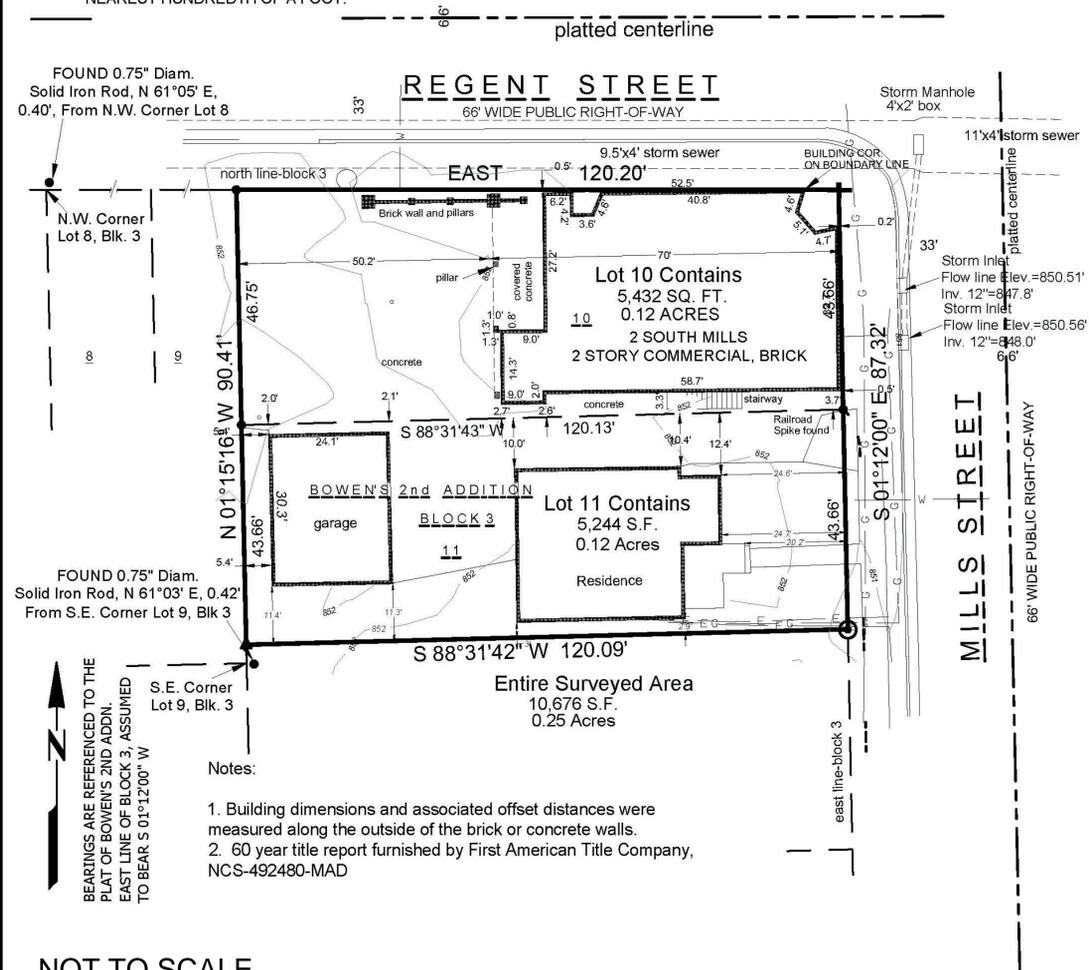


Plat of Survey

DESCRIPTION:
 LOT 10, AND LOT 11, BLOCK 3, BOWEN'S SECOND ADDITION, IN THE
 CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

- ▲ FOUND MAG NAIL
 - ✚ FOUND CHISELED CROSS
 - SOLID IRON ROD FOUND (0.75" Dia. unless noted)
 - ⊙ IRON PIPE FOUND (1 3/8" Outside Diameter)
 - () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.



- Notes:
1. Building dimensions and associated offset distances were measured along the outside of the brick or concrete walls.
 2. 60 year title report furnished by First American Title Company, NCS-492480-MAD

NOT TO SCALE

SURVEYOR'S CERTIFICATE

I, Paul A. Spetz, registered land surveyor for Isthmus Surveying LLC, hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, its exterior boundaries and any or all of the following if they exist: visible structures, apparent easements, roadways and visible encroachments. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.

Dated this 31st Day of August, 2018



SURVEYED FOR:
 NEW WORLD INVESTMENT LLC
 2 SOUTH MILLS STREET
 MADISON, WI 53715

SURVEYED BY:
 ISTHMUS SURVEYING, LLC
 450 NORTH BALDWIN STREET
 MADISON, WI 53703
 (608) 244.1090
 www.isthmussurveying.com

C:\PROJECTS\2011\110709-NW\2018\110709-NW_POS2018.DWG

EXISTING SITE CONDITIONS - 8 S MILL ST.



FRONT OF EXISTING HOUSE TO BE DEMOLISHED



REAR OF EXISTING HOUSE TO BE DEMOLISHED



SOUTH SIDE OF EXISTING HOUSE TO BE DEMOLISHED



EXISTING GARAGE TO REMAIN



EXISTING GARAGE TO REMAIN



EXISTING DRIVE TO BE DEMOLISHED

No.	Description	Date

**HONG KONG CAFE
 CONDITIONAL USE
 ALTERATION**

2 S MILLS ST.
 MADISON, WI 53715

**EXISTING SITE
 SURVEY AND
 CONDITIONS**

NOT FOR CONSTRUCTION

Project number	HKC-18-01
Date	10/31/2018

T002

EXISTING INTERIOR CONDITIONS - 8 S MILL ST.



