

CITY OF MADISON

Proposed Conditional Use

Location: 4226 Owl Creek Drive

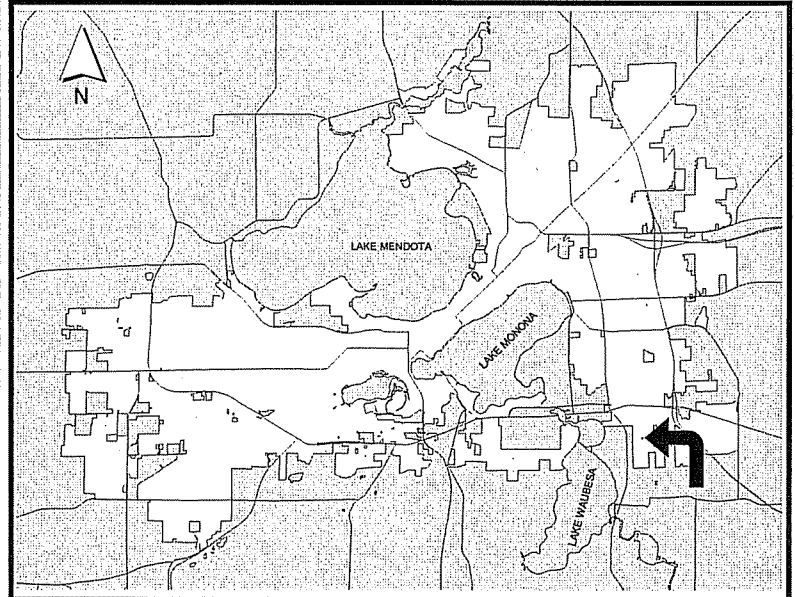
Project Name: Owl's Nest

Applicant: Kevin & Jeanette Acker - Premier Builders, Inc/Doug Nelson - The Nelson Group

