

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # 04092

DATE SUBMITTED: <u>JULY 5, 2006</u>	<input type="checkbox"/> Action Requested	COMMENTS REQUESTED AT
UDC MEETING DATE: <u>JULY 12, 2006</u>	<input type="checkbox"/> Informational Presentation	THE REQUEST OF ALD.
	<input type="checkbox"/> Initial Approval and/or Recommendation	<u>VERVEER</u>
	<input type="checkbox"/> Final Approval and/or Recommendation	

PROJECT ADDRESS: 203 WISCONSIN AVENUE
ALDERMANIC DISTRICT: #4

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
FIRST UNITED METHODIST CHURCH STRANG INC
203 WISCONSIN AVE 10411 MINERAL POINT ROAD
MADISON, WI 53703 MADISON, WI 53705

CONTACT PERSON: JON SANDEMAN
Address: 10411 MINERAL POINT ROAD
MADISON, WI 53705
Phone: 608 276 9200
Fax: 608 276 9204
E-mail address: sandeman@strang-inc.com

- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)

Other AT THE REQUEST OF ALDER VERVEER



*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Sheet Index

ARCHITECTURAL

TS1	TITLE SHEET
	COLOR PLAN – EXISTING
	COLOR PLAN – 1
	COLOR PLAN – 2
C204	EROSION CONTROL & GRADING PLAN
C205	DETAILS
L201	SITE PLANTING PLAN
A200	LOWER LEVEL FLOOR PLAN
A201	FIRST FLOOR PLAN
A202	SECOND FLOOR PLAN
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
	RENDERING – 1
	RENDERING – 2
E001	ELECTRICAL SITE PLAN

FIRST UNITED METHODIST CHURCH- DOWNTOWN EXPANSION

203 WISCONSIN AVENUE
MADISON, WISCONSIN

PROJECT #2003042

ARCHITECTURAL DESIGN &
MECHANICAL ENGINEERING

STRANG, INC.

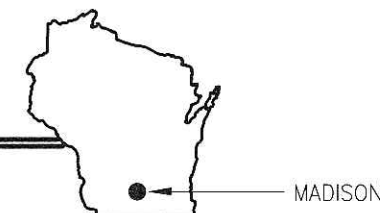


ARCHITECTURE
ENGINEERING
INTERIOR DESIGN

STRANG INC.
6411 MINERAL POINT ROAD
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F/ 608 278 9204



Site Location Map



DRAWING SET	CD
COPYRIGHT	00-00-00
STRANG, INC.	
FILE NAME	2003042-TS01-DWG.
REVISIONS	
DRAWN	DR
CHECKED	MG/JDS
DATE	00-00-00
PROJECT NO.	2003042
PROJECT TITLE	