KITCHEN 1 OF HOUSE TO BE DEMOLISHED



KITCHEN 2 OF HOUSE TO BE DEMOLISHED



STAIRWELL OF HOUSE TO BE DEMOLISHED



LIVING ROOM OF HOUSE TO BE DEMOLISHED



BATH OF HOUSE TO BE DEMOLISHED



ATTIC OF HOUSE TO BE DEMOLISHED

No.	Description	Date

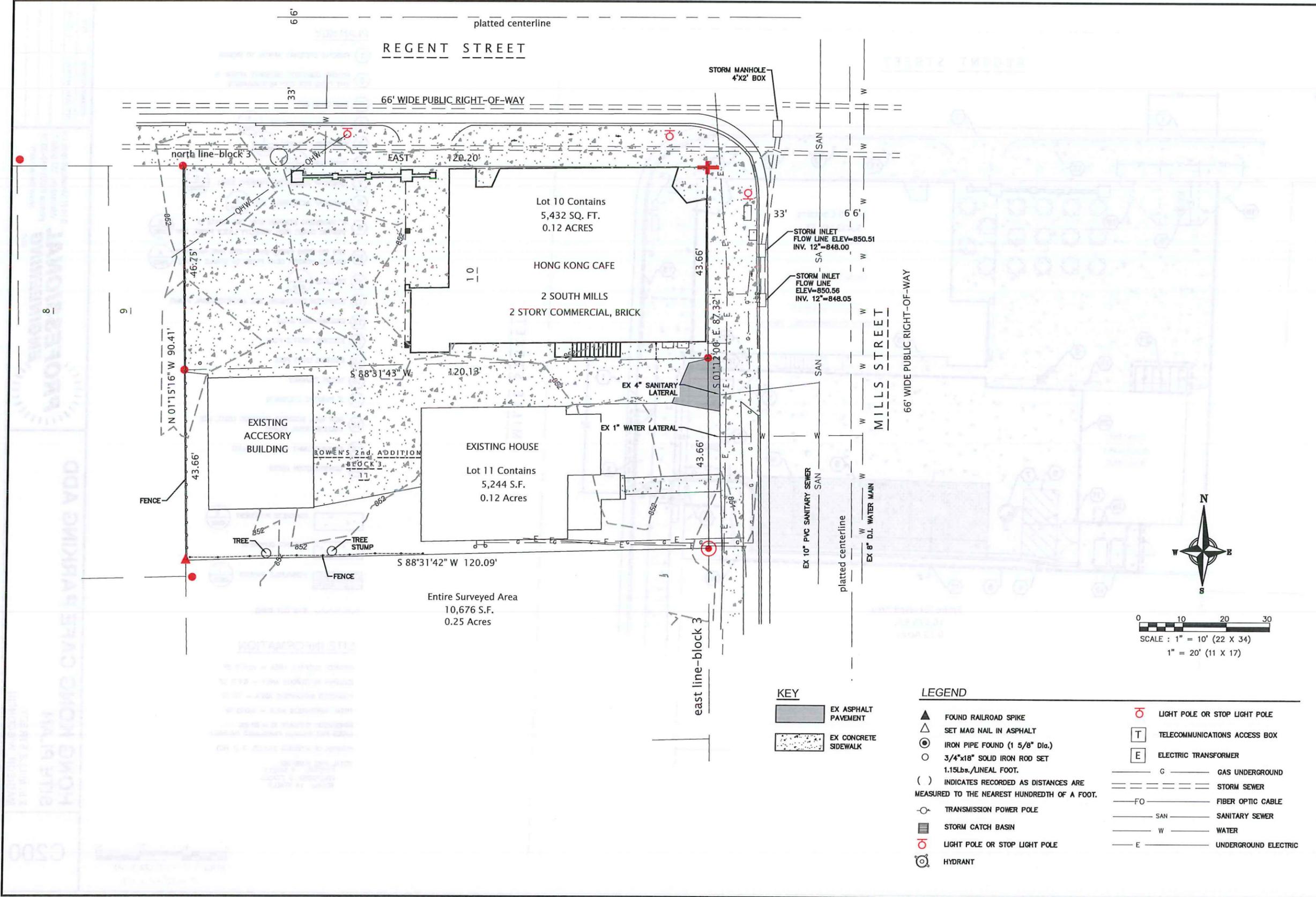
**HONG KONG CAFE
CONDITIONAL USE
ALTERATION**

2 S MILLS ST,
MADISON, WI 53715

**EXISTING INTERIOR
CONDITIONS**

NOT FOR CONSTRUCTION	
Project number	HKC-18-01
Date	10/31/2018

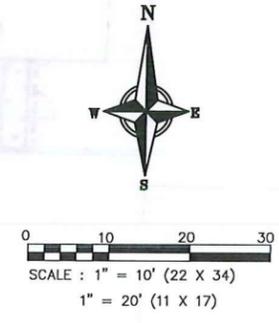
T003



REGENT STREET

MILLS STREET

Entire Surveyed Area
10,676 S.F.
0.25 Acres



KEY

- EX ASPHALT PAVEMENT
- EX CONCRETE SIDEWALK

LEGEND

- FOUND RAILROAD SPIKE
- SET MAG NAIL IN ASPHALT
- IRON PIPE FOUND (1 5/8" Dia.)
- 3/4"x18" SOLID IRON ROD SET
- 1.15Lbs./LINEAL FOOT.
- INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.
- TRANSMISSION POWER POLE
- STORM CATCH BASIN
- LIGHT POLE OR STOP LIGHT POLE
- HYDRANT
- LIGHT POLE OR STOP LIGHT POLE
- TELECOMMUNICATIONS ACCESS BOX
- ELECTRIC TRANSFORMER
- GAS UNDERGROUND
- STORM SEWER
- FIBER OPTIC CABLE
- SANITARY SEWER
- WATER
- UNDERGROUND ELECTRIC

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18

818 N Meadowbrook Ln
Waunakee, WI 53597
phone (608) 849-9378
www.pe-wi.com

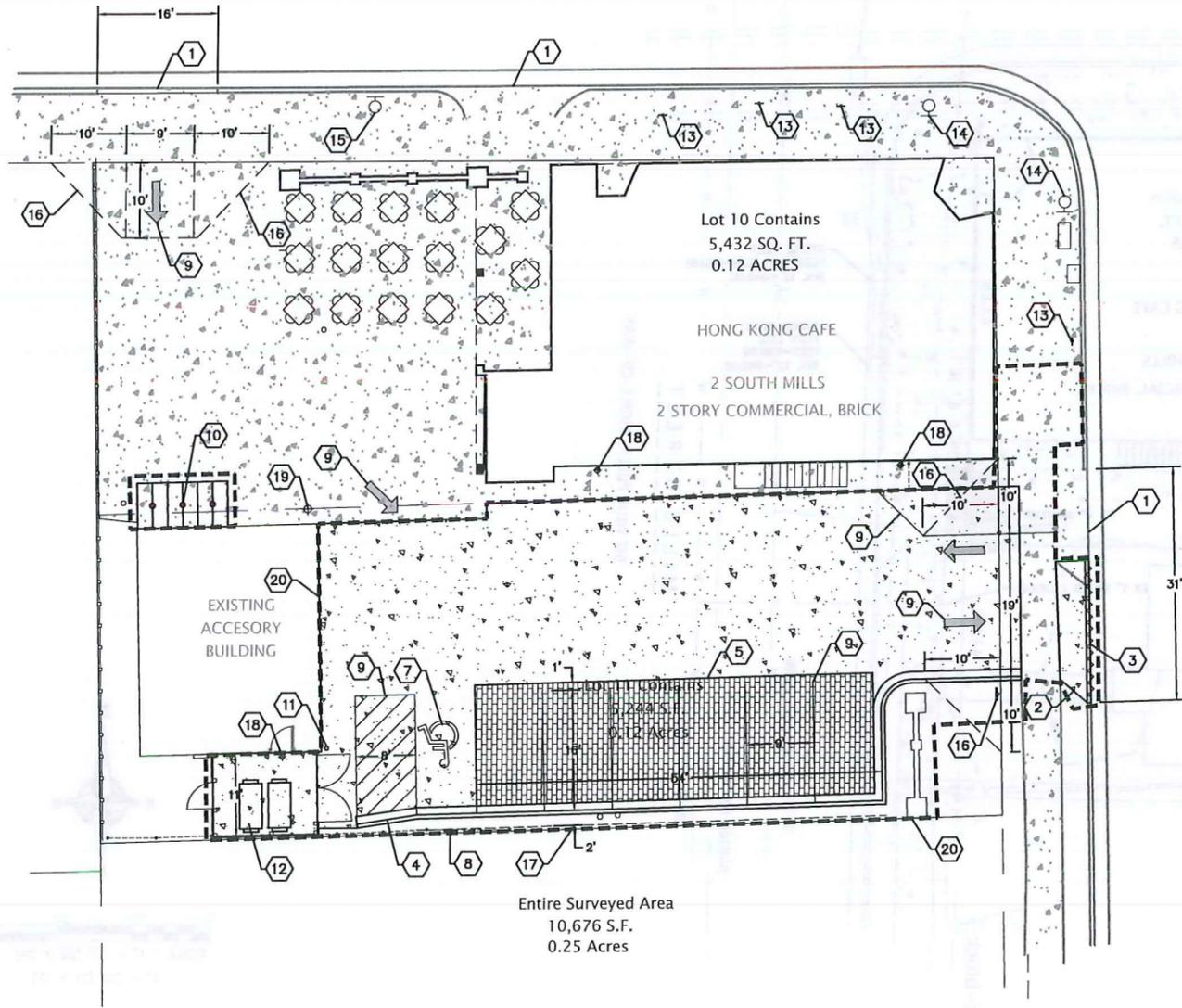
PROFESSIONAL ENGINEERING
LLC

HONG KONG CAFE PARKING ADD
EXISTING CONDITIONS
2 S. MILLS STREET
MADISON, WISCONSIN

C100

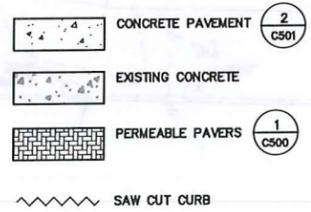


REGENT STREET



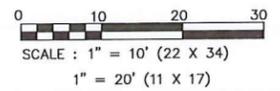
PLAN KEY

- 1 EXISTING DRIVEWAY APRON TO REMAIN
- 2 EXTEND CONCRETE DRIVEWAY APRON & CUT CURB PER CITY REQUIREMENTS
- 3 SAW CURB CUT
- 4 18" CURB AND GUTTER
- 5 PERMEABLE PAVERS
- 6 STOP SIGN
- 7 HANDICAP ACCESSIBLE PARKING STALL
- 8 HANDICAP ACCESSIBLE SIGN
- 9 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE HIGH VISIBILITY LATEX PAINT, TYP
- 10 TWO (2) DERO PART# BH-FT-EPX BIKE RACKS IN GROUND POWDER COAT FINISH (6 STALLS TOTAL)
- 11 BOLLARD
- 12 DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS
- 13 EXISTING BIKE RACK
- 14 EXISTING TRAFFIC POLE
- 15 EXISTING LIGHT POLE
- 16 VISION TRIANGLE
- 17 2' PARKING OVERHANG
- 18 NEW WALL MOUNTED EXTERIOR LIGHT, SEE ARCHITECTURAL PLANS
- 19 EXISTING LIGHT POLE TO REMAIN
- 20 CONSTRUCTION LIMITS



SITE INFORMATION

PROJECT SURFACE AREA = 10,676 SF
 EXISTING IMPERVIOUS AREA = 8,971 SF
 PROPOSED IMPERVIOUS AREA = 79 SF
 TOTAL IMPERVIOUS AREA = 9,050 SF
 IMPERVIOUS SURFACE % = 84.8%
 (DOES NOT INCLUDE PERMEABLE PAVERS)
 NUMBER OF PARKING STALLS: 7 (1 HC)
 TOTAL BIKE PARKING:
 EXISTING: 8 STALLS
 PROPOSED: 6 STALLS
 TOTAL: 14 STALLS



ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18

818 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
 www.pe-wi.com

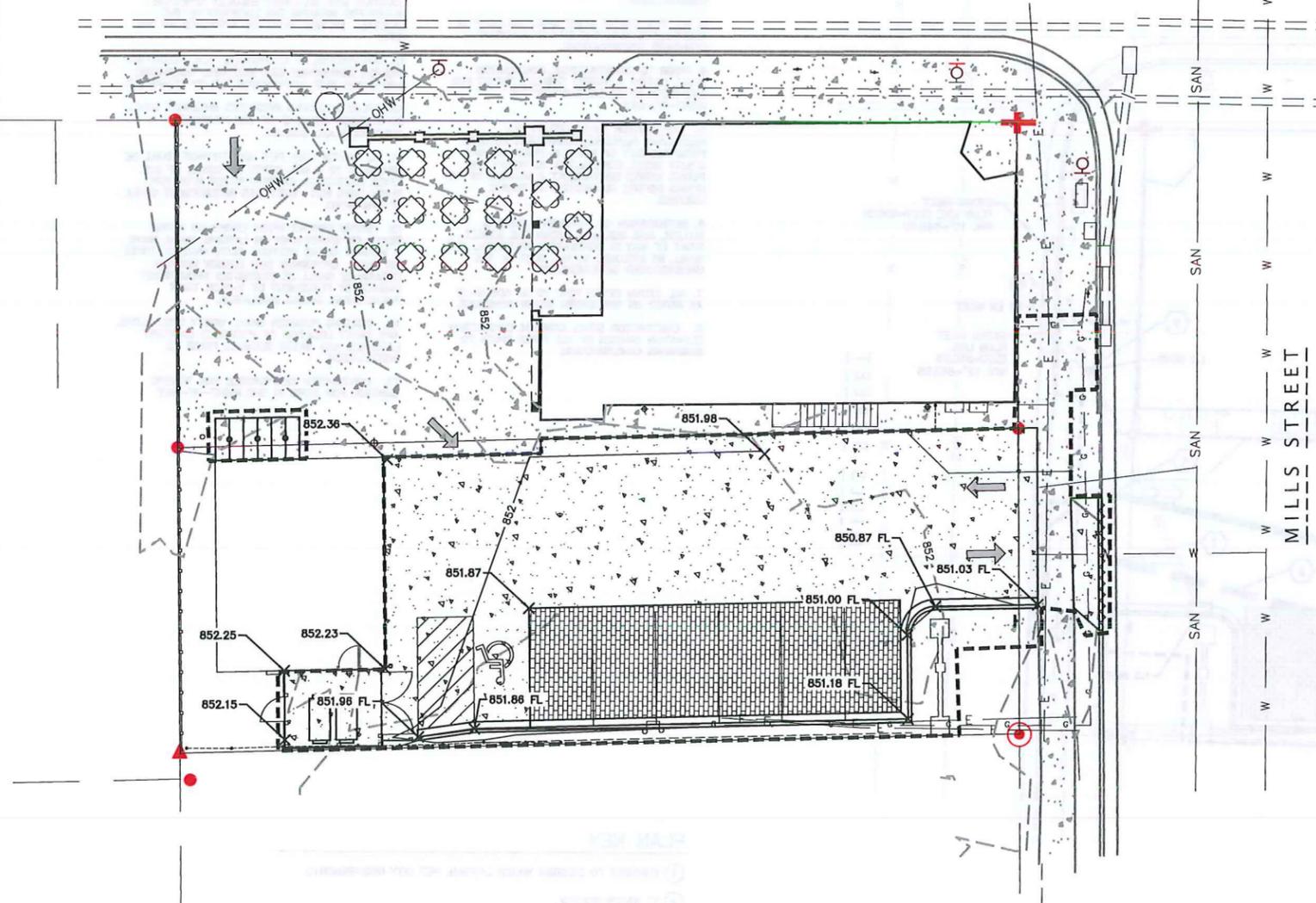
PROFESSIONAL ENGINEERING LLC

HONG KONG CAFE PARKING ADD
SITE PLAN
 2 S. MILLS STREET
 MADISON, WISCONSIN

C200



REGENT STREET



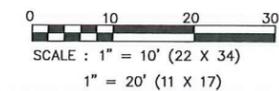
PLAN KEY

- 1 EXISTING DRIVEWAY APRON TO REMAIN
- 2 EXTEND CONCRETE DRIVEWAY APRON & CUT CURB PER CITY REQUIREMENTS
- 3 SAW CURB CUT
- 4 18" CURB AND GUTTER
- 5 PERMEABLE PAVERS
- 6 VISION TRIANGLE
- 7 HANDICAP ACCESSIBLE PARKING STALL
- 8 HANDICAP ACCESSIBLE SIGN
- 9 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE HIGH VISIBILITY LATEX PAINT, TYP
- 10 TWO (2) DERO PART# BH-FT-EPX BIKE RACKS IN GROUND POWDER COAT FINISH (6 STALLS TOTAL)
- 11 2' PARKING OVERHANG
- 12 DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS
- 13 EXISTING BIKE RACK
- 14 EXISTING TRAFFIC POLE
- 15 EXISTING LIGHT POLE
- 16 CONSTRUCTION LIMITS

- EXISTING ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- EXISTING CONCRETE
- PERMEABLE PAVERS
- SAW CUT CURB

SITE INFORMATION

PROJECT SURFACE AREA = 10,676 SF
 EXISTING IMPERVIOUS AREA = 8,971 SF
 PROPOSED IMPERVIOUS AREA = 79 SF
 TOTAL IMPERVIOUS AREA = 9,050 SF
 IMPERVIOUS SURFACE % = 84.8%
 (DOES NOT INCLUDE PERMEABLE PAVERS)
 NUMBER OF PARKING STALLS: 7 (1 HC)
 TOTAL BIKE PARKING:
 EXISTING: 8 STALLS
 PROPOSED: 4 STALLS



ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18

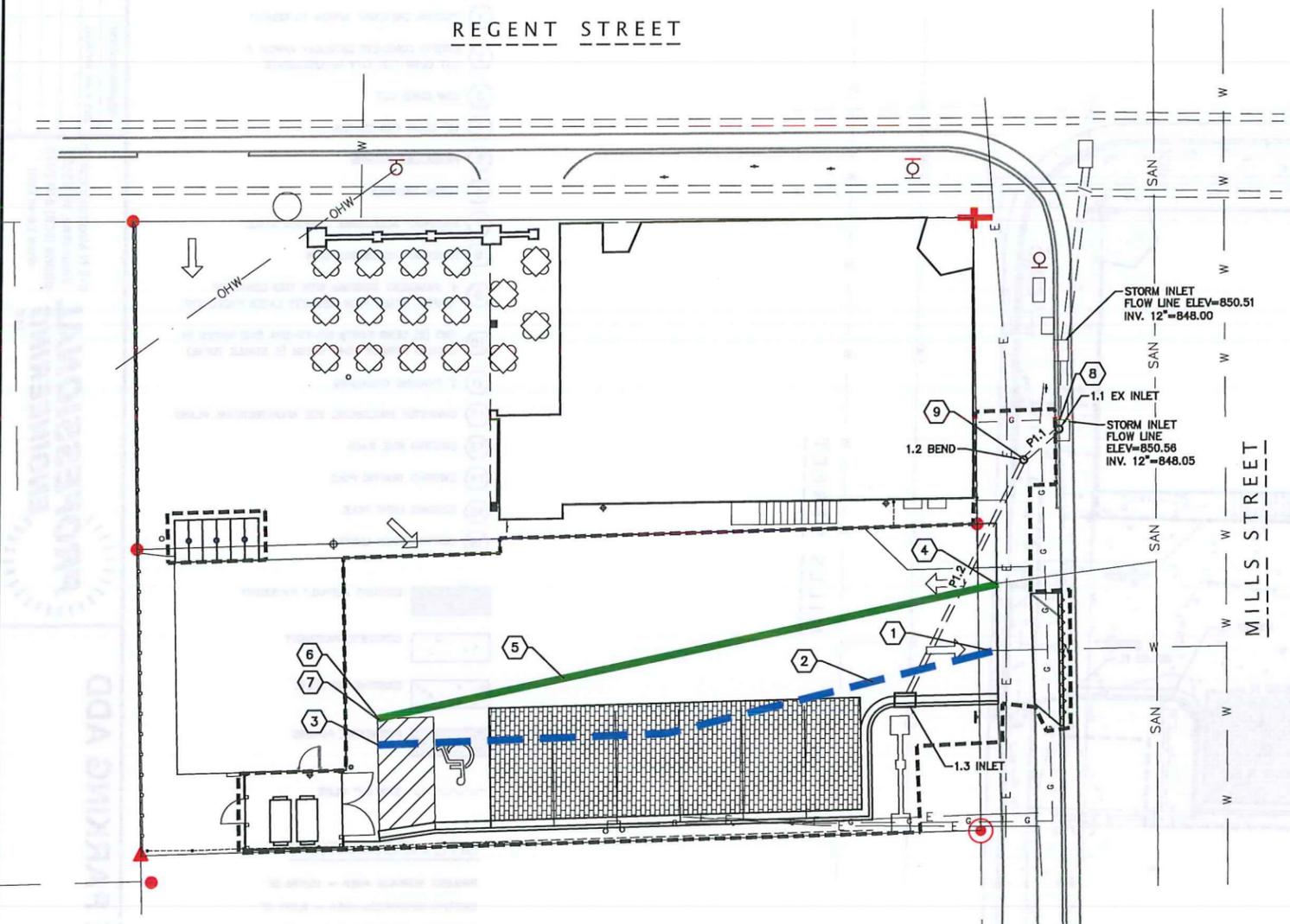
818 N Meadowbrook Ln
 Waunakee, WI 53597
 Phone (608) 849-9378
 www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