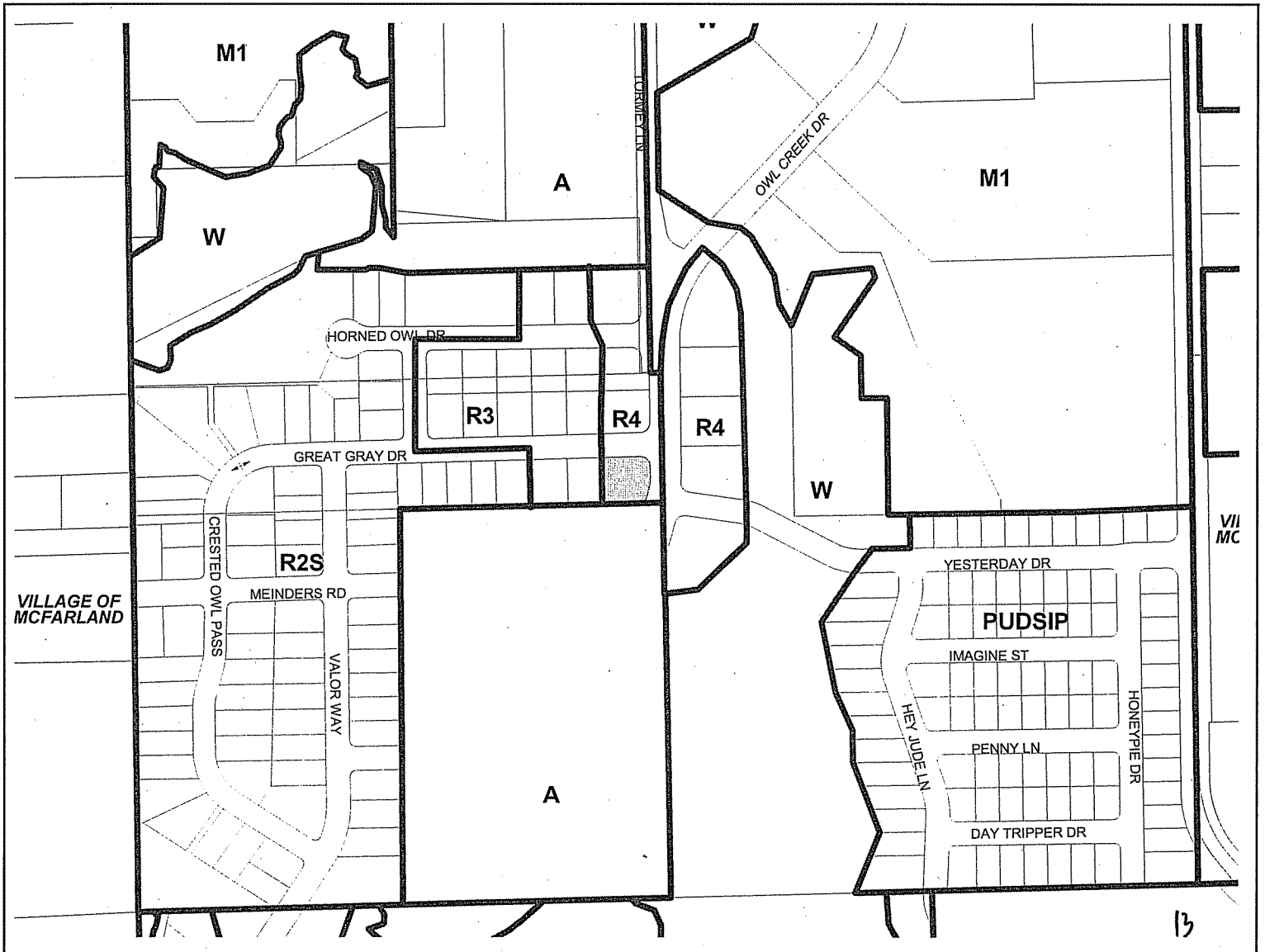
Existing Use: Vacant Land

Proposed Use: 4-Unit Condominium Building

Public Hearing Date:
Plan Commission 03 April 2006



For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635

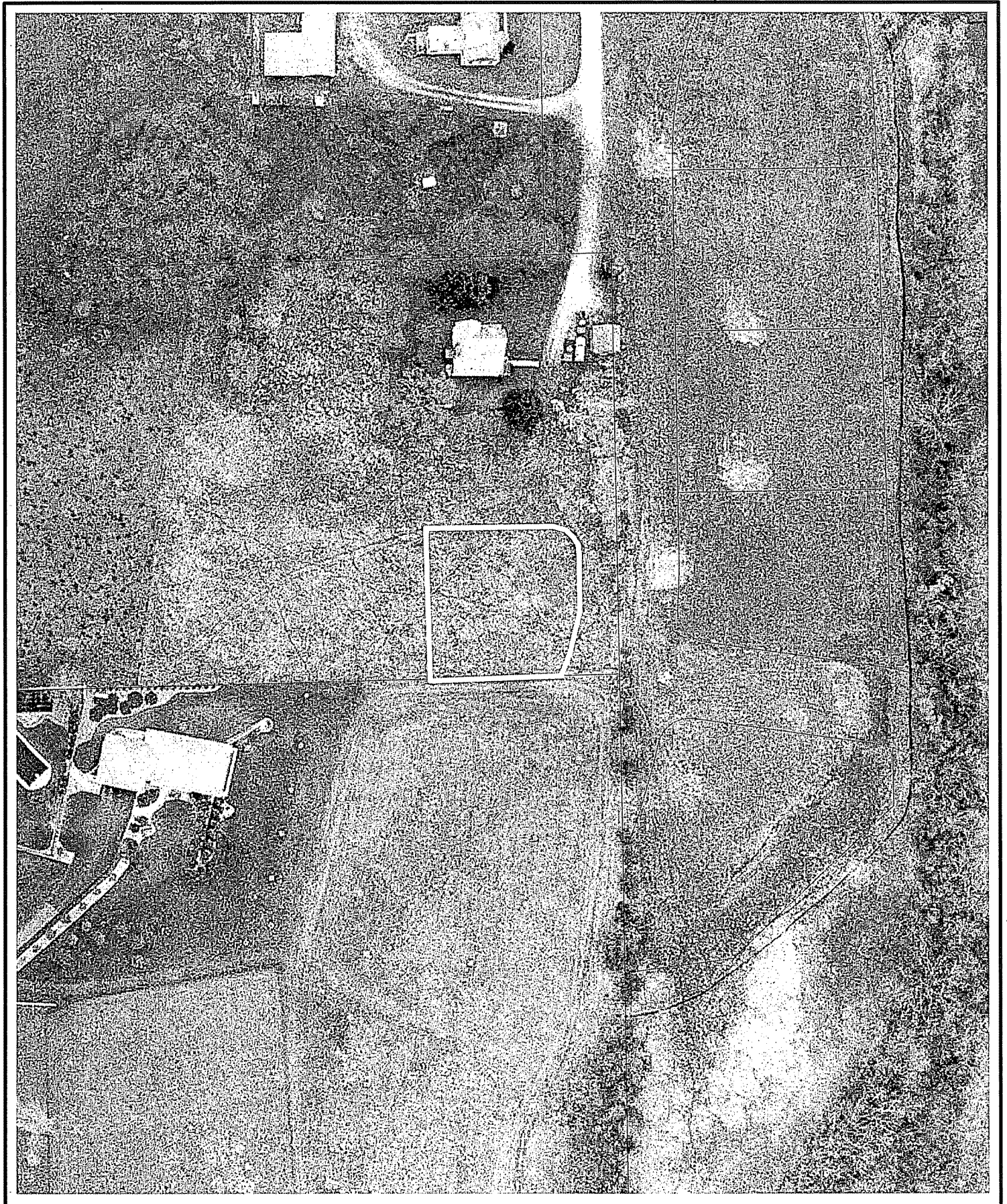


4226 Owl Creek Drive

100 0 100 Feet



Date of Aerial Photography - April 2003



LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid \$ 500⁰⁰ Receipt No. _____
 Date Received 2-22-06
 Received By RJT
 Parcel No. 0710-274-1401-1
 Aldermanic District 16, Judy Compton
 GQ ENG. LZ
 Zoning District R4
For Complete Submittal
 Application Letter of Intent
 IDUP N/A Legal Descript.
 Plan Sets Zoning Text N/A
 Alder Notification _____ Waiver ?
 Ngrbrhd. Assn Not. _____ Waiver _____
 Date Sign Issued 2-22-06

1. Project Address: 4226 Owl Creek Drive, Madison WI 53718 **Project Area in Acres:** .304 acres
Project Title (if any): Owl's Nest

2. This is an application for: (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Doug Nelson a Company: The Nelson Group
 Street Address: 2134 Atwood Ave City/State: Madison, WI Zip: 53704
 Telephone: (608) 244-4990 Fax: (608) 244-0205 Email: doug@thenelsongroup.org
 Project Contact Person: Doug Nelson Company: Same
 Street Address: Same City/State: Same Zip: Same
 Telephone: () Same Fax: () Same Email: Same
 Property Owner (if not applicant): Premier Builders, Inc. - Kevin & Jeanette Acker
 Street Address: 102 N. Holiday Drive City/State: Waunakee, WI Zip: 53597

4. Project Information:

Provide a general description of the project and all proposed uses of the site: 4 unit condominiums

Development Schedule: Commencement Completion

CONTINUE →

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$500.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ *The site is located within the limits of _____ Plan, which recommends: _____ for this property.*

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*

Judy Compton - district 16, stated she was filing a waiver
If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

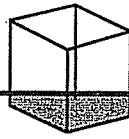
Planner _____ Date _____ | Zoning Staff _____ Date _____

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Kevin Acker Date 2-21-06

Signature Kevin Acker Relation to Property Owner owner

Authorizing Signature of Property Owner Kevin Acker Date 2-21-06



SIEGER LLC

ARCHITECTURE

1501 Monroe St. Madison, WI 53711
608.283.6100 Fax : 608.283.6101

LETTER OF INTENT

February 20, 2006

Plan Commission
215 Martin Luther King Jr Blvd
Madison, WI 53703

Re: Conditional Use Permit for 4226 Owl Creek Drive

The following application is intended to serve as a request for a conditional use permit for Owl's Nest, a 4 unit multifamily building located at 4226 Owl Creek Drive, Owl Creek Subdivision Lot 41. The parcel number of the property is 071027414011. The plat has final approval and was released to allow construction of a building. 4226 Owl Creek Drive is currently zoned R-4, which allows for a 4 unit residential building if approved as a conditional use. The lot currently has a slight slope of 6' from west to east and is vacant with no existing buildings.

- The property owner and contractor of the project is Premier Builders, Inc. – Kevin Acker
- The architect of the project is Sieger Architecture – Bob Sieger

The Building is intended to be 100% residential divided into 4 separate condominium units. Each unit has three bedrooms between two floors with approx. 2,285 square feet plus the garage. The total gross square footage of the building is 10,896. The site has a square footage of 13,280. Each Garage houses two parking stalls; there is also 1 surface-parking stall.

Construction will begin as soon as possible, which we anticipate will be in early April. Building construction plans are approved per IBC code requirements. We expect to complete construction 4 months after starting.

While under construction we will have 15 yard dumpsters in rear of lot with a tracking pad across the back of lot where the future driveway will be. Snow removal by contractor as needed however this will be a spring/summer construction and none should be needed. Portable toilets will be on site and no other equipment other than a lift used one day for trusses will be needed.

