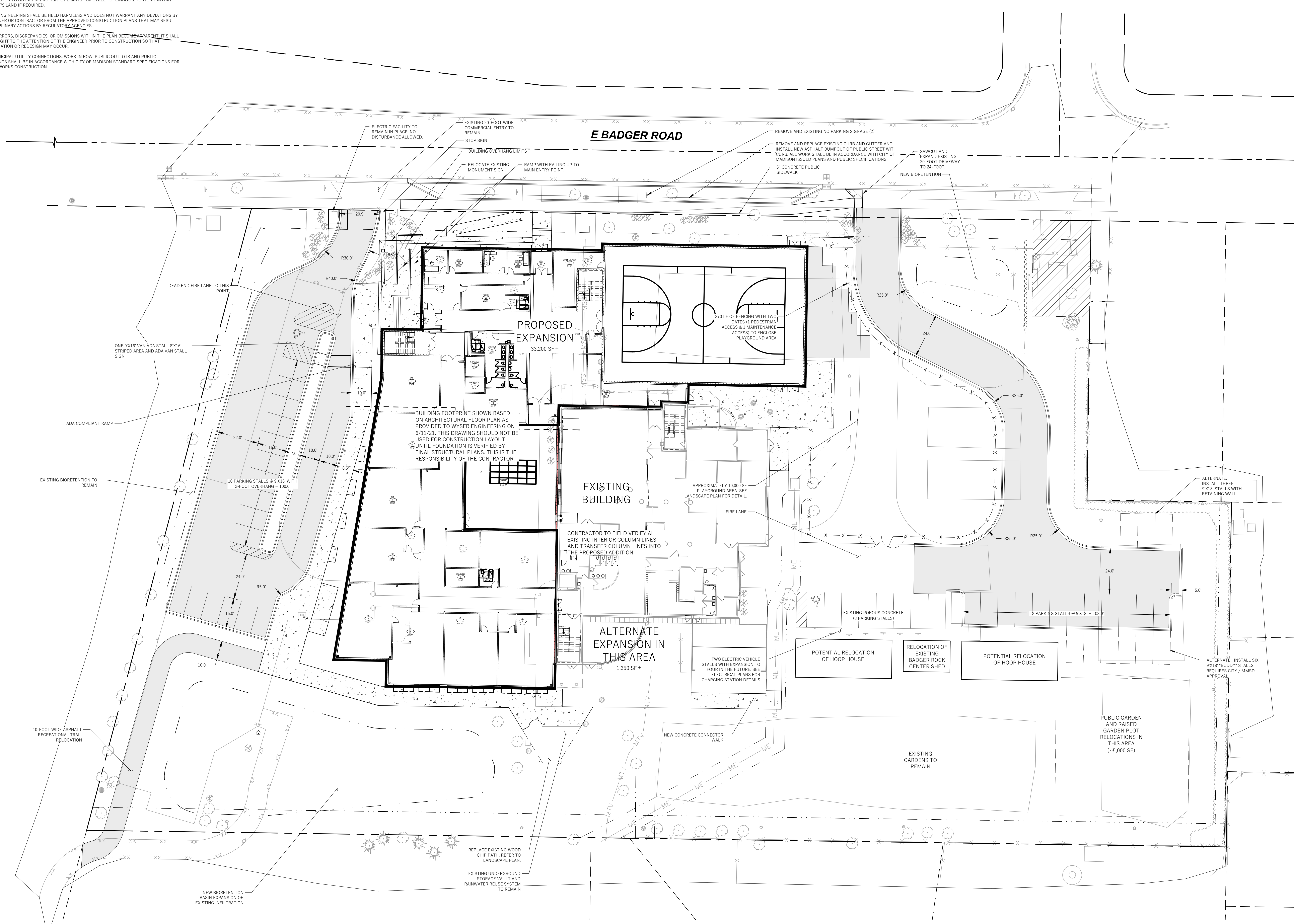
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM
PROJECT NUMBER 320539-00

SITE PLAN

C-1

File: W:\2020\200696_MUSD - Planned Referendum Projects\dwg\Southside Elementary\200696_Southside Elementary Civil Design.dwg Layout: Site Plan User: Admin Plotted: Jun 18, 2021 2:17pm





milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.5350

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

**SOUTHSIDE
ELEMENTARY
ADDITION**

501 E Badger Rd,
Madison, WI 53713

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/22/2021	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

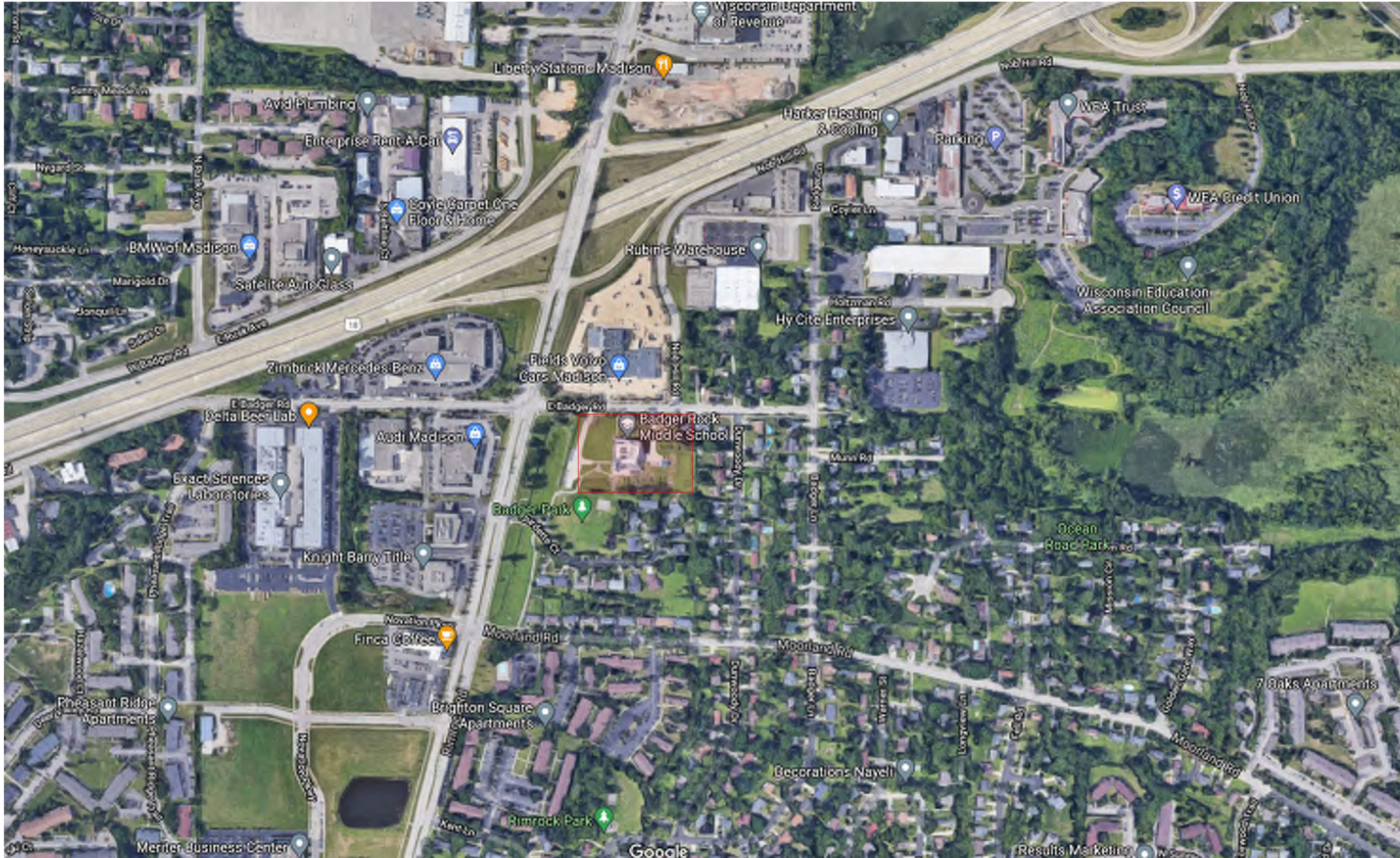
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM
PROJECT NUMBER 320539 -00

AREA PLAN

C-2

© 2020 Epstein Uhen Architects, Inc.