**HONG KONG CAFE PARKING ADD
 GRADING PLAN**
 2 S. MILLS STREET
 MADISON, WISCONSIN

C300

REGENT STREET

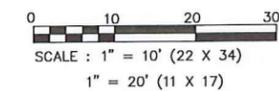


UTILITY NOTES

- CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF PREVIOUS PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
- ALL STORM SEWER PIPE TO BE ADS N-12 AS NOTED ON THE STORM SEWER SCHEDULE.
- CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
- PRIVATE WATER MAIN 4" AND LARGER SHALL BE DUCTILE IRON OR C900 PVC. WATER SERVICES 2" AND SMALLER SHALL BE TYPE K, COPPER.
- SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
- ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
- CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
- UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED WITHIN 5' OF THE PROPOSED BUILDING(S) AND STAKED.
- ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
- STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
- BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY

PLAN KEY

- CONNECT TO EXISTING WATER LATERAL PER CITY REQUIREMENTS
- 1" WATER SERVICE
- CONNECT TO BUILDING WATER SERVICE
- CONNECT TO EXISTING 4" SANITARY LATERAL PER CITY REQUIREMENTS
- 4" SANITARY SEWER AT 1.04% SLOPE MINIMUM
- CONNECT TO SANITARY BUILDING SEWER, SEE PLUMBING PLANS
- CLEANOUT
- CONNECT TO EXISTING STORM INLET PER CITY REQUIREMENTS
- BEND



STRUCTURE TABLE					
STRUCTURE NAME	SIZE	TOP OF CASTING	PIPES IN	PIPES OUT	CASTING
1.1 EX INLET		850.60	P1.1, 8" INV IN =848.05		
1.2 BEND		851.23	P1.2, 8" INV IN =848.11	P1.1, 8" INV OUT =848.10	
1.3 INLET	2X3-FT	851.35		P1.2, 8" INV OUT =848.38	NEENAH R-3067

PIPE TABLE						
NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P1.1	8"	7'	0.70%	ADS N-12	848.10'	848.05'
P1.2	8"	38'	0.70%	ADS N-12	848.38'	848.11'

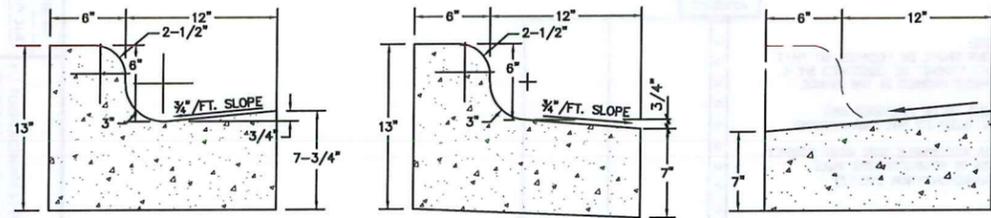
ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18

818 N Meadowbrook Ln
Waukegan, WI 53597
phone (608) 849-9378
www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

HONG KONG CAFE PARKING ADD
UTILITY PLAN
2 S. MILLS STREET
MADISON, WISCONSIN

C400



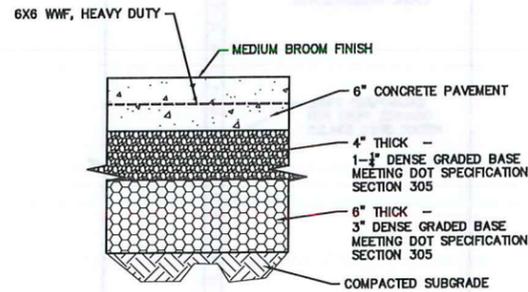
STANDARD 18" CONCRETE CURB

REJECT 18" CONCRETE CURB

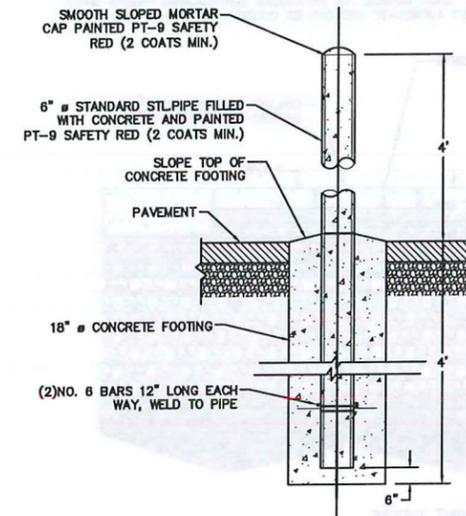
RIBBON CURB & GUTTER

GENERAL NOTES:
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15', NOT LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTLY BY THE ENGINEER. THE EXPANSION JOINT SHALL BE ALONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

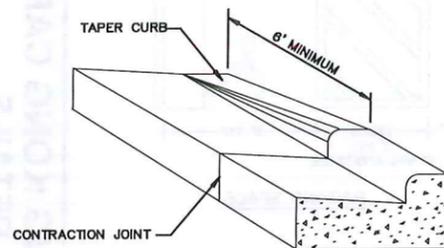
1 CURB & GUTTER
 C501 NTS



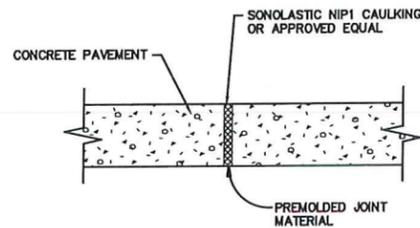
2 CONCRETE PAVEMENT SECTION
 C501 NTS



3 BOLLARD DETAIL
 C501 NTS

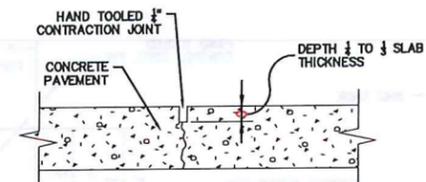


4 DETAIL OF CURB & GUTTER TERMINI
 C501 NTS



NOTES:
 1 ALL JOINTS TO BE TOOLED WITH 1/2" RADIUS UNLESS SAW CUT
 2. PLACE WHERE INDICATED OR WHERE PAVEMENT ABUTS FOUNDATIONS, CURBS COLUMNS OR OTHER IMMOVABLE OBJECTS, OR WHERE OPERATIONS ARE STOPPED FOR MORE THAN 1 HOUR. PLACE IN MANNER CONSISTENT WITH CONTROL JOINT LAYOUT.
 3. CAULKING OF ALL EXTERIOR SITE WORK BY SITE CONTRACTOR.

5 EXPANSION JOINT - SECTION
 C501 NTS



NOTES:
 1 ALL JOINTS TO BE TOOLED WITH 1/2" RADIUS UNLESS SAW CUT
 2. DO NOT SEAL OR FILL CONTRACTION JOINTS.