BUILDING INFORMATION:

DESCRIPTION: Two story 4-unit Condominium building
 SITE AREA: Lot 41 = 13,280 Sq. Ft.
 BUILDING AREA: 5,060 Sq. Ft.
 OCCUPANCY CLASSIFICATION: Residential, R-2
 CLASS OF CONSTRUCTION: Type 5B.
 BUILDING HEIGHT: Approx. 31'-3" to roof peak
 FIRE PROTECTION: Building shall have smoke detectors and fire alarms per governing code.

SITE INFORMATION:

TOTAL SITE AREA: 13,280 sf (304 ACRES)
 BUILDING AREA: 5,060 sf (116 ACRES) = 38% OF SITE
 PAVED AREA: 2,723 sf (0.63 ACRES) = 21% OF SITE
 LANDSCAPED AREA: 5,493 sf (1.25 ACRES) = 41% OF SITE

UNIT TYPES AND AREA:

Type : A = 2,287 sf + 479 sf garage
 Type : B = 2,288 sf + 479 sf garage
 Type : C = 2,288 sf + 479 sf garage
 Type : D = 2,287 sf + 479 sf garage

PARKING:
 GARAGE STALLS PER UNIT : 2 SPACES
 SURFACE PARKING STALLS : 1 SPACE
 TOTAL: 9 SPACES

ADA NOTES

GRAB BARS:
 MOUNT SIDE GRAB BAR 12" FROM REAR WALL, 42" LONG MIN. MOUNT REAR GRAB BAR 6" FROM SIDE WALL 36" LONG MIN.
 GRAB BARS SHALL PROVIDE 1 1/8" CLEARANCE FROM WALL, 1 1/2" TO HAND AND SHALL BE MOUNTED 33" - 36" A.F.F. TO FLOOR.
 TOILET PAPER DISPENSER:
 MOUNT 19" MIN. A.F.F. TO CENTER.
 TOWEL DISPENSER:
 SLOT @ 40" A.F.F.
 TOILET SEAT:
 SHALL BE @ 17" - 19" ABOVE FLOOR.
 MIRROR:
 BOTTOM @ 40" A.F.F.
 SINK:
 RIM @ 34" MAX A.F.F. CLEAR SPACE OF 29" FLOOR TO APRON.
 UNDER LAVATORY SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
 PROVIDE SOLID WOOD BLOCKING IN WALLS FOR MOUNTING OF ALL ACCESSORIES.
 NOTE:
 INSTALL ALL HG GRAB BARS AND ACCESSORIES PER STATE AND LOCAL CODES - GC IS RESPONSIBLE FOR VERIFYING COMPLIANCE

PROJECT

Owl's Nest
 4226 Owl Creek Drive
 Madison, WI 53718

DEVELOPER/OWNER

Kevin & Jeanette Acker
 102 N. Holiday Drive
 Waunakee, WI 53597
 Phone: 608.849.6770
 Fax: 608.849.6771

CONTRACTOR

Premier Builders
 102 N. Holiday Drive
 Waunakee, WI 53597
 Phone: 608.849-6770
 Fax: 608.849-6771

ARCHITECT

SIEGER ARCHITECTS
 1501 Monroe Street
 Madison, WI 53711
 Phone: 608.283.6100
 Fax: 608.283.6101

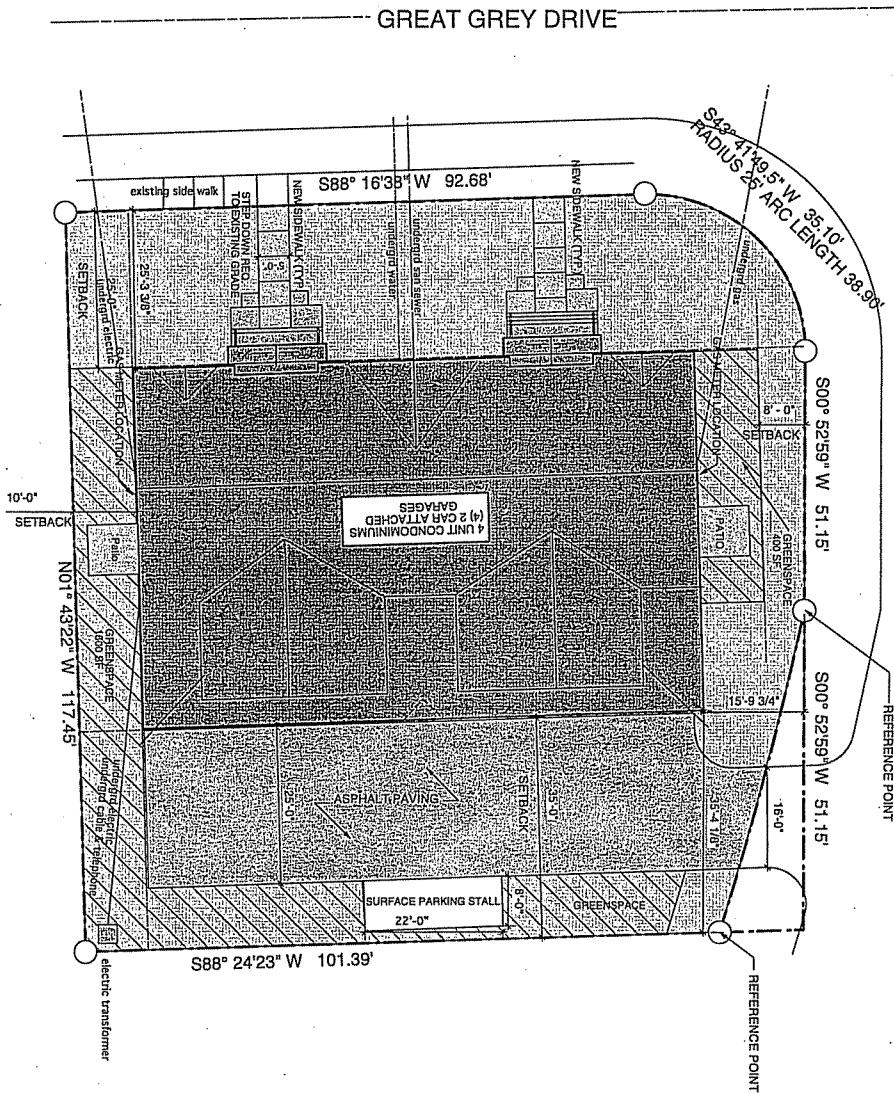
PROJECT #
 0519

SHEET INDEX

- C1 Site Plan
- C2 Landscape Plan
- A0 Basement/foundation Plan
- A1 1st Floor Plan
- A2 2nd Floor Plan
- A3 Roof Plan
- A4 Front/ Left Side Elevations
- A5 Rear/ Right Side Elevations