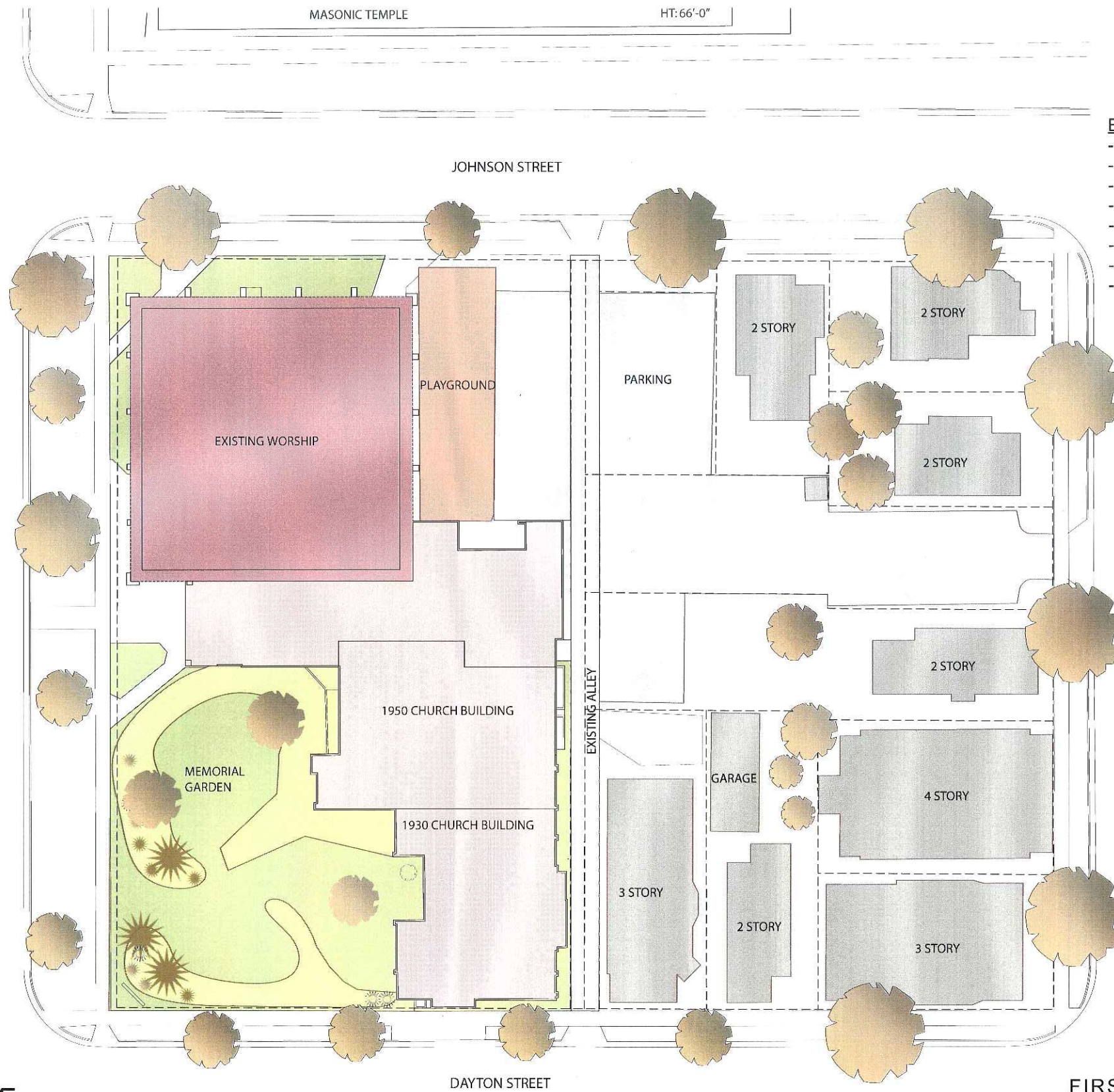
FIRST UNITED
METHODIST CHURCH
DOWNTOWN
EXPANSION

203 WISCONSIN AVENUE
MADISON, WISCONSIN

SHEET TITLE
TITLE SHEET

SHEET NO.
TS01

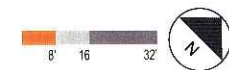
BETHEL BUILDING HEIGHTS
 BELL TOWER 77'-0"
 SANCTUARY 55'-0"
 EDUCATION WING 33'-0"