6 CONTRACTION JOINT
 C501 NTS

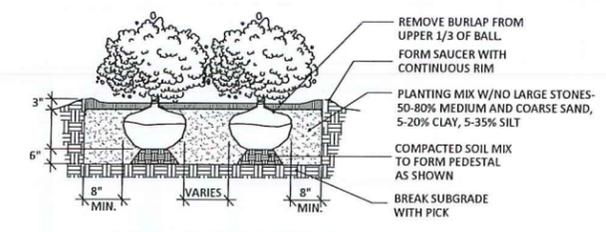
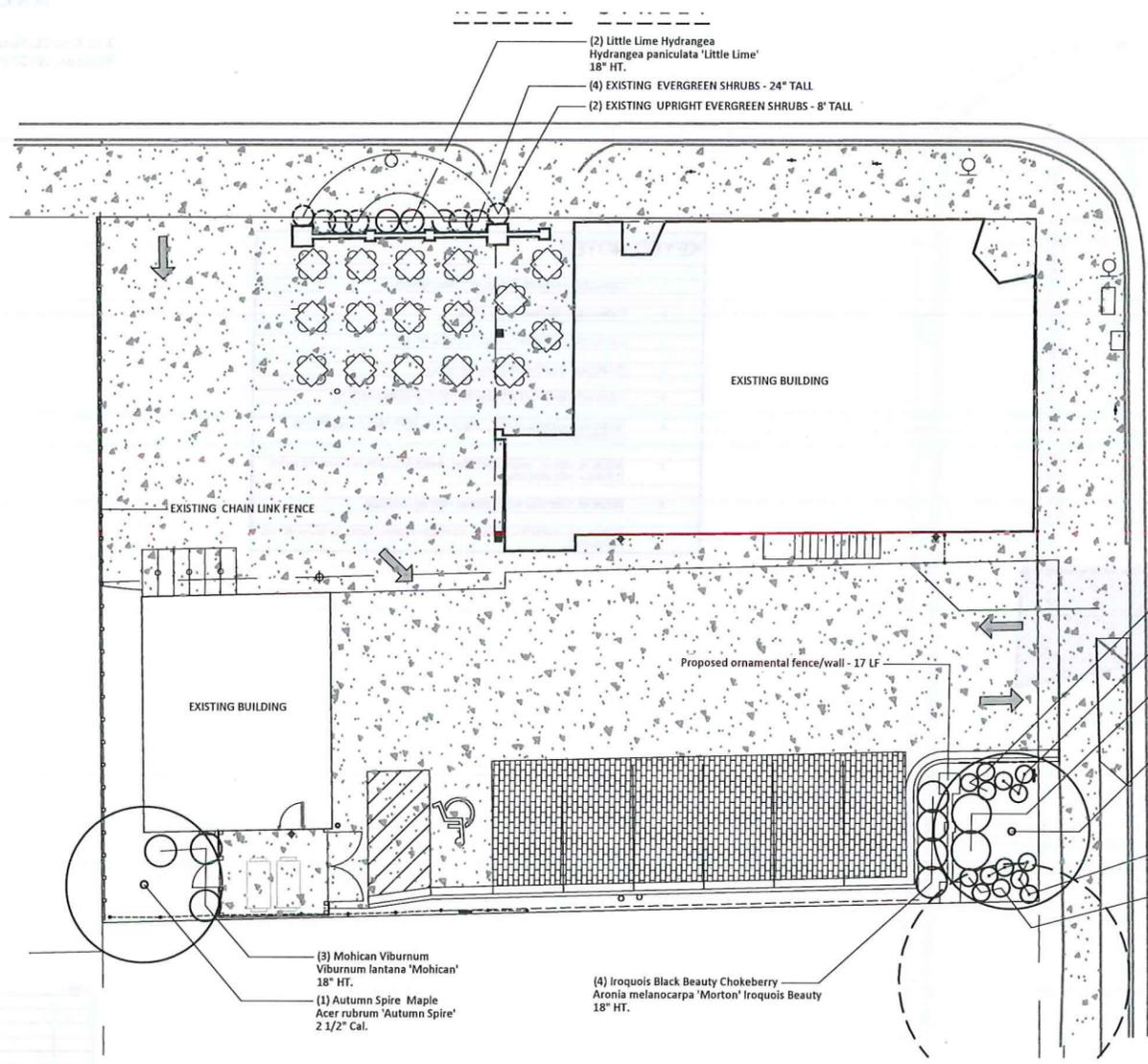
HONG KONG CAFE PARKING ADD
 SITE DETAILS
 2 S. MILLS STREET
 MADISON, WISCONSIN

C501

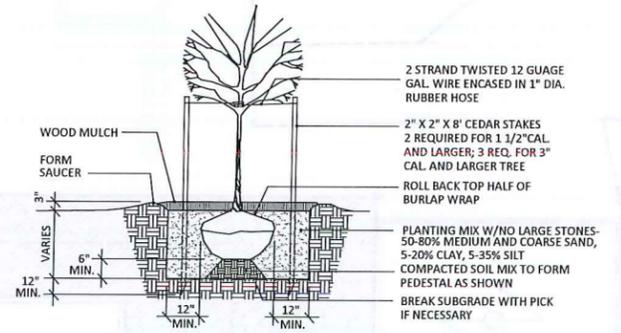
818 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
 www.pe-wi.com

PROFESSIONAL
 ENGINEERING
 LLC

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18



2 SHRUB PLANTING
NTS



3 TREE PLANTING
NTS

1 LANDSCAPE PLAN

GENERAL NOTES:

- Trees and shrub groupings are to receive wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
- "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix, EarthCarpet Corporation. (www.seedsolutions.com)
- Landscape Contractor shall provide regular maintenance until a date 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.
- Landscape Contractor shall guarantee to replace once, without charge, any plant material that dies within one year of installation providing the Owner gives normal plant care (regular watering). The Owner must report plant losses within the guarantee period.

Landscape Calculations and Distribution (Site is TSS Zoning):

Five (5) landscape points shall be provided per each (300) sf of developed area

Total sf of developed area = 6,565 sf

Developed area divided by (300) x 5 = 110 Points Required

Development Frontage Landscaping

Total lf of lot frontage = 210

Required Trees = 7 Provided Trees = 1

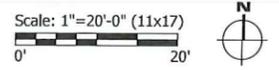
Required Shrubs = 35 Provided Shrubs = 4 existing

Note: Project Team requests zoning administrator waive the development frontage landscape requirements due to the building facade directly abutting the existing sidewalk as well as the existing conditions of the site being almost entirely concrete bounded to the frontage/property lines.

Tabulation of Points and Credits:

Plant Type/Element	Min. size	Points	Existing Qty.	Existing Pts.	Proposed Qty.	Proposed Pts.
Overstory Deciduous Tree	2 1/2" cal.	35	-	-	2	70
Ornamental tree	1 1/2" cal.	15	-	-	-	-
Upright evergreen shrub	3-4 feet tall	10	2	20	-	-
Shrub, deciduous	18" or 3 gal.	3	-	-	11	33
Shrub, evergreen	18" or 3 gal.	4	4	16	-	-
Ornamental grasses	18" or 3 gal.	2	-	-	6	12
Ornamental fence or wall	na	4 per 10 lf	-	-	1.7	6
Total				36		121

157 Total Points Provided (110 Required)



ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18

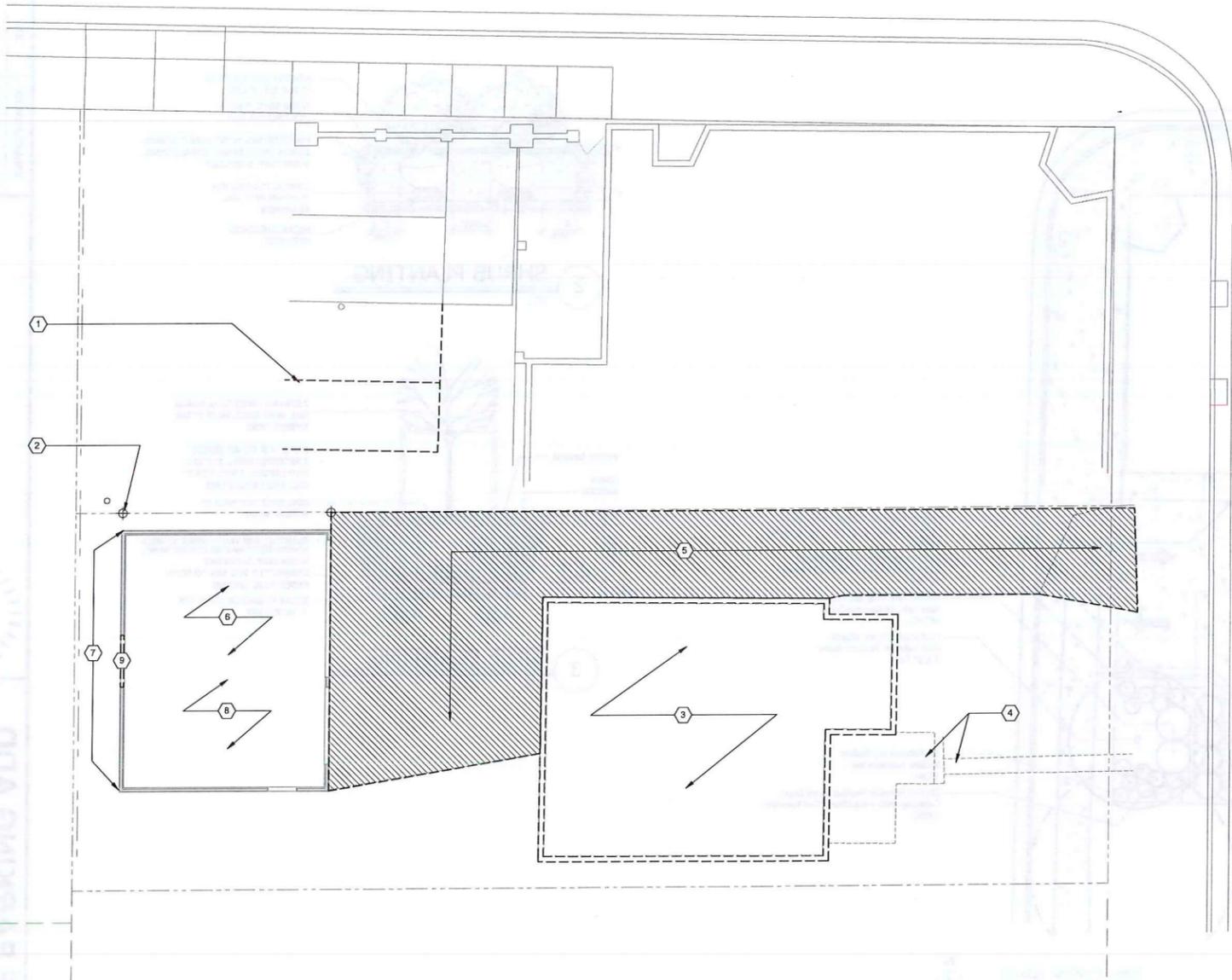
818 N. Meadowbrook Ln
Waukegan, WI 53597
phone (608) 849-9378
www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