E

D

C

B

A

E

D

C

B

A

1

2

3

4

5

6

7

1

2

3

4

5

6

7



A/C-3



B/C-3



C/C-3



D/C-3



E/C-3



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350
madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.5350
denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

**SOUTHSIDE
ELEMENTARY
ADDITION**

501 E Badger Rd,
Madison, WI 53713

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/22/2021	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM
PROJECT NUMBER 320539 -00

SITE PHOTOS

C-3

1

2

3

4

5

6

7

SHEET NOTES - EXTERIOR ELEVATIONS

1. SEE SHEET A220 FOR EXTERIOR FRAME TYPES AND DIMENSIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.
4. EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, DISTRICT AND SIGNAGE VENDOR.
5. ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.
6. MJ = INDICATES MOVEMENT JOINT - 1/2" GAP.
7. PJ = INDICATES METAL PANEL JOINT - 1/2" GAP.

EXTERIOR MATERIALS

CS-01	EXTERIOR CAST STONE
CW	EXTERIOR CURTAIN WALL
FB-01	EXTERIOR FACE BRICK 1
FB-02	EXTERIOR FACE BRICK 2
FB-03	EXTERIOR FACE BRICK 3
MC-01	EXTERIOR METAL COPING 1
MCMP-01	EXTERIOR METAL COMPOSITE MATERIAL PANEL 1
SF	EXTERIOR STOREFRONT



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2550

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

**SOUTHSIDE
ELEMENTARY
ADDITION**

**501 E Badger Rd,
Madison, WI 53713**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/22/2021	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM
PROJECT NUMBER 320539-00

**EXTERIOR
ELEVATIONS - B&W**

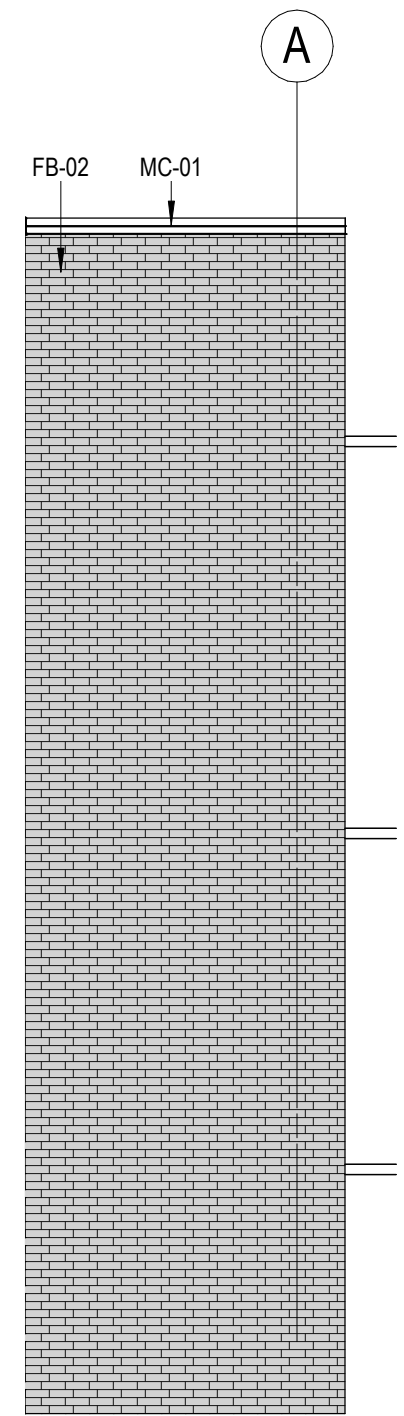
A-1

© 2020 Epstein Uhen Architects, Inc.

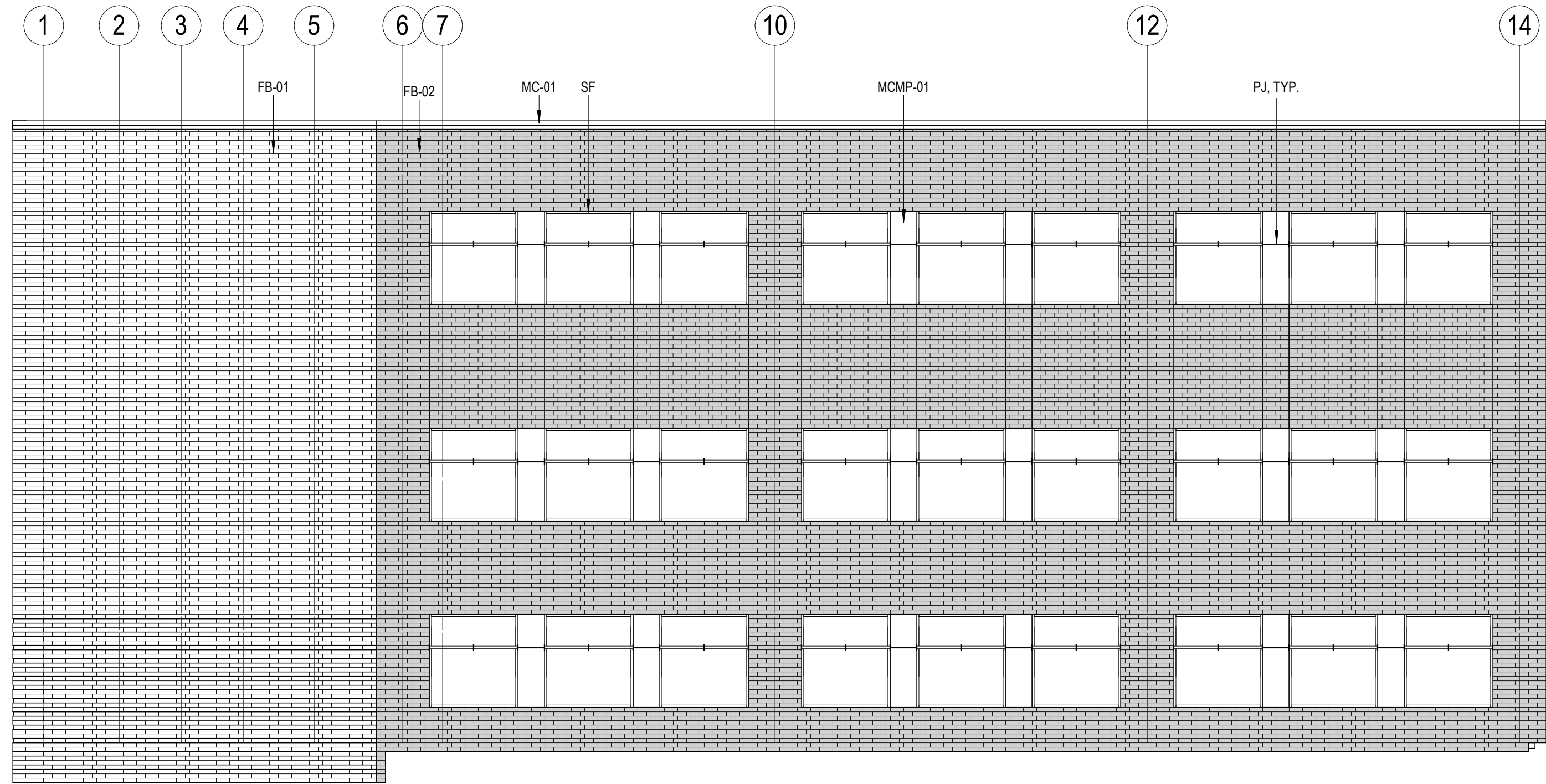
E

D

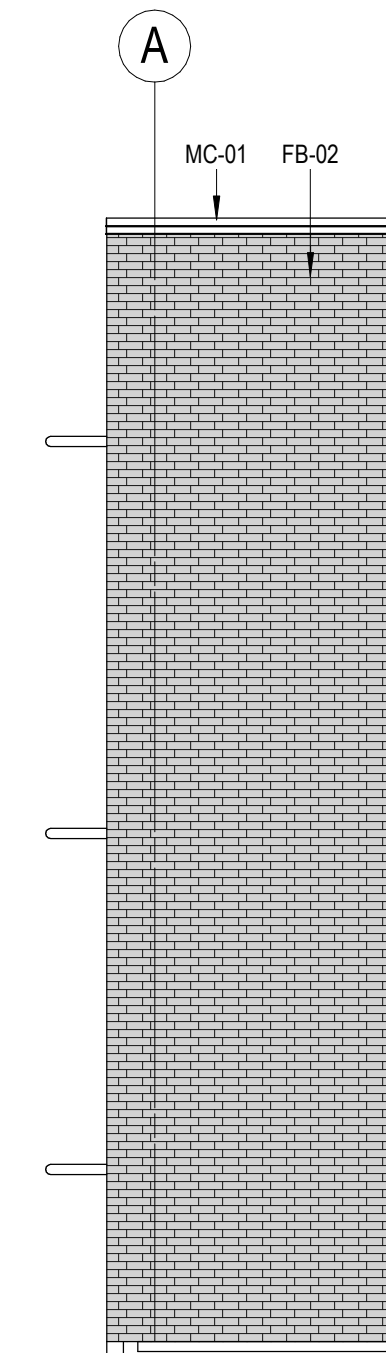
C



C1 WEST 1
1/8" = 1'-0"



