



# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 430, 432, 444 State Street, Madison, WI

**Contact Name & Phone #:** Kevin Burow (608) 575-3126

## **FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall?			
<b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?			
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?			
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i>			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

430, 432, 444  
STATE STREET  
MADISON, WI  
CONTEXTUAL



430, 432, 444  
STATE STREET  
MADISON, WI  
CONTEXTUAL





ISSUED  
Land Use & UDC Submitted - February 07, 2012  
Updated Land Use & UDC Submitted - May 10, 2012

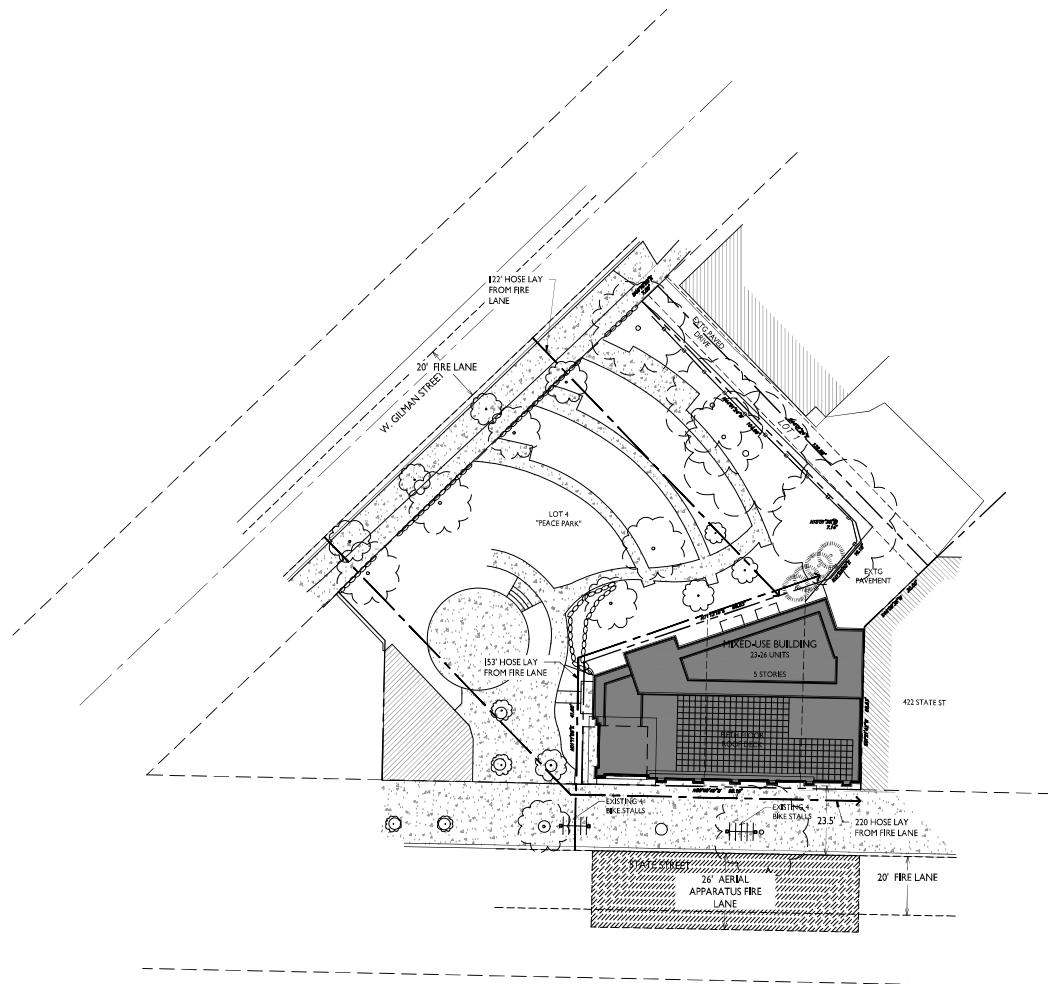
PROJECT TITLE  
430, 432, 444  
State Street

Madison, Wisconsin  
SHEET TITLE  
Fire Department  
Access Plan

SHEET NUMBER

**C-1.2**

PROJECT NO. 1939  
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**FIRE DEPARTMENT ACCESS PLAN**



GRAPHIC SCALE  
0 20 40 60  
1 INCH = 20 FT (24003 SHEET)



ISSUED  
Land Use & UDC Submitted - February 07, 2012  
Updated Land Use & UDC Submitted - May 10, 2012

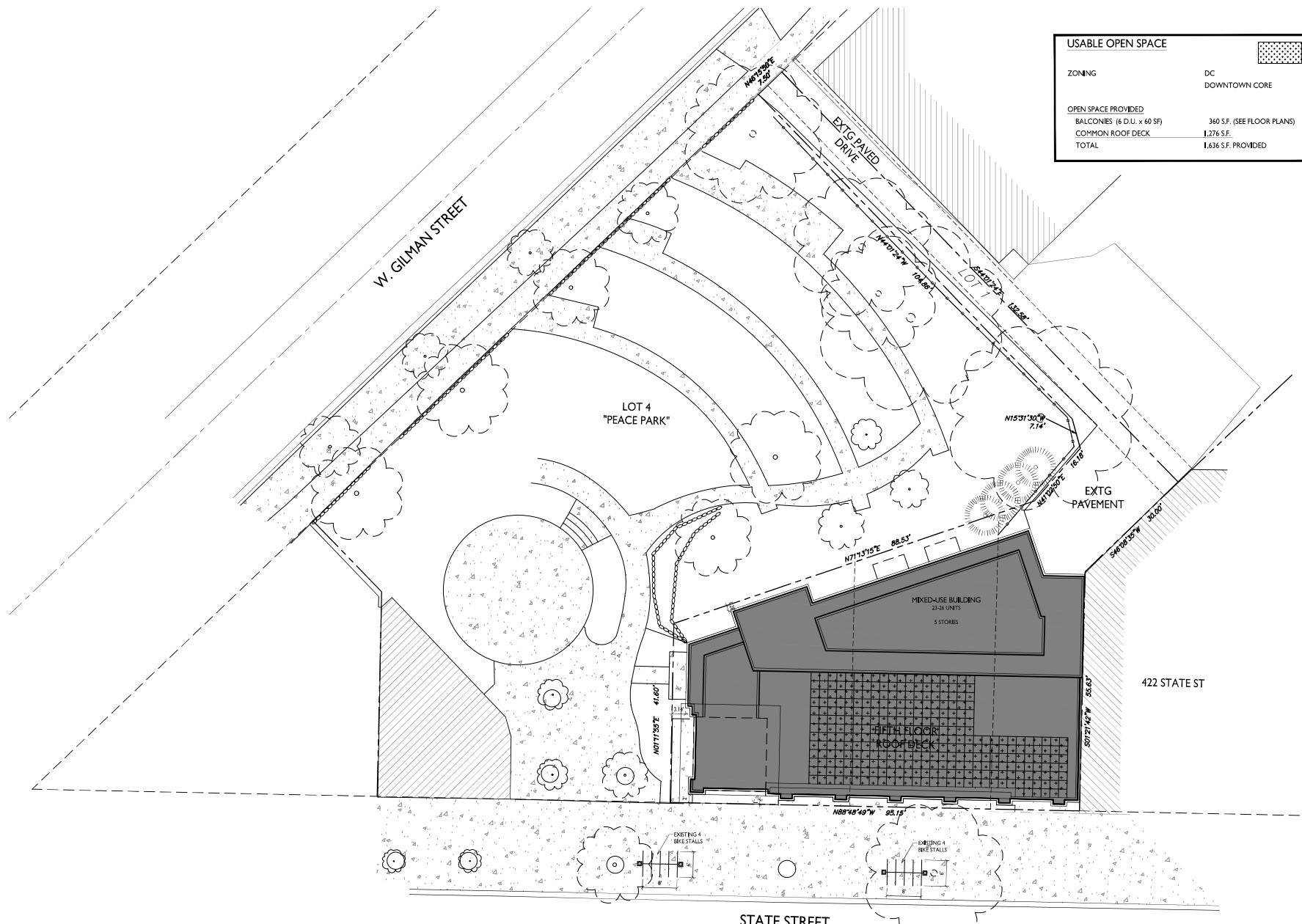
PROJECT TITLE  
430, 432, 444  
State Street