**HONG KONG CAFE PARKING ADD
LANDSCAPE PLAN**

2 S. MILLS STREET
MADISON, WISCONSIN

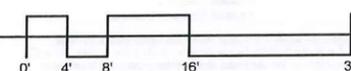
L100



KEYED NOTES	
1	DEMOLISH PARKING STALLS SHOWN DASHED
2	DEMOLISH EXISTING LIGHT POLE
3	DEMOLISH EXISTING HOUSE IN ITS ENTIRETY
4	DEMOLISH EXISTING PORCH AND WALK
5	DEMOLISH EXISTING CONCRETE DRIVE SHOWN HATCHED
6	REMOVE EXISTING SOFFIT, FASCIA, GUTTERS AND DOWNSPOUTS - ENTIRE GARAGE
7	REMOVE SIDING, SHEATHING, AND RIGID INSULATION DOWN TO BARE STUDS - THIS SIDE ONLY
8	REMOVE EXISTING VINYL SIDING - ENTIRE GARAGE
9	DEMOLISH PORTION OF WALL TO ACCEPT NEW WINDOW - SUPPORT AS REQUIRED

No.	Description	Date

NORTH
1
1/8" = 1'-0"



HONG KONG CAFE
CONDITIONAL USE
ALTERATION

2 S MILLS ST,
MADISON, WI 53715

DEMOLITION SITE
PLAN

NOT FOR CONSTRUCTION	
Project number	HKC-18-01
Date	10/31/2018

D100

LAND USE SUMMARY

(INCLUDES PROPERTIES OF 2 S MILLS ST. AND 8 S MILLS ST.)

BUILDING AREA:	
RESTAURANT:	2,464 SF
APARTMENTS:	2,400 SF
ACCESSORY BUILDING:	679 SF

ALTERNATES

ALT #1 - ASPHALT DRIVE IN LIEU OF CONCRETE - PROVIDE 1' CONCRETE BOARDER AROUND PERMEABLE PAVERS - TRASH ENCLOSURE PAD AND CURB TO REMAIN AS NEW CONCRETE

KEYED NOTES

1	NEW ELECTRICAL PANEL - EXTEND SERVICE FROM EXISTING BUILDING
2	OFICI OUTDOOR MONITOR
3	EXISTING LIGHT POLE TO REMAIN
4	EXISTING 6' TALL CHAIN LINK FENCE
5	6' HIGH CEDAR FENCE W/ HORIZONTAL FENCE BOARDS
6	6' HIGH CEDAR TRASH ENCLOSURE GATE W/ HORIZONTAL FENCE BOARDS
7	BRICK FENCE
8	SIGN "DO NOT ENTER"
9	EXISTING FIRE ESCAPE TO REMAIN
10	NEW CONCRETE DRIVE OR ALT #1
11	NEW PERMEABLE PAVER PARKING STALLS
12	NEW CONCRETE PAD FOR TRASH ENCLOSURE
13	VAN ACCESSIBLE PARKING STALL AND ACCESS ISLE
14	STUB IN SANITARY AND WATER SUPPLY LINES UNDER PARKING LOT AND CAP UNDER ACCESSIBLE PARKING STALL ACCESS ISLE
15	NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE
16	1 HOUR FIRE RATED EXTERIOR WALL
17	NEW BIKE RACK
18	NEW TRIPLE CASEMENT WINDOW WITH FIXED CENTER PANEL
19	ALT #1 CONCRETE BOARDER AROUND PERMEABLE PAVERS
20	TRASH/RECYCLING ENCLOSURE
21	42" TALL FENCE FOR SEASONAL EATING AREA