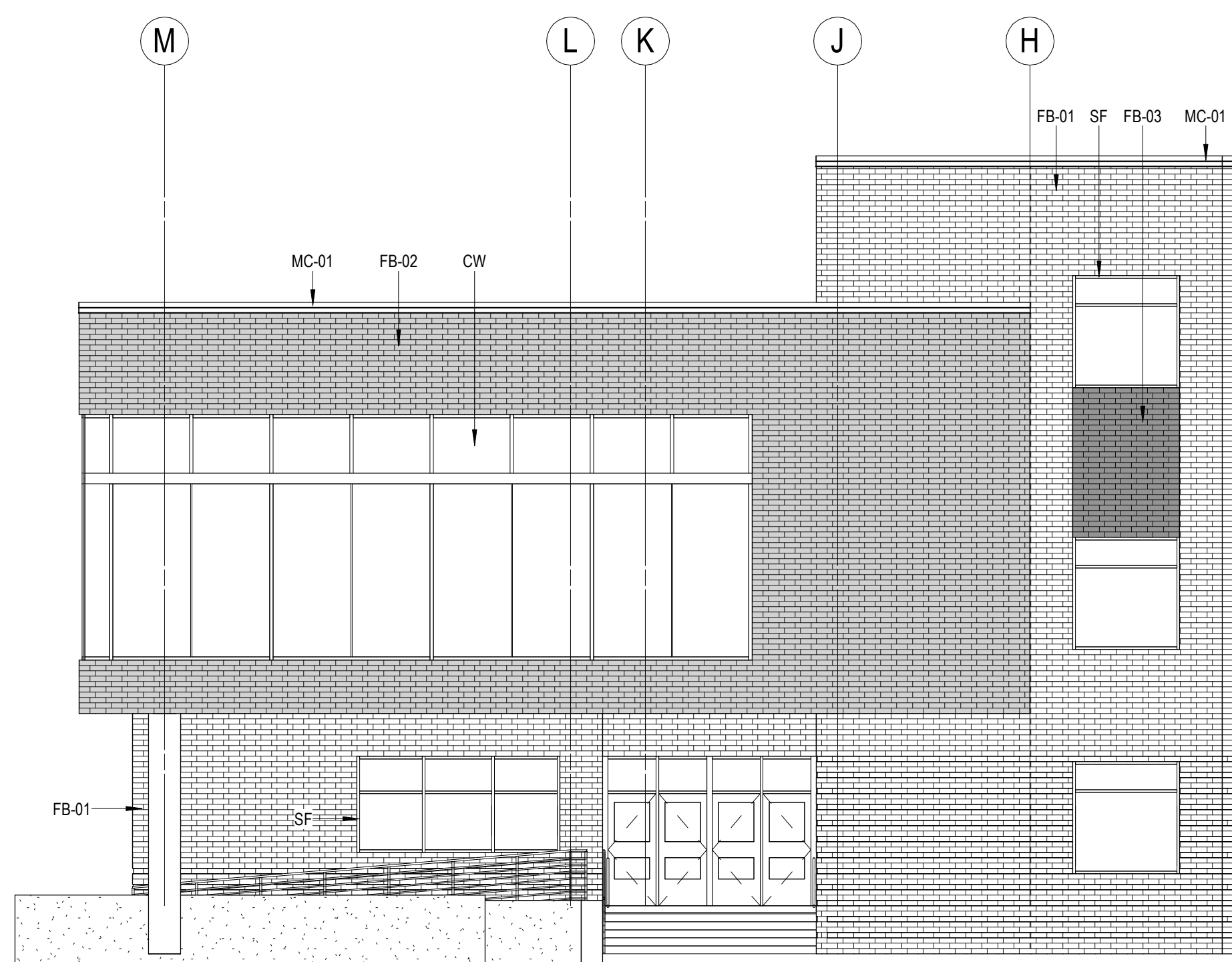
C2 SOUTH 1
1/8" = 1'-0"



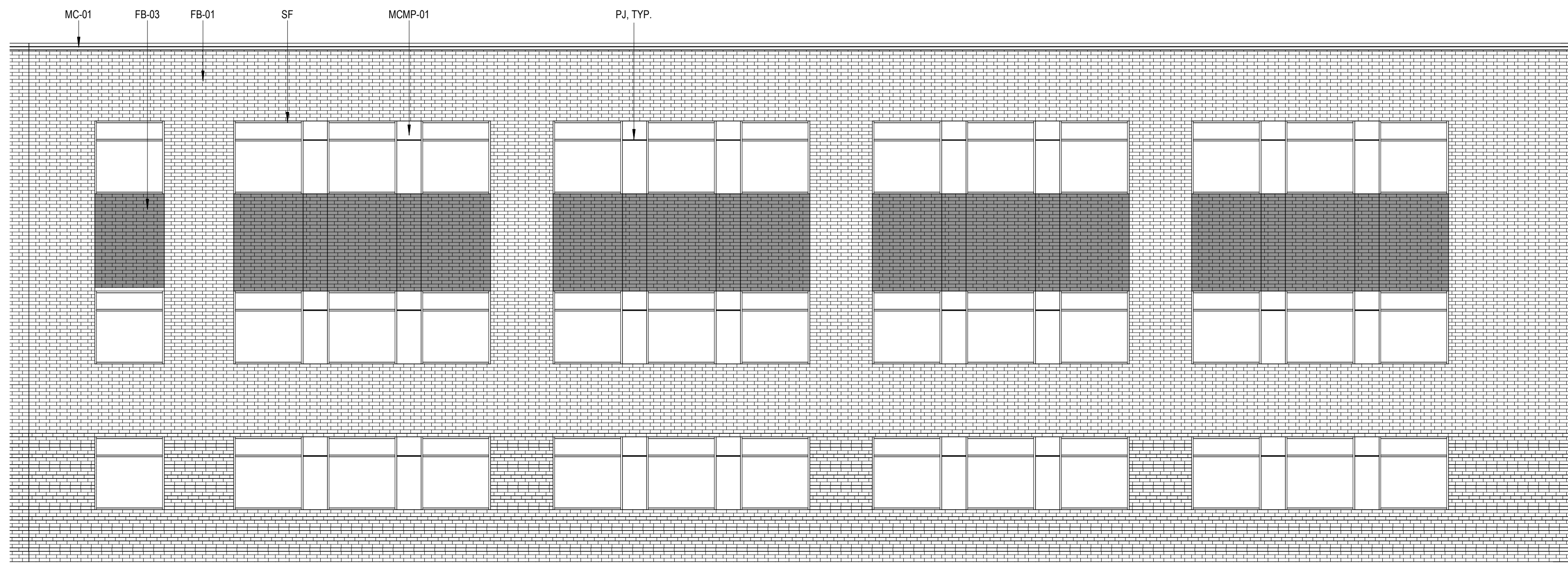
C5 EAST 1
1/8" = 1'-0"

B

A



A1 WEST 2
1/8" = 1'-0"



A3 NORTHWEST
1/8" = 1'-0"

1

2

3

4

5

6

7

1

2

3

4

5

6

7



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2550

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.595.4500

SHEET NOTES - EXTERIOR ELEVATIONS	
1.	SEE SHEET A220 FOR EXTERIOR FRAME TYPES AND DIMENSIONS.
2.	PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3.	ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.
4.	EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, DISTRICT AND SIGNAGE VENDOR.
5.	ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.
6.	MJ = INDICATES MOVEMENT JOINT - 1/2" GAP.
7.	PJ = INDICATES METAL PANEL JOINT - 1/2" GAP.