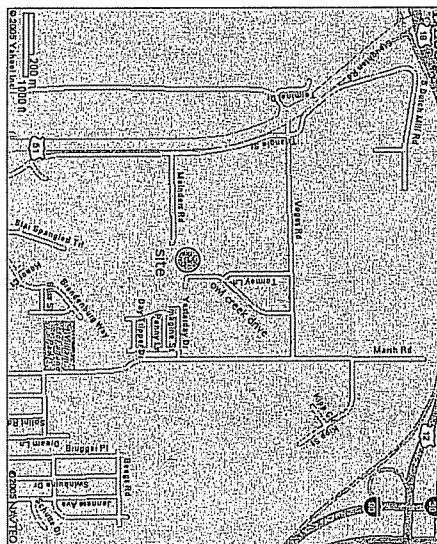
PLAN COMMISSION 2.22.06

OWL CREEK DRIVE



GREAT GREY DRIVE

SITE PLAN
 SCALE: 1" = 10' For plans enlarged 200%
 SCALE: 1" = 20' For plans printed on 11" x 17"



GENERAL SITE NOTES

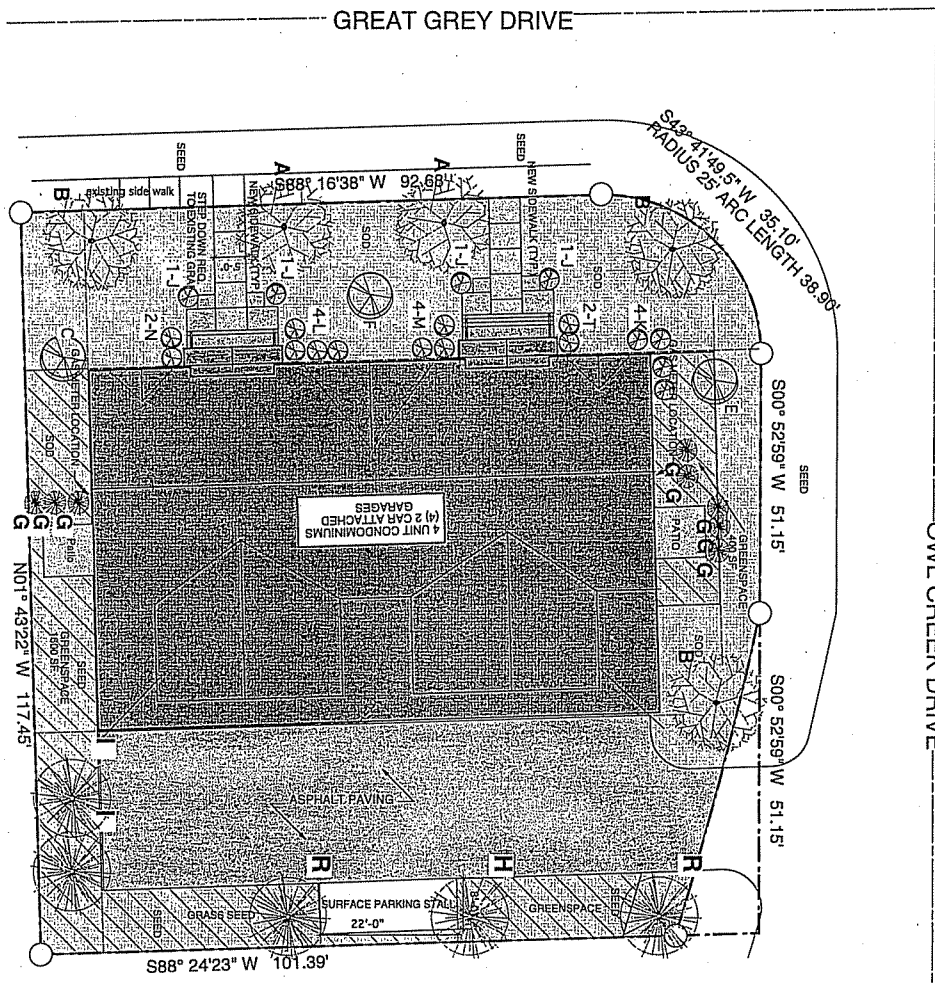
1. CONSTRUCTION IS RESPONSIBLE FOR REMOVING ALL EXISTING UTILITIES AND STRUCTURES AND PROVIDING ALL NECESSARY UTILITIES AND STRUCTURES.
2. ACCESSIBLE ROUTES FROM ACCESSIBLE PARKING AND BUILDING ENTRANCES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL MEET ALL LOCAL, STATE AND FEDERAL ACCESSIBILITY REQUIREMENTS OF ADA AND 2010 ADAAG.
3. DRIVE CURBS TO BE FINISHED WITH TOP OF FINISH GRADE AT 1.00'.
4. ACCESS TO ALL PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. THE OWNER SHALL PROVIDE ADEQUATE TEMPORARY ACCESS TO ALL PROPERTIES AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY ACCESS.
5. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL CONDITIONS AND PROVIDE ADEQUATE PROTECTION TO ALL ADJACENT PROPERTIES AND UTILITIES.
6. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY DAMAGED UTILITIES AND MAINTAIN ALL UTILITIES THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES.
7. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE ACCORDING TO THE LOCAL, STATE AND FEDERAL REGULATIONS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SITE INFORMATION

SITE AREA: 13,280 sf
 BUILDING FOOTPRINT: 5,060 sf
 PARKING SPACES: 9 spaces
 GREEN SPACE RECD: 500sf / UNIT = 2,000sf
 GREEN SPACE PROVIDED: 2,012sf

<p>1501 Lakeside St. Madison, WI 53711 Phone: (608) 253-0100 Fax: (608) 253-0101</p>	<p>4236 OWL CREEK DRIVE MADISON, WI 53718 KEVIN & JEANETTE ACKER VANDANACE, WI 53097</p>
<p>ARCHITECTURAL SITE PLAN</p>	<p>OWL'S NEST C1</p>
<p>2.13.14</p>	<p>2.13.14</p>

OWL CREEK DRIVE



LANDSCAPE PLAN
 SCALE: 1" = 10' For plans enlarged 200%
 SCALE: 1" = 20' For plans printed on 11" x 17"

PLANT SCHEDULE

NO.	COMMON NAME	SYMBOL	SIZE
A	Thornless Blackberry	1-1	2-1/2" DB
B	Amur Dogwood	2-1	2-1/2" DB
C	Canadian Red Pine	3-1	1" - 2" HT
D	Red-Twig Dogwood	4-1	1" - 2" HT
E	Eastern Redbud	5-1	2" DB
F	Blackhaw	6-1	2" DB
G	Common Blue Spruce	7-1	1" DB
H	White Pine	8-1	1" DB
I	Red-Twig Dogwood	9-1	2" DB
J	Blackhaw	10-1	2" DB
K	Blackhaw	11-1	2" DB
L	Blackhaw	12-1	2" DB
M	Blackhaw	13-1	2" DB
N	Blackhaw	14-1	2" DB
O	Blackhaw	15-1	2" DB
P	Blackhaw	16-1	2" DB
Q	Blackhaw	17-1	2" DB
R	Blackhaw	18-1	2" DB
S	Blackhaw	19-1	2" DB
T	Blackhaw	20-1	2" DB

