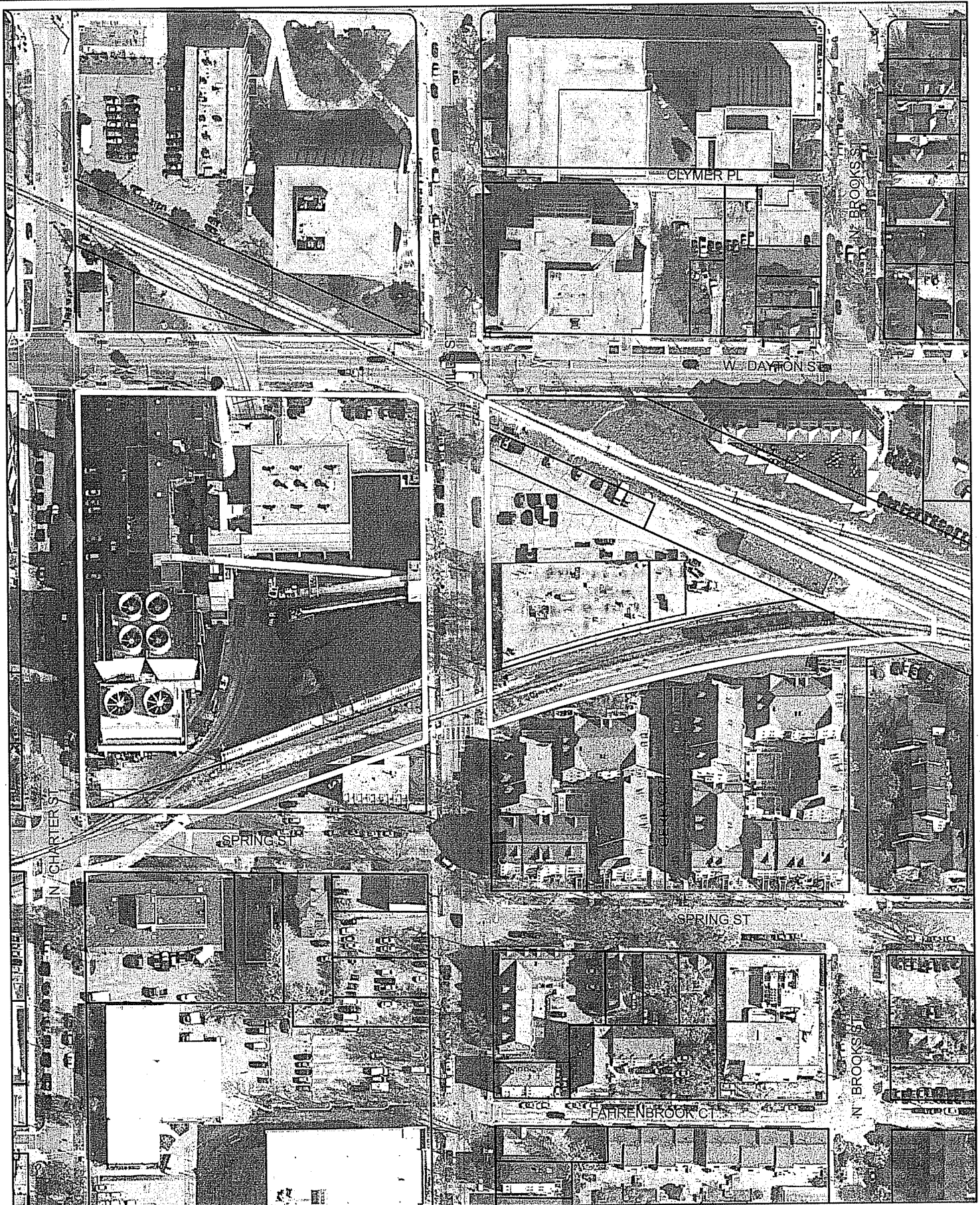








LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

OR OFFICE USE ONLY:

Amt. Paid Receipt No.
Date Received 5/11/11
Received By MDP
Parcel No. 0709-221-0901-6
Aldermanic District 8- Resnick
GQ PUDSIP; RR, Near Noise Partition
Zoning District PUDSIP
For Complete Submittal
Application Letter of
 Intent
IDUP Legal Descript.
Plan Sets Zoning Text
Alder Notification Waiver
Ngbhd. Assn Not. Waiver
Date Sign Issued 5/11/11

1. Project Address: 117 North Charter Street Project Area in Acres: 5.4 acres

Project Title (if any): Charter Street Heating Plant Rebuild Project (Revised GDP-SIP)

2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)

☐ Rezoning to a **Non-PUD or PCD Zoning Dist.**

Existing Zoning: R5, PUD/GDP to

Proposed Zoning (ex: R1, R2T, C3):

☐ Rezoning to or Amendment of a **PUD or PCD District:**

☒ Ex. Zoning: R5, PUD/GDP to PUD/PCD-GDP

☐ Ex. Zoning: R5, PUD/GDP to PUD/PCD-SIP

☐ Amended Gen. Dev. ☒ Amended Spec. Imp. Plan

☐ **Conditional Use**

☐ **Demolition Permit**

☐ **Other Requests (Specify):**

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Gary A. Brown, FASLA Company: University of Wisconsin-Madison

Street Address: 610 Walnut Street, 9th Floor City/State: Madison, WI Zip: 53726

Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Project Contact Person: Gary A. Brown, FASLA Company:

Street Address: same as above City/State: Zip:

Telephone: () Fax: () Email:

Property Owner (if not applicant): Board of Regents, UW System

Street Address: 1220 Linden Drive City/State: Madison, WI Zip: 53706

4. Project Information:

Provide a brief description of the project and all proposed uses of the site:

Construction of a natural gas boiler building, cooling tower building, parking lots, and other associated site work.

Development Schedule: Commencement September 2010 Completion May 2013

5. Required Submittals:

- ☒ **Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
- **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- ☒ **Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- ☒ **Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- ☒ **Filing Fee:** \$ N/A See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- ☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- ☒ For any applications proposing demolition or removal of existing buildings, the following items are required:
- Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- ☒ **Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- ☒ **Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
→ The site is located within the limits of Regent Street S. Campus Plan & UW Campus Plan, which recommends:
university/campus service facilities for this property.
- ☒ **Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
Alder Bryon Eagon; various Joint West and Joint Southeast Campus Area Committee meetings since 2009
- NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*
- ☒ **Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
Planning Staff: Tim Parks Date: various Zoning Staff: Matt Tucker Date: various
- ☒ **Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name GARY A. BROWN Date 05/09/2011

Signature Gary A Brown Relation to Property Owner owner's rep

Authorizing Signature of Property Owner Gary A Brown Date 05/09/2011

Effective May 1, 2009

Letter of Intent

REZONING REQUEST

Planned Unit Development (PUD-GDP/SIP) for the

Charter Street Heating Plant Rebuild Project

Application Submittal Date: May 11, 2011 for the July 11, 2011 Plan Commission Meeting

This application provides for the construction of the Charter Street Heating Plant Rebuild project, 117 N. Charter Street, allowing construction to begin in July 2011 for the second phase of construction. In the time since the SIP-01 was conditionally approved by the Common Council in August 2010, the new administration has authorized a significant change to the scope of the project. Therefore, this rezoning request covers the revised project scope for a new combined GDP-SIP that will supersede the original GDP conditionally approved in May 2010 and SIP-01 conditionally approved in August 2010.

The scope of the original GDP included two natural gas package boilers (in the Dayton Street Building) and a biomass boiler with associated material delivery and handling facilities. The new scope of the project and this GDP and SIP eliminates the biomass portion of the project and adds two new natural gas package boilers to the Dayton Street Building.

The original SIP-01 was for the Dayton Street Building located at the southwest corner of the intersection of W. Dayton Street and N. Mills Street. The first phase of that building is currently under construction. The new revised GDP-SIP covers changes to this building as a result of the project scope changes as well as a new cooling tower and water treatment building. Additional modifications are being proposed for the existing plant building as well.

Application materials bound herein:

Land Use Application

Letter of Intent

Legal Description (draft)

Zoning Text

Architectural Renderings & Color Exhibits

Bound under separate cover:

GDP-SIP drawing set dated May 11, 2011

State of Wisconsin, Division of State Facilities (DSF) Project Information:

Project Number: 09A2L
Project Title: Charter Street Heating Plant Rebuild
For the: University of Wisconsin-Madison
Madison, Wisconsin
Type of Project: Major Project / New Construction

Project Participants:

Project Executive Committee:

Alan Fish
Associate Vice Chancellor Facilities Planning and Management
608-262-3488
afish@fpm.wisc.edu

DSF Project Manager:

Kirby Letheby
Co-Project Manager for State of Wisconsin
608-261-5046
kirby.letheby@wisconsin.gov

University of Wisconsin Project Manager:

John Harrod
Co-Project Manager for State of Wisconsin
608-263-3077
jharrod@fpmwisc.edu

Engineering and Procurement Contractor (EPC):

Boldt / AMEC Team
(includes the following firms):

Lead Engineering Firm
Dan Regan
Amec
Lakeside Center
1979 Lakeside Parkway, Suite 400
Tucker, GA 30084
(770) 688-2776
daniel.regan@amec.com

Architectural Design
Doug Haas
Boldt Technical Services
2525 N Roemer Rd
P.O. Box 419
Appleton, WI 54912
(920) 225-6137
Doug.haas@boldt.com

Prime Contractor & EPC

Jeff Niesen
Oscar J. Boldt Company
740 Regent Street, Suite 202
Madison, WI 53715
(608) 257-2430
Jeff.niesen@boldt.com

**Civil Engineer/Landscape
Architect**
Cassie Goodwin
JJR, LLC
625 Williamson Street
Madison, WI 53705
(608) 327-4427
Cassie.goodwin@jjr-us.com

Proposed Construction schedule

Construction of the first phase of the Dayton Street Building is ongoing and is anticipated to be ready for occupancy in November 2011. The foundation for the fuel oil tank will begin in May 2011. Tie-ins to City utilities (water, sanitary, storm) are expected to occur in late July 2011. Estimated substantial completion of the construction of the plant is scheduled for May 2013.

Description of Existing Conditions

The current site includes the existing coal-fired heating and cooling plant, exterior coal storage pile and baghouse, and associated conveying systems. Along the south edge of the site and through the site are the heating plant rail spurs for coal delivery, which are to be removed with this project. East of N. Mills Street is the site of the former UW Parking Lot 45 and former 115 and 117 N. Mills Street buildings, which have since been demolished to provide room for construction staging for the first phase of this project. The site is bounded on the south and east by the Southwest Commuter Bike Path, on the north and east by the existing rail corridor and W. Dayton Street and on the west by N. Charter Street. The project area includes property owned by the University and railroad right of way leased from the Wisconsin Department of Transportation (WisDOT).

Description of Proposed Improvements

Architectural Improvements

The proposed Dayton Street Building will be approximately 51,100 gross square feet in size and ranges in height from approximately 62 feet from the finished grade elevation (roof elevation) to 73 feet (stair tower and penthouse). This building will also house the new control room and motor control center (MCC) room. The building will be primarily faced with brick faced precast panels in two colors (buff and brown), complemented with dark gray corrugated insulated composite metal panels. Glass curtain walls will dominate the ground floor level on the north and east sides of the building to allow viewing of the boiler equipment from the street.

A proposed cooling tower and water treatment (CTWT) building is planned as an extension of the Dayton Street Building and the existing plant building. The new cooling tower would replace two of the four existing cooling towers along N. Charter Street, which are to be demolished with this project. The two cooling towers to be removed are currently located above the chiller building, and are beyond their functional design life and need replacing. There are no plans to put any structures in their place above the chiller building.

The location of the new cooling tower is farther from the street than the existing ones, reducing the noise impact to nearby residents. The height of the CTWT building will be approximately 97 feet above the ground level on the south end, and the gross square footage will be approximately 19,800 square feet. The CTWT building will be faced with a corrugated insulated composite metal panel system.

Flues for the new package boilers will be contained in two steel stacks above the Dayton Street Building, each about 15 feet in diameter and 140 feet tall measured from the ground elevation. An additional new stack for Boiler No. 5 within the existing plant building will be erected on the roof of the existing plant building. This stack will also be approximately 8 feet in diameter and 140 feet tall measured from the ground. No other boiler stacks are included in this project.

Exterior modifications to the existing plant building include a relocated fire department connection along the west face of the plant, another overhead door on the west face for maintenance access to the new steam turbine-generator, some brick restoration, and window replacement.

Site Improvements

The overall site of this SIP submittal is approximately 233,400 square feet, or 5.4 acres, which includes the existing plant structures.

The existing parking lot for plant personnel will remain along N. Charter Street, but the parking lot size will be somewhat reduced to provide landscape screening and new steel fencing around the lot to replace the existing chain link. The two lot entrances will be combined into one 24-ft wide gate entrance with driveway apron. This lot will accommodate 18 parking stalls plus one accessible (ADA) stall.

The front door of the building will remain the main entrance for visitors and employees. A standard campus sign will be added at this location for identification, facing Charter Street. This location is also the emergency response address. Two bike racks will be added at the front entrance for visitors or employees.

Proposed site features include a brick faced architectural precast screen wall with integral steel fence panels along the south edge of the site and the Southwest Commuter Bike Path. The screen wall acts to secure the site and visually block much of the site, while still allowing some views into the site for the public. Vehicular and pedestrian gates for the site will be steel to match the fence panels in the screen wall.

The landscape will feature native switchgrasses and other sustainable plant species. The landscape is designed to be low maintenance and require no irrigation. Large limestone landscape boulders will be placed in the landscape around the north, east and south sides of the Dayton Street building and along the east side of the CTWT building to provide landscape interest as well as provide an extra barrier to protect the buildings from errant vehicles. A landscaped green roof will cover and surround the underground vault on the east end of the Dayton Street building which houses the Madison Gas & Electric gas meters.

A new parking lot along N. Mills Street will be located in the place of the existing coal pile. The new lot will accommodate 62 parking stalls. The lot will be a permitted lot for UW employees.

The triangular property east of N. Mills Street is being reserved for a material handling yard for a future biomass boiler. A surface parking lot is planned for this property to help meet the University's parking needs temporarily until the plant expansion occurs. This parking lot will accommodate 106 vehicle parking stalls and 18 moped stalls. A space on the north edge of the lot is designated for school bus parking to provide an off-street holding location during field trips or other visits to campus.

Facility Operation and Maintenance

The general operating hours of the facility will be 24 hours a day, 7 days a week with 14 personnel on site during the day and 4 during night shifts to cover general maintenance and plant operations. The plant will operate continuously year round, providing steam, chilled water, compressed air, and electricity for the University. The buildings will not be open to the general public or to University faculty, staff and students unless as part of an organized tour of the facilities.

Most vehicular deliveries to the facility will be made via the Mills Street yard entrance. The anticipated delivery route for large tanker fuel trucks will be via Dayton to Mills, so all trucks will enter and leave the

site from one entrance (originating from and exiting towards the north). The delivery of fuel oil via tanker trucks is anticipated to be very infrequent, as fuel oil is being used only as a back-up source of fuel for natural gas.

Fuel oil deliveries will be conducted on a designated fuel oil unloading containment pad. The containment area will drain to an underground sump which will collect all runoff from containment areas, including the fuel oil piping trench and fuel oil pump skid. This sump will have a locked valve on it that is normally closed, and will only be opened to drain the sump by an operator after he has made a visual inspection that no fuel spill has occurred. In the event of a spill, the sump will be pumped out by a certified service specializing in oil spill cleanup. The sump will drain to the storm sewer system in the parking lot which is sent through an oil/water separator prior to discharge to the City storm sewer.

In the rare event that natural gas becomes unavailable for plant operation, the plant would operate by burning fuel oil. The fuel oil tank is sized to hold approximately three days worth of fuel with the plant running at full design capacity. In this very unlikely scenario, and only after several days of interrupted natural gas service, emergency fuel deliveries would be required to maintain adequate fuel oil supply. The number of deliveries would depend on the rate of fuel oil consumption, but could be as high as one tanker truck per hour. This scenario is so remote, however, that the campus would be operating under extraordinary circumstances. The parking lot west of Mills Street would be temporarily closed to permittees and the lot would be used to route tanker trucks more efficiently through the site. The emergency routing would send the trucks into the site via the main Mills Street gate and then out via an emergency gate opening in the screen wall located just south of the CTWT building, and then through the parking lot back to Mills Street.

Stormwater from the two new parking lots and the fuel oil containment areas will be collected and routed to an underground stormwater treatment vault below the east parking lot. The vault will be designed to treat the runoff for oil and grease as well as total suspended solids. The vault will provide enough storage to maintain the predeveloped peak flow from a 10-year storm event. The discharge of this system will be routed to the large City storm culverts on the far east end of the site. This will help alleviate the capacity issues in the City's storm sewer that runs south of the bike path near the apartment buildings east of Mills Street.

An oil/water separator will also be provided on the sanitary connection out of the Dayton Street building to treat potentially oily discharges coming in contact with turbine equipment.

All facility maintenance activities, including snow removal, trash removal, and landscape maintenance will be performed by University facilities personnel on a regular basis. The University may contract with a private company or the City to provide routine sediment and oil/grease removal for the stormwater treatment vault in the east parking lot.

Maintenance of the WisDOT rail corridor property leased by the University for this project will be performed by University facilities personnel, including the landscape strip along the City's Southwest Bike Path. Additional project work outside of this SIP includes removal of the rail spur and restoration of the rail corridor between N. Charter Street and N. Randall Street. This property will be covered in a maintenance agreement between the University and WisDOT.

Other Approvals and Reviews

Restoration work within the City right-of-way on N. Charter, W. Dayton and N. Mills Streets around the project site will be reviewed separately through the City's Board of Public Works approval process and are not included in this zoning approval. Railroad modifications are also not included in the SIP zoning process and will be reviewed by WisDOT representatives and Wisconsin and Southern Railroad Co.

A 15-kV electrical substation is planned for the triangular property just north of W. Dayton Street at the corner of N. Charter Street that will be associated with the Charter Street Heating Plant. The UW now owns the parcels that make up that property, and plans to demolish the existing residential structure currently located on the corner. The substation is not included as part of this PUD, and will be submitted through a separate zoning approval for City review, anticipated later this summer.