EXTERIOR MATERIALS	
CS-01	EXTERIOR CAST STONE
CW	EXTERIOR CURTAIN WALL
FB-01	EXTERIOR FACE BRICK 1
FB-02	EXTERIOR FACE BRICK 2
FB-03	EXTERIOR FACE BRICK 3
MC-01	EXTERIOR METAL COPING 1
MCMP-01	EXTERIOR METAL COMPOSITE MATERIAL PANEL 1
SF	EXTERIOR STOREFRONT

KEYNOTES PER SHEET	
0742-08	PREFAB MECHANICAL SCREEN WALL

PROJECT INFORMATION

SOUTHSIDE ELEMENTARY ADDITION

501 E Badger Rd,
Madison, WI 53713

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/22/2021	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

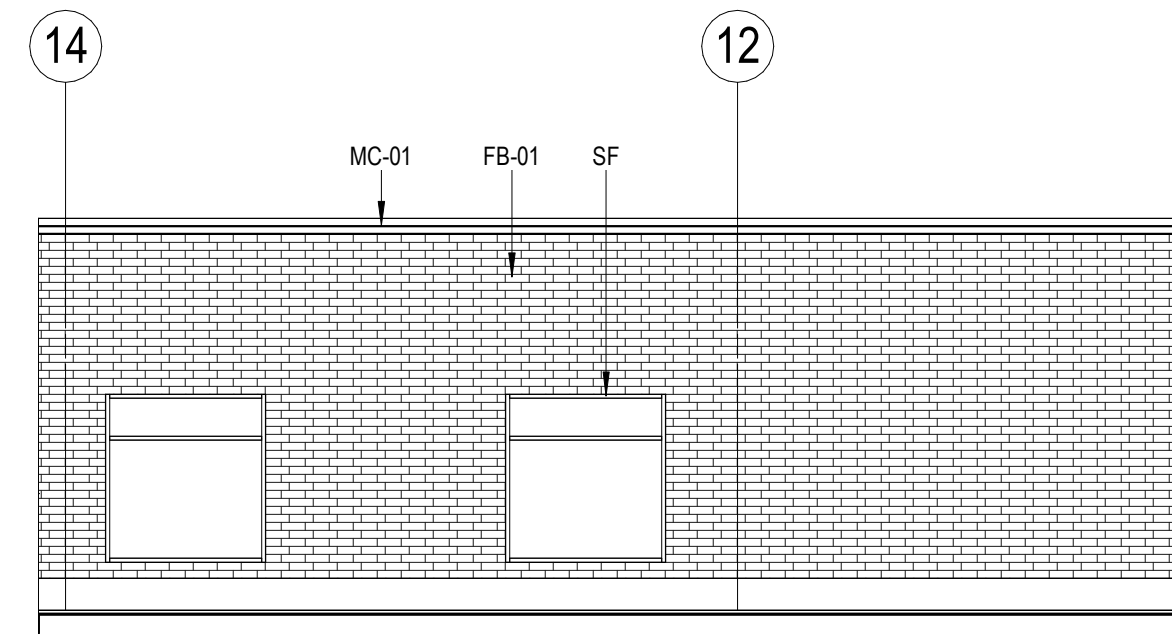
PROJECT MANAGER PM
PROJECT NUMBER 320539-00

EXTERIOR ELEVATIONS - B&W

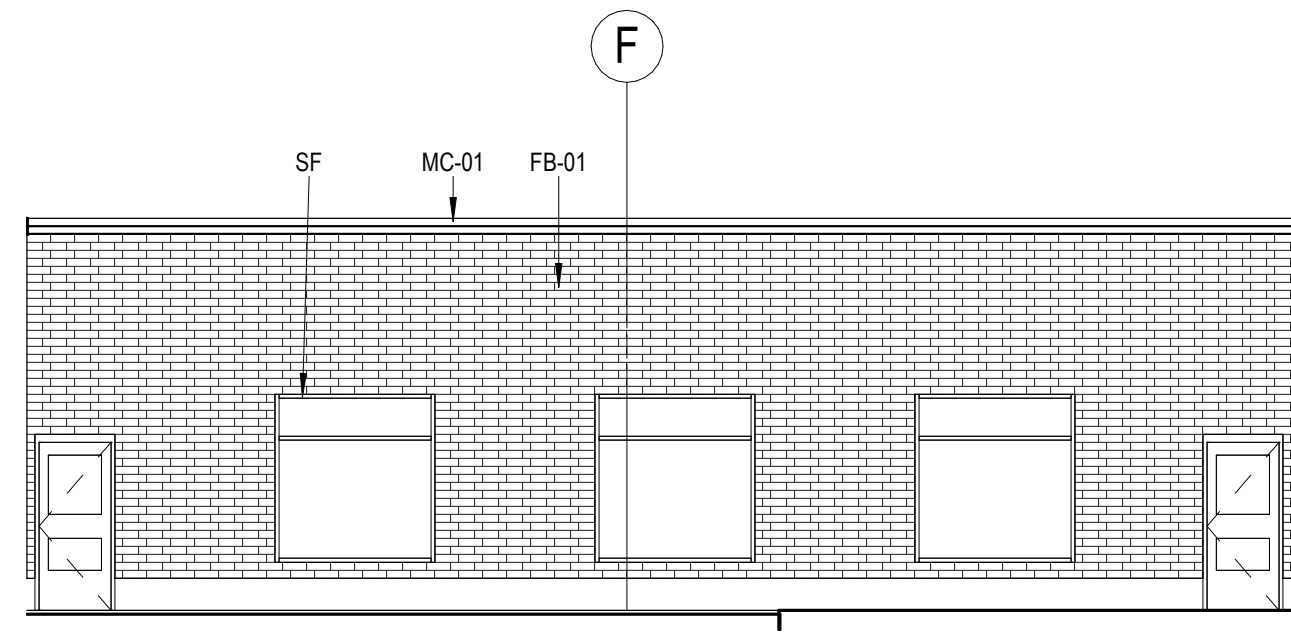
A-2

© 2020 Epstein Uhen Architects, Inc.

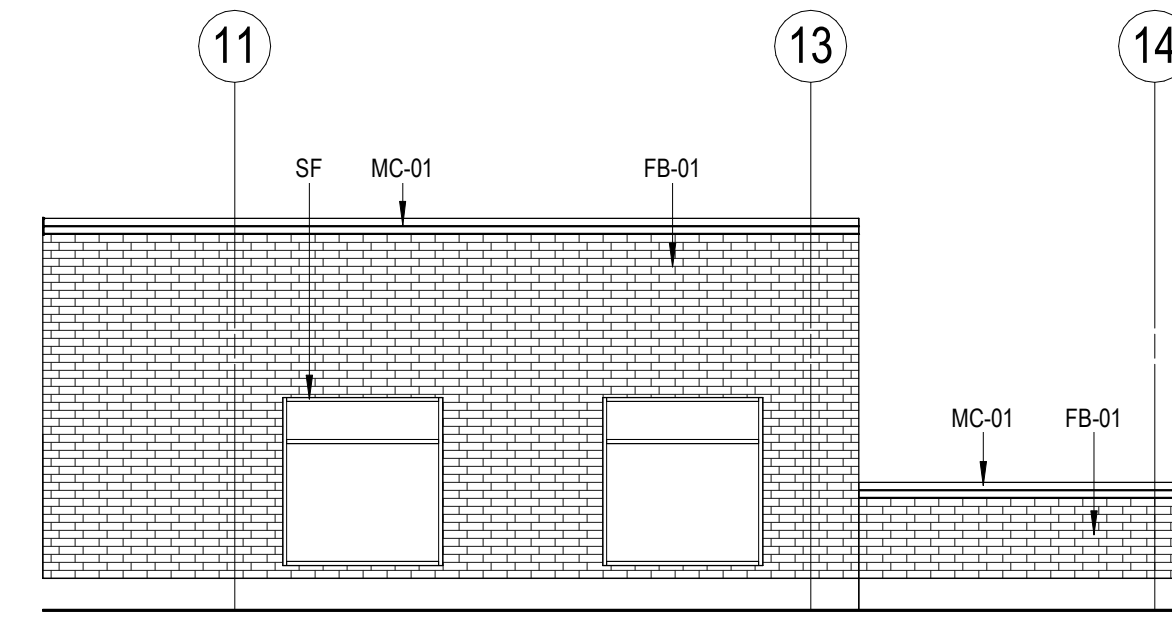
E



D2 3RD FLOOR ROOF DECK - NORTH
1/8" = 1'-0"