GENERAL NOTES:

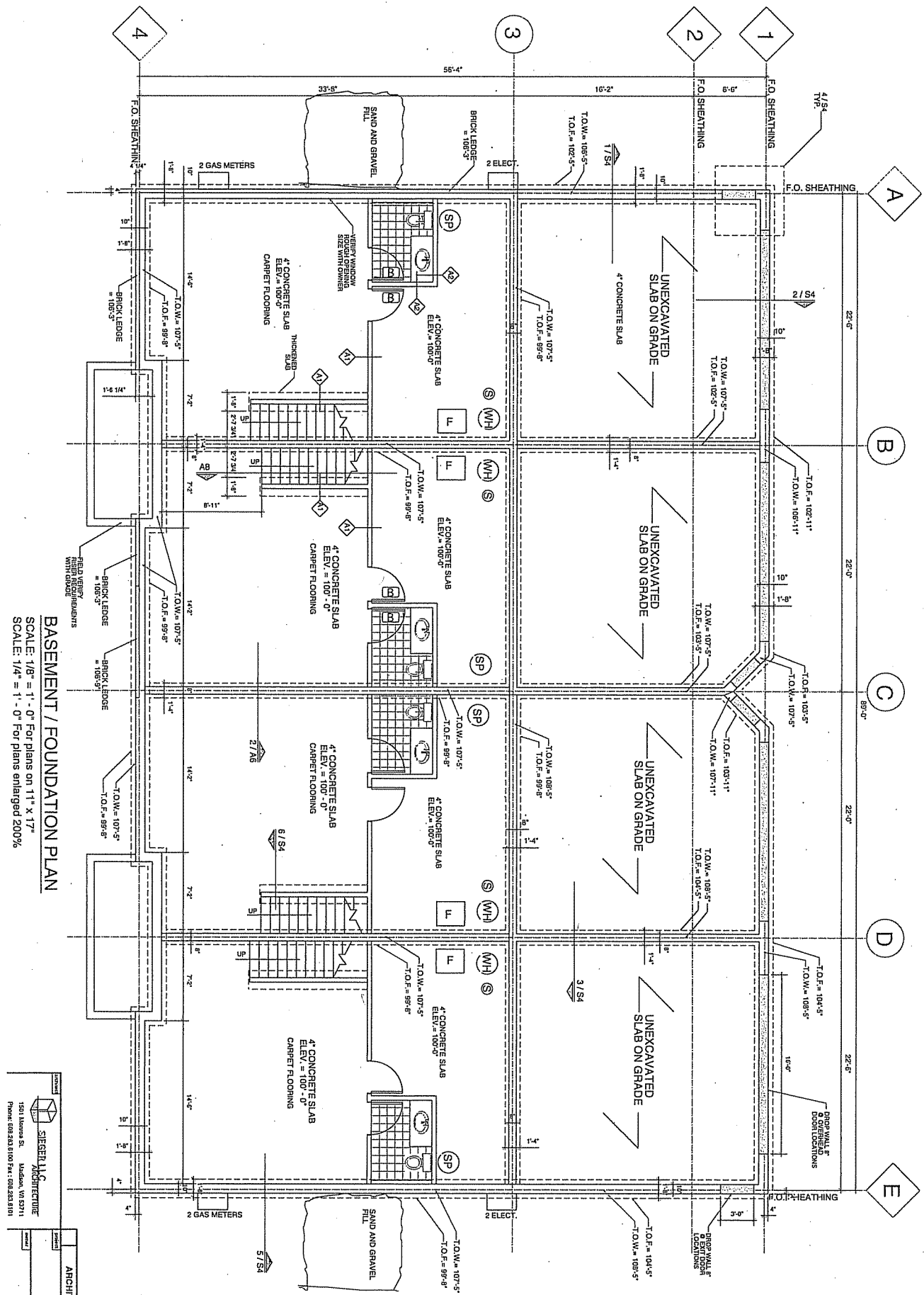
1. All plants listed shall be installed within 30 days of final site preparation.
2. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
3. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
4. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
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11. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
12. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
13. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
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15. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
16. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
17. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
18. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
19. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.
20. All plants shall be installed with landscape fabric, and 2" mulch, and 1" topsoil.

ARCHITECTURAL SITE PLAN

OWLS NEST
 4225 OWL CREEK DRIVE
 MADISON, WI 53711

REVIN & BENTLEY ARCHITECTS
 1501 MADISON ST.
 MADISON, WI 53711
 PHONE: (608) 233-5100 FAX: (608) 233-1311

DATE: 2.14.14



BASEMENT / FOUNDATION PLAN
 SCALE: 1/8" = 1'-0" For plans on 11" x 17"
 SCALE: 1/4" = 1'-0" For plans enlarged 200%