The project is targeting sustainability metrics including LEED as well as UW and State of Wisconsin's Department of Administration Sustainability Guidelines for major construction projects.

In addition to the City zoning approval, the appropriate permits and approvals for the plant construction and operation will be obtained from the Department of Natural Resources, Department of Commerce, and other state and Federal agencies.

An updated Risk Management Plan has been submitted to the Madison Fire Department for a more detailed review of fire protection measures, exiting plans, site emergency access, chemical storage and other specific features of the project.

ZONING TEXT

Charter Street Heating Plant Rebuild Project 117 North Charter Street

Statement of Purpose

This document rezoning land parcel from R5 to a PUD/GDP/SIP is established to encompass the new operations proposed for the Charter Street Heating Plant Rebuild Project.

Permitted Uses

The permitted use of this PUD/GDP/SIP shall include the following:

- a) Public utility and service uses, including but not limited to the generation of steam heat; chilled water, compressed air and electricity

Lot Area, Bulk and Yard Requirements

Lot area, building heights, floor area ratio; front, side and rear yards; and open space shall be as shown on the approved specific implementation plans.

Off-Street Parking and Loading

Off-street parking and off-street loading to maintain required plant operations will be provided as shown on the approved specific implementation plans. Off-street parking includes parking for plant personnel in the existing parking lot along Charter Street, as well as new parking lots for permitted University staff.

Landscaping

Landscaping will be designed in accordance with City of Madison ordinance for public ROW lands, and as shown on the approved specific implementation plans.

Exterior Lighting

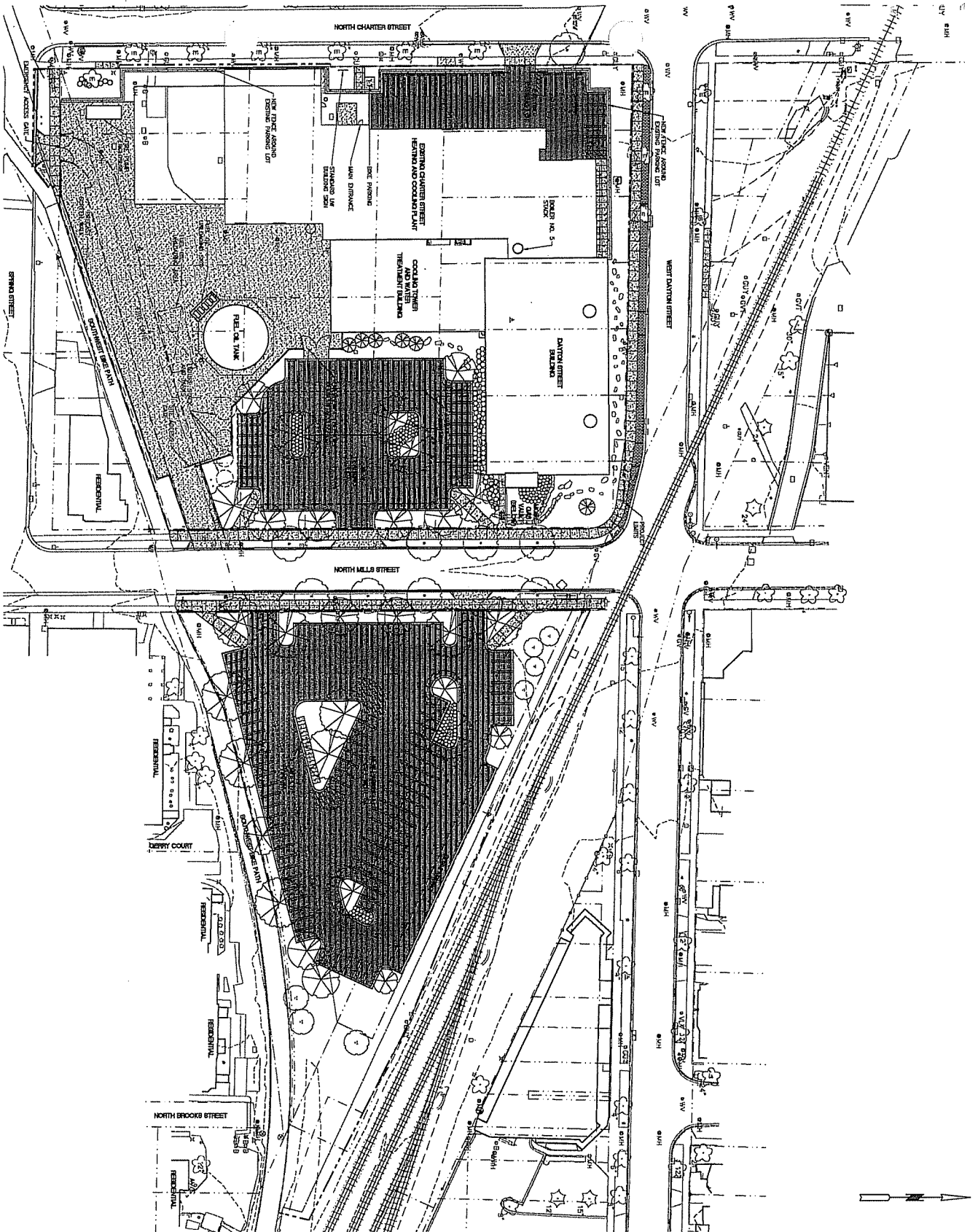
Exterior lighting will be designed in accordance with City of Madison ordinance for public ROW lands, and as shown on the approved specific implementation plans.

Exterior Signage

Exterior signage will be designed in accordance with City of Madison ordinance for public ROW lands and as shown on the approved specific implementation plans.

Alterations and Revisions

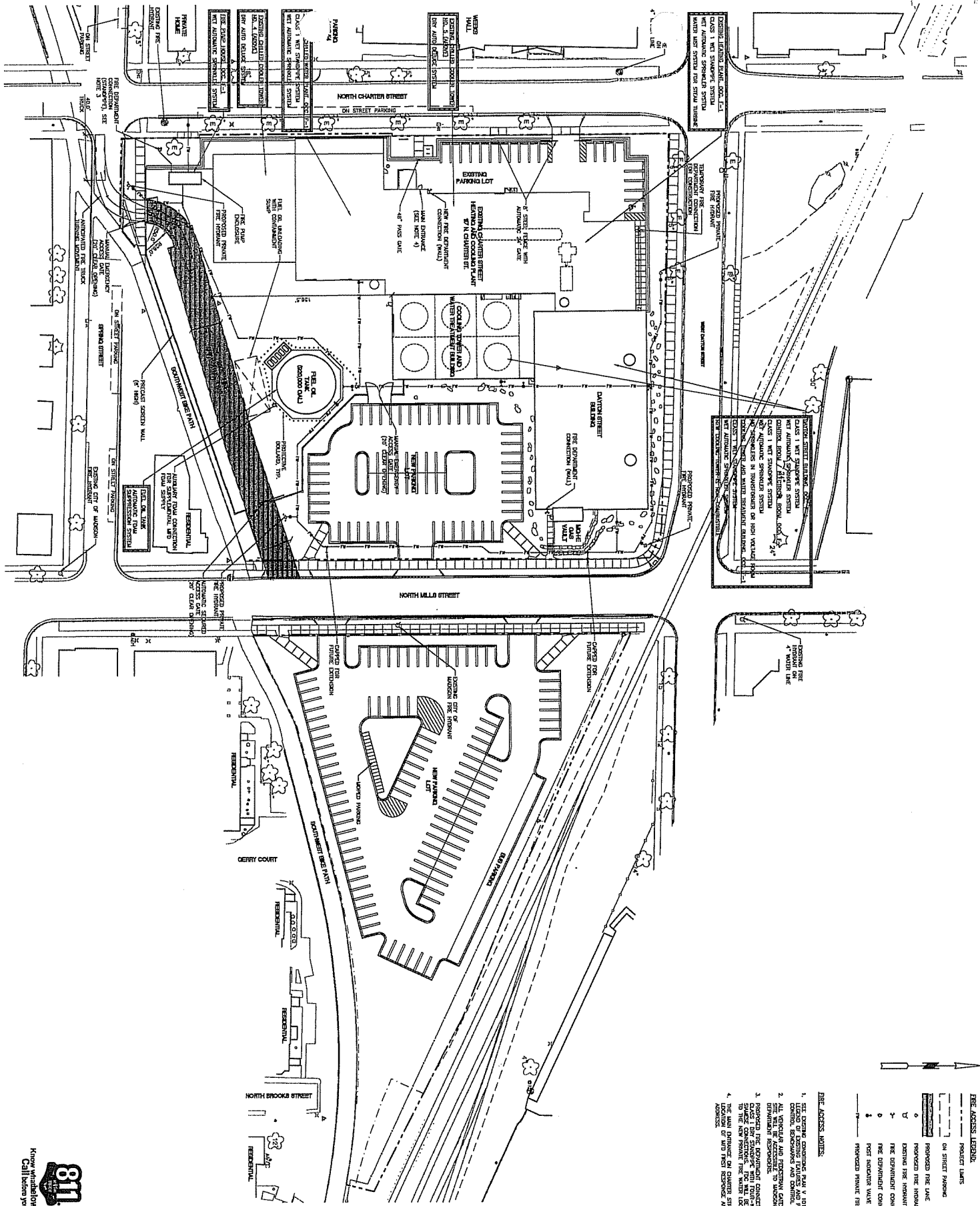
No alteration or revision of this GDP and subsequent SIP shall be permitted unless approved by the City Plan Commission. However, the Zoning Administrator may approve minor alterations which are approved by the Director of Planning and Development and the district Alderperson and are compatible with the concept stated in the underlying GDP/SIP approved by the Plan Commission.



- NOTES:**
1. CONSTRUCTION SHALL BE COMPLETED BY THE DATE SHOWN ON THE PLAN. ANY DELAY IN COMPLETION SHALL BE THE RESPONSIBILITY OF THE OWNER.
 2. THE EXISTING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS FOR CONSTRUCTION. THE EXISTING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS FOR CONSTRUCTION.
 3. THE EXISTING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS FOR CONSTRUCTION. THE EXISTING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS FOR CONSTRUCTION.
 4. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED. ANY DAMAGE TO UTILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.
 5. THE DATE, SIZE OF NORTH MILLS STREET IS THE FUTURE REMAINS OF THE STREET.

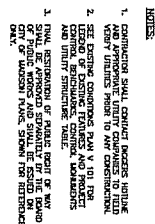
811
Know what's below.
Call before you dig.

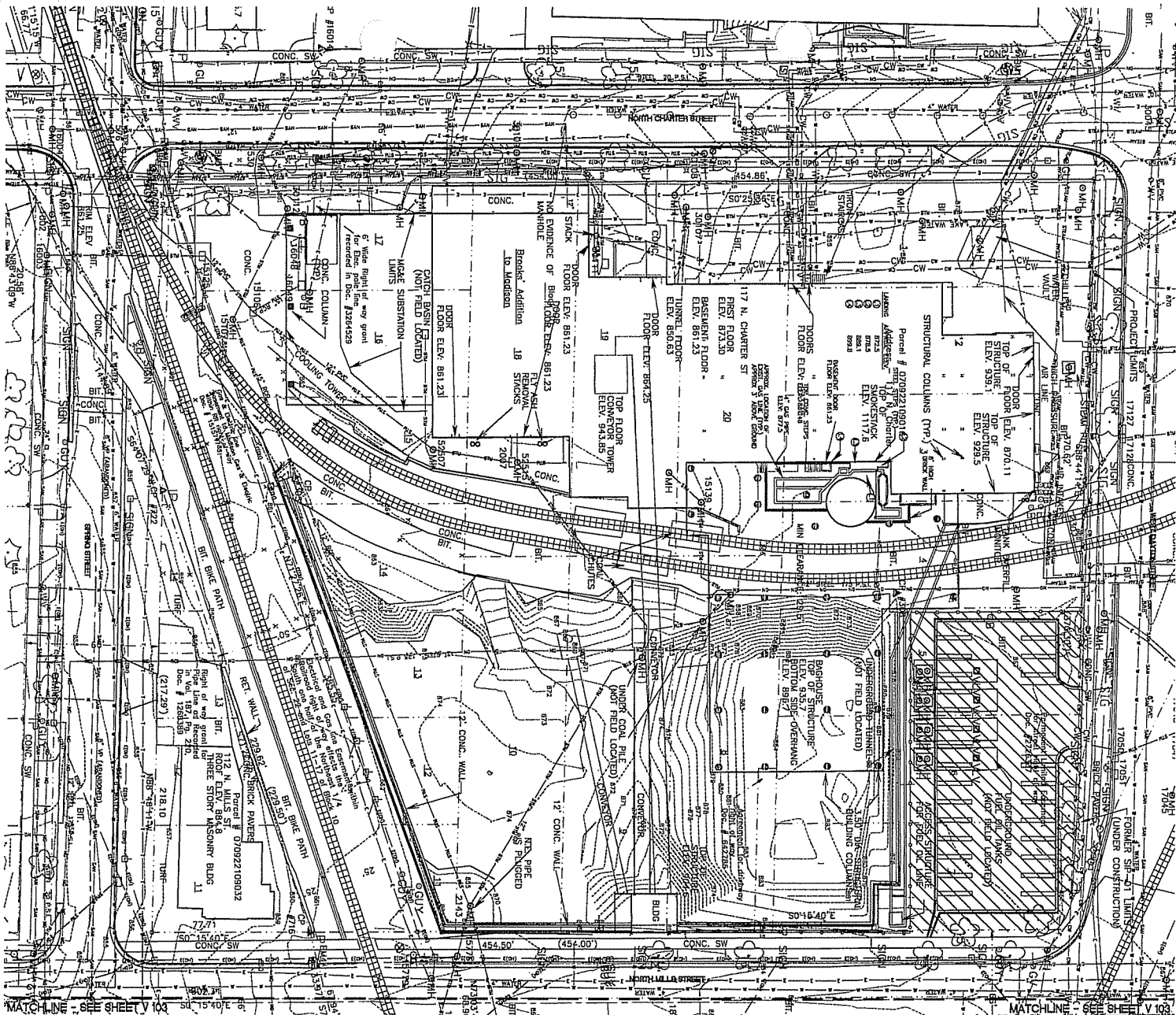
CHARTER STREET HEATING PLANT REBUILD Project Name: CHARTER STREET HEATING PLANT REBUILD Location: MADISON, WI		State of Wisconsin Department of Administration Division of State Facilities		UNIVERSITY OF WISCONSIN - MADISON	
Sheet Title: General Development Plan		Scale: 1" = 30'		Drawn: G 101	
Revised: 02/11/2011		Drawn: G 101		Drawn: G 101	



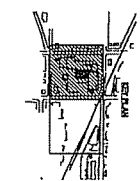
- FIRE ACCESS LEGEND:**
- PROJECT LIMITS
 - - - ON STREET PARKING
 - - - PROPOSED FIRE LANE
 - - - PROPOSED FIRE HYDRANT
 - - - EXISTING FIRE HYDRANT
 - - - FIRE DEPARTMENT CONNECTION (BUILDING)
 - - - FIRE DEPARTMENT CONNECTION (STANDARD)
 - - - POST INDICATION VALVE ON FIRE WATER LOOP
 - - - PROPOSED PRIVATE FIRE WATER LANE
- FIRE ACCESS NOTES:**
- SITE EXISTING CONCRETE PAVEMENT IS 10" THICK. ALL EXISTING CONCRETE SHALL BE REPAIRED OR REPLACED WITH NEW CONCRETE. ALL EXISTING AND PROPOSED CONCRETE SHALL BE REPAIRED OR REPLACED WITH NEW CONCRETE.
 - ALL EXISTING AND PROPOSED CONCRETE SHALL BE REPAIRED OR REPLACED WITH NEW CONCRETE.
 - PROPOSED FIRE DEPARTMENT CONNECTION IS A CLASS 1 FIRE STOPPING SYSTEM WITH 2" WALL THICKNESS TO THE NEW PRIVATE FIRE WATER LOOP.
 - THE MAIN ENTRANCE ON CHARTER STREET IS THE LOCATION OF THE FIRE HYDRANT AND DRINKING WATER LOOP.