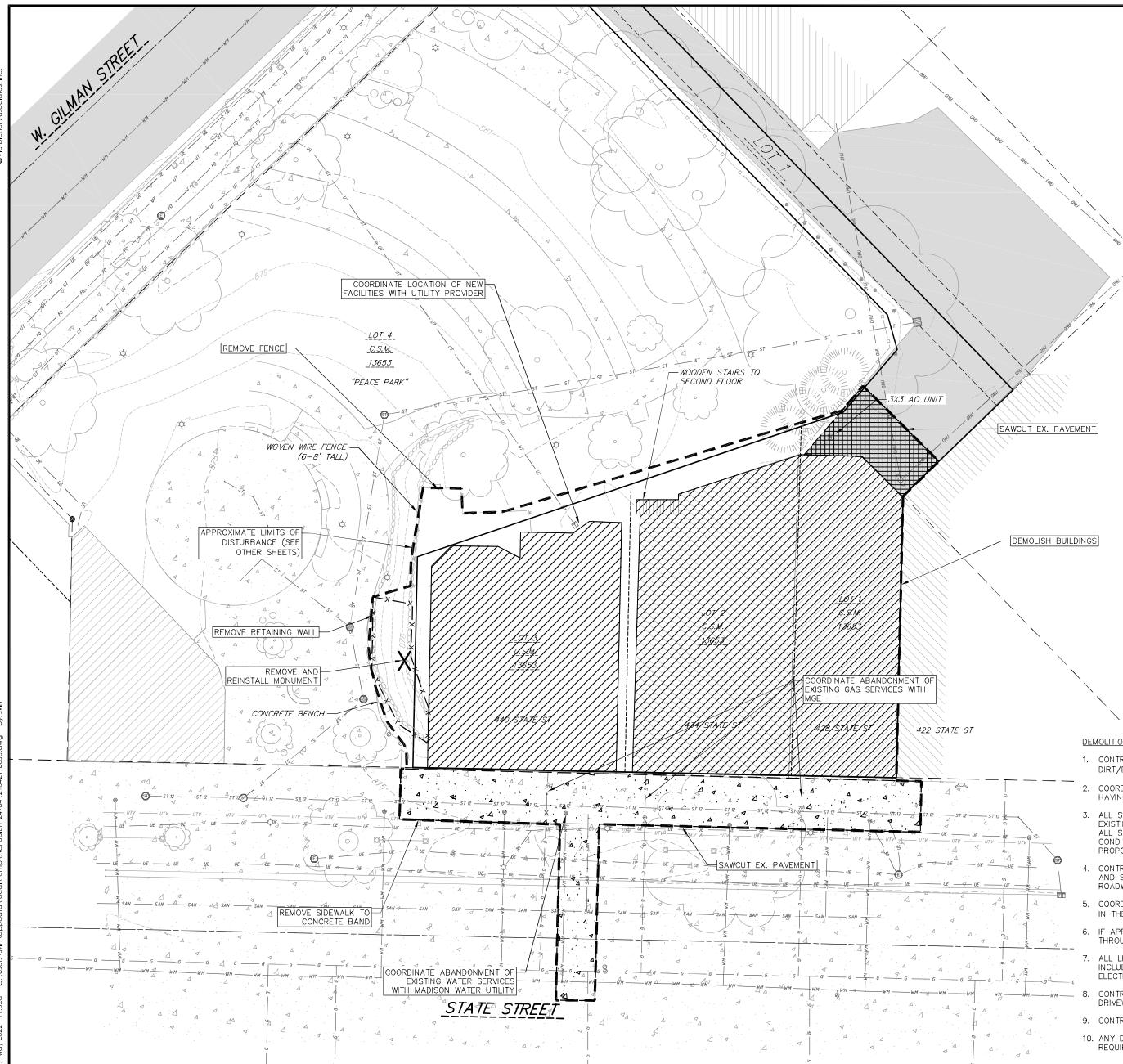
Madison, Wisconsin  
SHEET TITLE  
Usable Open  
Space

SHEET NUMBER

**C-1.4**

PROJECT NO. 1939  
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### TOPOGRAPHIC SYMBOL LEGEND



- EXISTING POST
- EXISTING PARKING METER
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING GAS VALVE
- EXISTING ELECTRIC MANHOLE
- EXISTING LIGHT POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING UTILITY POLE
- EXISTING CURB STOP

### SURVEY LEGEND

- ① FOUND 1" Ø IRON PIPE
- ▲ FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD

#### TOPOGRAPHIC LINework LEGEND

- UV— EXISTING UNDERGROUND CABLE TV
- OW— EXISTING OVERHEAD GENERAL UTILITIES
- FO— EXISTING FIBER OPTIC LINE
- UT— EXISTING UNDERGROUND TELEPHONE
- oooooooooooo EXISTING RETAINING WALL
- \*— EXISTING GENERAL FENCE
- EXISTING WOOD FENCE
- G— EXISTING GAS LINE
- UK— EXISTING UNDERGROUND ELECTRIC LINE
- SAW— EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST— EXISTING STORM SEWER LINE (SIZE NOTED)
- WM— EXISTING WATER MAIN (SIZE NOTED)
- 820— EXISTING MAJOR CONTOUR
- 818— EXISTING MINOR CONTOUR

SITE PLAN LEGEND

— PROPERTY BOUNDARY  
- - - DISTURBED LIMITS

#### DEMOLITION PLAN LEGEND

#### DEMOLITION NOTES

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ALIGNMENTS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNALS AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUNDED TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