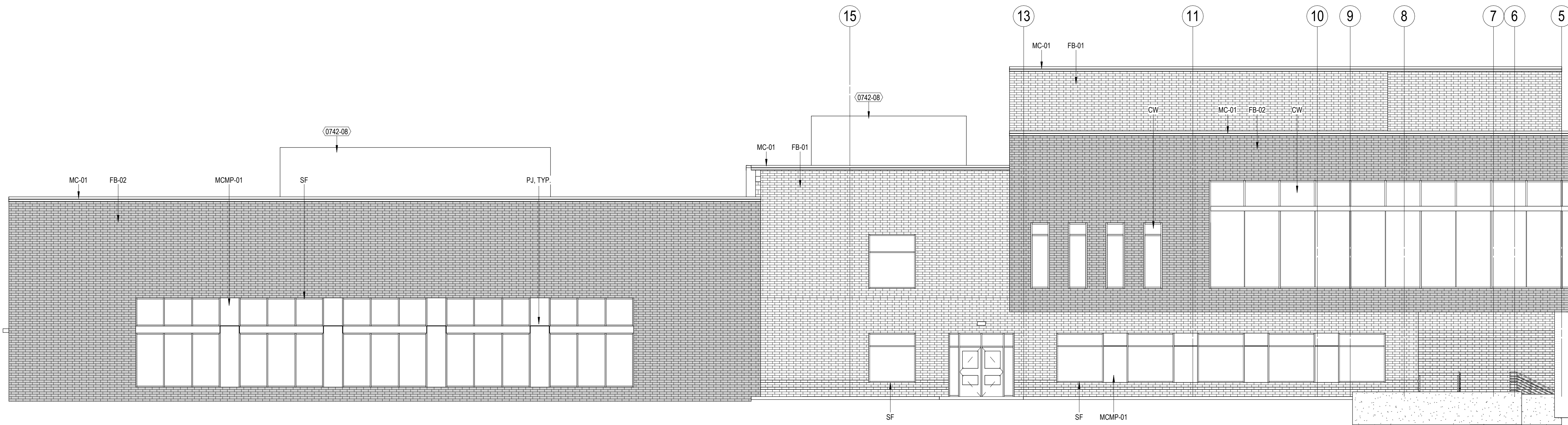


D3 3RD FLOOR ROOF DECK - EAST
1/8" = 1'-0"



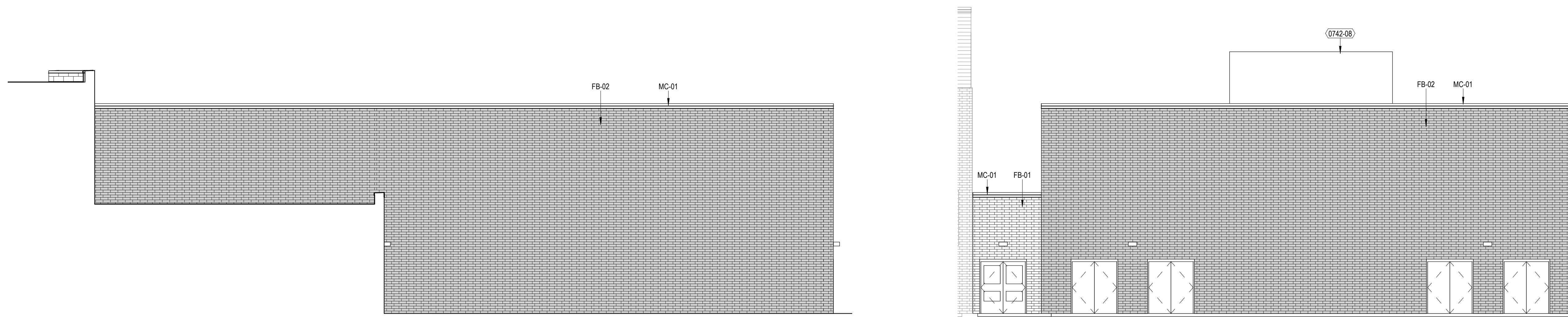
D5 3RD FLOOR ROOF DECK - SOUTH
1/8" = 1'-0"

D



C1 NORTH
1/8" = 1'-0"

B



A1 SOUTH 2
1/8" = 1'-0"

A4 EAST 2
1/8" = 1'-0"

1

2

3

4

5

6

7

SHEET NOTES - EXTERIOR ELEVATIONS

1. SEE SHEET A220 FOR EXTERIOR FRAME TYPES AND DIMENSIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.
4. EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, DISTRICT AND SIGNAGE VENDOR.
5. ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.
6. MJ = INDICATES MOVEMENT JOINT - 1/2" GAP.
7. PJ = INDICATES METAL PANEL JOINT - 1/2" GAP.

EXTERIOR MATERIALS

CS-01	EXTERIOR CAST STONE
CW	EXTERIOR CURTAIN WALL
FB-01	EXTERIOR FACE BRICK 1
FB-02	EXTERIOR FACE BRICK 2
FB-03	EXTERIOR FACE BRICK 3
MC-01	EXTERIOR METAL COPING 1
MCMP-01	EXTERIOR METAL COMPOSITE MATERIAL PANEL 1
SF	EXTERIOR STOREFRONT



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2550

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

**SOUTHSIDE
ELEMENTARY
ADDITION**

**501 E Badger Rd,
Madison, WI 53713**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/22/2021	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM
PROJECT NUMBER 320539-00

**EXTERIOR
ELEVATIONS -
COLOR**

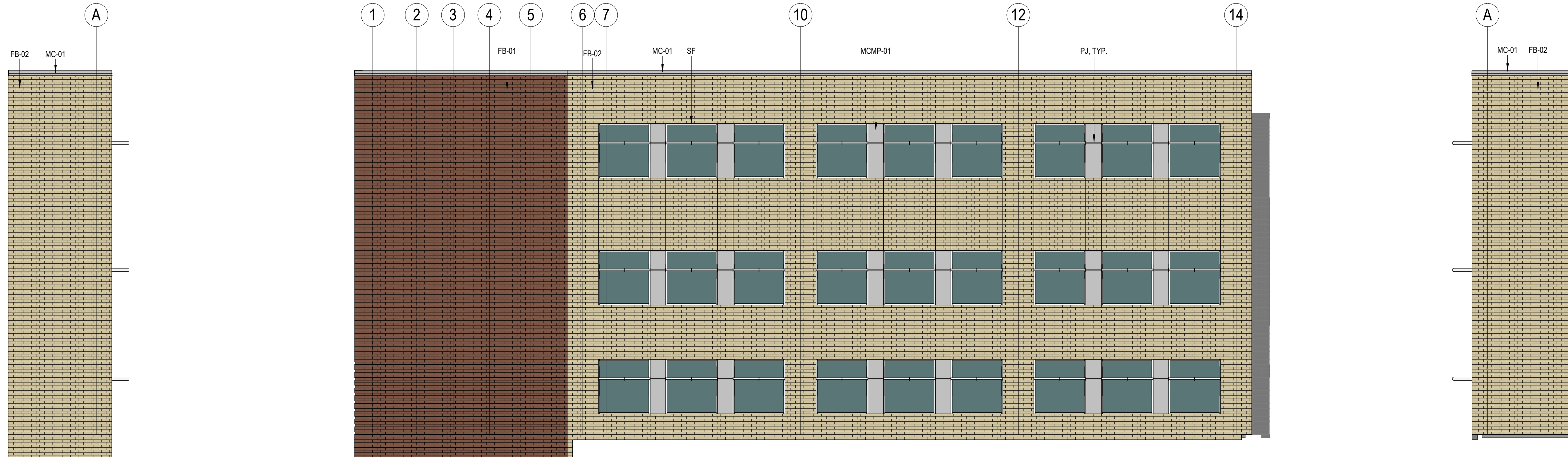
A-3

© 2020 Epstein Uhen Architects, Inc.