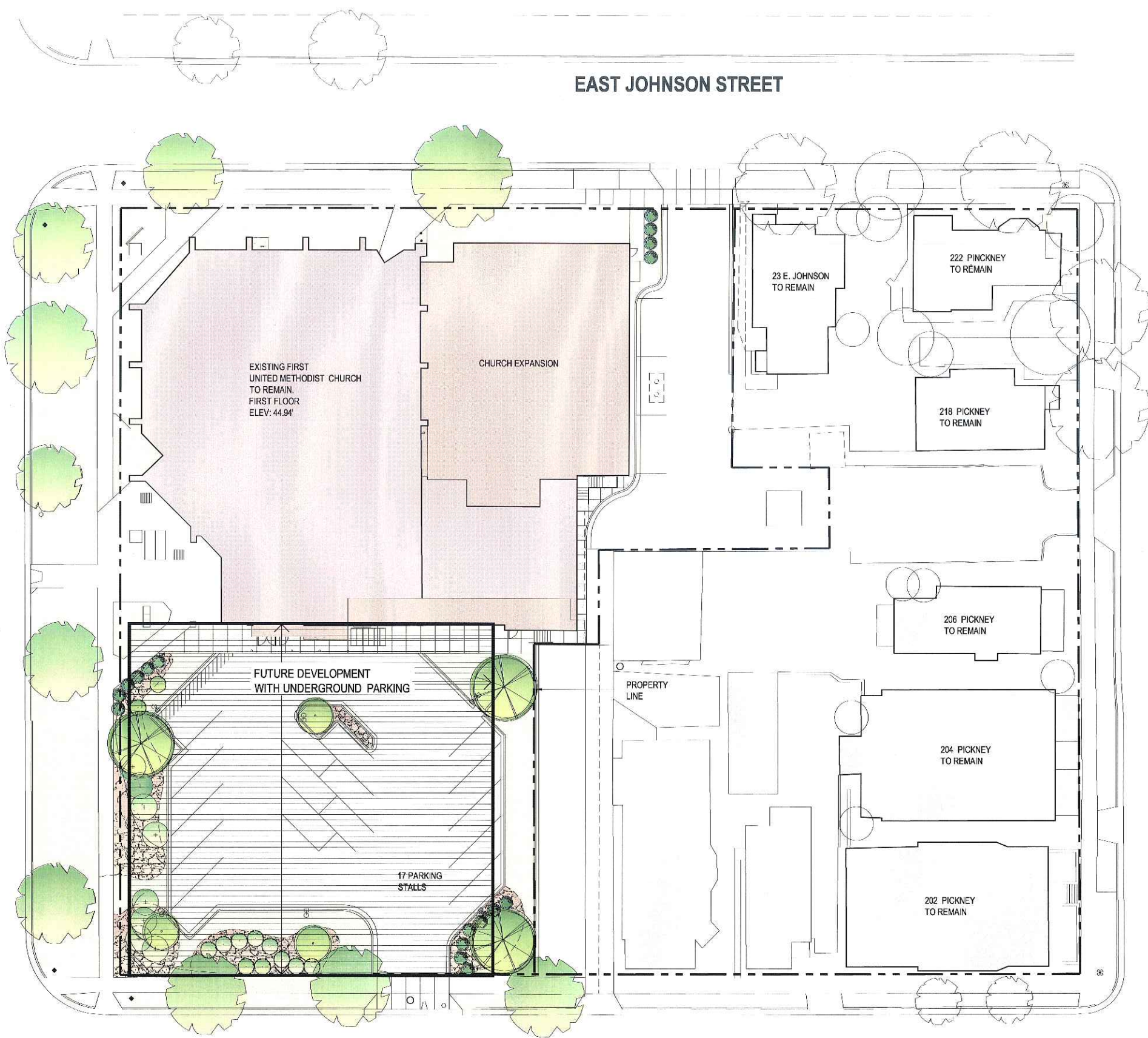
- Existing Site Plan**
- Need for civic presence on Wisconsin Ave.
 - Memorial garden - Transitional use
 - Traffic circulation
 - Garbage and service access
 - Inefficient and insufficient parking
 - Fire Department access
 - Playground
 - Safety and lighting

ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN

MATC BUILDING
 HEIGHT: 84'-8"
 ←



FIRST UNITED METHODIST CHURCH
 EXISTING SITE PLAN



EAST JOHNSON STREET

WISCONSIN AVENUE

N. PINCKNEY STREET

E. DAYTON STREET

EXISTING FIRST
UNITED METHODIST CHURCH
TO REMAIN
FIRST FLOOR
ELEV: 44.94'