erbacher  
ers | engineers | advisors

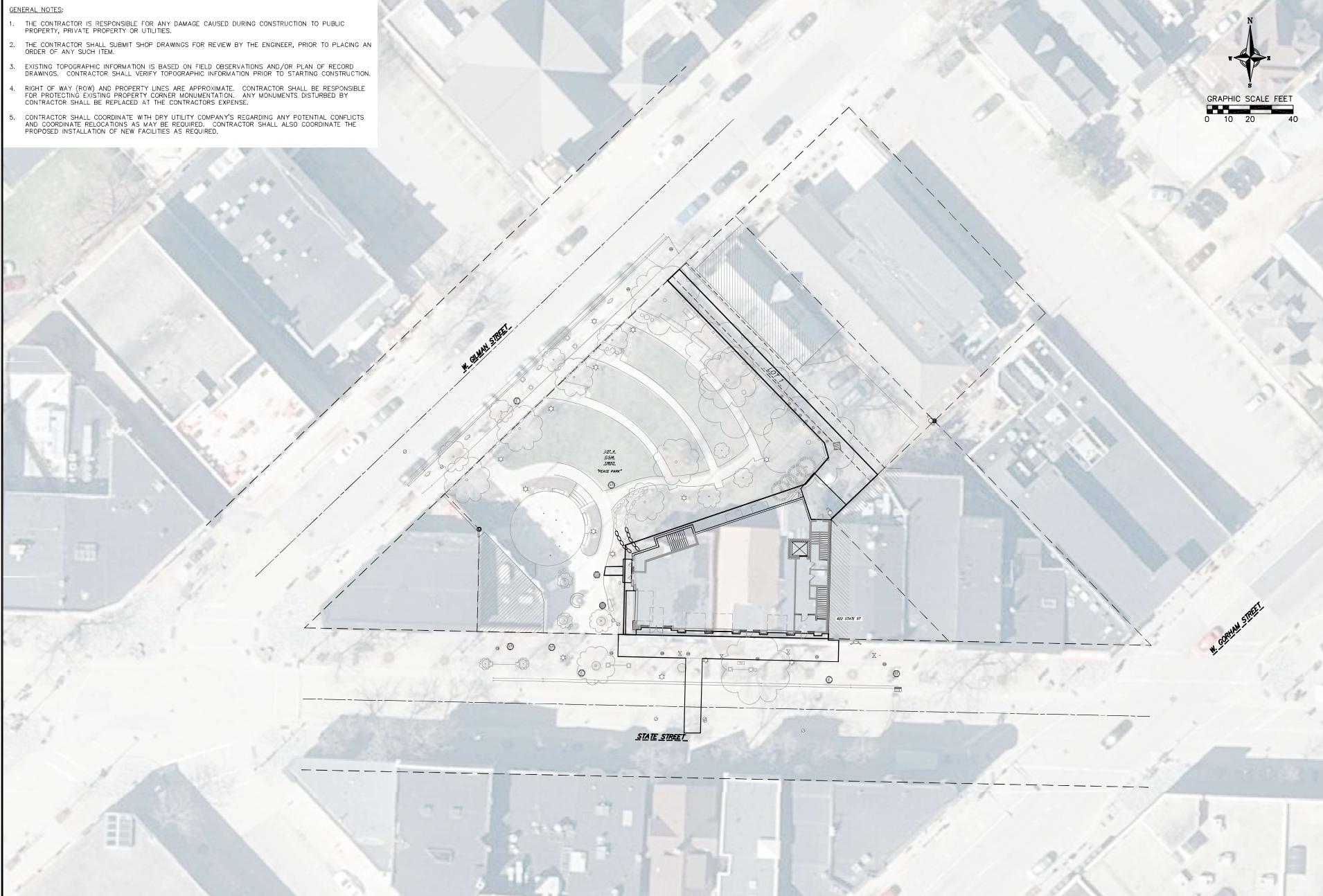
DEMOLITION AND DEMOLITION PLAN

**TESTING CONDITIONS**  
432,444 State Street  
OF MADISON  
WISCONSIN.

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	3/24	1	PARKS REVIEW
2	5/9/22	2	PLAN UPDATE
DATE 02/07/2022			
DRAFTER DPER			
CHECKED TSCH			
PROJECT NO. 210421			
C101			

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
3. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.



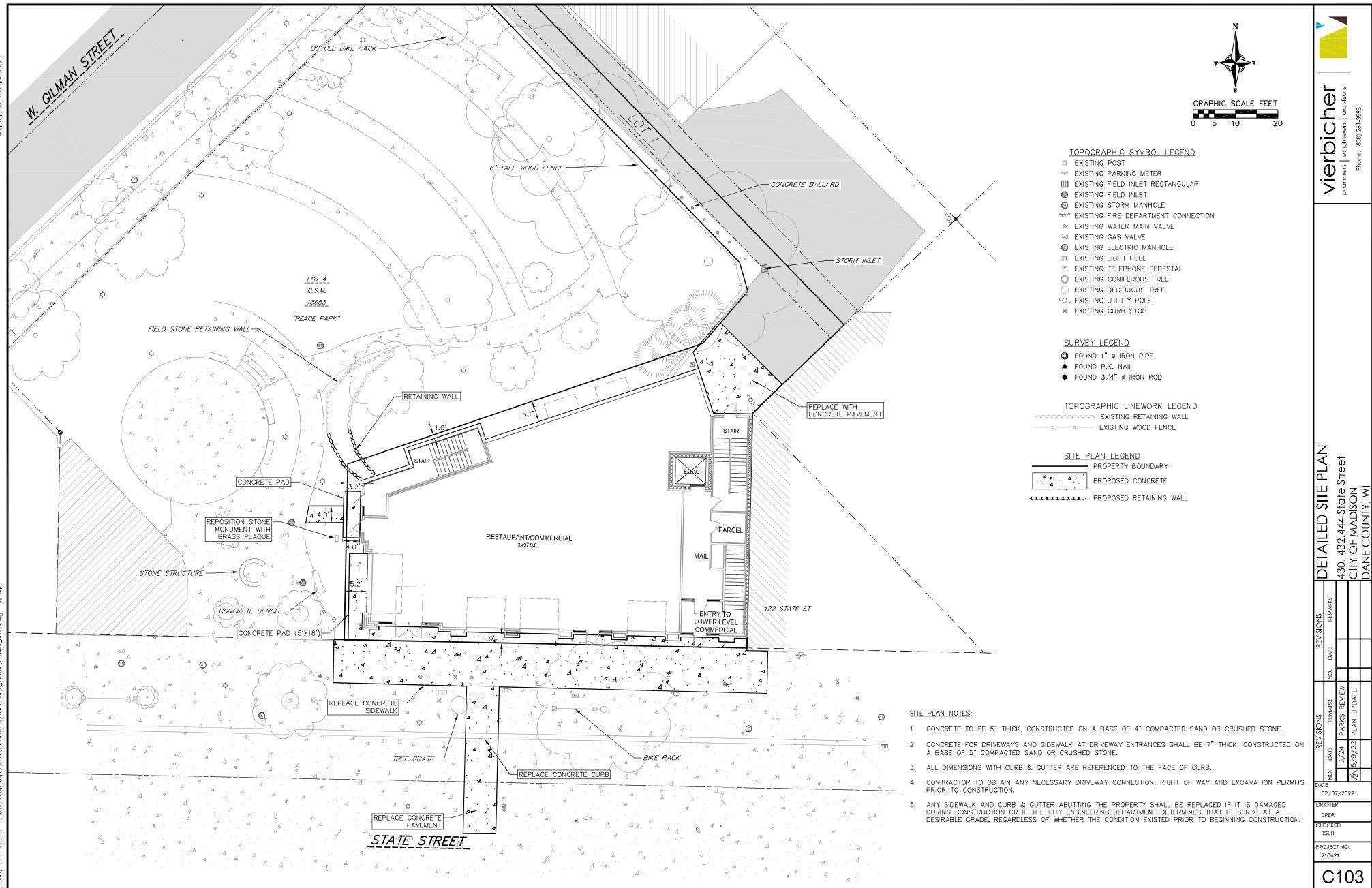
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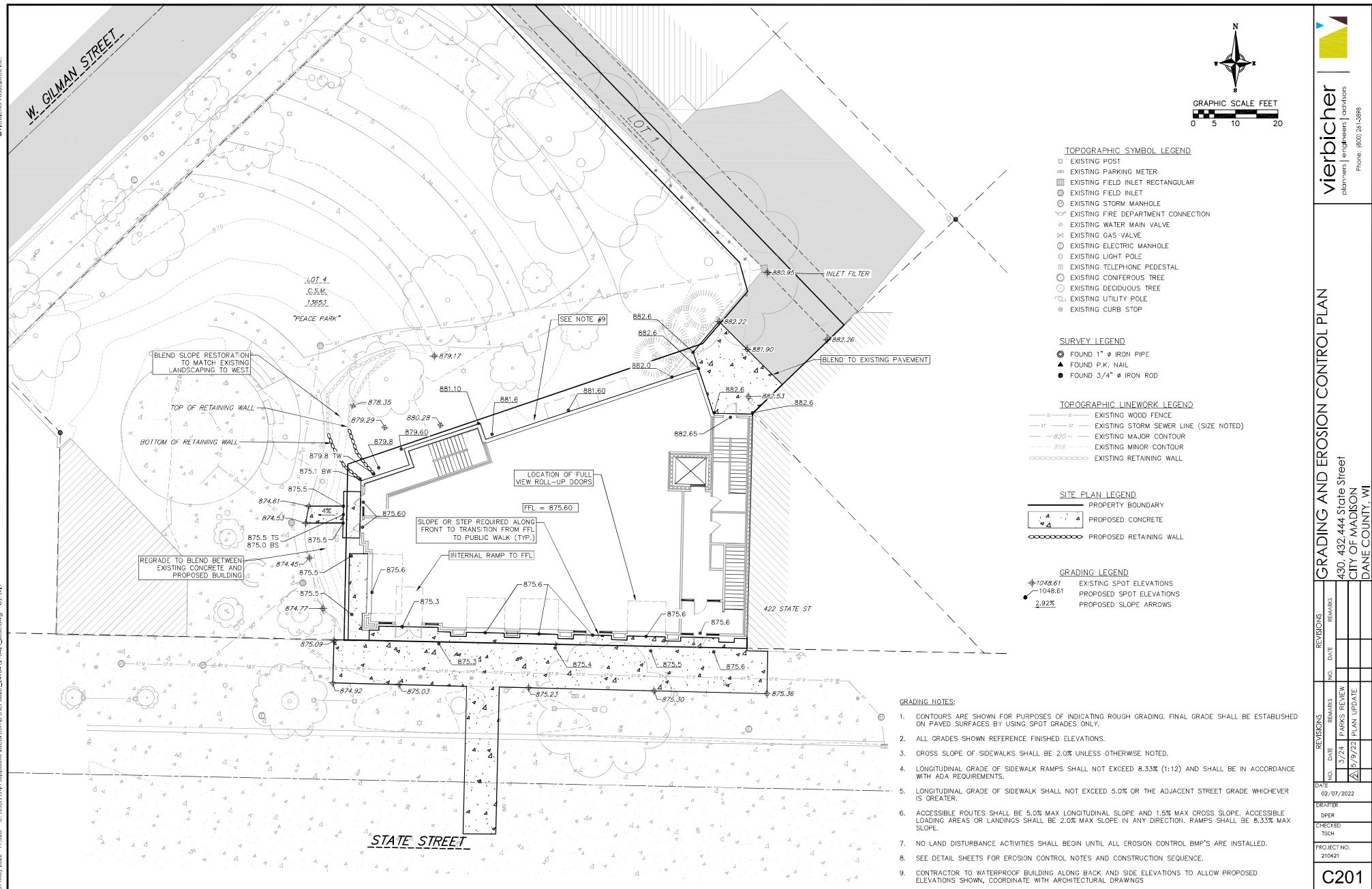
Phone: (800) 261-3898