Know what to do.
Call before you dig.
811



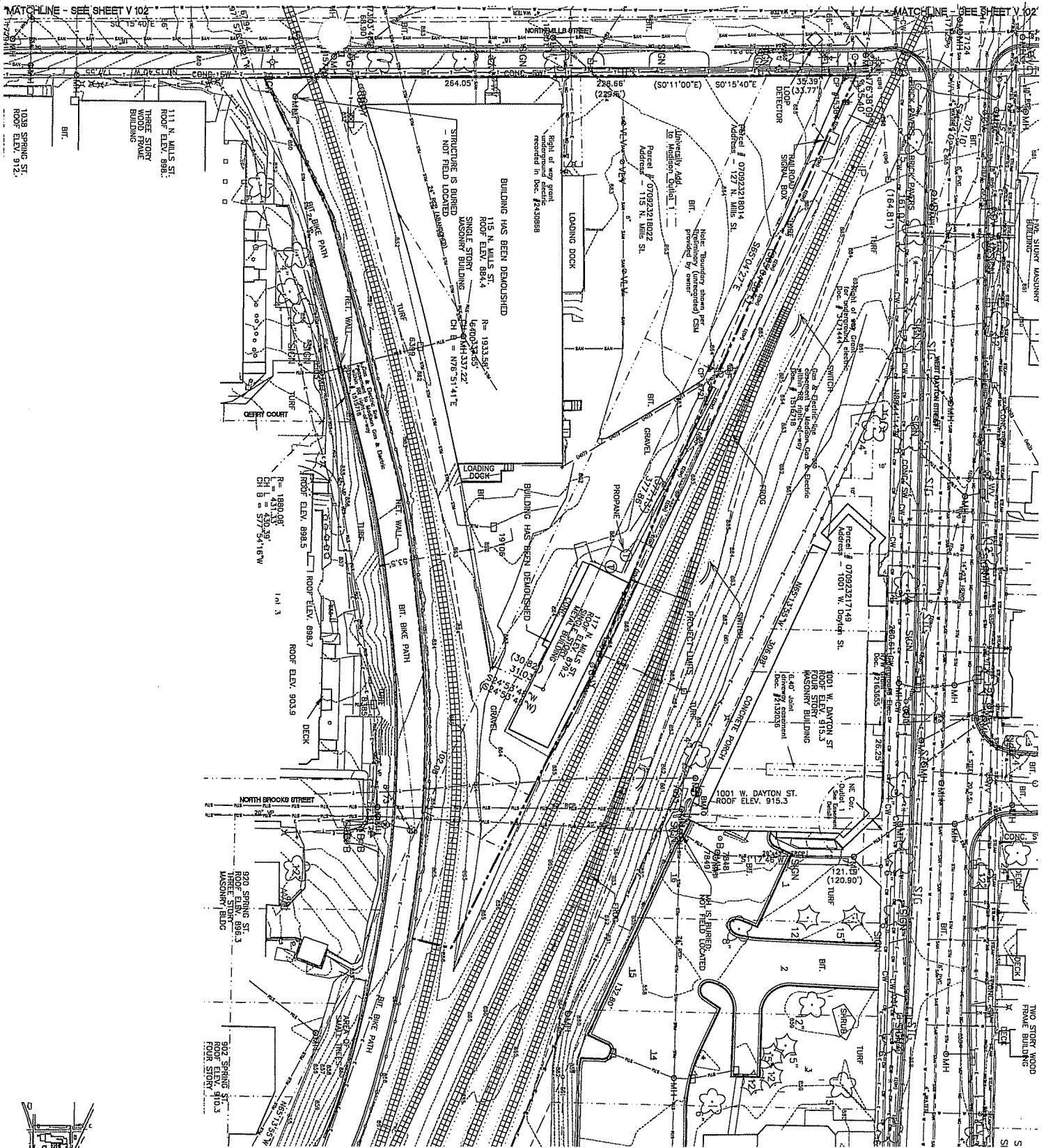


NOTES:
1. SEE EXISTING CONDITIONS PLAN V 100 FOR LAYOUT OF EXISTING PLANT AND UTILITY LINES.
2. SEE EXISTING CONDITIONS PLAN V 101 FOR LAYOUT OF EXISTING PLANT AND UTILITY LINES.
3. SEE EXISTING CONDITIONS PLAN V 102 FOR LAYOUT OF EXISTING PLANT AND UTILITY LINES.

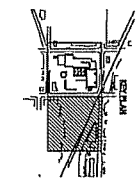


Project Title: CHARTER STREET HEATING PLANT REBUILD		Project Location: MADISON, WI		State of Wisconsin Department of Administration Division of State Facilities	
Sheet Title: Existing Conditions		Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON		DATE: 05/11/2011	
Scale: AS SHOWN		Drawn by: JJR		Checked by: JJR	
Project Number: 05/11/2011		Sheet Number: V 102		Project Name: CHARTER STREET HEATING PLANT REBUILD	

MATCHLINE - SEE SHEET V 102

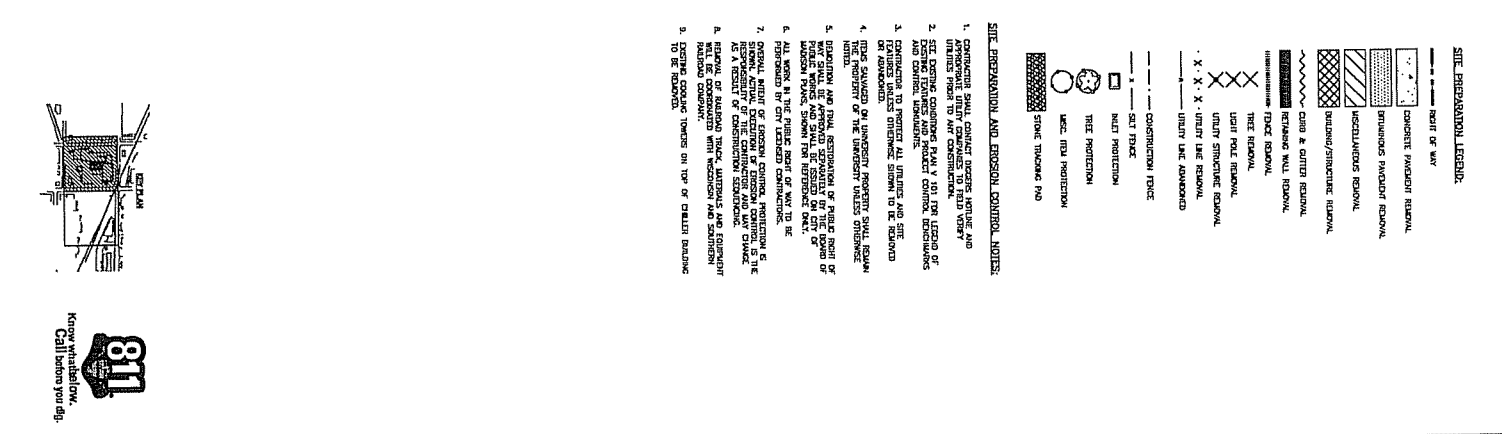
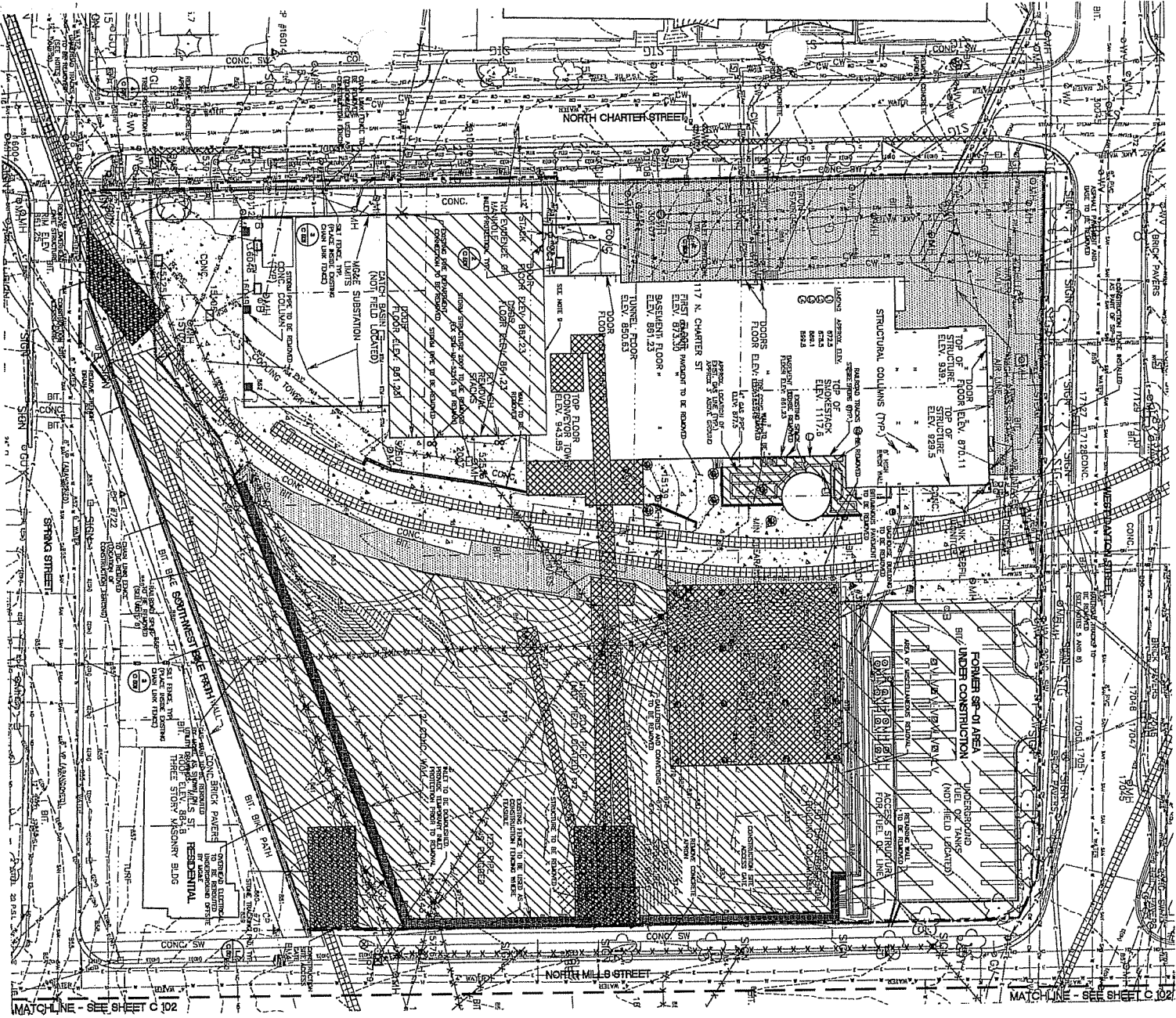


NOTES:
1. SEE EXISTING CONDITIONS PLAN V 101 FOR DETAILS OF EXISTING STRUCTURES AND UTILITIES, INCLUDING EXISTING AND UTILITIES.



811
Kern Building
Call before you dig.

Project Title: CHARTER STREET HEATING PLANT REBUILD		 State of Wisconsin Department of Administration Division of State Facilities	Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON
Project Location: MADISON, WI			
Sheet Title: Existing Conditions			
Contract: V 103	Scale: AS SHOWN	Drawn by: JMR	Checked by: JMR
Date: 05/11/2011	Revised: 05/11/2011		



811 Keweenaw Power Call before you dig.		Project Title: CHARTER STREET HEATING PLANT REBUILD Project Location: MADISON, WI Sheet Title: Site Preparation & Erosion Control Plan	State of Wisconsin Department of Administration Division of State Facilities UNIVERSITY OF WISCONSIN - MADISON	JLR JLR LLC 1000 E. MICHIGAN STREET MADISON, WI 53703 608.261.1177 www.jlrllc.com
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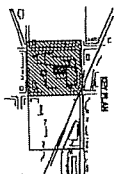


	CONCRETE PAVEMENT ROAD
	GRINDING PAVEMENT ROAD
	ASPHALT/STRUCTURAL ROAD
	CURB & GUTTER ROAD
	UNIMPROVED ROAD
	RIGHT OF WAY ROAD
	LEFT TURN ROAD
	UTILITY REINFORCED ROAD
	UTILITY NOT REINFORCED
	CONSTRUCTION ROAD
	SALT ROAD
	RIGHT PRIVILEGE
	THIRD PRIVILEGE
	ASPHALT MILL PAVEMENT
	STONE INCURSE PAV

- | | |
|---|----------------------------------|
|  | LIGHT POLE REMOVAL |
|  | UTILITY STRUCTURE REMOVAL |
|  | X · X · X · UTILITY LINE REMOVAL |
|  | UTILITY LINE ABANDONED |
|  | CONSTRUCTION FENCE |
|  | SALT FENCE |
|  | PALET PROTECTION |
|  | THREE PROTECTION |
|  | MISC. ITEM PROTECTION |
|  | STONE TROUSING PAD |



 State of Wisconsin Department of Administration Division of State Facilities		Project Title: CHARTER STREET HEATING PLANT REBUILD Project Location: MADISON, WI		Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON		 JRR JACOBI & RAYMOND, INC. 601 EAST MADISON STREET MADISON, WI 53701 (608) 251-1171 www.jrr.com		The project is located on CHARTER STREET MADISON, WISCONSIN 53715	
Project Title: CHARTER STREET HEATING PLANT REBUILD Project Location: MADISON, WI		Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON		Sheet Title: Site Preparation & Erosion Control Plan		Date: 05/11/2011		Sheet: C 102	



Know what's below.
Call before you dig.

No.	Date	Sampled
A	06/27/11	CW-CR-1011 RW-9 CR-2P ON STANDARD
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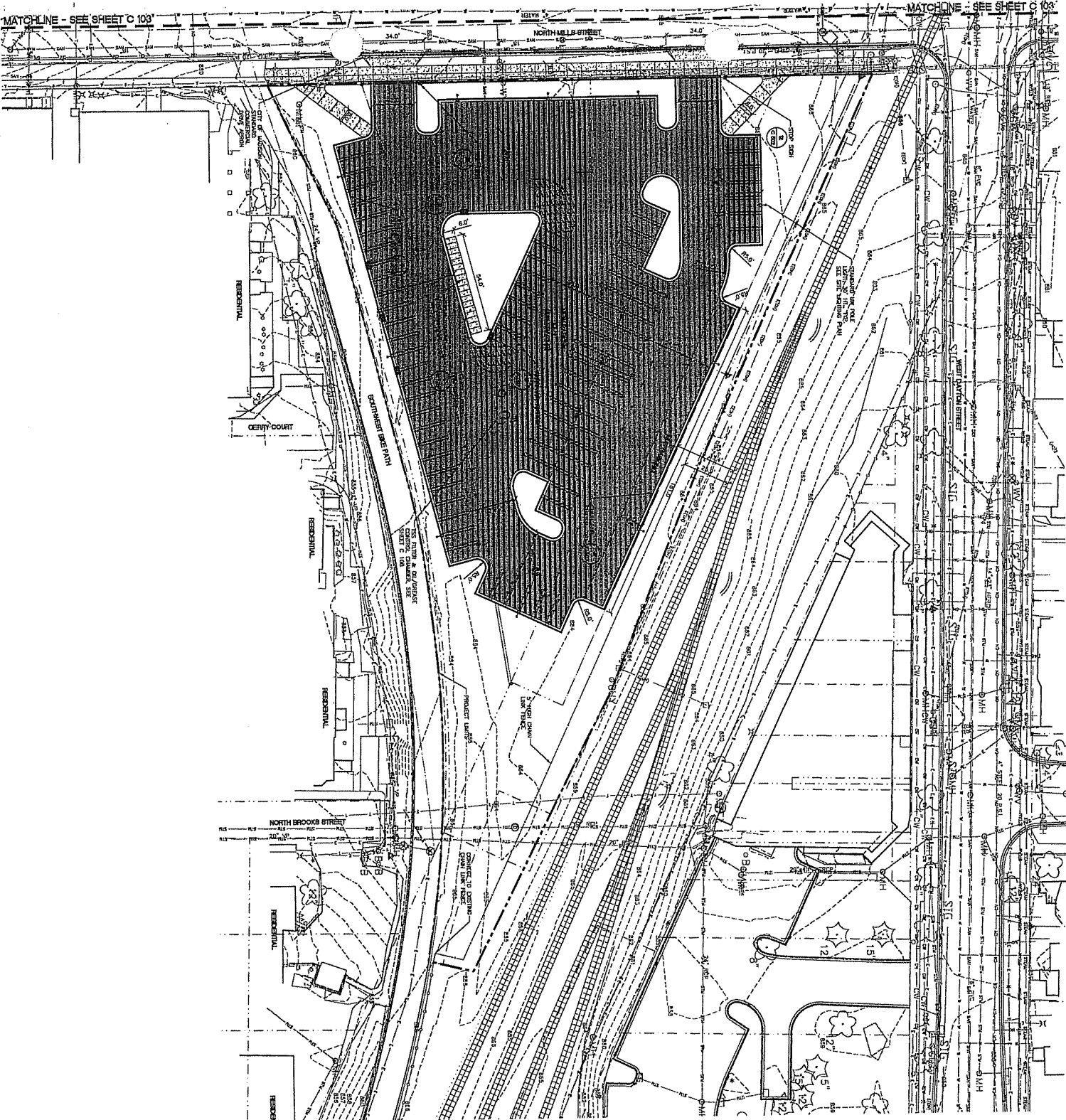
State of Wisconsin
Department of Administration
Division of State Facilities

Agency / Institution
UNIVERSITY OF WISCONSIN - MADISON

Project Title:
**CHARTER STREET
HEATING PLANT REBUILD**

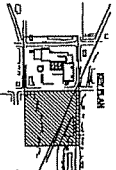
Project Location:
MADISON, WI

Sheet Title:
Site Layout and Materials Plan



- SITE LAYOUT LEGEND:**
- PROJECT LIMITS
 - PROPERTY LINES
 - CONTROL POINT
 - CONCRETE JOINT
 - CHAIN LINK FENCE
 - STEEL WALL
 - SITE FENCE
 - SOIL AND SLOTTED
 - SOIL
 - LAKE POLE
 - PIPE LANE
 - CONCRETE PAVEMENT
 - GRASS PAVEMENT

- SITE LAYOUT AND MATERIALS NOTES:**
1. CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITIONS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION, AND THE LATEST EDITIONS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) STANDARD SPECIFICATIONS FOR WATERWAYS AND MARINE STRUCTURES.
 2. SEE EXISTING CONSTRUCTION PLANS V 101 - V 103 FOR LAYOUT OF EXISTING STRUCTURES, PROJECT LIMITS, AND PROPERTY LINES.
 3. EXISTING CONSTRUCTION SHALL BE PROTECTED TO REMAIN IN EXISTENCE THROUGHOUT THE PROJECT PERIOD. ANY EXISTING STRUCTURES THAT ARE NOT TO REMAIN SHALL BE DEMOLISHED AND THE SITE SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
 4. IN ADDITION TO THESE NOTES ON PLANS, EXISTING CONDITIONS SHALL BE LOCATED BY ALL WALLS, ETC.
 5. ALL WORK IN THE PUBLIC RIGHT OF WAY TO BE PERFORMED BY CITY-DESIGNED CONTRACTORS.
 6. SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES IN THE PUBLIC RIGHT OF WAY.
 7. THE PROJECT FENCE SHALL BE LOCATED AS SHOWN ON THE PLANS.
 8. THE PROJECT FENCE SHALL BE LOCATED AS SHOWN ON THE PLANS.
 9. THE PROJECT FENCE SHALL BE LOCATED AS SHOWN ON THE PLANS.
 10. THE PROJECT FENCE SHALL BE LOCATED AS SHOWN ON THE PLANS.