No.	Description	Date

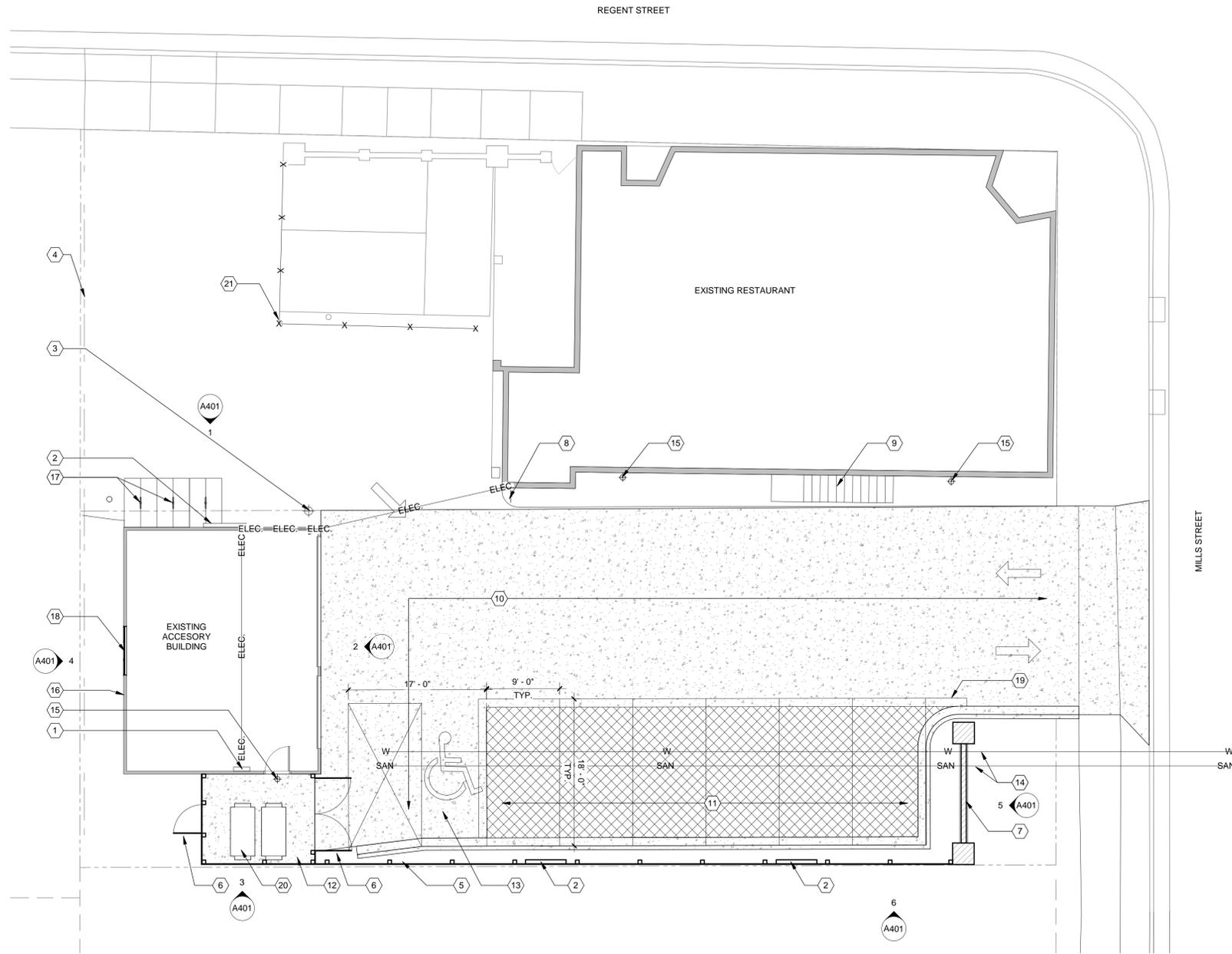
HONG KONG CAFE
CONDITIONAL USE
ALTERATION

2 S MILLS ST,
MADISON, WI 53715

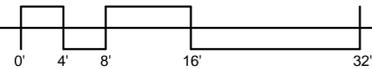
ARCHITECTURAL
SITE PLAN

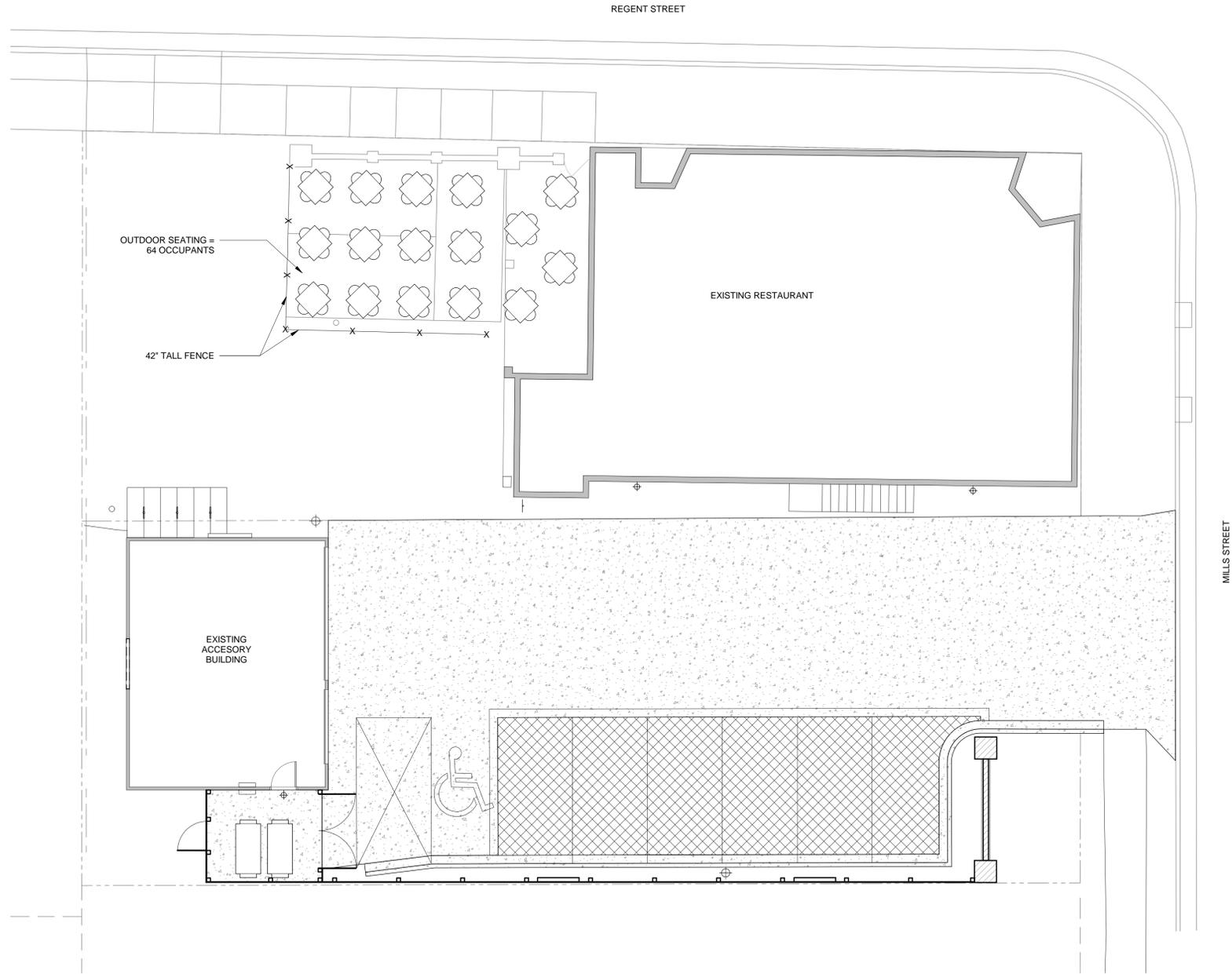
NOT FOR CONSTRUCTION	
Project number	HKC-18-01
Date	10/31/2018

A100



NORTH
1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"





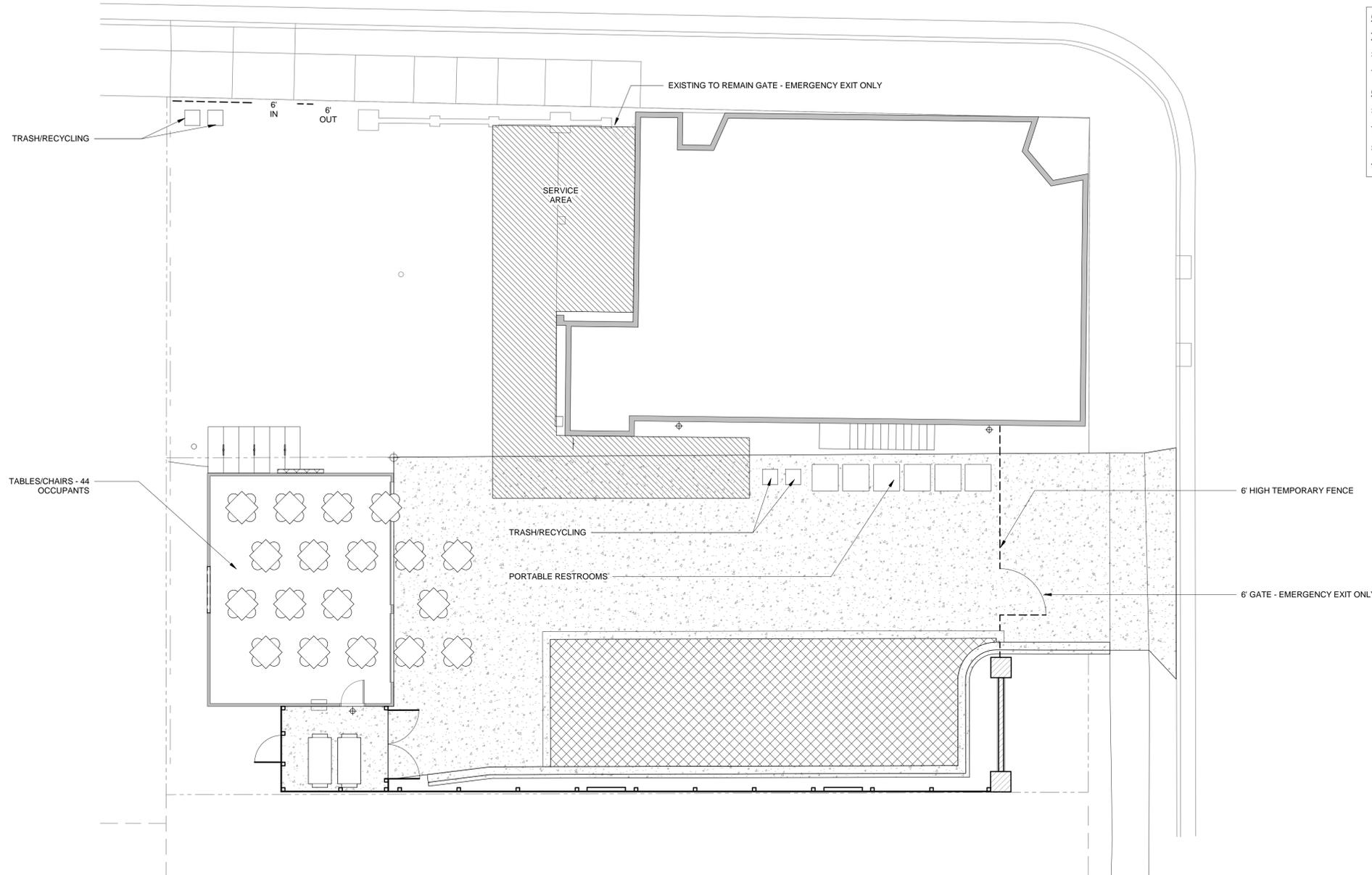
NORTH
1 SUMMER SITE PLAN
1/8" = 1'-0"

No.	Description	Date

**HONG KONG CAFE
CONDITIONAL USE
ALTERATION**

2 S MILLS ST,
MADISON, WI 53715
SUMMER SITE PLAN

NOT FOR CONSTRUCTION
Project number HKC-18-01
Date 10/31/2018

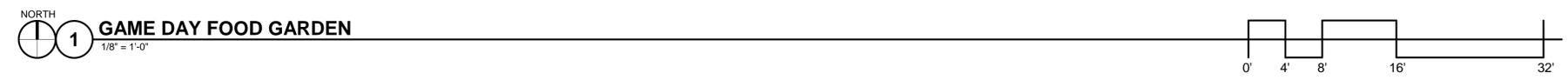


OUTDOOR AREA STATISTICS

TOTAL AREA:
STANDING ROOM: 4420 SF
TABLES/CHAIRS: 1086 SF

OCCUPANCY CALCULATIONS:
STANDING ROOM: 4420 SF @ 1 PER 5 SF: 884 OCCUPANTS
TABLES/CHAIRS: 1086 SF @ 1 PER 25 SF: 44 OCCUPANTS
STAFF TOTAL (OPEN AND SERVICE AREAS): 10 OCCUPANTS
TOTAL OCCUPANTS: 884 + 44 + 10 = 938 OCCUPANTS