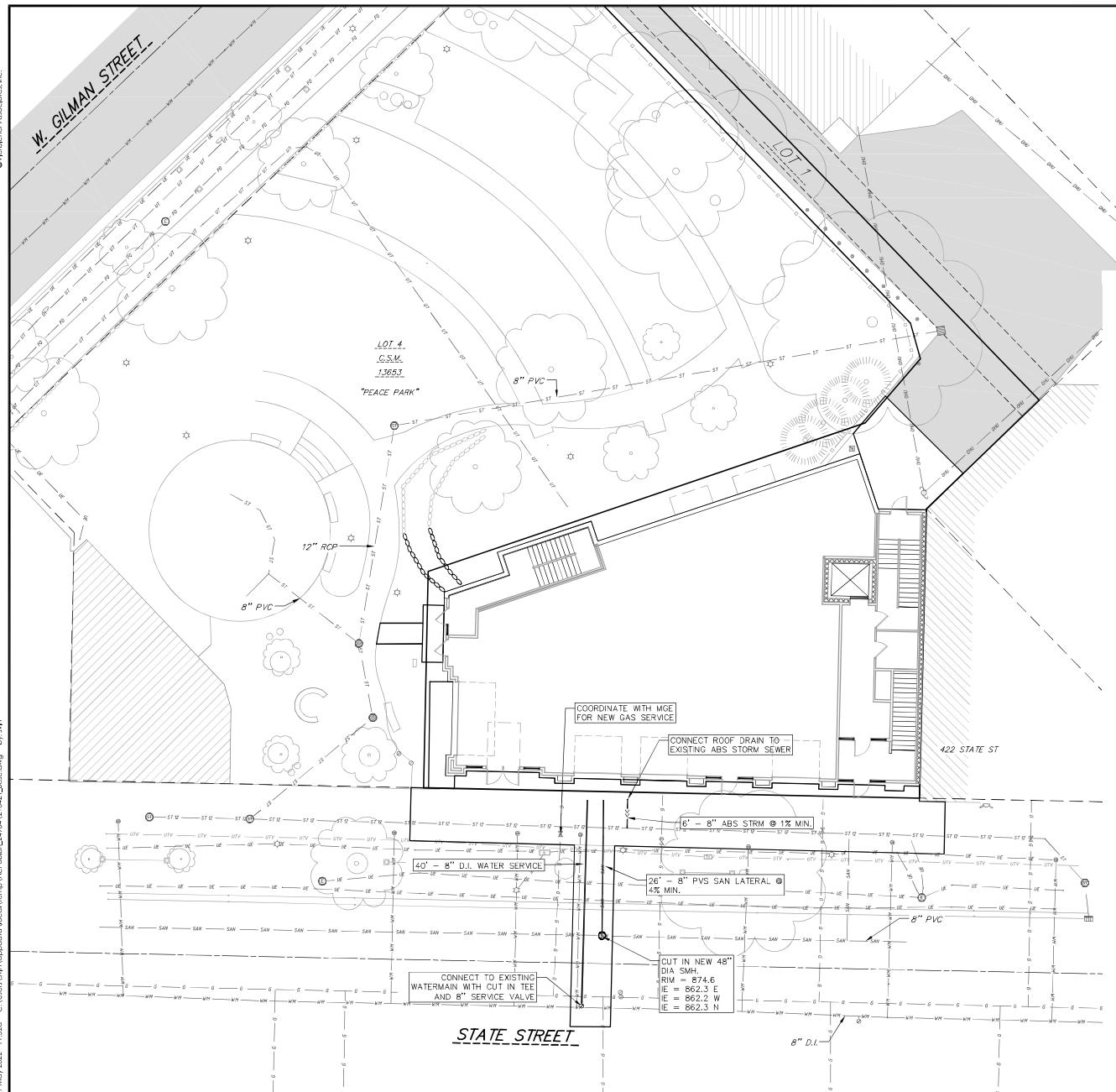
OVERALL SITE PLAN

<b>OVERALL SITE PLAN</b>	
REVISIONS	REMARKS
	430, 432,444 State Street
	CITY OF MADISON
	DANE COUNTY, WI

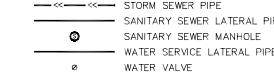
REVISIONS		REMARKS		NO. NO.
DATE	NO.	DATE	PARK & REVIEW	
02/07/2022		3/24	5/9/22	PLAN UPDATE
DRAFTER DPER				
CHECKED TSCH				
PROJECT NO. 210421				







PROPOSED UTILITY LEGEND



A compass rose with cardinal directions (N, S, E, W) and a scale bar below it labeled 'GRAPHIC SCALE FEET' with markings at 0, 5, 10, and 20.