811
Know what's below.
Call before you dig.

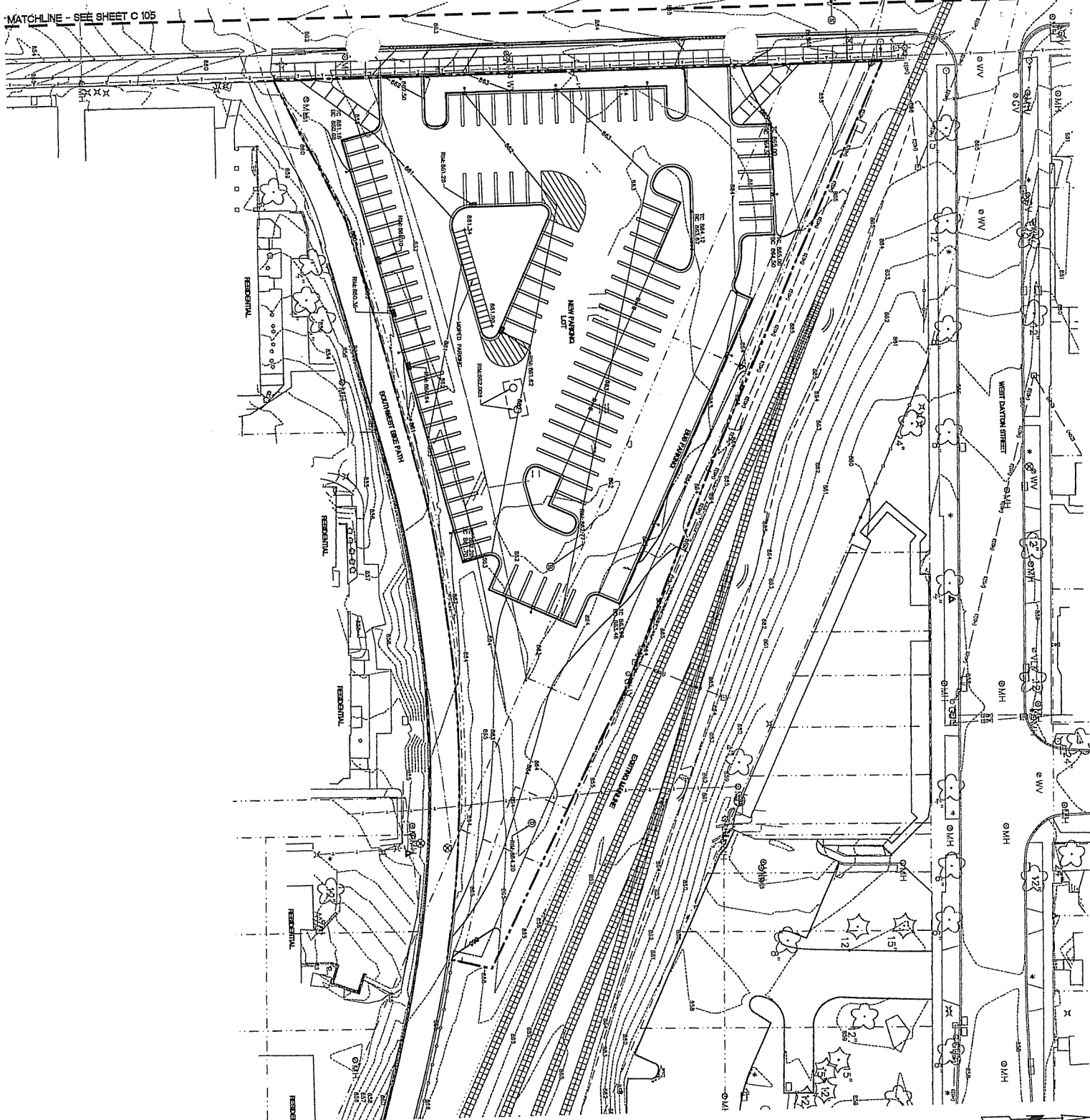
Project Title: CHARTER STREET HEATING PLANT REBUILD Project Location: MADISON, WI		State of Wisconsin Department of Administration Division of State Facilities		University of Wisconsin - Madison	
Sheet Title: Site Layout and Materials Plan		Scale: 1" = 20'		Drawn by: 09/04/2011	
Check by: 02/11/2011		Sheet Number: C 104		Project Number: 0000000000	



- NOTES:**



 State of Wisconsin Department of Administration Division of State Facilities		Project Title: CHARTER STREET HEATING PLANT REBUILD Project Location: MADISON, WI		Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON		Drawn By: CH		Scale: AS SHOWN		Sheet No.: C 105	
Project No.: 10000000000000000000		Project Name: CHARTER STREET HEATING PLANT REBUILD		Project Location: MADISON, WI		Project Date: 02/11/2011		Project Status: 02/11/2011		Project Type: 02/11/2011	
Project No.: 10000000000000000000		Project Name: CHARTER STREET HEATING PLANT REBUILD		Project Location: MADISON, WI		Project Date: 02/11/2011		Project Status: 02/11/2011		Project Type: 02/11/2011	



PRODUCT LIMITS
----- PROPERTY LINE
----- 604' UNDER CHURCH
----- 600' MAJOR EDITION
+ 615.44 SPOT ELEVATION
+ 78' 80.50 TOP OF WALL ELEVATION
+ 78' 86.00 BOTTOM OF WALL ELEVATION
+ 78' 86.50 TOP OF CURB ELEVATION
+ 82' 85.00 BOTTOM OF CURB ELEVATION

NOTES:

1. CONTRACTOR SHALL CONTACT DEPT. OF WATER RESOURCES AND AGENCY OF ENVIRONMENTAL AFFAIRS TO OBTAIN NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION.
2. WAD NO 87123 DIVISION - 150' OF AGRICULTURAL ELEVATION.
3. SEE EXISTING CONCRETE PAVES V 101 - V 103 FOR LOCATION OF PROJECT CONTROL FENCEWAYS AND CONTROL INSTRUMENT.
4. ALL WORK IN THE PUBLIC RIGHT OF WAY TO BE COMPLETED BY THE CITY DESIGNATED CONTRACTORS.
5. SHALL RESTORATION OF PUBLIC RIGHT OF WAY BE APPROVED SEPARATELY BY THE BOARD OF PUBLIC WORKS AND SHALL BE COMPLETED WITHIN 60 DAYS OF WORKING DAYS, SHOWING FOR RESTITUTION ONLY.

740 NICHOL STREET
SUITE 202
WILSON, WICHITA 67315

605 WILLIAMSON ST
MADISON, WI 53706
608.251.1177
608.251.8147 F
www.gly.com

 State of Wisconsin
Department of Administration
Division of State Facilities

Agency / Institution
UNIVERSITY OF WISCONSIN - MADISON

Project Title:
**CHARTER STREET
HEATING PLANT REBUILD**

Project Location:
MADISON, WI

Sheet Title:
Gen. Con.

Lab Name	Sample Name
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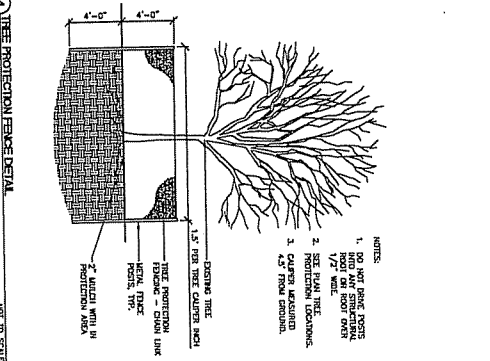
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 STATE OF WISCONSIN DEPARTMENT OF ADMINISTRATION DIVISION OF STATE FACILITIES		Project Title: CHARTER STREET HEATING PLANT REBUILD	
Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON		Project Location: MADISON, WI	
Project Number: 05/11/2011		Project Name: C 107	

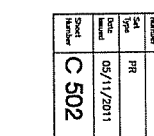
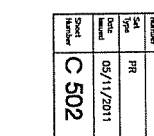
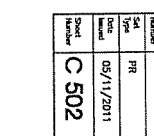
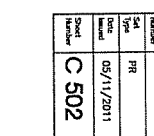
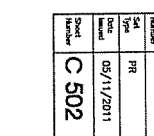
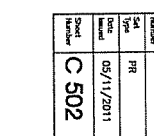
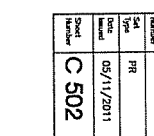
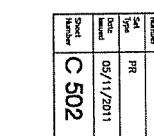
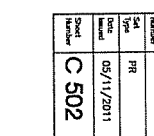
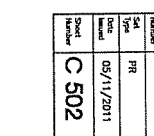
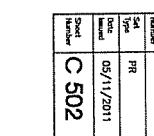
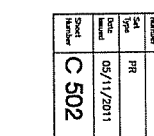
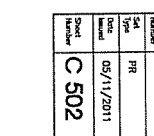
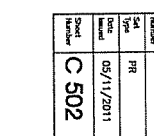
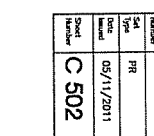
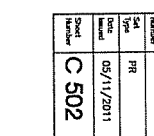
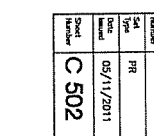
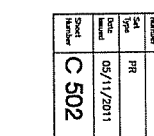
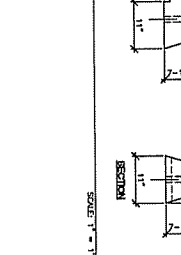
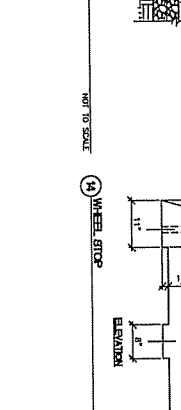
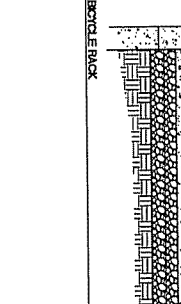
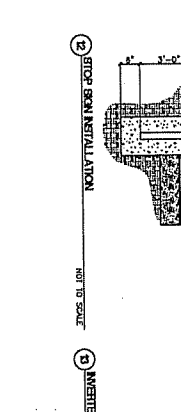
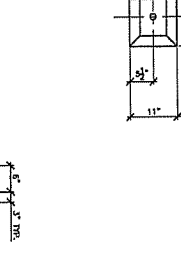
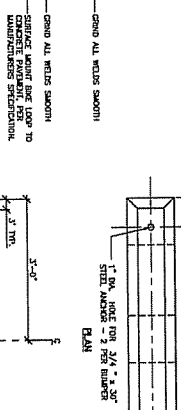
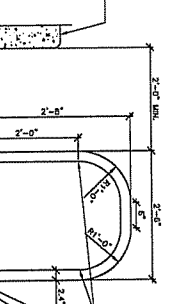
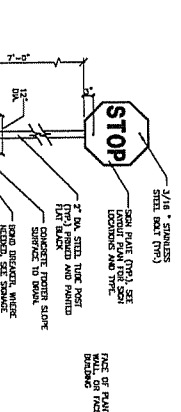
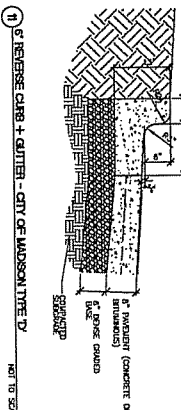
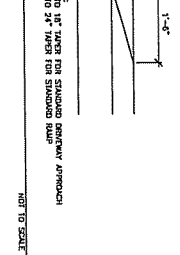
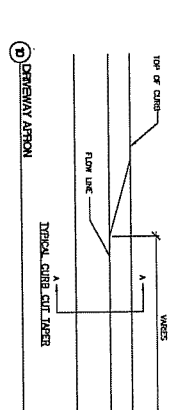
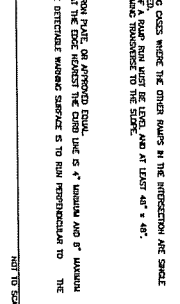
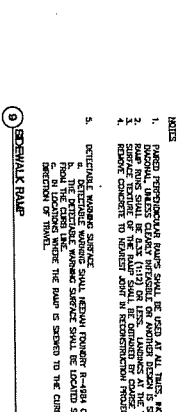
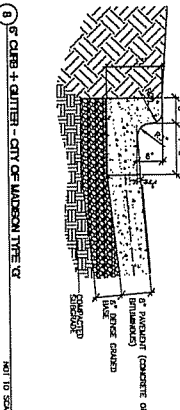
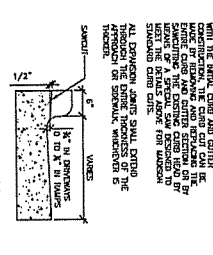
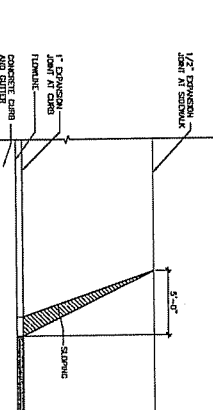
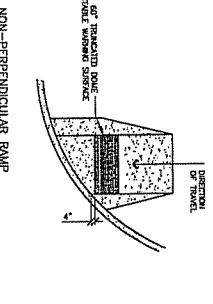
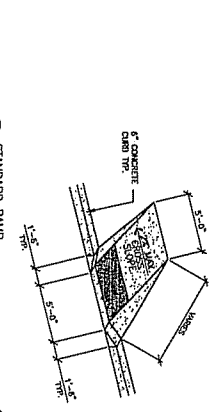
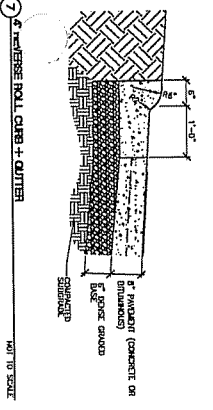
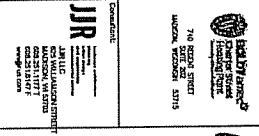
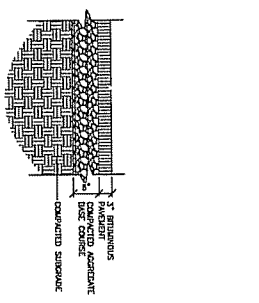
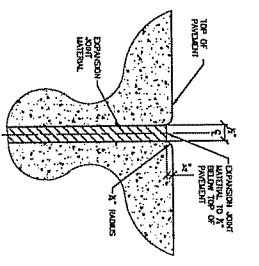
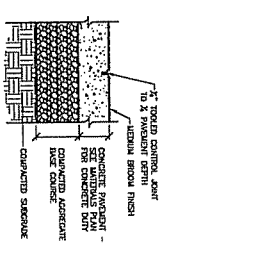
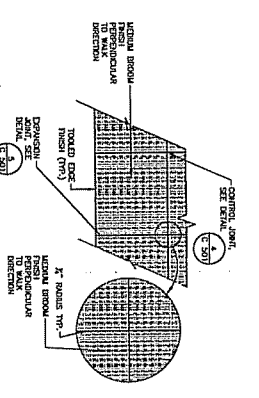
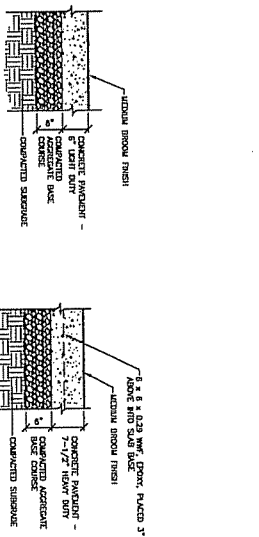


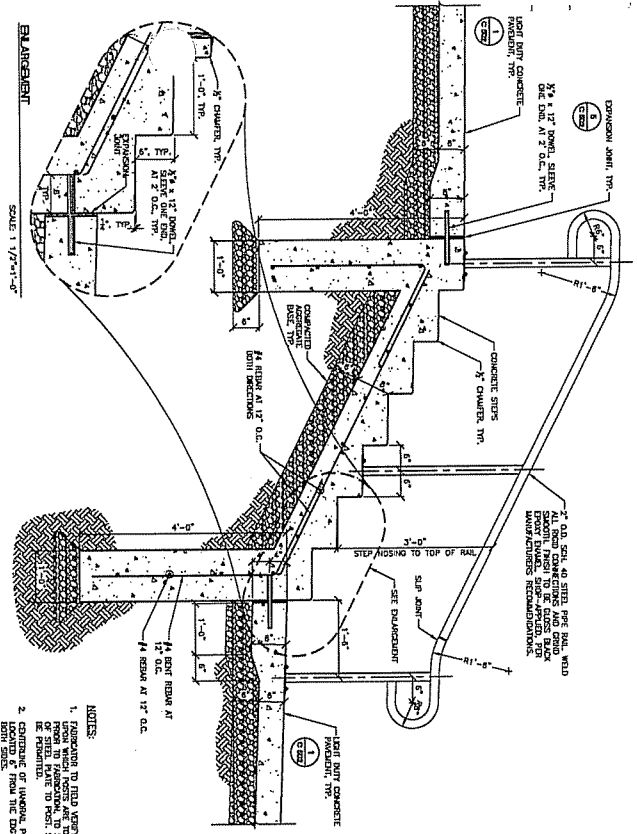
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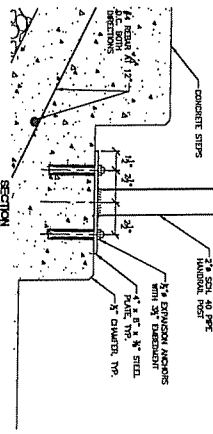