CHURCH EXPANSION

FUTURE DEVELOPMENT
WITH UNDERGROUND PARKING

17 PARKING
STALLS

23 E. JOHNSON
TO REMAIN

222 PINCKNEY
TO REMAIN

218 PICKNEY
TO REMAIN

206 PICKNEY
TO REMAIN

204 PICKNEY
TO REMAIN

202 PICKNEY
TO REMAIN

PROPERTY
LINE

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN



STRANG



FIRST UNITED METHODIST CHURCH
SITE PLAN

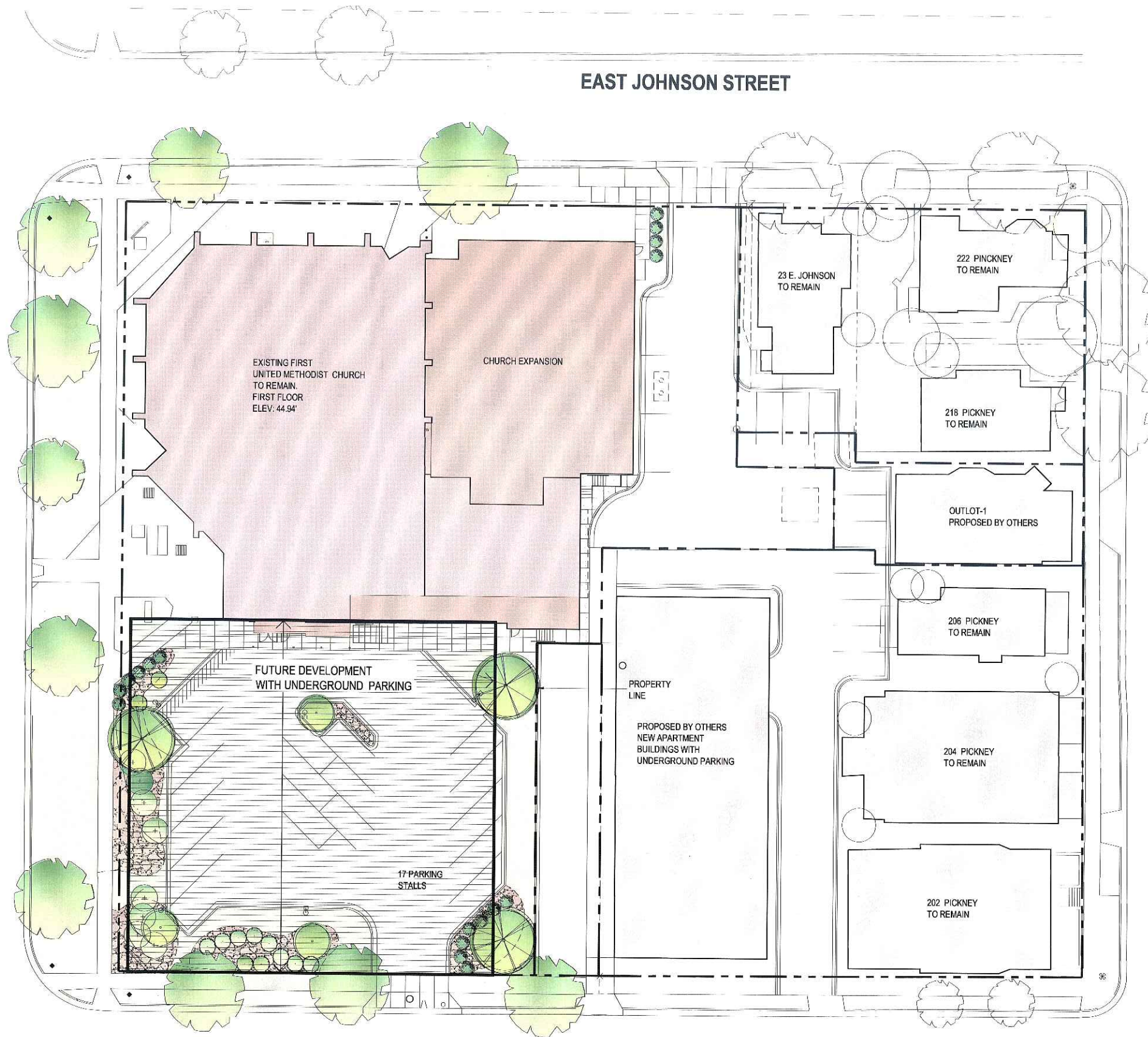
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN