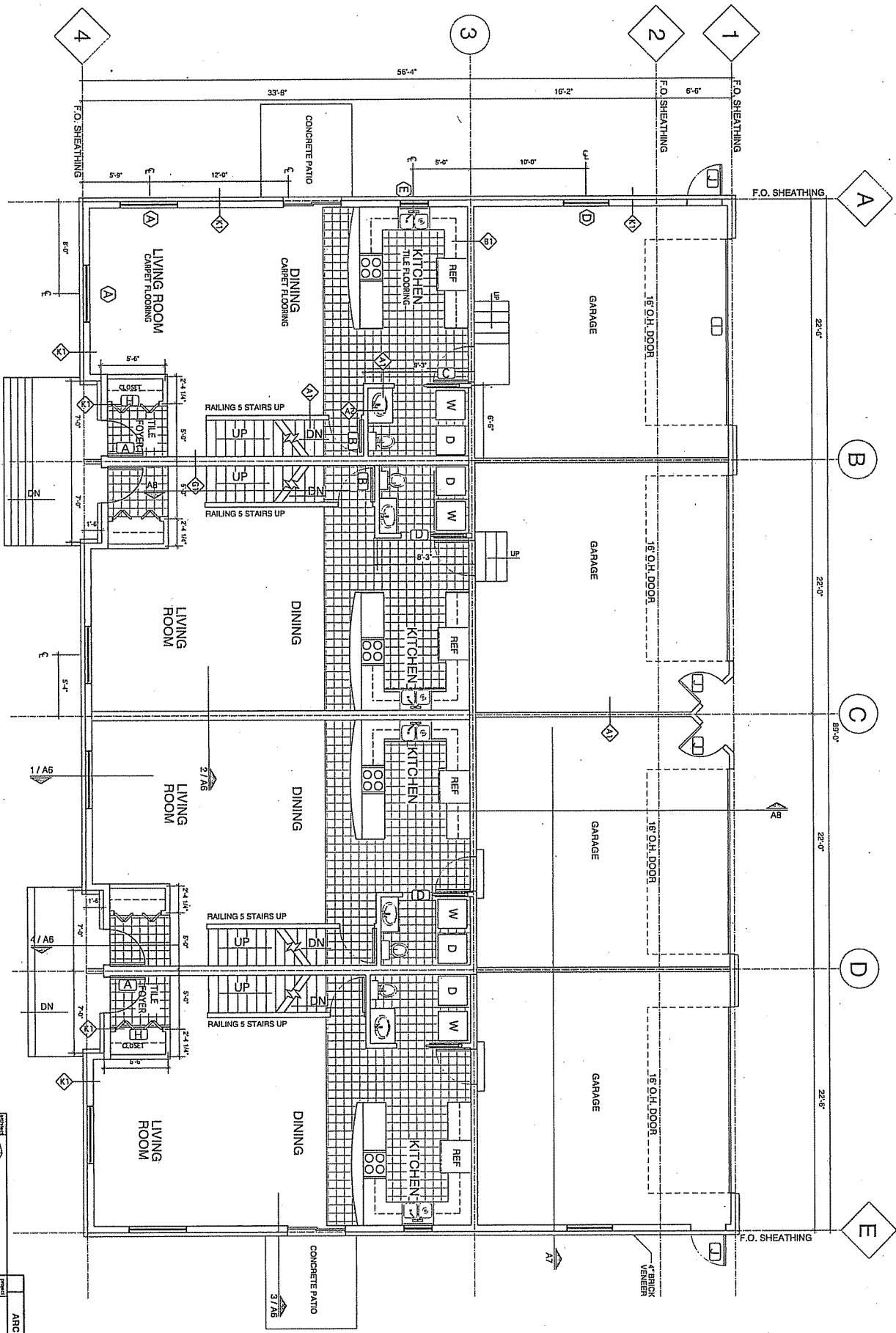
ARCHITECTURAL FLOOR PLANS

OWLS NEST ARCHITECTURE
 4226 OWL CREEK DRIVE
 MADISON, WI 53718
 KEVIN & JEANETTE ACKER
 VISIONARY ARCHITECTS
 VISIONARY ARCHITECTS
 MADISON, WI 53707

SIEMER LLC ARCHITECTURE
 1501 Johnson St.
 Madison, WI 53711
 Phone: 608.283.6100 Fax: 608.283.6101

A0

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FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0" For Plans on 11" x 17"
 SCALE: 1/4" = 1'-0" For Plans enlarged 200%

SHESLER LLC
 ARCHITECTURE
 1501 Verona St. Madison, WI 53711
 Phone: 608.252.6100 Fax: 608.252.6101

ARCHITECTURAL FLOOR PLANS

OWNER'S REPRESENTATIVE:
 KEVIN A. JEANETTE/AGRIER
 102 N. HOLLAND DRIVE
 WAUKESHA, WI 53187

PROJECT: OWLS NEST
DATE: 11/11/11
PROJECT NO.: 1111111111

REVISION:

DATE:

SCALE: 1/8" = 1'-0"

PROJECT: OWLS NEST
DATE: 11/11/11
PROJECT NO.: 1111111111

REVISION:

DATE:

SCALE: 1/8" = 1'-0"

PROJECT: OWLS NEST
DATE: 11/11/11
PROJECT NO.: 1111111111

REVISION:

DATE:

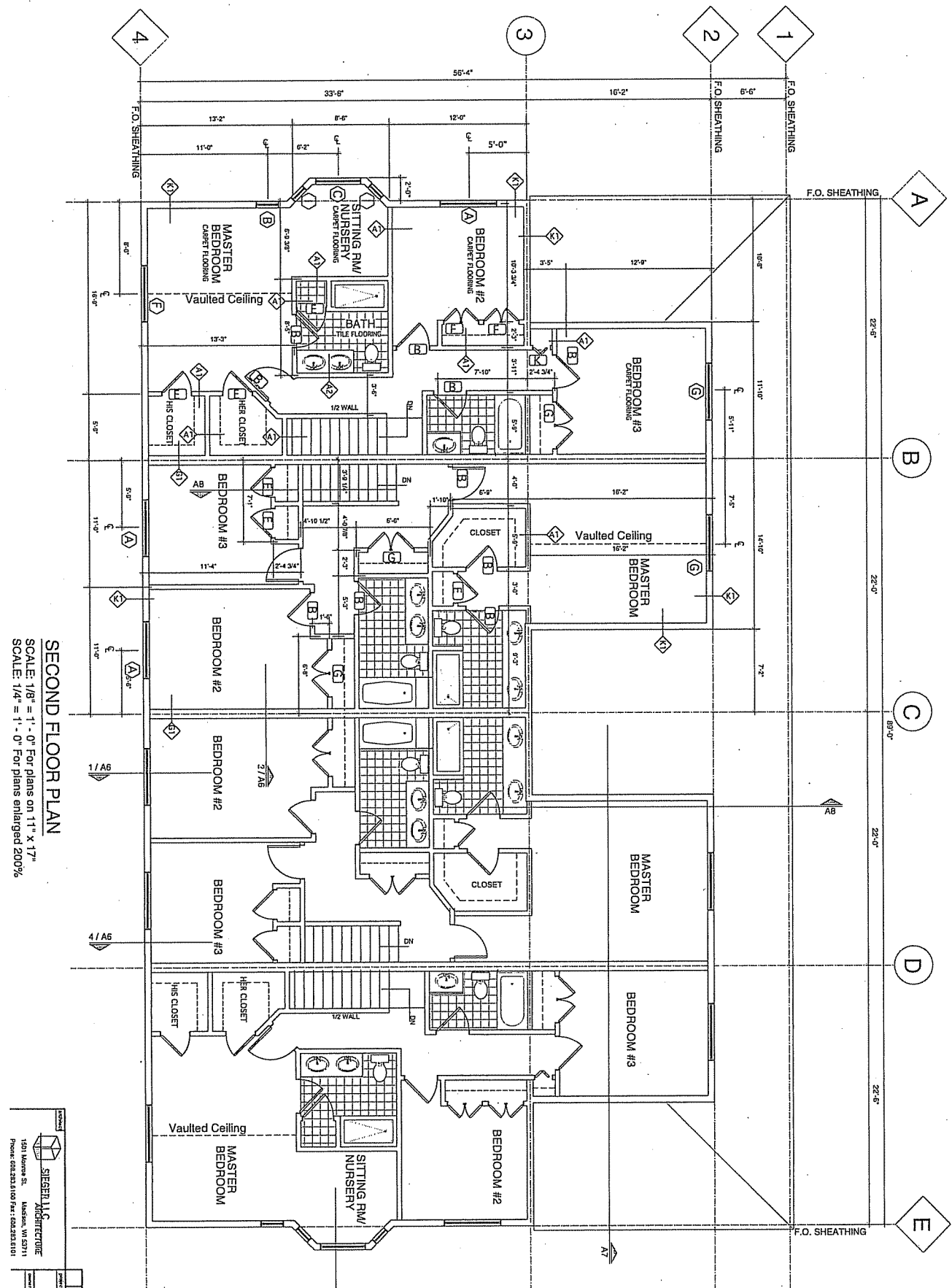
SCALE: 1/8" = 1'-0"