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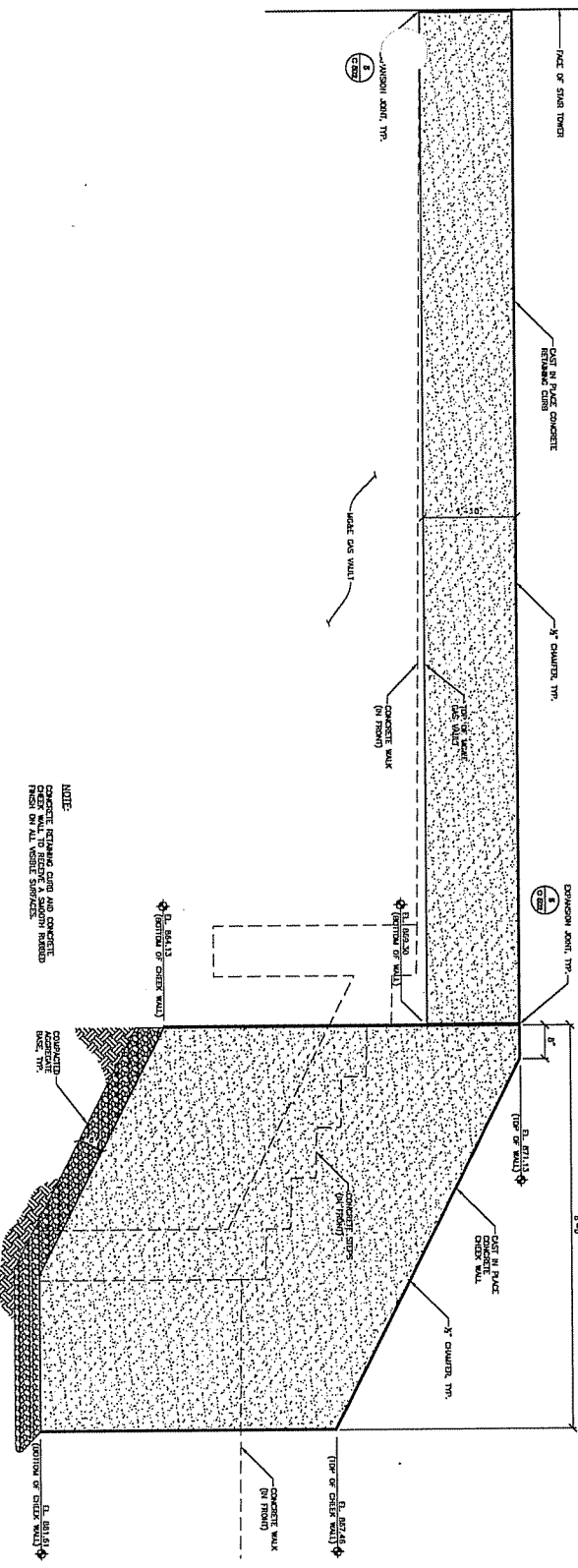




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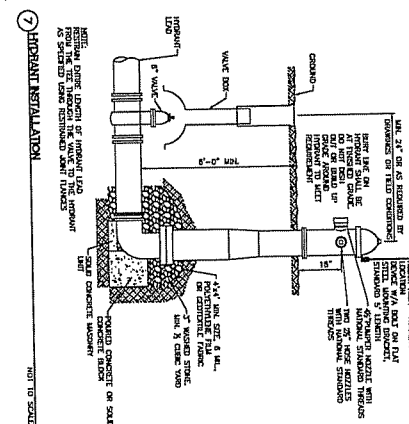
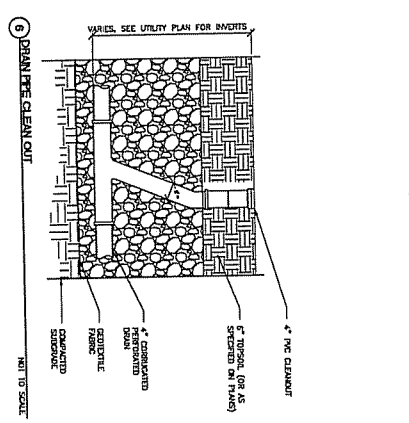
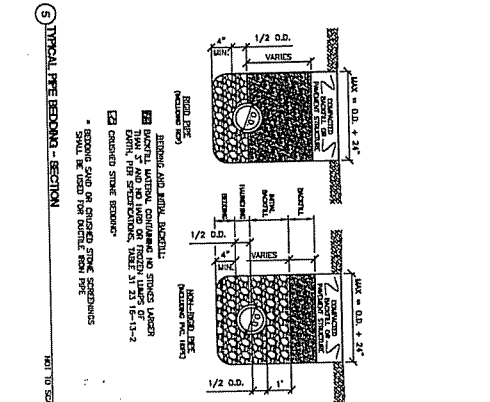
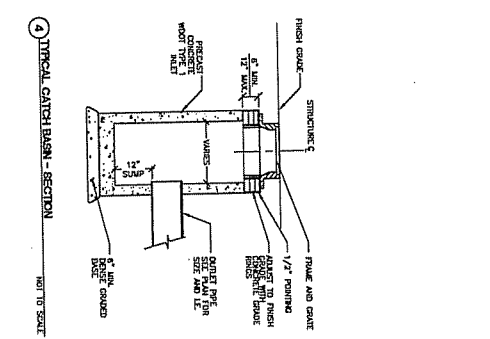
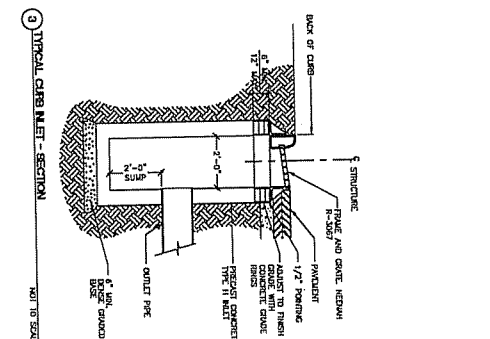
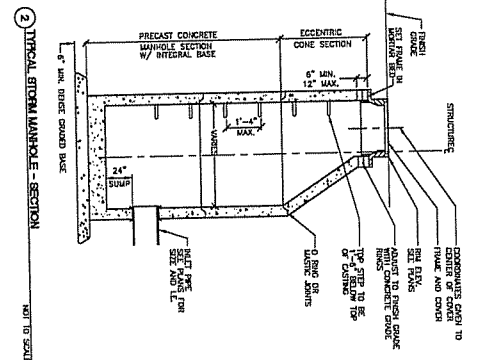
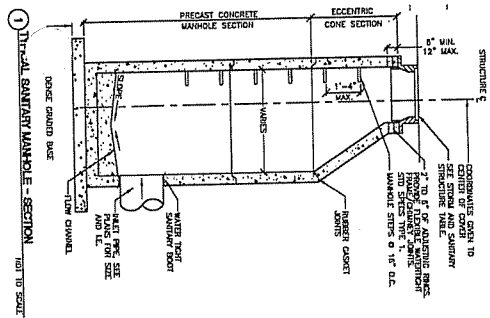


2 MINOR POST ATTACHMENT
SCALE 3/4"=1'-0"

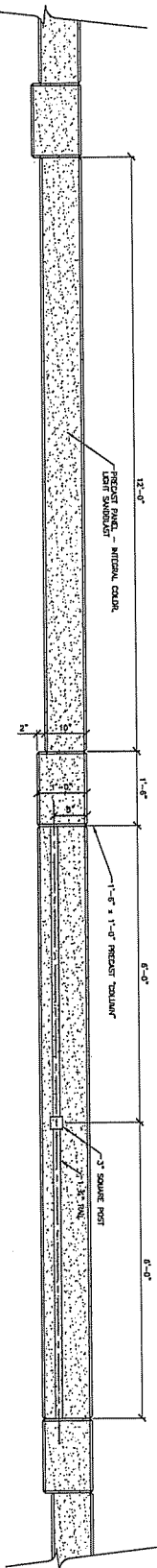


NOTE:
CONCRETE REINFORCING BARS AND ANCHORS
SHOULD BE PLACED IN ACCORDANCE WITH
RECOMMENDATIONS OF THE STRUCTURAL
ENGINEER.

3 CONCRETE STAIRS

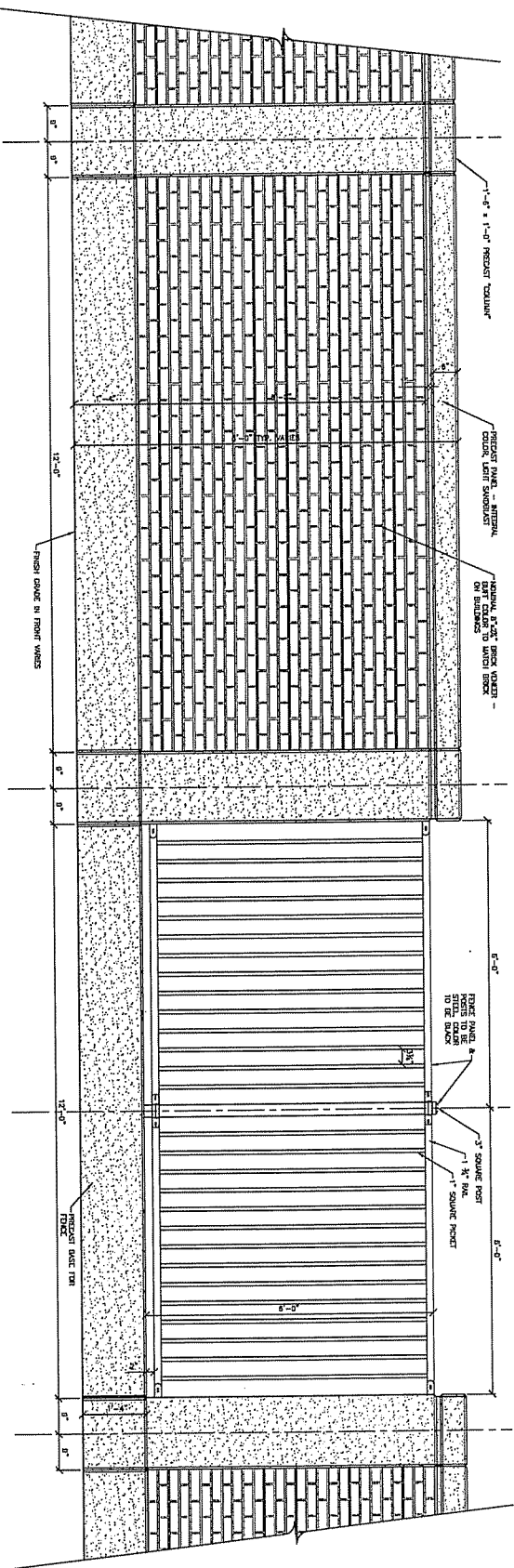


1 PRECAST SCREEN WALL - PLAN



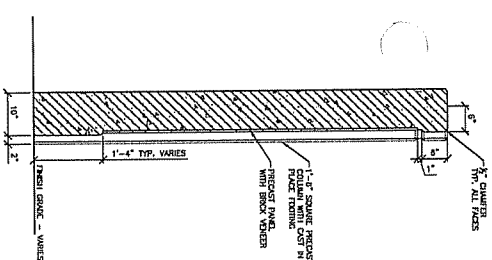
SCALE 1" = 1'-0"

2 PRECAST SCREEN WALL/FENCE PANEL B



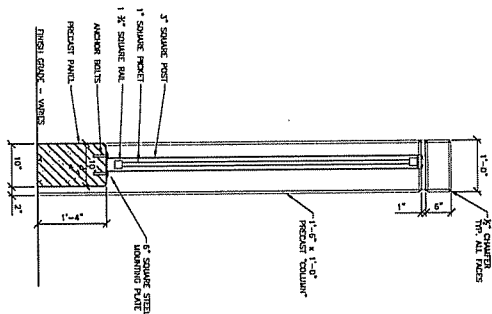
SCALE 1" = 1'-0"

NOTE: PRECAST MANUFACTURERS TO PROVIDE STRUCTURAL REINFORCEMENT FOR CONCRETE FORMS AND PROVIDE ALL REINFORCEMENT AND ANCHORS FOR PRECAST PANELS COORDINATE WITH FENCE MANUFACTURER.



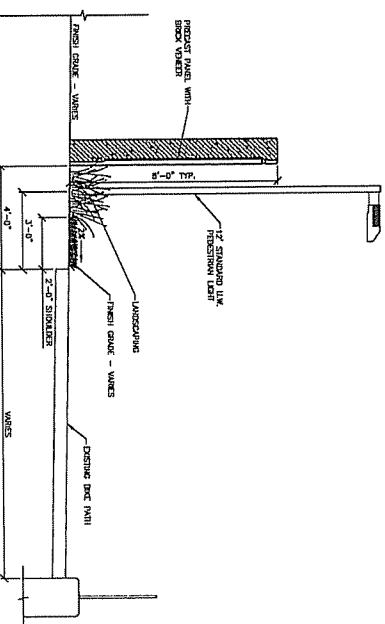
3 PRECAST SCREEN WALL CONCRETE PANEL - SECTION

SCALE 1" = 1'-0"



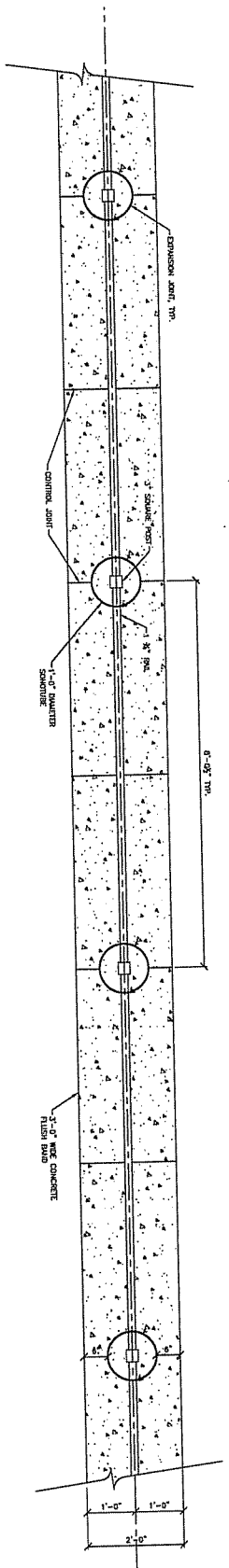
4 PRECAST SCREEN WALL FENCE PANEL - SECTION

SCALE 1" = 1'-0"



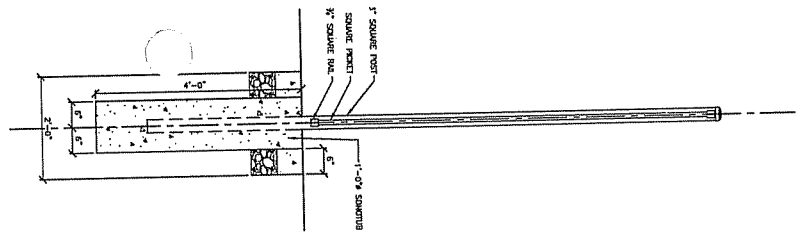
5 PRECAST SCREEN WALL TYPICAL SECTION

SCALE 1" = 1'-0"



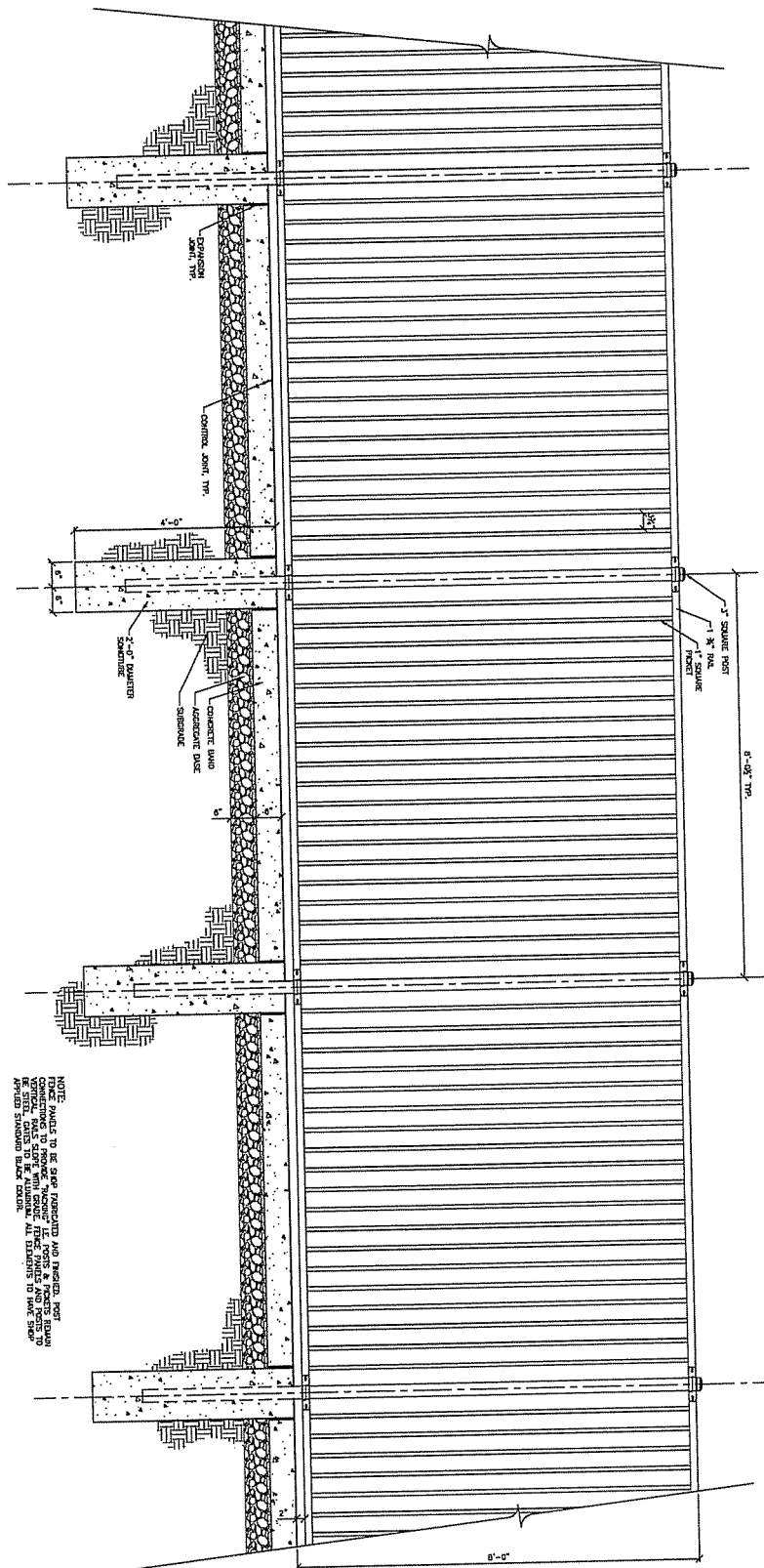
1 STEEL SITE FENCE - PLAN

SCALE: 1" = 4'-0"



2 STEEL SITE FENCE - SECTION

SCALE: 1" = 4'-0"