E

D

C



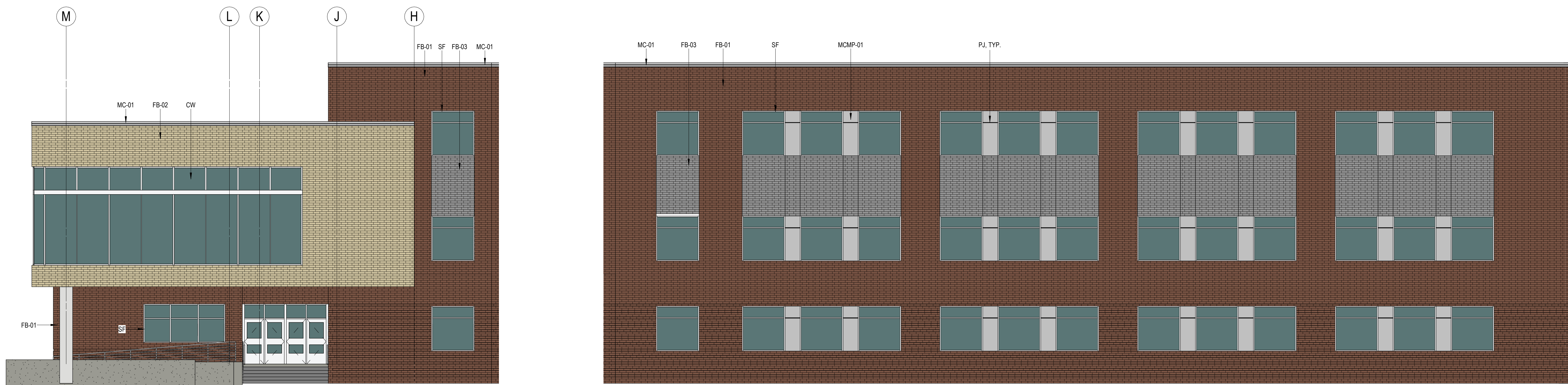
C1 WEST 1
1/8" = 1'-0"

C2 SOUTH 1
1/8" = 1'-0"

C5 EAST 1
1/8" = 1'-0"

B

A



A1 WEST 2
1/8" = 1'-0"

A3 NORTHWEST
1/8" = 1'-0"

1

2

3

4

5

6

7

1

2

3

4

5

6

7

SHEET NOTES - EXTERIOR ELEVATIONS

1. SEE SHEET A220 FOR EXTERIOR FRAME TYPES AND DIMENSIONS.
2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL PRECAST CONCRETE JOINTS.
3. ALL INSIDE AND OUTSIDE CORNERS OF PRECAST TRIM TO NOT BE MITERED.
4. EXTERIOR SIGNAGE ON BUILDING TO BE COORDINATED AND VERIFIED WITH ARCHITECT, DISTRICT AND SIGNAGE VENDOR.
5. ALL VERTICAL INSIDE CORNERS TO HAVE 1/2" MOVEMENT JOINT.
6. MJ = INDICATES MOVEMENT JOINT - 1/2" GAP.
7. PJ = INDICATES METAL PANEL JOINT - 1/2" GAP.

EXTERIOR MATERIALS

CS-01	EXTERIOR CAST STONE
CW	EXTERIOR CURTAIN WALL
FB-01	EXTERIOR FACE BRICK 1
FB-02	EXTERIOR FACE BRICK 2
FB-03	EXTERIOR FACE BRICK 3
MC-01	EXTERIOR METAL COPING 1
MCMP-01	EXTERIOR METAL COMPOSITE MATERIAL PANEL 1
SF	EXTERIOR STOREFRONT

KEYNOTES PER SHEET

0742-08	PREFAB MECHANICAL SCREEN WALL
---------	-------------------------------



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.5350

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

**SOUTHSIDE
ELEMENTARY
ADDITION**

**D 501 E Badger Rd,
Madison, WI 53713**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/22/2021	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

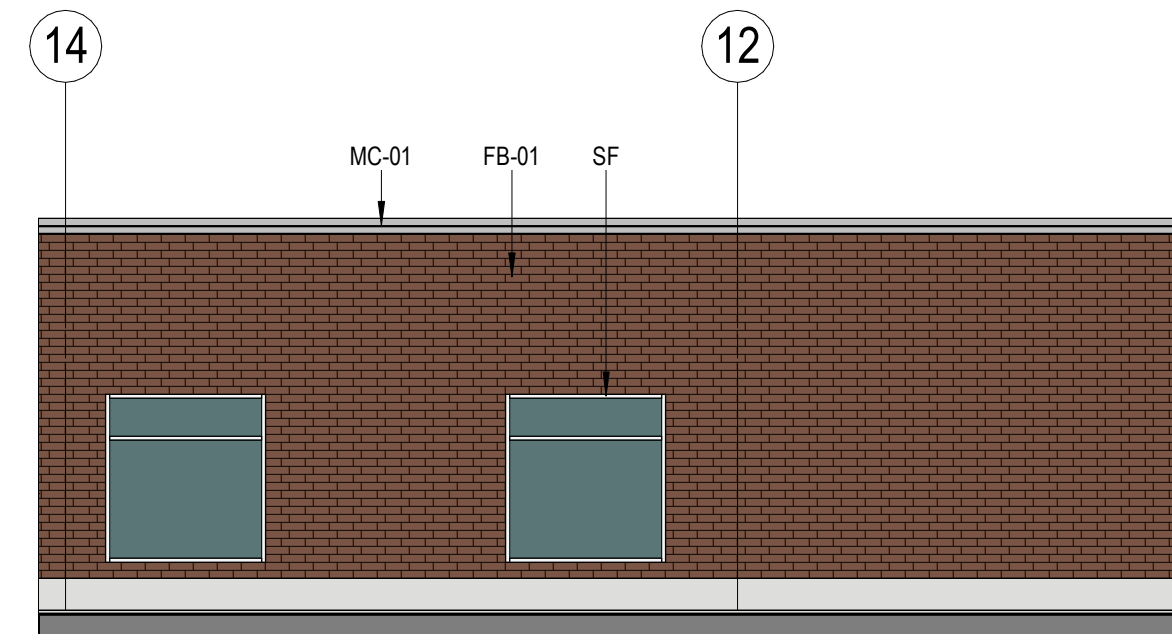
PROJECT MANAGER PM
PROJECT NUMBER 320539-00

**EXTERIOR
ELEVATIONS -
COLOR**

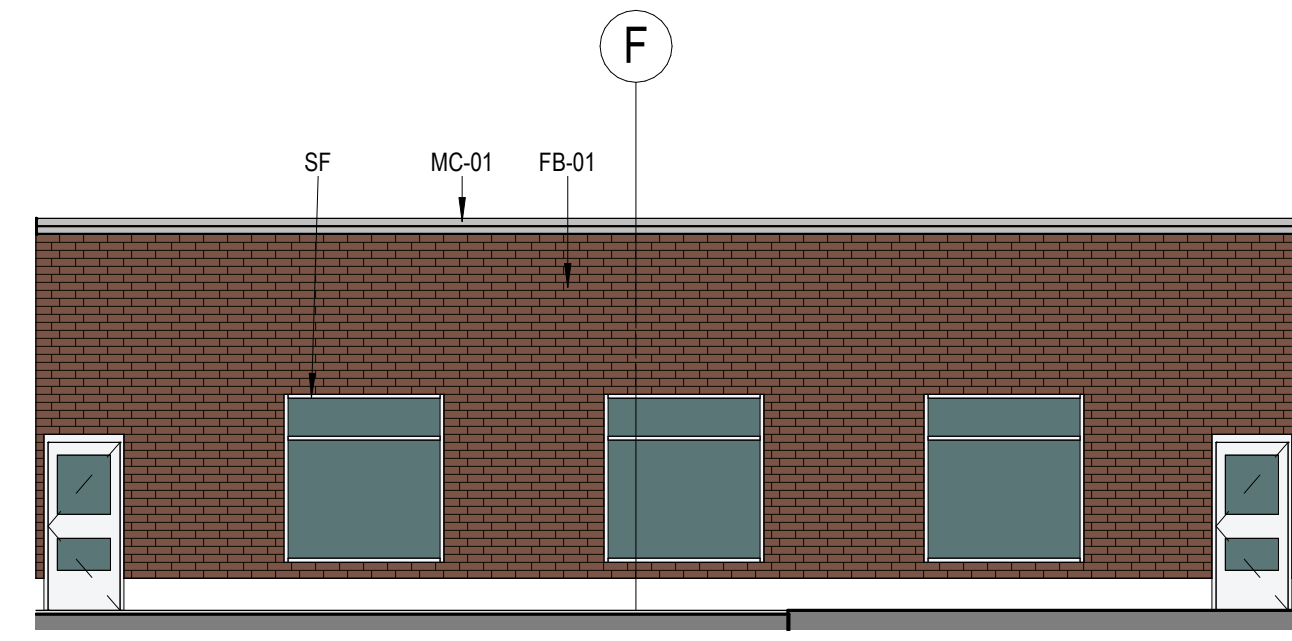
A-4

© 2020 Epstein Uhen Architects, Inc.