PROJECT: OWLS NEST
DATE: 11/11/11
PROJECT NO.: 1111111111

REVISION:

DATE:

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0" For plans on 11" x 17"
 SCALE: 1/4" = 1'-0" For plans enlarged 200%

ARCHITECTURAL FLOOR PLANS

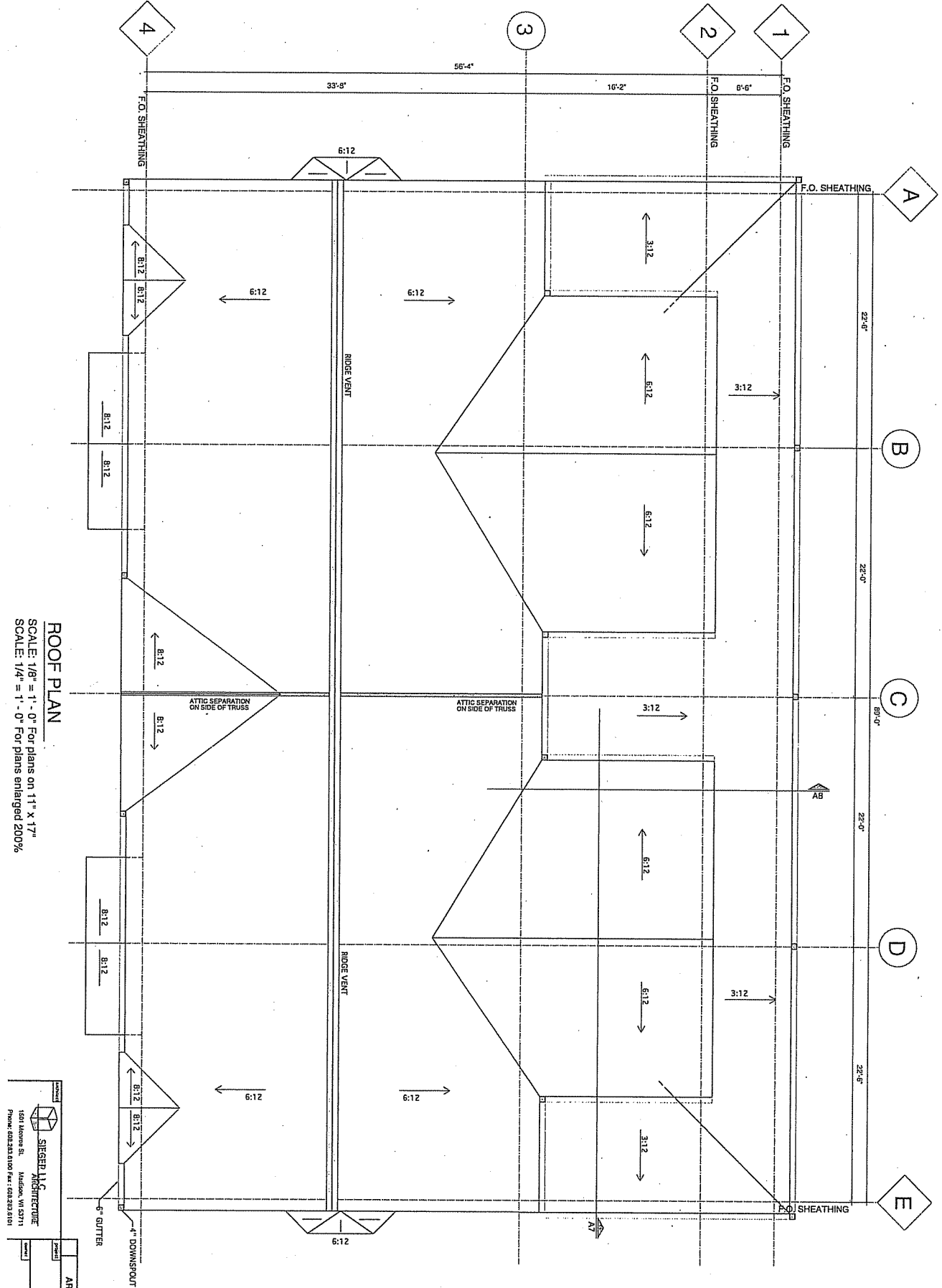
SIEGEL LLC
 ARCHITECTURE
 1501 Monroe St., Madison, WI 53711
 Phone: 608.233.8100 Fax: 608.233.8101

OWLS NEST
 4226 OWL CREEK DRIVE
 MADISON, WI 53718
 KEVIN A. JEANETTE, LICENSED ARCHITECT
 103 N. HOLLADAY DRIVE
 WAUNAKEE, WI 53187

A2

218.00

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ROOF PLAN
 SCALE: 1/8" = 1'-0" For plans on 11" x 17"
 SCALE: 1/4" = 1'-0" For plans enlarged 200%