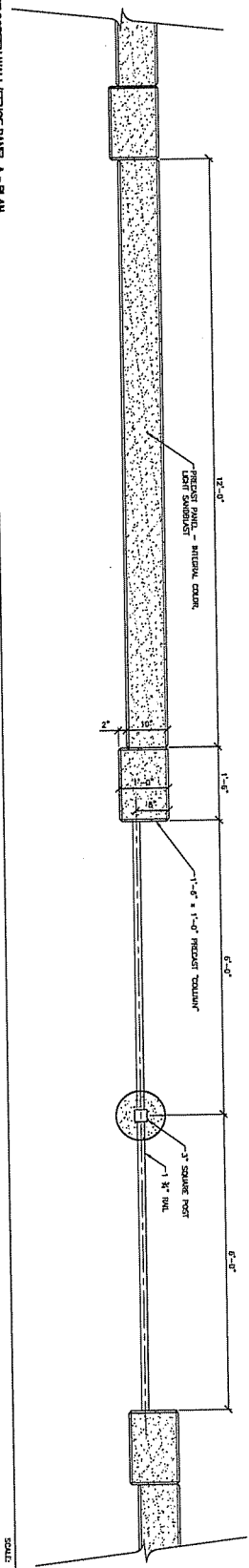


3 STEEL SITE FENCE - ELEVATION

SCALE: 1" = 4'-0"

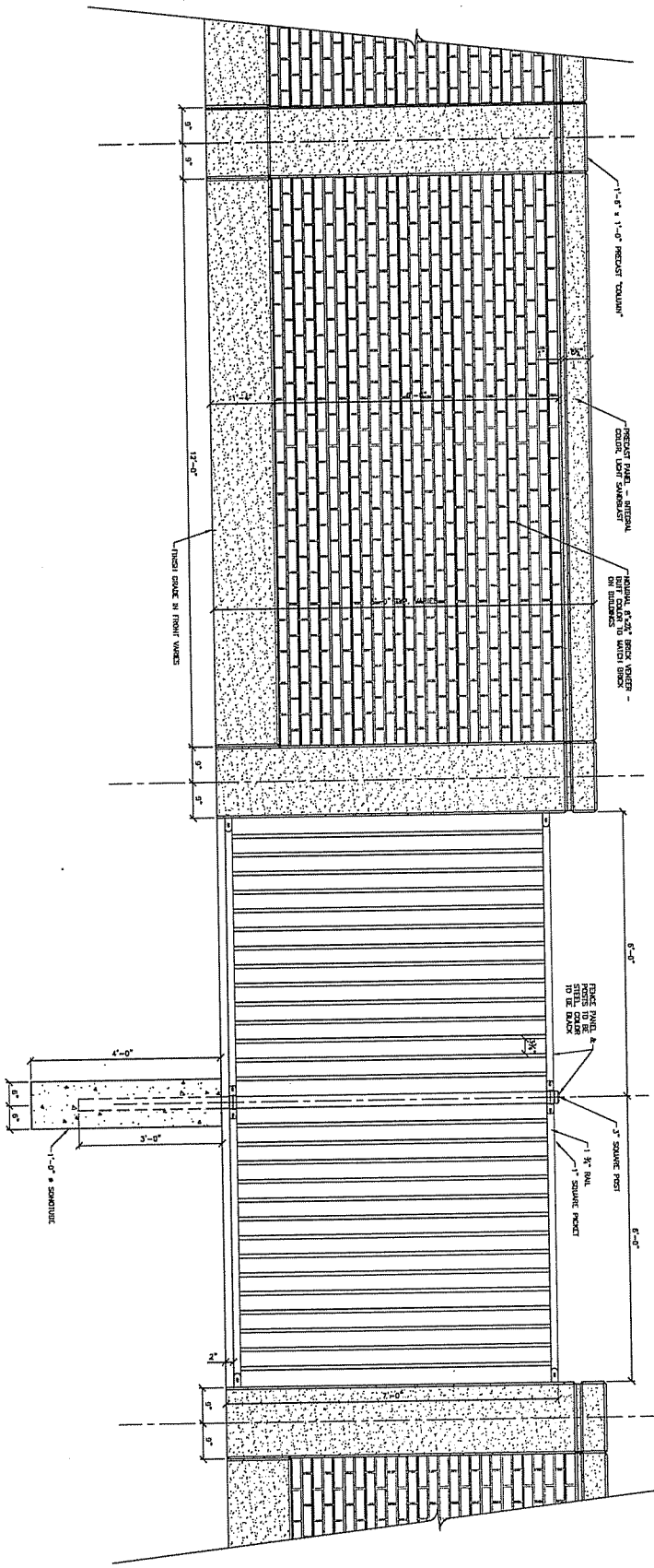
NOTE: FENCE PANELS TO BE GAPE INDICATED AND FINISHED WITH CONCRETE TO MATCH EXISTING FENCE. FENCE PANELS AND POSTS TO BE SET IN CONCRETE. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.

		State of Wisconsin Department of Administration Division of State Facilities
Project Title: CHARTER STREET HEATING PLANT REBUILD		
Project Location: MADISON, WI		
Sheet Title: Site Fence Details		
Agency / Institution: UNIVERSITY OF WISCONSIN - MADISON		
Date: 05/11/2011	Drawn by: C 506	Checked by: C 506



1 PRECAST SCREEN WALL FENCE PANEL - ELEVATION

SCALE 1" = 1'-0"



2 PRECAST SCREEN WALL FENCE PANEL - PLAN

SCALE 1" = 1'-0"



- ## LANDSCAPE REQUIREMENT CHAIR

1. NAME OF THE PROJECT: _____

2. ADDRESS: _____

3. CITY: _____

4. STATE: _____

5. ZIP: _____

6. PHONE: _____

7. FAX: _____

8. E-MAIL: _____

9. NAME OF THE ARCHITECT: _____

10. ADDRESS: _____

11. CITY: _____

12. STATE: _____

13. ZIP: _____

14. PHONE: _____

15. FAX: _____

16. E-MAIL: _____

17. NAME OF THE LANDSCAPE ARCHITECT: _____

18. ADDRESS: _____

19. CITY: _____

20. STATE: _____

21. ZIP: _____

22. PHONE: _____

23. FAX: _____

24. E-MAIL: _____

25. NAME OF THE CLIENT: _____

26. ADDRESS: _____

27. CITY: _____

28. STATE: _____

29. ZIP: _____

30. PHONE: _____

31. FAX: _____

32. E-MAIL: _____

33. NAME OF THE OWNER: _____

34. ADDRESS: _____

35. CITY: _____

36. STATE: _____

37. ZIP: _____

38. PHONE: _____

39. FAX: _____

40. E-MAIL: _____

41. NAME OF THE DESIGNER: _____

42. ADDRESS: _____

43. CITY: _____

44. STATE: _____

45. ZIP: _____

46. PHONE: _____

47. FAX: _____

48. E-MAIL: _____

49. NAME OF THE CONSULTANT: _____

50. ADDRESS: _____

51. CITY: _____

52. STATE: _____

53. ZIP: _____

54. PHONE: _____

55. FAX: _____

56. E-MAIL: _____

57. NAME OF THE REVIEWER: _____

58. ADDRESS: _____

59. CITY: _____

60. STATE: _____

61. ZIP: _____

62. PHONE: _____

63. FAX: _____

64. E-MAIL: _____

65. NAME OF THE APPROVER: _____

66. ADDRESS: _____

67. CITY: _____

68. STATE: _____

69. ZIP: _____

70. PHONE: _____

71. FAX: _____

72. E-MAIL: _____

73. NAME OF THE SUBMITTER: _____

74. ADDRESS: _____

75. CITY: _____

76. STATE: _____

77. ZIP: _____

78. PHONE: _____

79. FAX: _____

80. E-MAIL: _____

81. NAME OF THE REVIEWER: _____

82. ADDRESS: _____

83. CITY: _____

84. STATE: _____

85. ZIP: _____

86. PHONE: _____

87. FAX: _____

88. E-MAIL: _____

89. NAME OF THE APPROVER: _____

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91. CITY: _____

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93. ZIP: _____

94. PHONE: _____

95. FAX: _____

96. E-MAIL: _____

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99. CITY: _____

100. STATE: _____

101. ZIP: _____

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103. FAX: _____

104. E-MAIL: _____

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107. CITY: _____

108. STATE: _____

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112. E-MAIL: _____

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156. STATE: _____

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160. E-MAIL: _____

161. NAME OF THE APPROVER: _____

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163. CITY: _____

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166. PHONE: _____

167. FAX: _____

168. E-MAIL: _____

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171. CITY: _____

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174. PHONE: _____

175. FAX: _____

176. E-MAIL: _____

177. NAME OF THE REVIEWER: _____

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179. CITY: _____

180. STATE: _____

181. ZIP: _____

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183. FAX: _____

184. E-MAIL: _____

185. NAME OF THE APPROVER: _____

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187. CITY: _____

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209. NAME OF THE APPROVER: _____

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216. E-MAIL: _____

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223. FAX: _____

224. E-MAIL: _____

225. NAME OF THE REVIEWER: _____

226. ADDRESS: _____

227. CITY: _____

228. STATE: _____

229. ZIP: _____

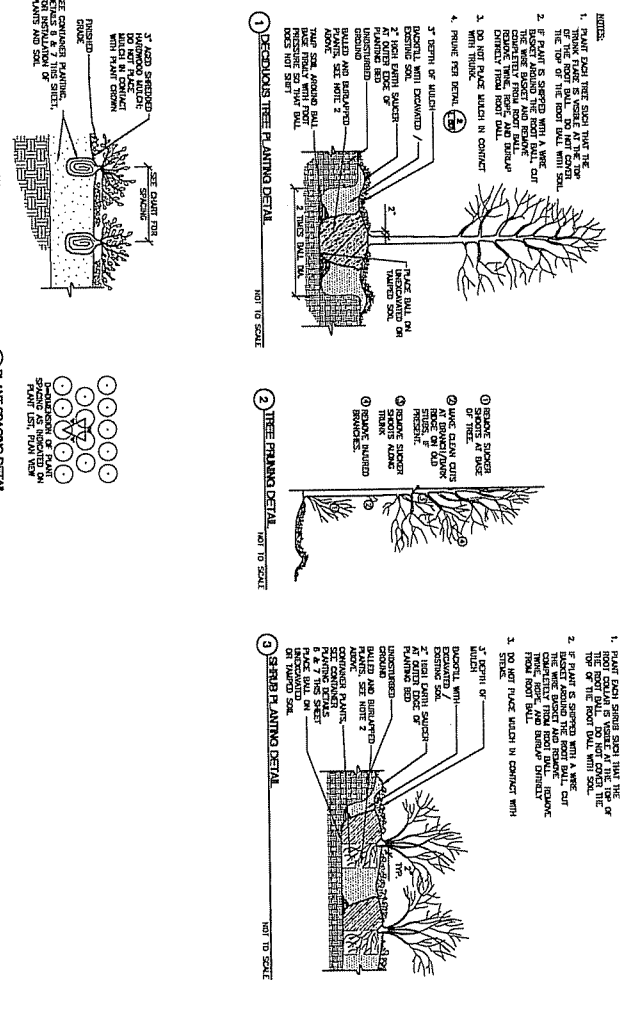
230. PHONE: _____

231. FAX: _____



 SEAL OF THE STATE OF WISCONSIN OFFICE OF THE COMPTROLLER 100 EAST WISCONSIN MADISON, WISCONSIN 53703		PROJECT TITLE: CHARTER STREET HEATING PLANT REBUILD	
PROJECT LOCATION: MADISON, WI		PROJECT LOCATION: MADISON, WI	
SHEET TITLE: Site Landscape Plan		AGENCY / INSTITUTION: UNIVERSITY OF WISCONSIN - MADISON	
PROJECT NO.: 101		PROJECT NO.: 101	

Key	Schedule Name	Common Name	Quantity	Material	Size	Comments
1	Small Tree					
2	Medium Tree					
3	Large Tree					
4	Small Tree					
5	Medium Tree					
6	Large Tree					
7	Small Tree					
8	Medium Tree					
9	Large Tree					
10	Small Tree					
11	Medium Tree					
12	Large Tree					
13	Small Tree					
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99	Large Tree					
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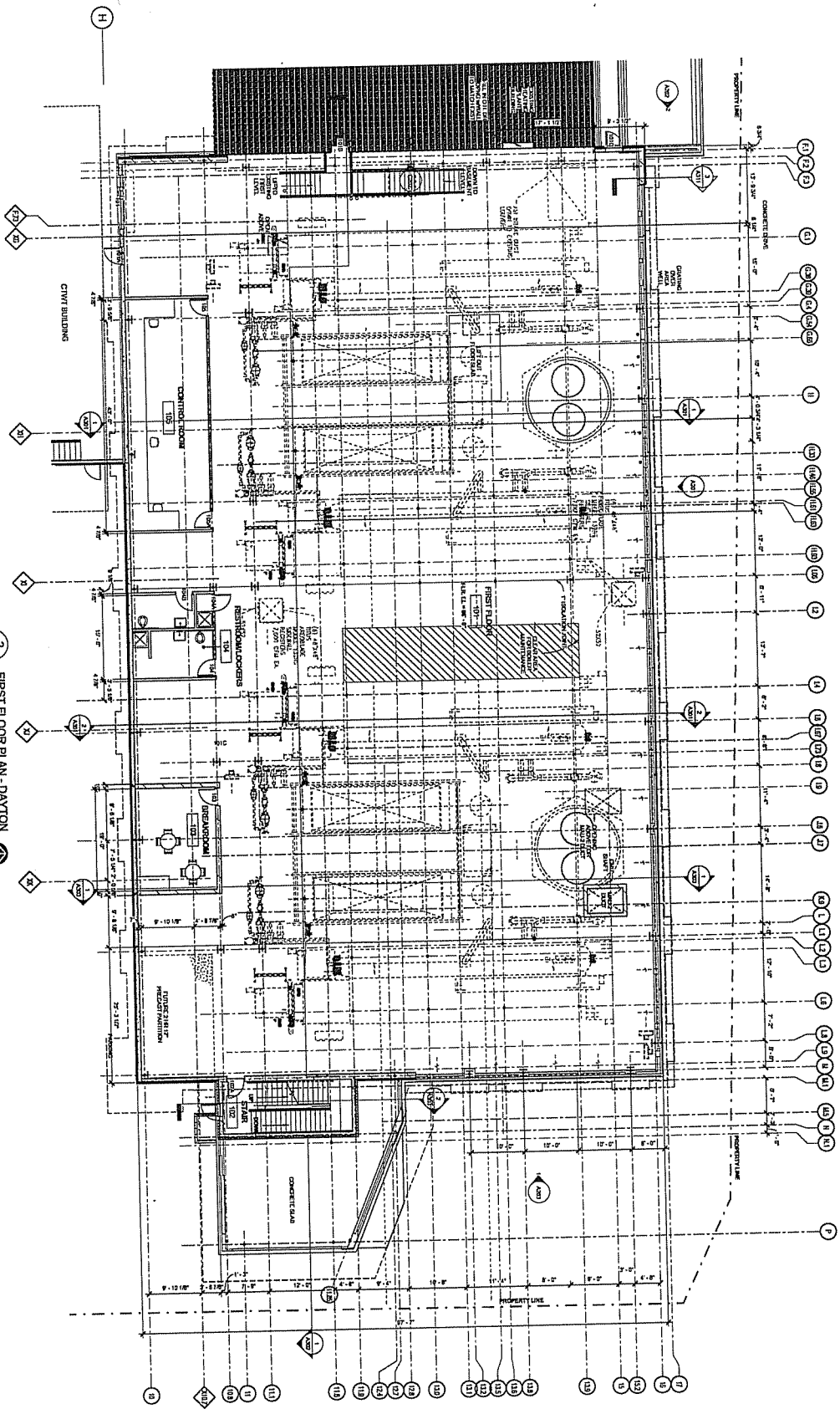
BUILDING INFORMATION

[illegible]

ADDA NOTES

[illegible][illegible]

2 FIRST FLOOR PLAN - DAYTON
 AUG 10' = 1" = 0'

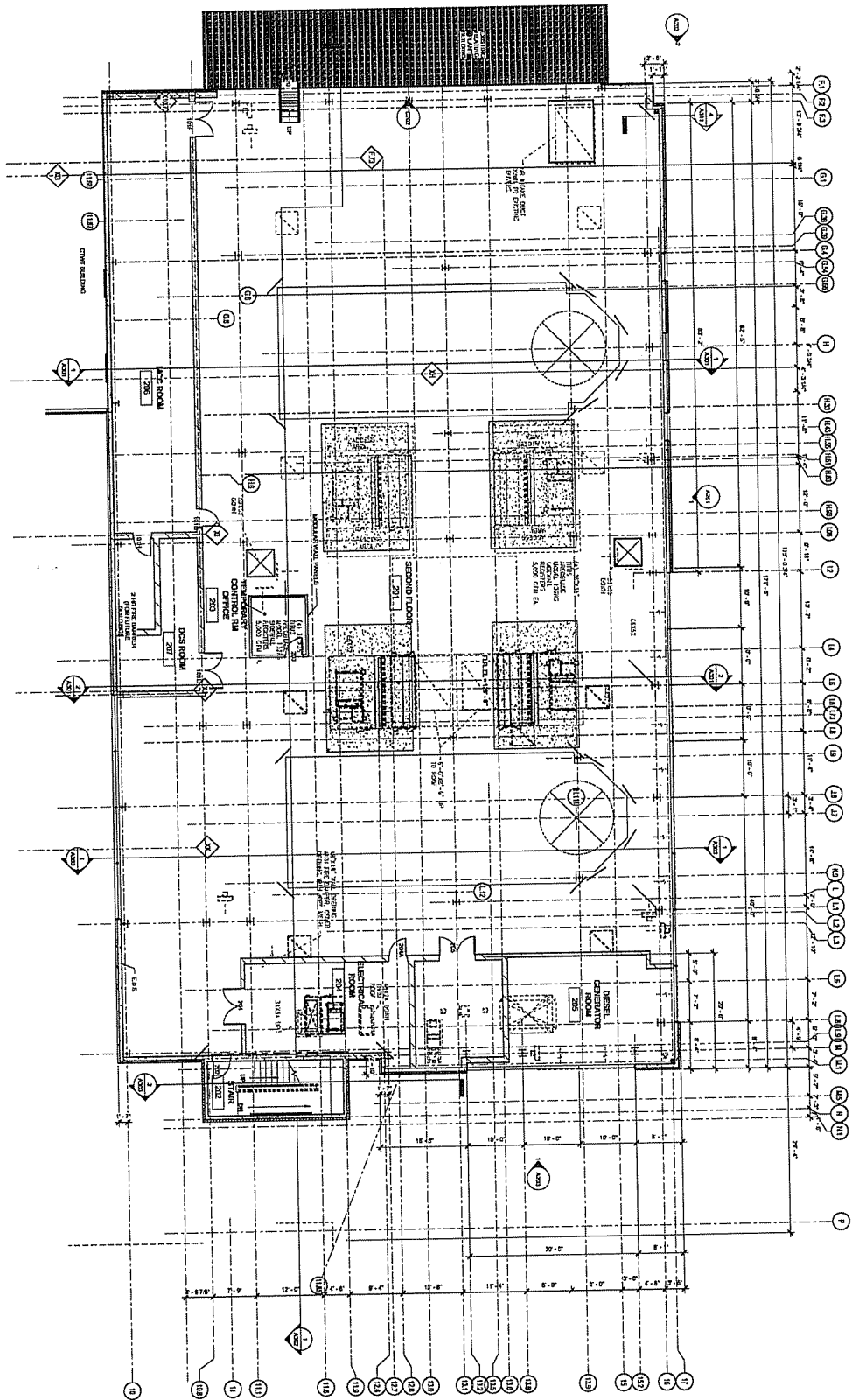


OPEN REVISION
 WORK SAFELY

Revised	By	Date	Revised	By	Date
1	SP	09/24/11	2	SP	09/24/11
3	SP	09/24/11	4	SP	09/24/11
5	SP	09/24/11	6	SP	09/24/11
7	SP	09/24/11	8	SP	09/24/11
9	SP	09/24/11	10	SP	09/24/11
11	SP	09/24/11	12	SP	09/24/11
13	SP	09/24/11	14	SP	09/24/11
15	SP	09/24/11	16	SP	09/24/11
17	SP	09/24/11	18	SP	09/24/11
19	SP	09/24/11	20	SP	09/24/11
21	SP	09/24/11	22	SP	09/24/11
23	SP	09/24/11	24	SP	09/24/11
25	SP	09/24/11	26	SP	09/24/11
27	SP	09/24/11	28	SP	09/24/11
29	SP	09/24/11	30	SP	09/24/11
31	SP	09/24/11	32	SP	09/24/11