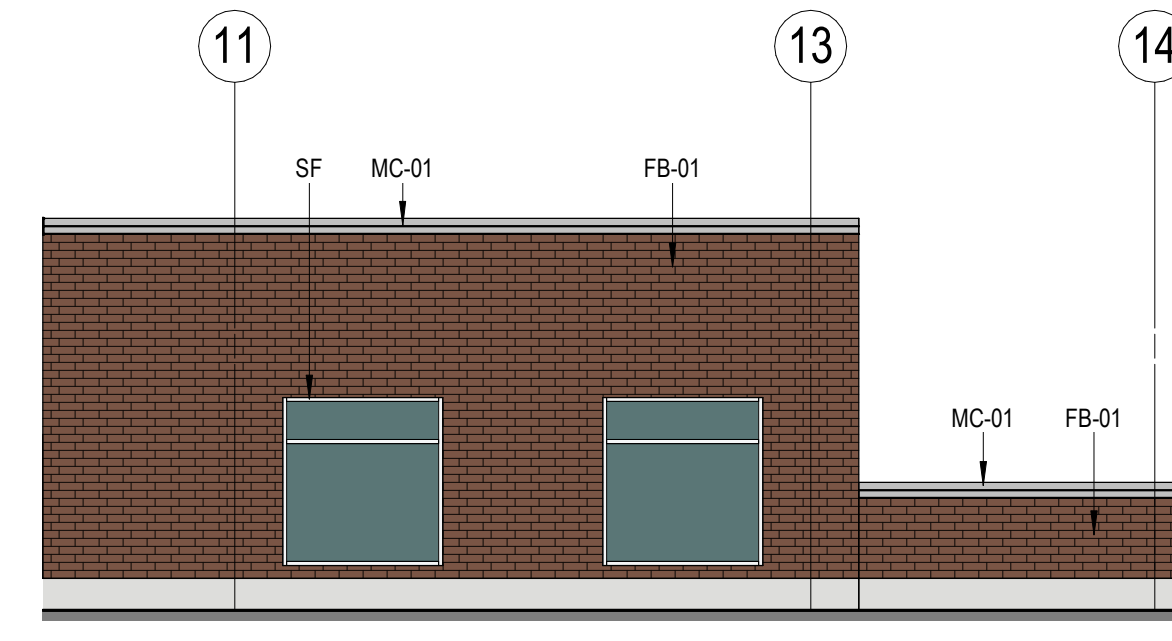
E



D2 3RD FLOOR ROOF DECK - NORTH
1/8" = 1'-0"

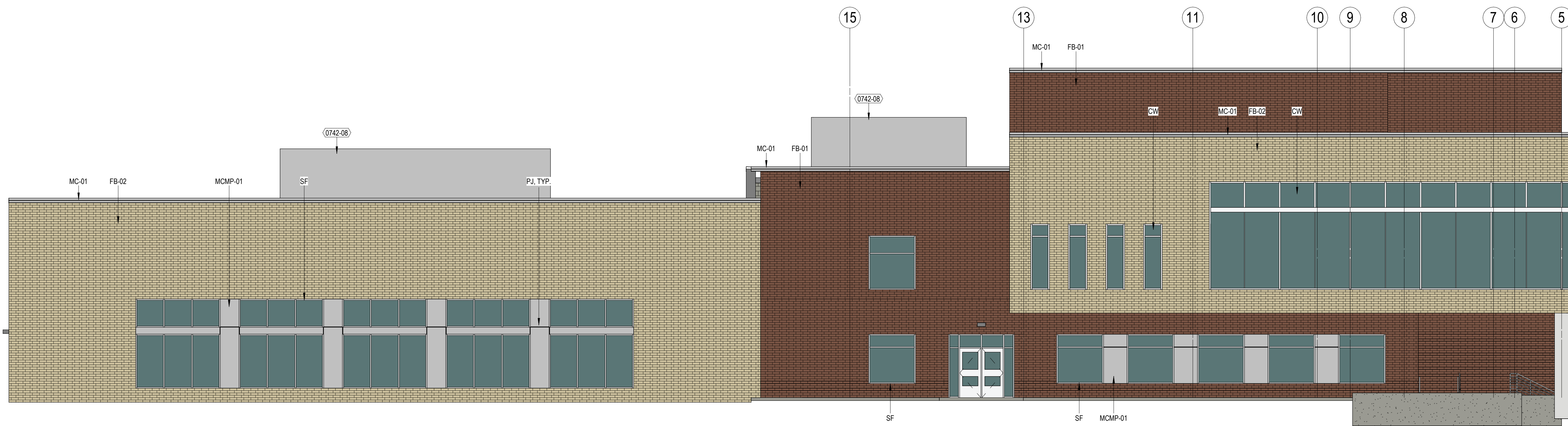


D3 3RD FLOOR ROOF DECK - EAST
1/8" = 1'-0"



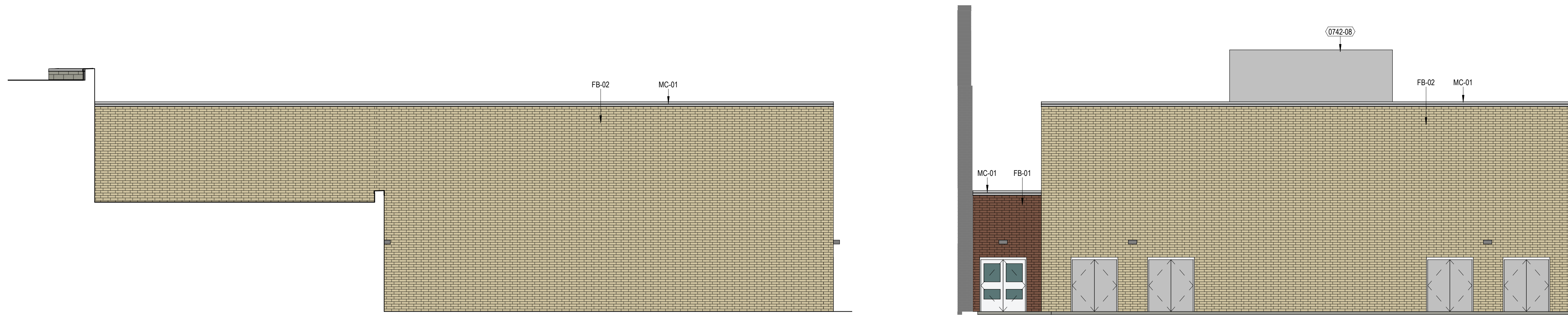
D5 3RD FLOOR ROOF DECK - SOUTH
1/8" = 1'-0"

D



C1 NORTH
1/8" = 1'-0"

B



A1 SOUTH 2
1/8" = 1'-0"

A4 EAST 2
1/8" = 1'-0"

1

2

3

4

5

6

7

KEYNOTES PER SHEET



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2590

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

SOUTHSIDE
ELEMENTARY
ADDITION

501 E Badger Rd,
Madison, WI 53713

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/22/2021	SCHEMATIC DESIGN

KEY PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER PM
PROJECT NUMBER 320539-00