#### EXISTING UTILITIES LEGEND

— SAN — SAV — EXISTING SANITARY SEWER LINE (SIZE NOTED)  
— ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)  
— WM — WM — EXISTING WATER MAIN (SIZE NOTED)

## ABBREVIATIONS

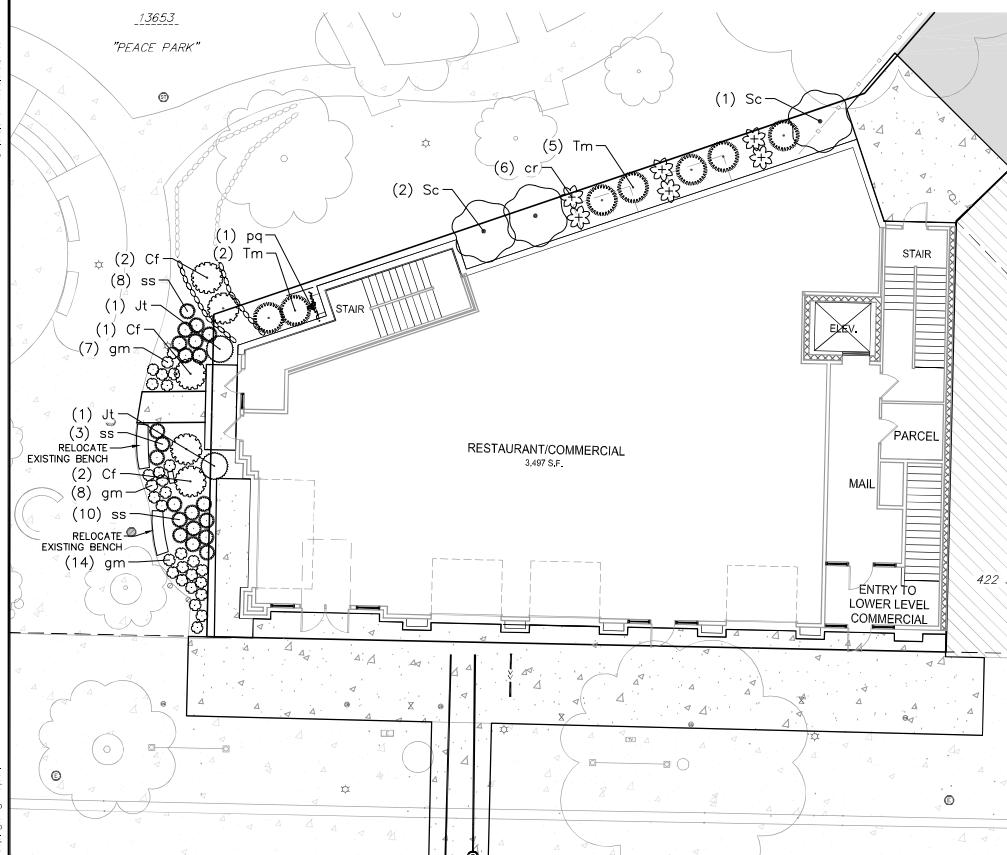
STMH - STORM MANHOLE  
FI - FIELD INLET  
CI - CURB INLET  
CB - CATCH BASIN  
EW - ENDWALL  
SMH - SANITARY MANHOLE

UTILITY NOT

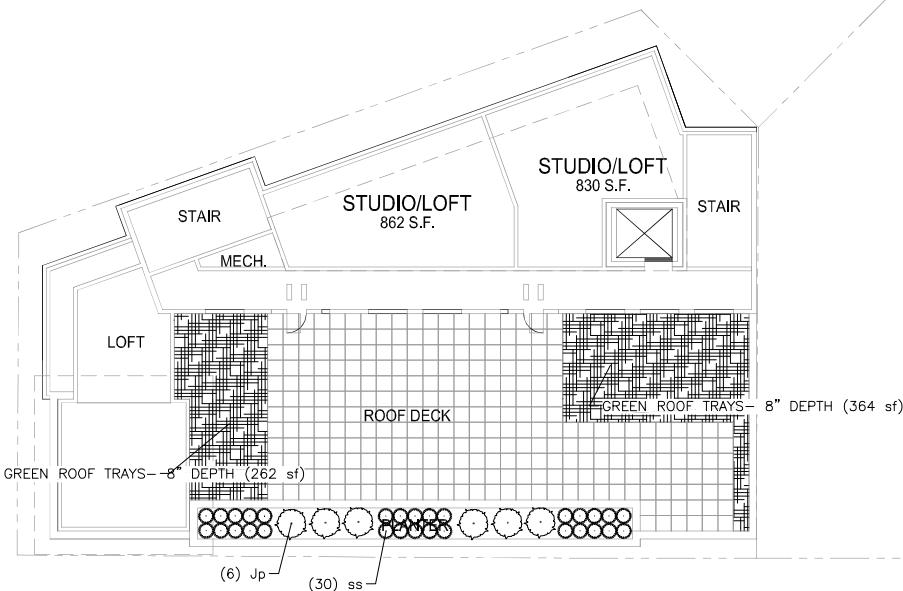
1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTION ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
7. IF Dewatering operations exceed 70 gallons per minute of pumping capacity, a dewatering well permit shall be obtained prior to starting any dewatering activities.
8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
9. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE, COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS, COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
10. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OR SPS 384.30(3)(c).
11. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
12. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
13. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
14. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(h) AND SPS 382.40(8)(x).
15. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(9)(b).
16. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
17. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
19. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
20. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
21. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
22. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
23. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
24. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
25. INSTALL 1 SHEET OF 4'x6'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

PURITY PLAN

## LANDSCAPE PLAN: AT GRADE



## LANDSCAPE PLAN: ROOF DECK



REVISIONS	REVISIONS	REVISIONS
DATE 02/07/2022	REMARKS None	REMARKS None
DATE 11/9/22	REMARKS None	REMARKS None
DATE None	REMARKS None	REMARKS None
DATE None	REMARKS None	REMARKS None

Landscape Plan  
430 - 432 4th Street  
CITY OF MADISON  
DANE COUNTY, WI

vierbicher |  
planners | engineers | architects  
Phone: (608) 261-3898

## PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Cf	<i>Cornus stolonifera</i> 'Farrow' TM / Arctic Fire Red Twig Dogwood	Cont.	3 Gal.	5
Sc	<i>Sambucus canadensis</i> / American Elderberry	Cont.	5 Gal.	3
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Jt	<i>Juniperus chinensis</i> 'Trautman' / Trautman Juniper	Cont.	5" ht.	2
Jp	<i>Juniperus procumbens</i> 'Nana' / Dwarf Japanese Garden Juniper	Cont.	3 Gal.	6
Tm	<i>Taxus x media</i> 'Everlow' / Everlow Anglo-Japanese Yew	Cont.	5 Gal.	7
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Cr	<i>Cimicifuga racemosa</i> / Black Cohosh	Cont.	1 Gal.	6
gm	<i>Geranium macrorrhizum</i> 'Bevan's Variety' / Bevan's Variety Bigroot Geranium	Cont.	1 Gal.	29
pq	<i>Parthenocissus quinquefolia engelmannii</i> / Engelmann Virginia Creeper	Cont.	2 Gal.	1
ss	<i>Schizachyrium scoparium</i> 'Blue Heaven' / Blue Heaven Little Bluestem	Cont.	1 Gal.	51

## PLANT MATERIAL NOTES:

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.