Project Title:
**CHARTER STREET
 HEATING PLANT REBUILD**
 Project Location:
MADISON, WI
 Sheet Title:
FIRST FLOOR PLAN - DAYTON

State of Wisconsin
 Department of Administration
 Division of State Facilities
 AGENCY / INSTITUTION:
 UNIVERSITY OF WISCONSIN - MADISON



1 SECOND FLOOR PLAN - DAYTON
A103 1/8" = 1'-0"

OPEN REVISION
WORK SAFELY

Revised	By	Date	Revised	By	Date
1	PK	08/21	2	PK	08/21
3	PK	08/21	4	PK	08/21
5	PK	08/21	6	PK	08/21
7	PK	08/21	8	PK	08/21
9	PK	08/21	10	PK	08/21
11	PK	08/21	12	PK	08/21
13	PK	08/21	14	PK	08/21
15	PK	08/21	16	PK	08/21
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19	PK	08/21	20	PK	08/21
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27	PK	08/21	28	PK	08/21
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31	PK	08/21	32	PK	08/21

Project Title:
**CHARTER STREET
HEATING PLANT REBUILD**

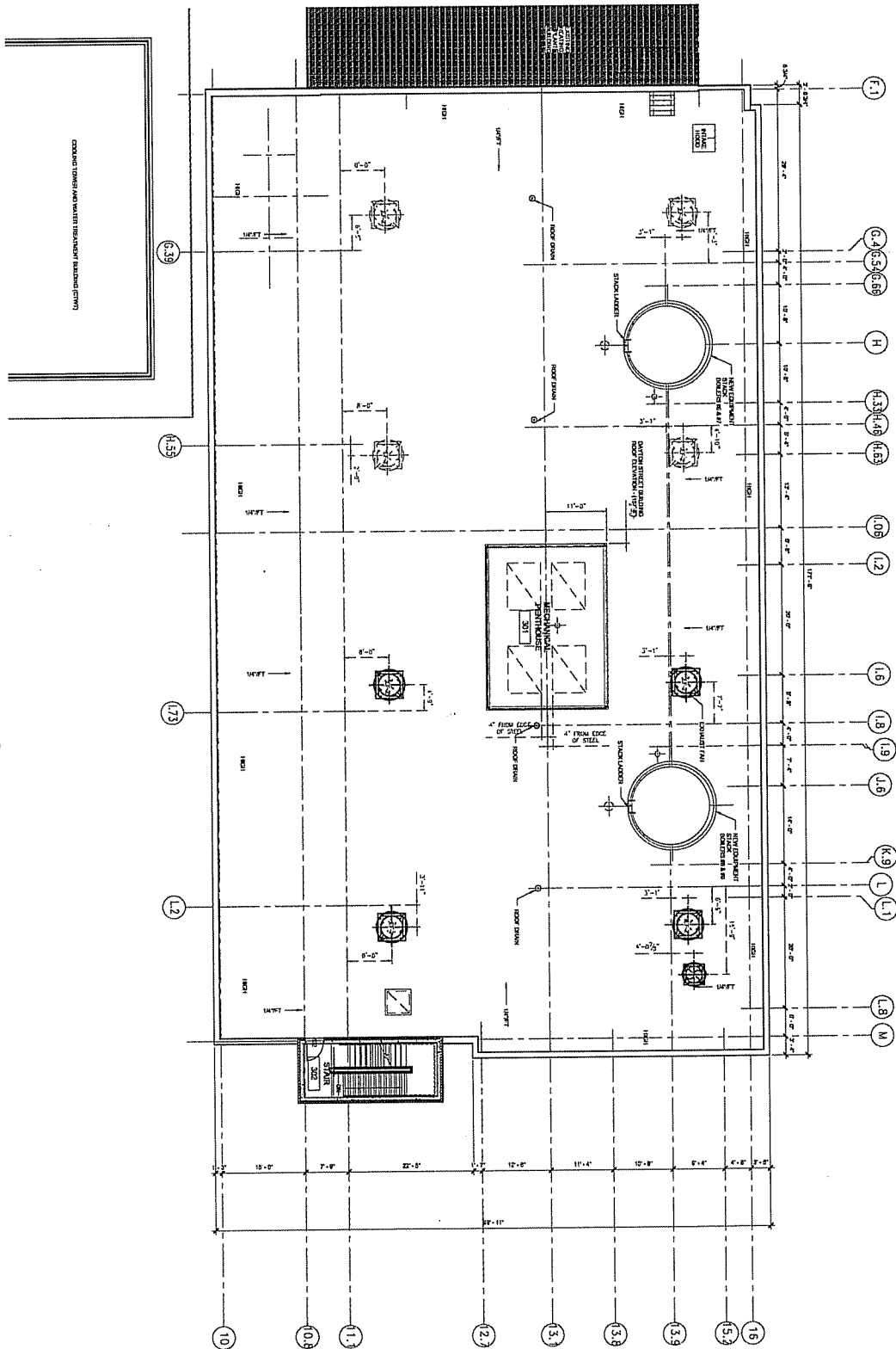
Project Location:
MADISON, WI

Sheet Title:
SECOND FLOOR PLAN - DAYTON



State of Wisconsin
Department of Administration
Division of State Facilities

AGENCY / INSTITUTION:
UNIVERSITY OF WISCONSIN - MADISON



1 ROOF PLAN
1/8" = 1'-0"

OPEN REVISION
WORK SAFELY

Sheet Number	Revision
A104	

Project Title:
**CHARTER STREET
HEATING PLANT REBUILD**

Project Location:
MADISON, WI

Sheet Title:
ROOF PLAN - DAYTON



State of Wisconsin
Department of Administration
Division of State Facilities

UNIVERSITY OF WISCONSIN - MADISON

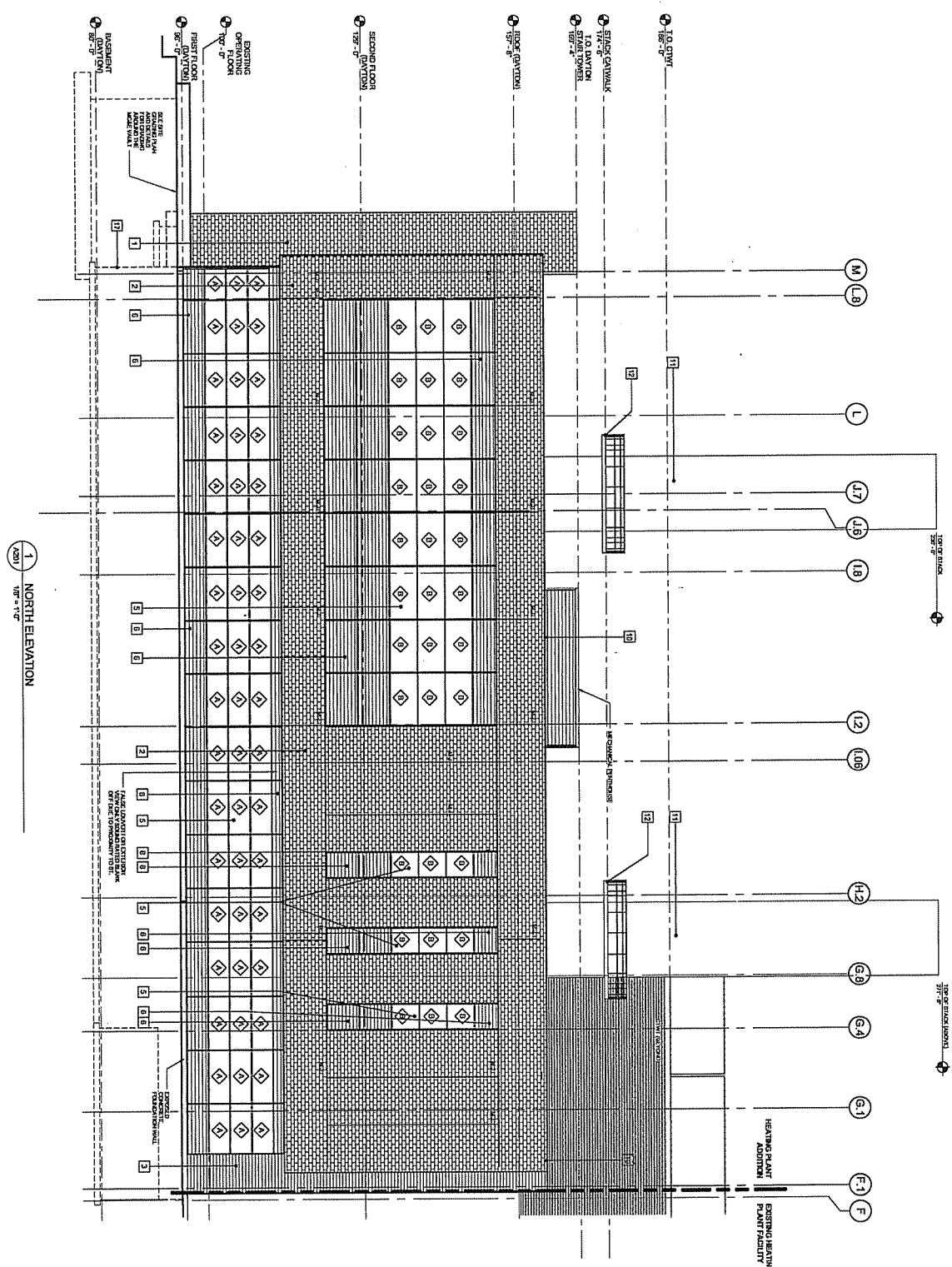
1/8" = 1'-0"
WOOD, WISCONSIN 53713

C:\PROJECTS

PROJECT	CHARTER STREET HEATING PLANT REBUILD
PROJECT LOCATION	MADISON, WI
SHEET TITLE	BUILDING ELEVATIONS
DATE	02/24/01
BY	PR
CHECKED BY	SRH/MS
APPROVED BY	A201

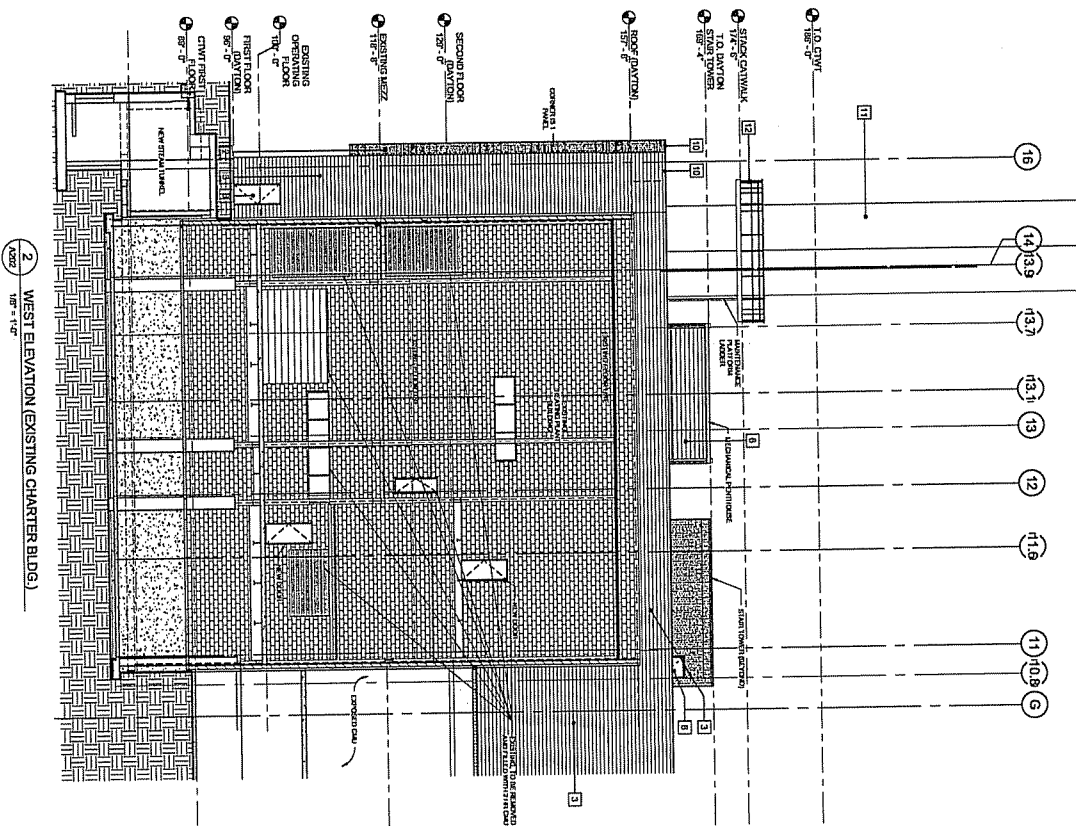
State of Wisconsin
 Department of Administration
 Division of State Facilities
 AGENCY / INSTITUTION
 UNIVERSITY OF WISCONSIN - MADISON

- ELEVATION LEGEND**
- 1. BRICK, TYPE 1
 - 2. BRICK, TYPE 2
 - 3. BRICK, TYPE 3
 - 4. BRICK, TYPE 4
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 - 95. BRICK, TYPE 95
 - 96. BRICK, TYPE 96
 - 97. BRICK, TYPE 97
 - 98. BRICK, TYPE 98
 - 99. BRICK, TYPE 99
 - 100. BRICK, TYPE 100



1 NORTH ELEVATION
 1/8" = 1'-0"

OPEN REVISION
 WORK SAFELY
 A201

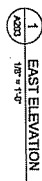


2 WEST ELEVATION (EXISTING CHARTER BLDG.)
1/8" = 1'-0"

- | | |
|-----|--------------------------|
| 1 | PRECEDENT NAME, TYPE 1 |
| 2 | PRECEDENT NAME, TYPE 2 |
| 3 | PRECEDENT NAME, TYPE 3 |
| 4 | PRECEDENT NAME, TYPE 4 |
| 5 | PRECEDENT NAME, TYPE 5 |
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Date Issued	5/11/11
Sheet Number	A202