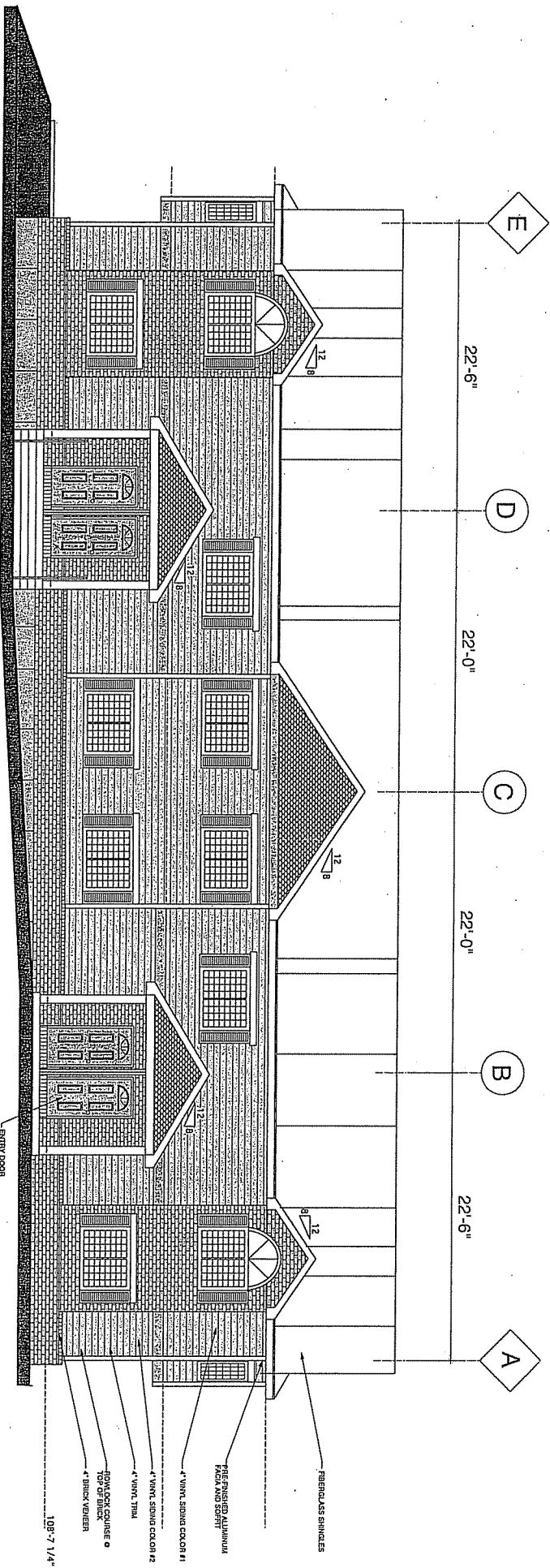
ROOF PLAN NOTES	
1. RE: MECHANICAL, PLUMBING AND STRUCTURAL DRAWINGS FOR SIZE AND LOCATION OF ALL ROOF OPENINGS, ROOF DRAINS AND ROOF MOUNTED EQUIPMENT.	5. COMPARTMENTALIZE THE ATTIC SPACE FROM THE UNIT CEILING TO THE UNDERSIDE OF THE ROOF DECK, WHERE DRAFT STOP IS INDICATED ON DRAWINGS. DRAFT STOP SHALL EXTEND INTO THE EAVE AND SOFFIT AREAS TO PROVIDE COMPLETE SEPERATION OF COMPARTMENTS. DRAFT STOP SHALL CONSIST OF 23/32" PLYWOOD ON TRUSSES AND BACKED CONTINUOUSLY WITH 23/32" PLYWOOD ON ALL PANEL EDGES NOT ALREADY SUPPORTED CONTINUOUSLY BY TRUSS MEMBERS.
2. PROVIDE FLASHING AND SEALANT AS REQUIRED TO WATERPROOF AROUND OPENINGS AND SUPPORTS ON ROOF.	6. PROVIDE ATTIC ACCESS: MINIMUM SIZE 22" X 30" INTO EACH ATTIC AREA.
3. ALL EXPOSED FLASHING SHALL HAVE FINISH TO MATCH EXTERIOR FINISH SYSTEM	7. PROVIDE ICE & WATER SHIELD 6' FROM EAVE
4. DRAFT STOPS TO BE PROVIDED IN ACCORDANCE W/ SECTION 708.3.1.1.2 IN LINE W/ UNIT DEMISING WALLS.	

ARCHITECTURAL FLOOR PLANS

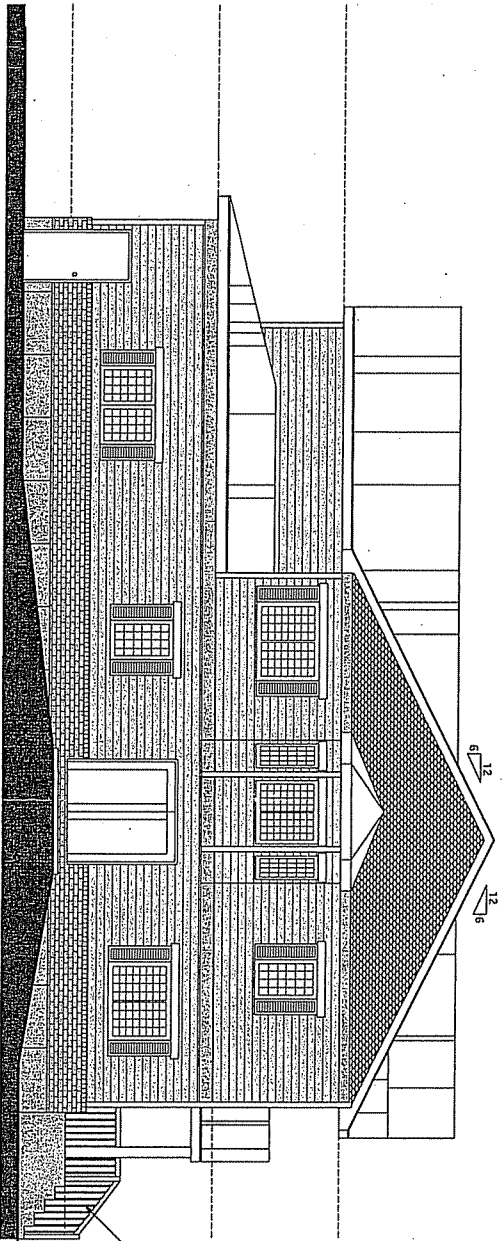
SIEGEL LLC ARCHITECTURE
 OWEN S. NEST
 4225 OWL CREEK DRIVE
 MADISON, WI 53718
 KEVIN A. TENNETT/ASKER
 102 N. HOLLADAY AVENUE
 MADISON, WI 53705
 Phone: (608)333-8100 Fax: (608)233-8101

A3

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FRONT ELEVATION
 SCALE: 1/8" = 1'-0" For plans on 11" x 17"
 SCALE: 1/4" = 1'-0" For plans enlarged 200%



LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0" For plans on 11" x 17"
 SCALE: 1/4" = 1'-0" For plans enlarged 200%

RAILING NOTES:
 TOP OF RAILING @ 42" MAX
 BALUSTERS @ O.C.
 NO LARGER THAN 4" OPENING

SIEGER LLC
 ARCHITECTURE
 1501 Monroe St. Madison, WI 53711
 Phone: (608) 232-8100 Fax: (608) 232-0101

ELEVATIONS

Project	OWLS NEST
Client	KEVIN & JEANETTE ACKER
Address	4228 OWL CREEK DRIVE Madison, WI 53718
Location	102 N. HOLIDAY DRIVE WALNUT LAKE, WI 53597

A4

2.14.08