## SOIL PLANTING NOTES:

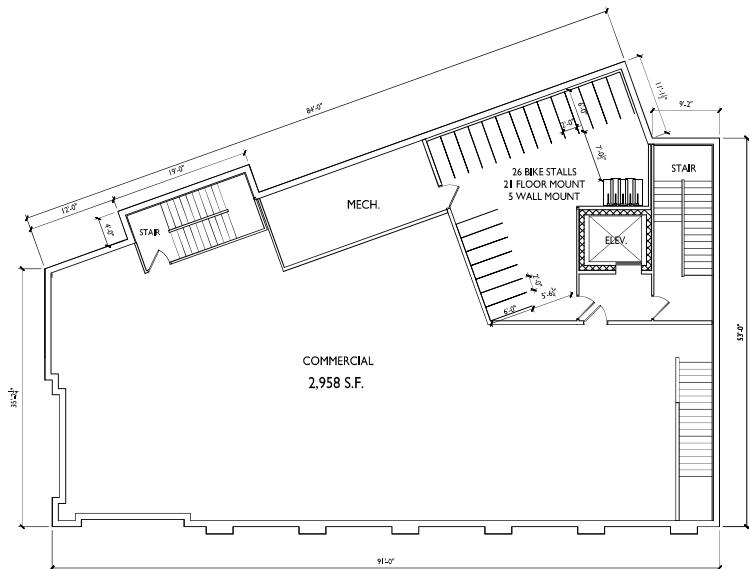
2. LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE  $\frac{3}{8}'' \times 4''$  OR EQUAL, COLOR BLACK ANODIZED.
3. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.

## CONTACT LANDSCAPE ARCHITECT IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.

4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

## LANDSCAPE MATERIAL NOTES:

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEADED/SODDED.



ISSUED  
Issued to DGM - Spec. IL 2019  
Issued for LDC Information - Jan. 24, 2022  
Land Use & UDC Submittal - February 07, 2022

PROJECT TITLE  
430, 432, 444  
State Street

Madison, Wisconsin  
SHEET TITLE  
Basement Floor  
Plan

SHEET NUMBER

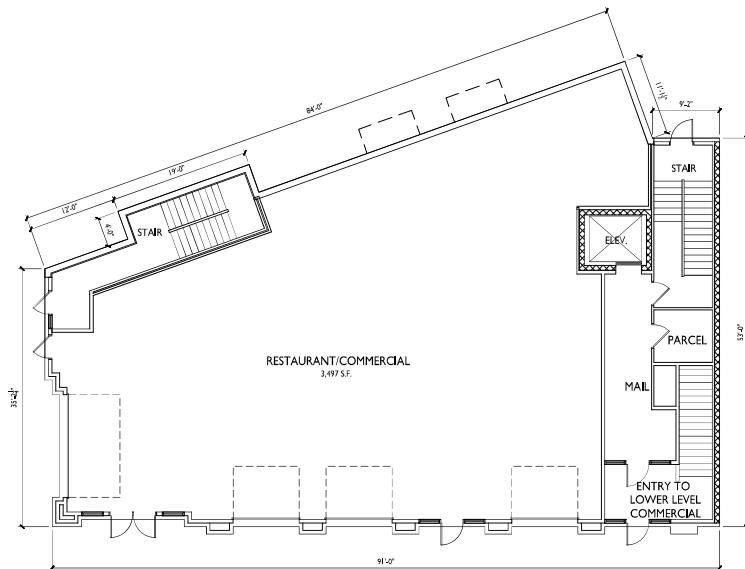
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BASEMENT FLOOR PLAN

A-1.0



FIRST FLOOR PLAN  
 A-1.1 1/8" = 1'-0"

Madison, Wisconsin  
 SHEET TITLE  
 First Floor Plan

SHEET NUMBER

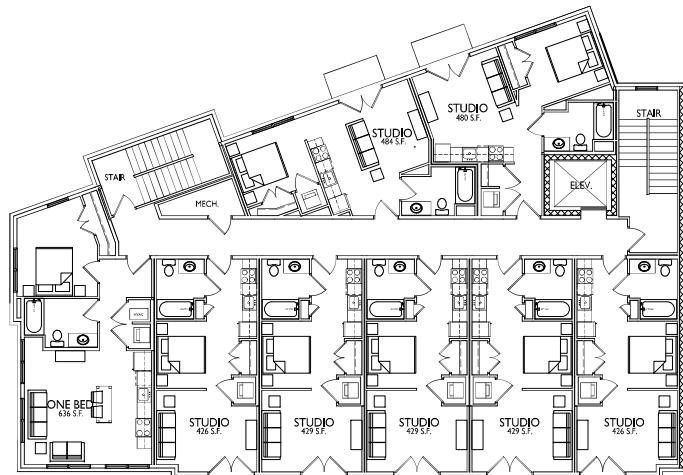
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ISSUED  
 Issued to DGM - Spec. II, 2019  
 Issued for LDC Information - Jan. 24, 2022  
 Land Use & UDC Submittal - February 07, 2022

PROJECT TITLE  
**430, 432, 444**  
 State Street

**ISSUED**  
 Issued to DGM - Spec. II, 2019  
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**PROJECT TITLE**  
**430, 432, 444**  
 State Street

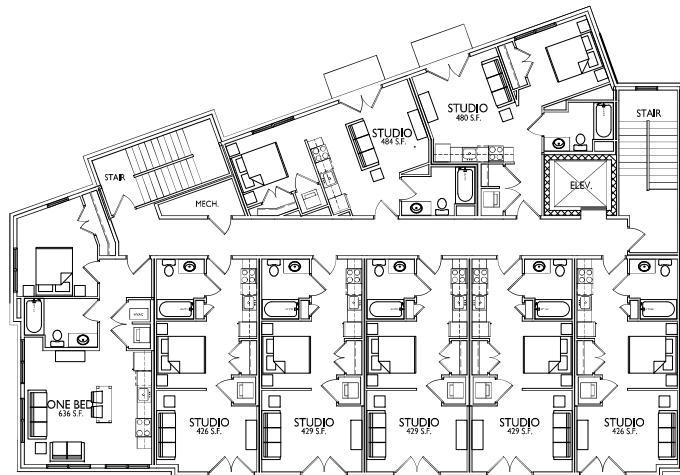
Madison, Wisconsin  
 SHEET TITLE  
**Second Floor Plan**



SHEET NUMBER

**A-1.2**  
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ISSUED  
 Issued to DGM - Spec. 11, 2019  
 Issued to LDC Information - Jan. 24, 2022  
 Land Use & UDC Submittal - February 07, 2022



PROJECT TITLE  
**430, 432, 444**  
 State Street

Madison, Wisconsin  
 SHEET TITLE  
**Third Floor Plan**

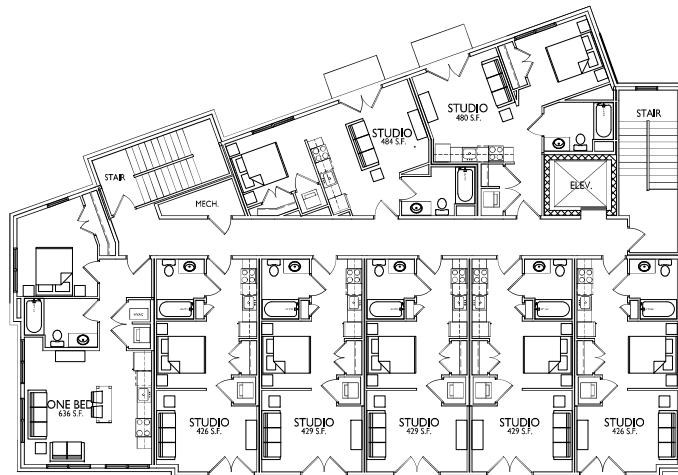


SHEET NUMBER

**A-1.3**

PROJECT NO. **1939**  
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**ISSUED**  
 Issued to DGM - Spec. 41, 2019  
 Issued to UDC Information - Jan. 24, 2022  
 Land Use & UDC Submittal - February 07, 2022