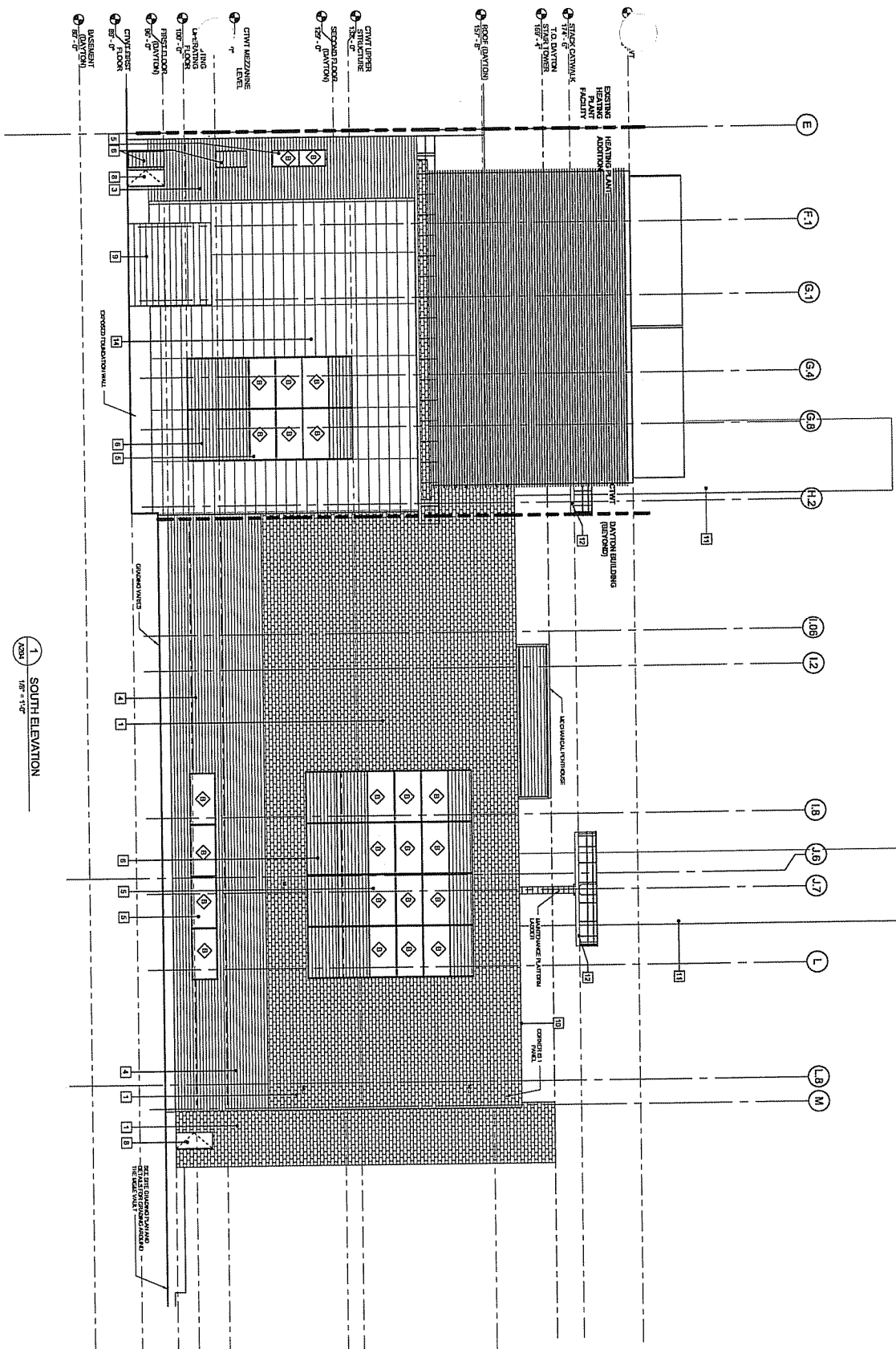


- A** KCU - TYPE A PART

OPEN REVISION

WORK SAFELY

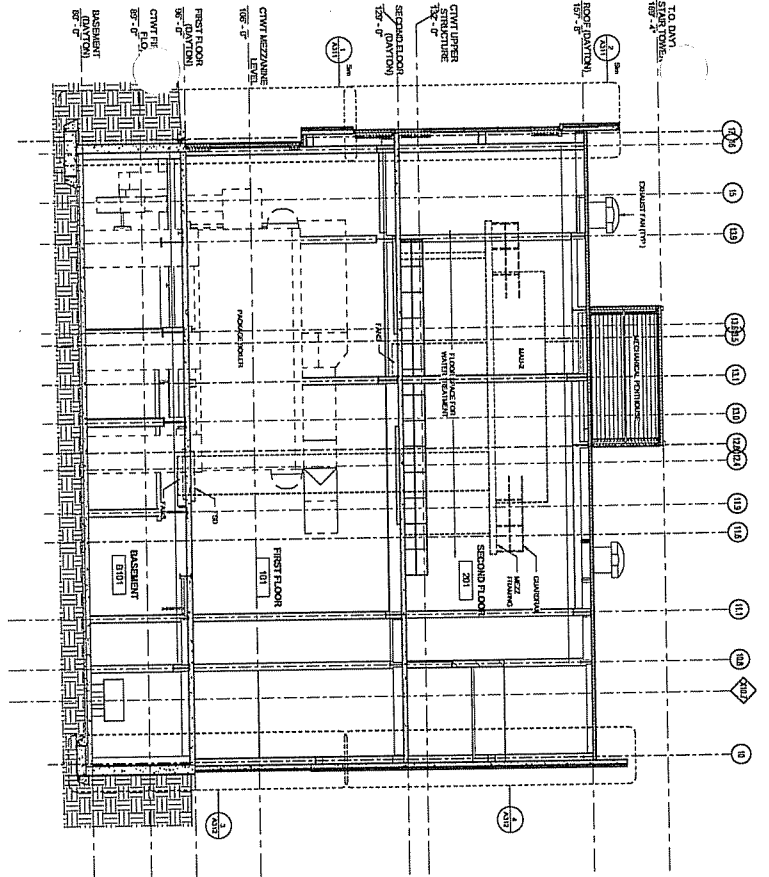
UNIVERSITY OF WISCONSIN - MADISON



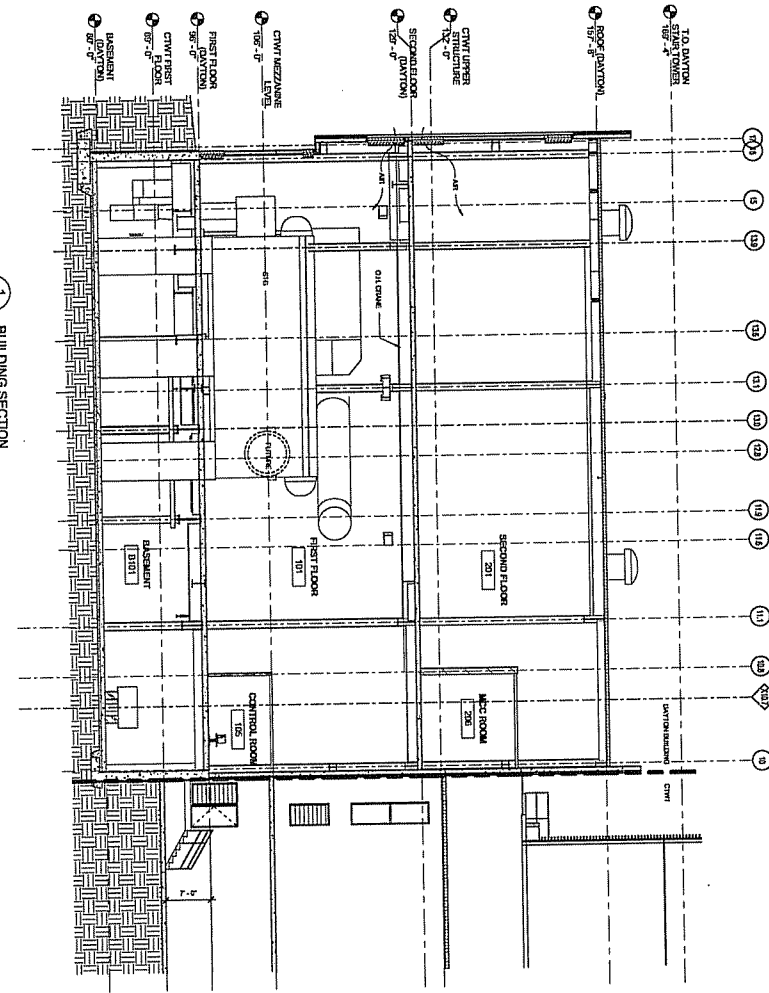
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16	DETAILED PAK TYPE 1
17	DETAILED PAK TYPE 1
18	DETAILED PAK TYPE 1

OPEN REVISION

Date issued	5/11/11
Sheet Number	A204



2 BUILDING SECTION
1/8" = 1'-0"



1 BUILDING SECTION
1/8" = 1'-0"

OPEN REVISION
WORK SAFELY

Project Title	CHARTER STREET HEATING PLANT REBUILD
Project Location	MADISON, WI
Sheet Title	BUILDING SECTIONS
Revision	
1	REVISED
2	REVISED
3	REVISED
4	REVISED
5	REVISED
6	REVISED
7	REVISED
8	REVISED
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State of Wisconsin
Department of Administration
Division of State Facilities
UNIVERSITY OF WISCONSIN - MADISON



State of Wisconsin
Department of Administration
Division of State Facilities

UNIVERSITY OF WISCONSIN - MADISON

Project Title:
**CHARTER STREET
HEATING PLANT REBUILD**

Project Location:
MADISON, WI

Sheet Title:
BUILDING SECTIONS

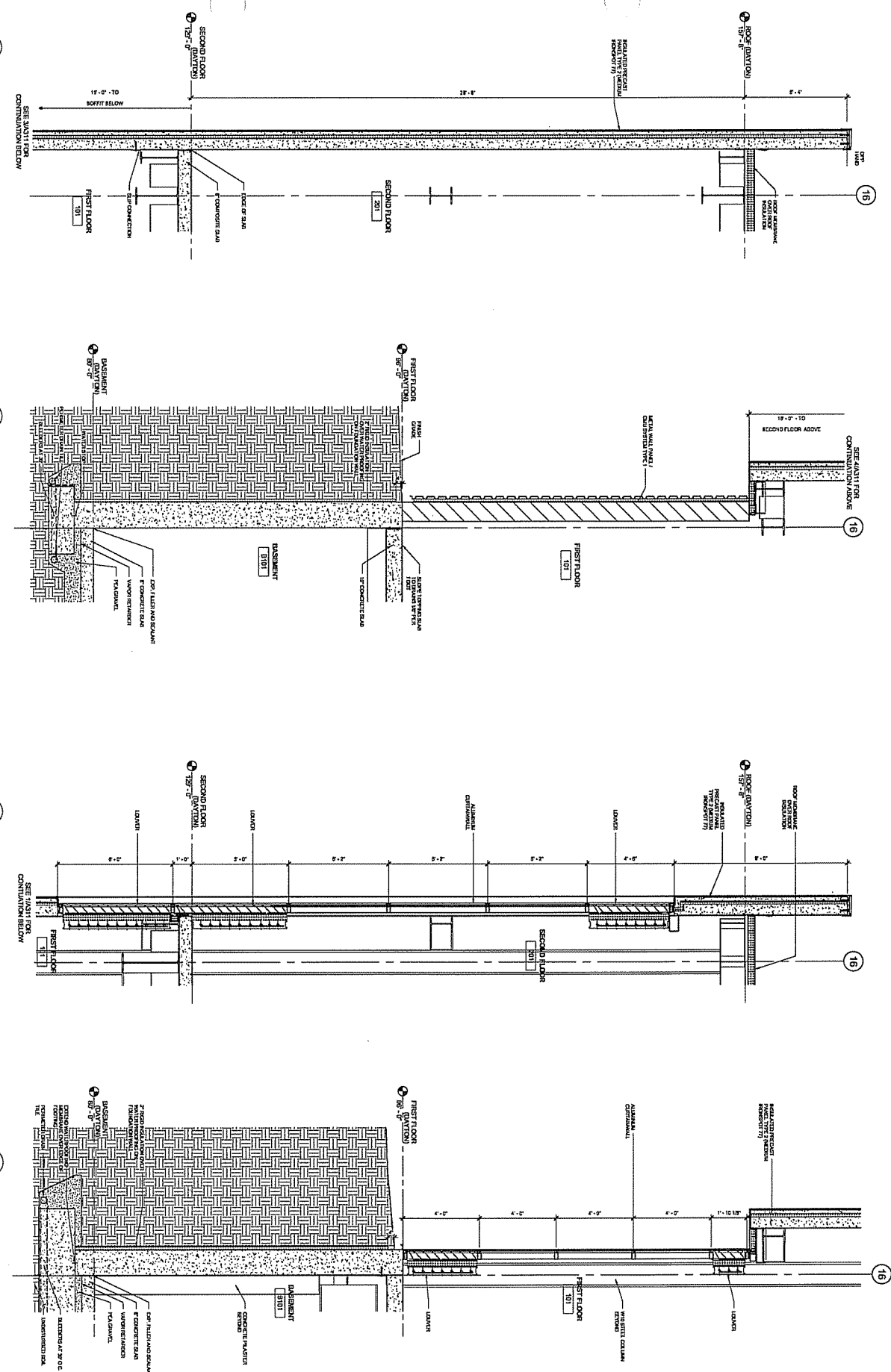
REVISIONS		
No.	Date	Description
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B	1/21/01	ISSUE FOR BIDS
C	9/18/01	DOC #1234
D	4/6/01	DO NOT DISTRIBUTE
E	4/20/01	FOR APP REVIEW
F	5/1/01	FOR APP SUBMITTANCE

OPEN REVISION

WORK SAFELY

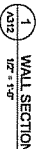
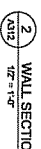
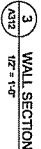
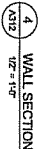
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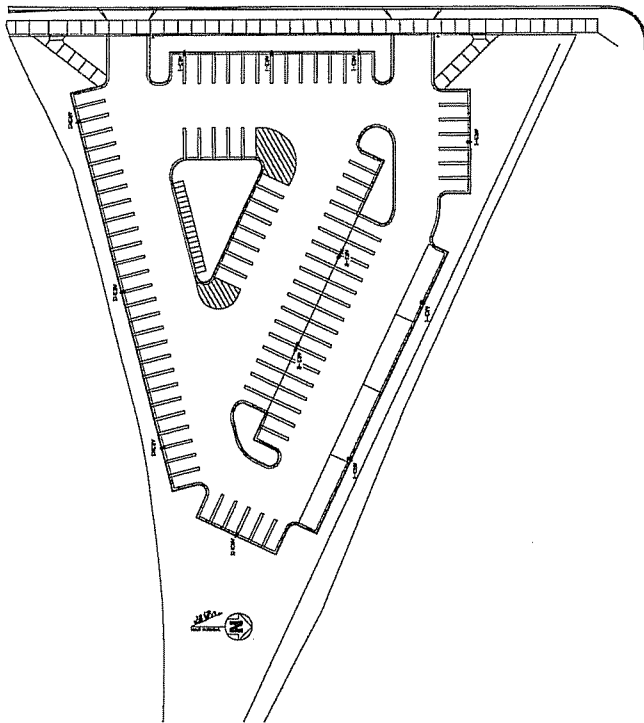
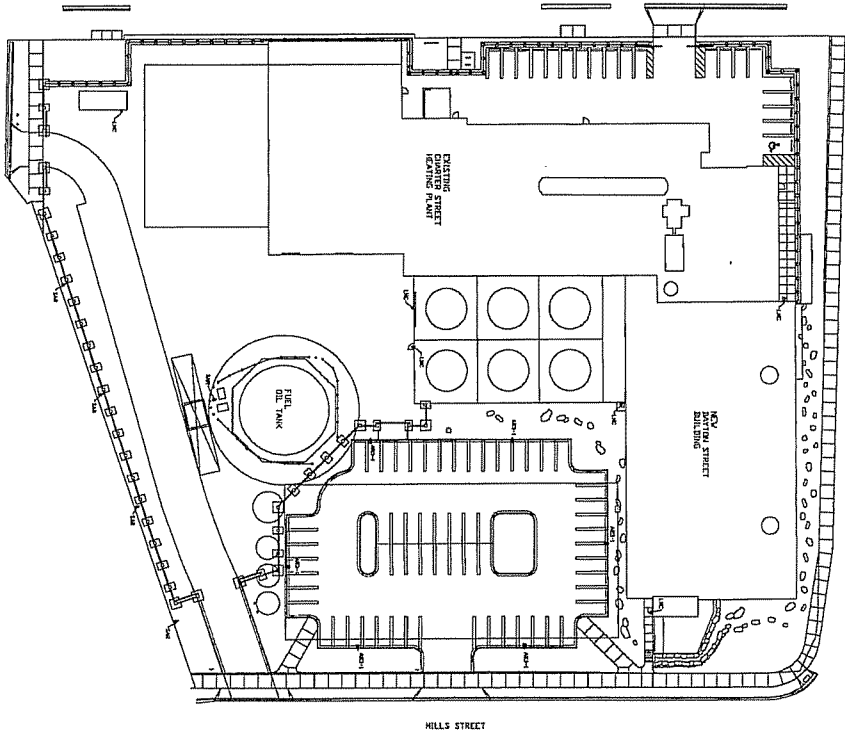


CHARTER STREET HEATING PLANT REBUILD Project Location: MADISON, WI Project No: 11111 Sheet No: 11111		Project Title: WALL SECTIONS	
Date: 03/21/21 Drawn by: PR Check by: PR Scale: 1/2" = 1'-0"	Date: 03/21/21 Drawn by: PR Check by: PR Scale: 1/2" = 1'-0"	Date: 03/21/21 Drawn by: PR Check by: PR Scale: 1/2" = 1'-0"	Date: 03/21/21 Drawn by: PR Check by: PR Scale: 1/2" = 1'-0"

OPEN REVISION
 WORK SAFETY



LUMINAIRE SCHEDULE									
Item	Qty	Manufacturer	Model	Wattage	Height	Beam Angle	Foot Candles	Notes	Location
1	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
2	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
3	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
4	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
5	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
6	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
7	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
8	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
9	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING
10	1	OSRAM	OSRAM 100W PAR 38	100W	10'	30°	100	EXISTING LIGHTING	EXISTING LIGHTING



811 Know what's below. Call before you dig.		JIR JIR 1000 N. ZEEB RD. MADISON, WI 53713		State of Wisconsin Department of Administration Division of State Facilities Agency / Institution UNIVERSITY OF WISCONSIN - MADISON		Project Title: CHARTER STREET HEATING PLANT REBUILD Project Location: MADISON, WI Sheet Title: Site Lighting Plan		Contractor: JIR 1000 N. ZEEB RD. MADISON, WI 53713 (608) 261-1177 www.jir.com		Revision: 1. 15' 30' 45' 2. 15' 30' 45' 3. 15' 30' 45' 4. 15' 30' 45' 5. 15' 30' 45' 6. 15' 30' 45' 7. 15' 30' 45' 8. 15' 30' 45' 9. 15' 30' 45' 10. 15' 30' 45'	
Scale: 1" = 10'		Date: 05/11/2011		Sheet Number: E 101		Revision: 1. 15' 30' 45' 2. 15' 30' 45' 3. 15' 30' 45' 4. 15' 30' 45' 5. 15' 30' 45' 6. 15' 30' 45' 7. 15' 30' 45' 8. 15' 30' 45' 9. 15' 30' 45' 10. 15' 30' 45'		Revision: 1. 15' 30' 45' 2. 15' 30' 45' 3. 15' 30' 45' 4. 15' 30' 45' 5. 15' 30' 45' 6. 15' 30' 45' 7. 15' 30' 45' 8. 15' 30' 45' 9. 15' 30' 45' 10. 15' 30' 45'		Revision: 1. 15' 30' 45' 2. 15' 30' 45' 3. 15' 30' 45' 4. 15' 30' 45' 5. 15' 30' 45' 6. 15' 30' 45' 7. 15' 30' 45' 8. 15' 30' 45' 9. 15' 30' 45' 10. 15' 30' 45'	