EXTERIOR
AXONOMETRIC
VIEWS

A-5

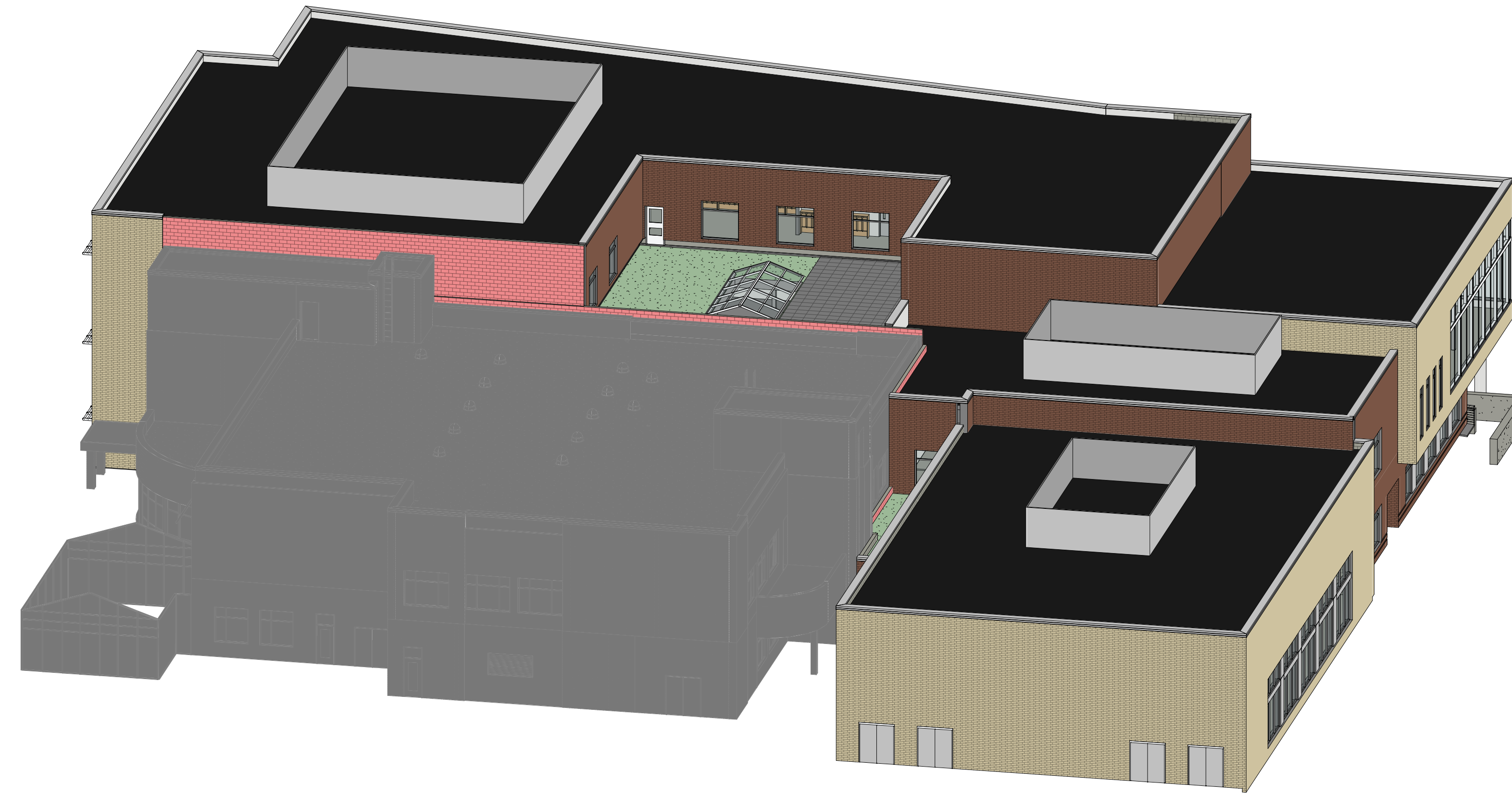
E

D

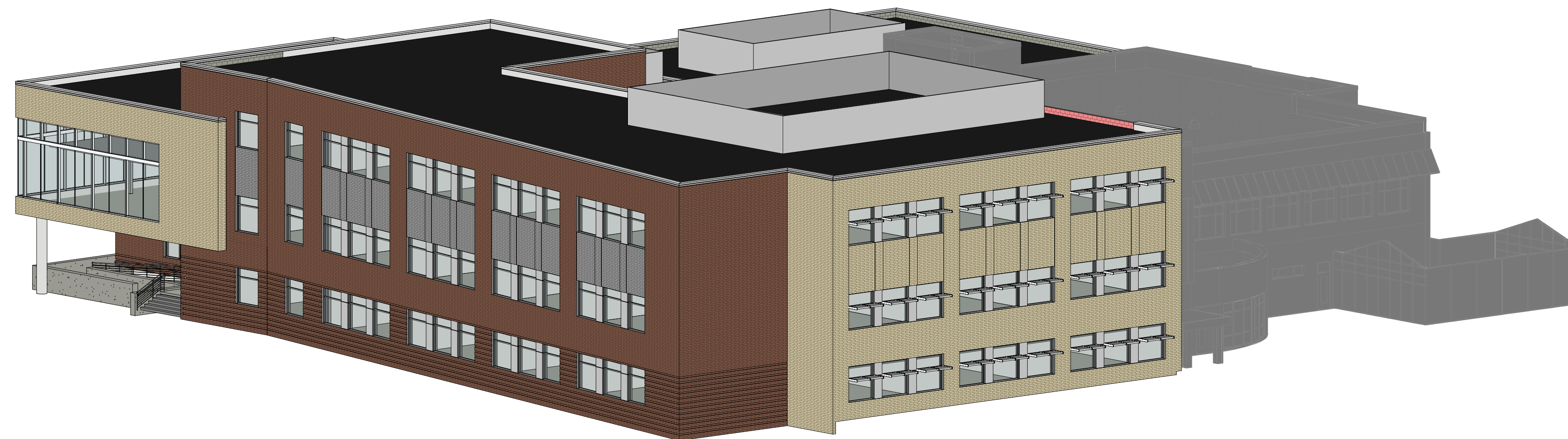
C

B

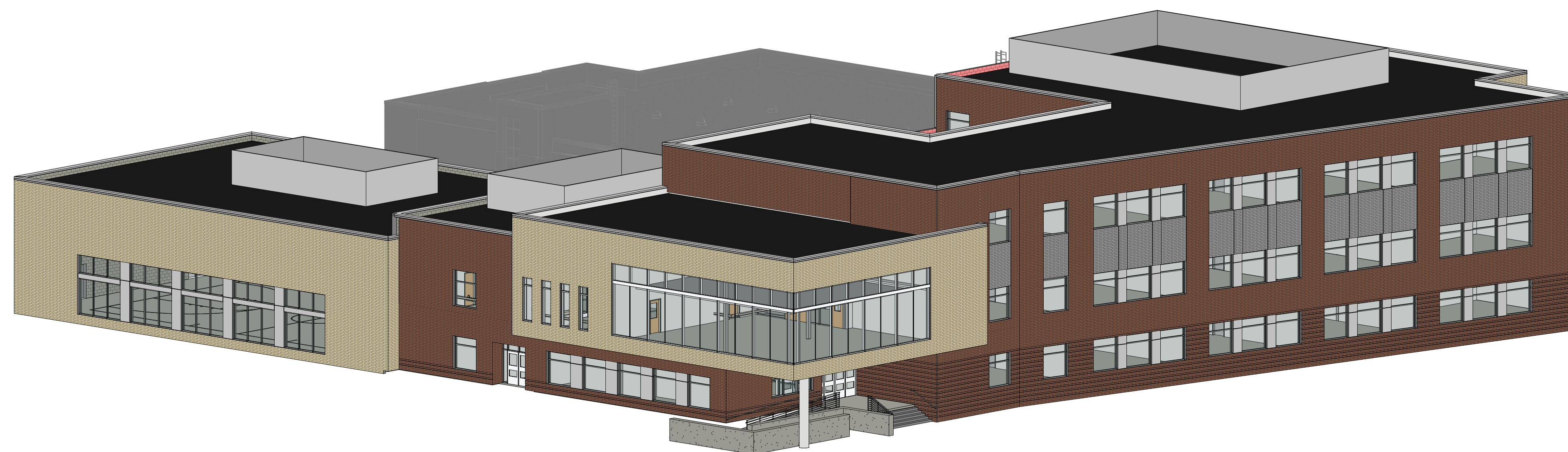
A



D4 ADDITION ISOMETRIC 3



B3 ADDITION ISOMETRIC 2



A3 ADDITION ISOMETRIC 1

1

2

3

4

5

6

7



**FB-1: SIOUX CITY BRICK - MIDTOWN
IRONSPOT SMOOTH**



**FB-2: INTERSTATE BRICK-
ALMOND L-4**



**FB-3: INTERSTATE
BRICK- PEWTER**



**SF: STOREFRONT- CLEAR
ANODIZED ALUMINUM WITH
CLEAR GLASS**



**MCMP-01: METAL
COMPOSITE MATERIAL
PANEL- SILVER**