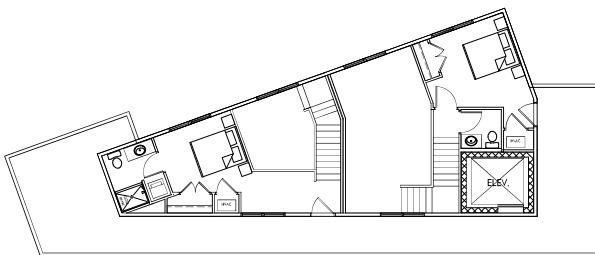
**PROJECT TITLE**  
**430, 432, 444**  
 State Street

Madison, Wisconsin  
 SHEET TITLE  
 Fourth Floor Plan

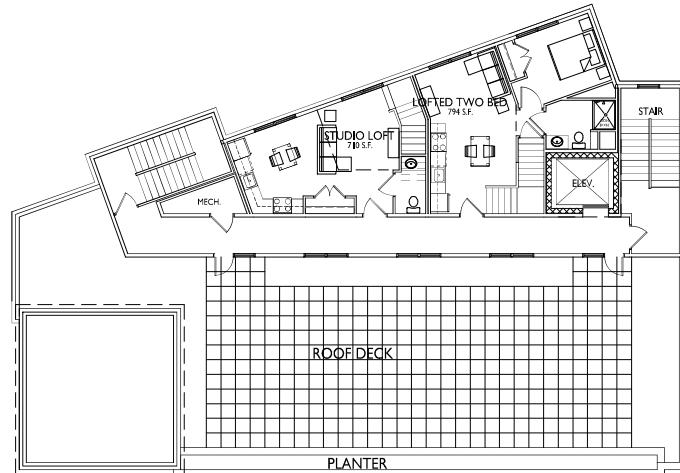


SHEET NUMBER

**A-1.4**  
 PROJECT NO. 1939  
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2 LOFT LEVEL FLOOR PLAN  
A-1.5 1/8" = 1'-0"



ISSUED  
Issued to GDM - Dec. 11, 2019  
Issued to LDC Information - Jan. 24, 2022  
Land Use & UDC Submittal - February 07, 2022

PROJECT TITLE  
430, 432, 444  
State Street

Madison, Wisconsin  
SHEET TITLE  
Fifth Floor Plan

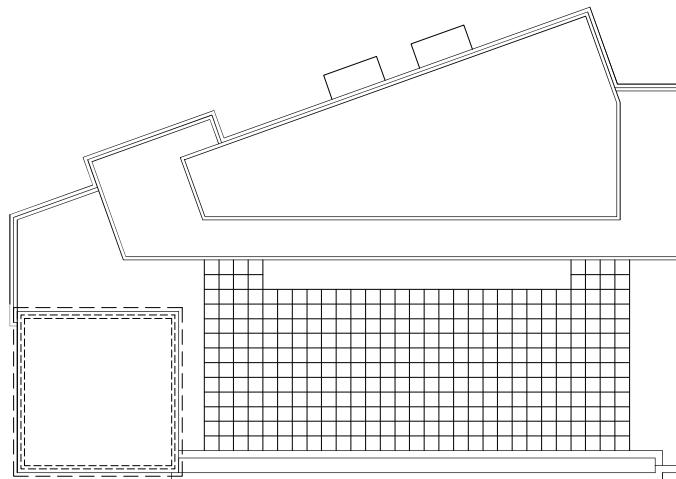
1 FIFTH FLOOR PLAN  
A-1.5 1/8" = 1'-0"



SHEET NUMBER

**A-1.5**

PROJECT NO. 1939  
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**ISSUED**  
 Issued to DGM - Sep. 11, 2019  
 Issued to LDC Information - Jan. 24, 2022  
 Land Use & UDC Submittal - February 07, 2022

**PROJECT TITLE**  
**430, 432, 444**  
 State Street

**Madison, Wisconsin**  
**SHEET TITLE**  
**Roof Plan**

**ROOF PLAN**  
 A-1.6 18" = 1'-0"

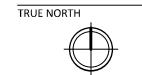


**SHEET NUMBER**

**A-1.6**

**PROJECT NO.** **1939**  
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# NOT FOR CONSTRUCTION



KEY PLAN

ISSUED  
Issued: August 16, 2021  
Updated Li & UDC Submittal - May 10, 2022

PROJECT TITLE  
434-444 State  
Street

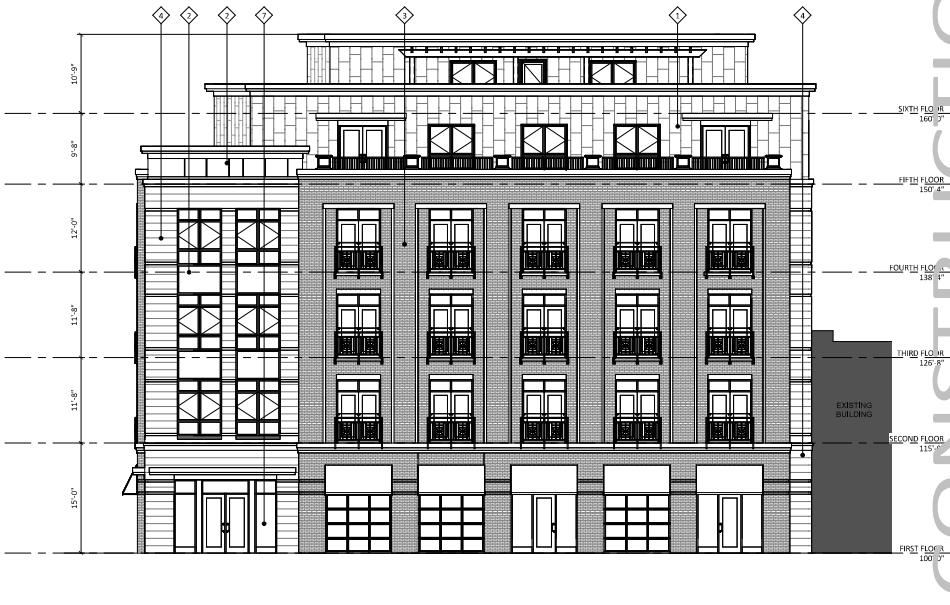
SHEET TITLE  
EXTERIOR  
ELEVATIONS

SHEET NUMBER

A-2.1

PROJECT NUMBER 1939

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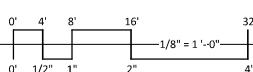


ELEVATION - SOUTH

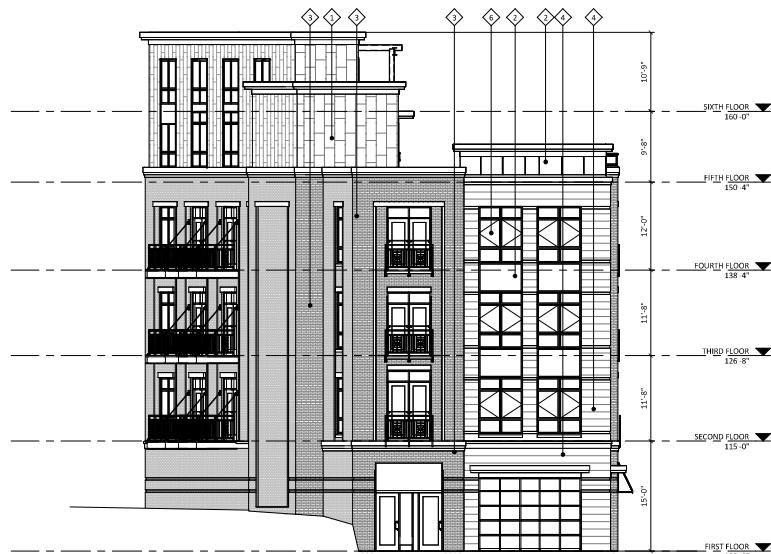
91'-0"