No.	Description	Date



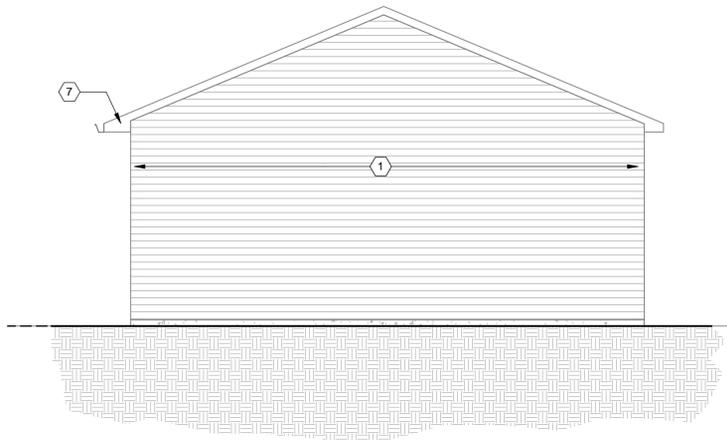
**HONG KONG CAFE
CONDITIONAL USE
ALTERATION**

2 S MILLS ST,
MADISON, WI 53715

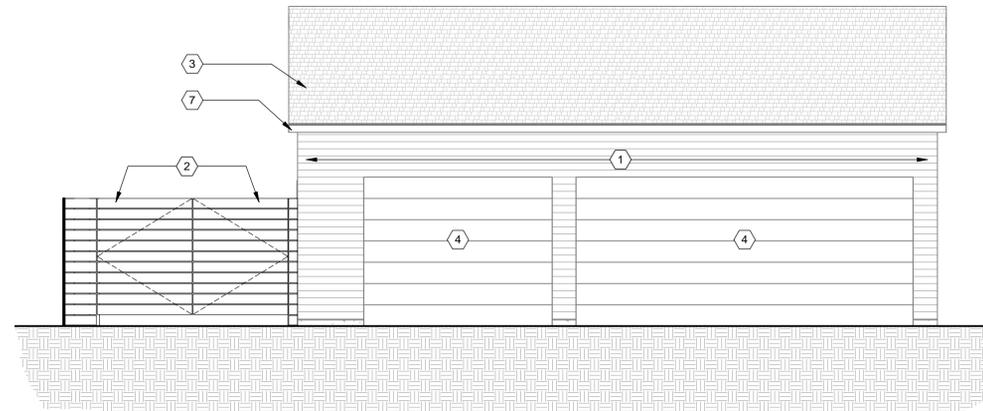
**GAME DAY SITE
PLAN**

NOT FOR CONSTRUCTION

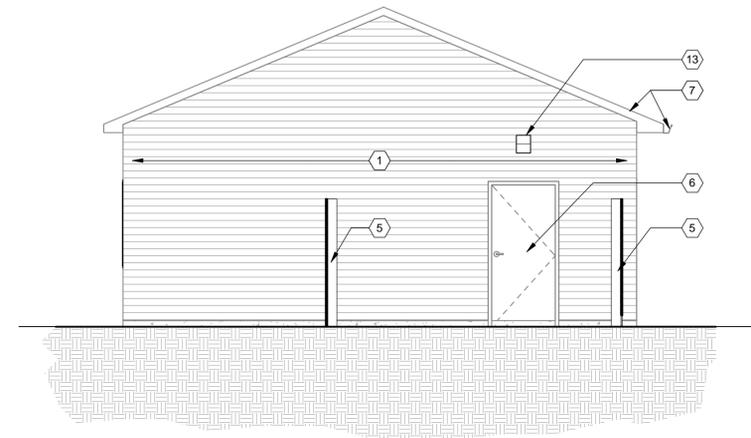
Project number HKC-18-01
Date 10/31/2018



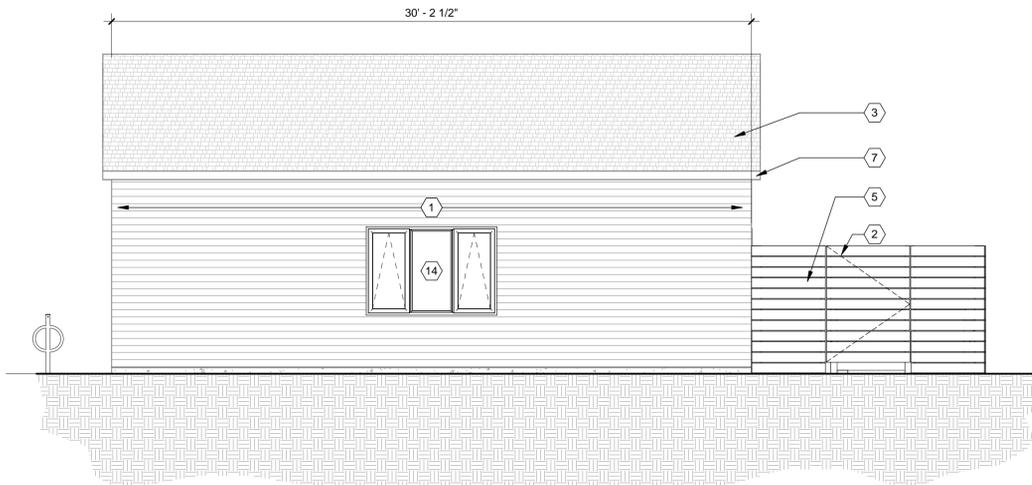
1 NORTH GARAGE ELEVATION
1/4" = 1'-0"



2 EAST GARAGE ELEVATION
1/4" = 1'-0"

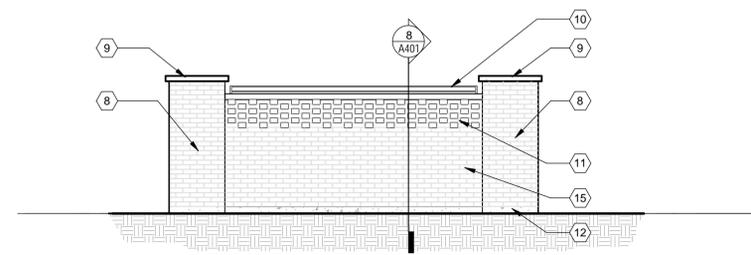


3 SOUTH GARAGE ELEVATION
1/4" = 1'-0"

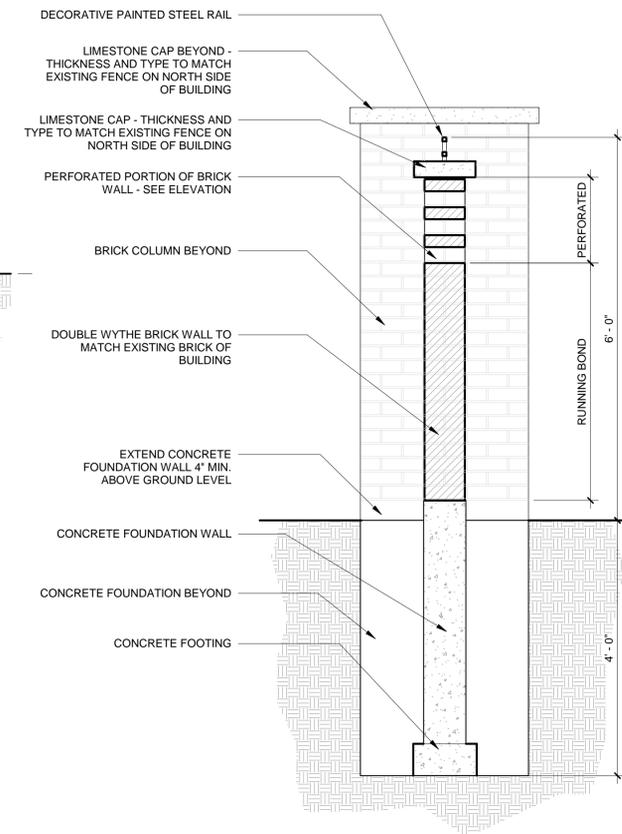


4 WEST GARAGE ELEVATION
1/4" = 1'-0"

KEYED NOTES	
1	NEW CEMENT BOARD LAP SIDING
2	6' HIGH CEDAR TRASH ENCLOSURE GATE W/ HORIZONTAL FENCE BOARDS
3	EXISTING ASPHALT SHINGLES TO REMAIN
4	EXISTING OVERHEAD GARAGE DOORS TO REMAIN - PAINTED TO MATCH NEW SOFFIT AND FASCIA COLOR
5	6' HIGH CEDAR FENCE W/ HORIZONTAL FENCE BOARDS
6	EXISTING HOLLOW METAL DOOR TO REMAIN - PAINTED TO MATCH NEW SOFFIT AND FASCIA COLOR
7	NEW SOFFIT, FASCIA, GUTTER AND DOWNSPOUT
8	COLUMN - BRICK TO MATCH EXISTING BUILDING
9	LIMESTONE CAP
10	DECORATIVE PAINTED STEEL RAIL
11	PERFORATED BRICK WALL - LEAVE 4 1/2" GAP BETWEEN BRICKS - BRICK TO MATCH EXISTING BUILDING
12	TOP OF CONCRETE FOUNDATION WALL
13	NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE
14	NEW TRIPLE CASEMENT WINDOW - FIXED CENTER WINDOW
15	DOUBLE WYTHE BRICK WALL TO MATCH EXISTING BRICK OF BUILDING



5 BRICK FENCE ELEVATION
1/4" = 1'-0"



8 BRICK FENCE SECTION
3/4" = 1'-0"

No.	Description	Date

HONG KONG CAFE
CONDITIONAL USE
ALTERATION

2 S MILLS ST,
MADISON, WI 53715

**ENLARGED PLANS,
ELEVATIONS, AND
DETAILS**

NOT FOR CONSTRUCTION
Project number HKC-18-01
Date 10/31/2018

A401

6 SOUTH CEDAR FENCE ELEVATION
1/4" = 1'-0"