ELEVATION - WEST

91'-0"



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
(#2) - COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#3) - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
(#2.1) - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
(#3) - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#5) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#6) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#7) - ALUM. STOREFRONT	N/A	BLACK
(#8) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#9) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#10) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



# NOT FOR CONSTRUCTION



ISSUED  
Issued: August 16, 2021  
Updated Li & UDC Submittal - May 10, 2022

PROJECT TITLE  
434-444 State  
Street

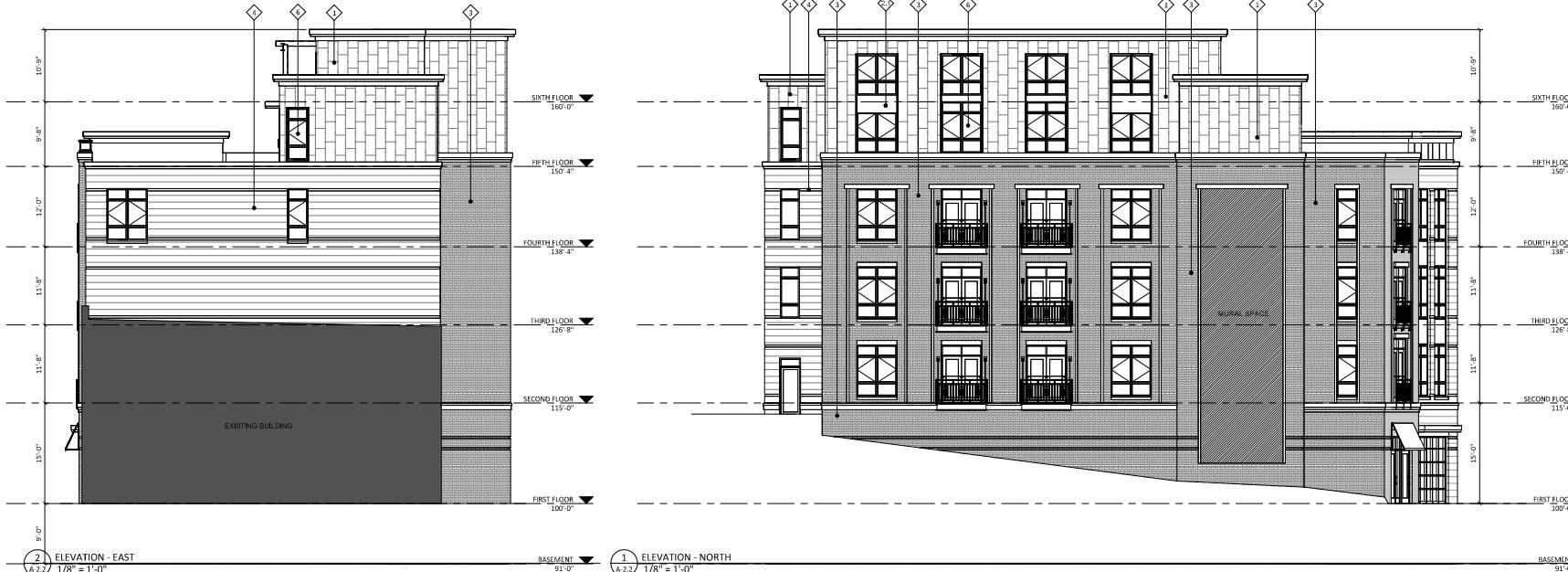
SHEET TITLE  
EXTERIOR  
ELEVATIONS

SHEET NUMBER

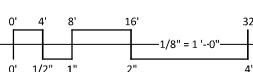
A-2.2

PROJECT NUMBER 1939

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EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
#E1 - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
#E2 - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
#E2.1 - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
#E3 - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
#E4 - MASONRY VENEER	ROCKCAST	LIGHT GRAY
#E5 - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
#E6 - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
#E7 - ALUM. STOREROOM	N/A	BLACK
#E8 - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
#E9 - TENSION ROD DECK ASSEMBLY	N/A	BLACK
#E10 - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



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# NOT FOR CONSTRUCTION

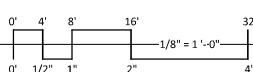


ISSUED  
Issued: August 16, 2021  
Updated Li & UDC Submittal - May 10, 2022

PROJECT TITLE  
434-444 State  
Street



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#11) - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#21) - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
(#21-1) - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
(#3) - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#5) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#6) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#7) - ALUM. STOREFRONT	N/A	BLACK
(#8) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#9) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#10) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



SHEET TITLE  
COLOR EXTERIOR  
ELEVATIONS

SHEET NUMBER

A-2.3

PROJECT NUMBER 1939

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# NOT FOR CONSTRUCTION



ISSUED  
Issued: August 16, 2021  
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PROJECT TITLE  
434-444 State  
Street

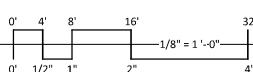
SHEET TITLE  
COLOR EXTERIOR  
ELEVATIONS

SHEET NUMBER  
A-2.4  
PROJECT NUMBER 1939

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EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
#E1 - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
#E2 - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
#E2.1 - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
#E3 - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
#E4 - MASONRY VENEER	ROCKCAST	LIGHT GRAY
#E5 - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
#E6 - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
#E7 - ALUM. STOREROOM	N/A	BLACK
#E8 - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
#E9 - TENSION ROD DECK ASSEMBLY	N/A	BLACK
#E10 - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED





**kba**  
knothe bruce  
ARCHITECTS



**kba**  
knothe bruce  
ARCHITECTS



**kba**  
knothe bruce  
ARCHITECTS



**kba**  
knothe bruce  
ARCHITECTS



**kba**  
knothe bruce  
ARCHITECTS



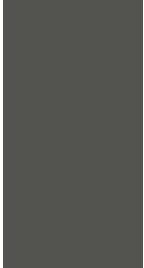
**kba**  
knothe bruce  
ARCHITECTS



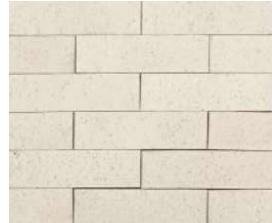
**kba**  
knothe bruce  
ARCHITECTS



Flat Lock Metal  
DMI  
Weathered Zinc



Composite Panel  
James Hardie  
Iron Gray



Brick Veneer  
Interstate Brick  
Arctic White



Masonry Base Veneer  
RockCast  
Light Gray



Cast Stone Elements  
RockCast  
Crystal White



Window Trim - Black

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	WEATHERED ZINC
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#2) - COMPOSITE PANEL	JAMES HARDIE	IRON GRAY
(#2.1) - COMPOSITE PANEL	JAMES HARDIE	MATCH WINDOW COLOR
(#3) - BRICK VENEER	INTERSTATE BRICK	ARCTIC WHITE
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#5) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#6) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#7) - ALUM. STOREFRONT	N/A	BLACK
(#8) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#9) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#10) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



434-444 State Street

MADISON, WI

5/10/2022

KBA #1939