WISCONSIN AVENUE

EAST JOHNSON STREET

N. PINCKNEY STREET

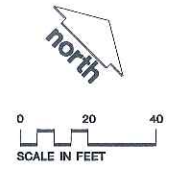
E. DAYTON STREET



FIRST UNITED METHODIST CHURCH
SITE PLAN

LEGEND

[Symbol]	BUILDING LINE
[Symbol]	PROPERTY LINE
[Symbol]	SEALMENT LINE
[Symbol]	CONSTRUCTION ENTRANCE
[Symbol]	18" STANDARD CURB & GUTTER
[Symbol]	18" REJECT CURB & GUTTER
[Symbol]	CONCRETE SURFACE
[Symbol]	BITUMINOUS SURFACE
[Symbol]	SAW CUT
[Symbol]	PROPOSED SPOT GRADE
[Symbol]	CLEAN OUT
[Symbol]	EDGE OF PAVEMENT
[Symbol]	SIDEWALK
[Symbol]	TOP OF CURB
[Symbol]	TOP OF CONCRETE
[Symbol]	BOTTOM OF WALL
[Symbol]	TOP OF WALL



- GENERAL NOTES**
1. REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS NOTES AND LEGEND.
 2. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
 3. ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS (REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BMP'S.
 3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES FINING AN ESTABLISHED VEGETATIVE COVER.
 6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT DATED THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
 7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES IN ACCORDANCE WITH BMP'S.
 9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 A. EXCAVATED TRENCH MATERIALS ON THE UP-SIDE OF THE TRENCH.
 B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DRAINAGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
 10. STONE CHECK DAMS SHALL BE PLACED IN FRONT OF SILT FENCING IN ANY LOW AREA.
 11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
 12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.
 13. ALL SLOPES EXCEEDING 20% SHALL BE STAKED WITH EROSION CONTROL FABRIC. SEE SEEDING & GRADING NOTE 3.

- UTILITY NOTES**
1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
 3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 6. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
 7. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
 8. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DOT, DCDMA, AND WISCONSIN DNR.
 9. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 • EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 • DETERMINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 • VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 • NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 • NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 11. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 12. ANY SANITARY SEWER, SANITARY SEWER LATERALS, WATERMAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
 13. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 14. CONTRACTOR SHALL NOTIFY CITY OF MADISON PUBLIC WORKS A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.

- PAVING NOTES**
1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION" APPLICABLE TO THE CITY OF MADISON ORDINANCES.
 2. MINIMUM PAVEMENT DESIGN TO BE DETERMINED BY GEOTECHNICAL ENGINEER BASED UPON GEOTECHNICAL REPORT.

- GRADING AND SEEDING NOTES**
1. ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
 2. CONTRACTOR TO USE A SEEDING RATE OF 3.5 LBS. PER 1000 S.F. FOR TURF GRASSES.
 3. ALL SLOPES EXCEEDING 5:1, CONVEYING STORMWATER RUNOFF SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A ROOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
 4. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED.
 6. CONTRACTOR SHALL SCARIFY ALL COMPACTED PVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
 7. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TIMES THE SWALES AND DETENTION AREAS JUST PRIOR TO SEEDING TO PROMOTE INFILTRATION.
 8. CONTRACTOR SHALL WATER ALL NEWLY SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 9. PROPOSED DRAINAGE SWALES TO BE SEEDDED USING A WET-RETENTION BASIN MIX FOR CHANNEL SIDESLOPES UNLESS NOTED OTHERWISE.
 10. CONTRACTOR TO LINE DRAINAGE SWALES WITH CLASS II, TYPE B EROSION MAT.

**ARCHITECTURE
ENGINEERING
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JSD - Engineers • Surveyors
Junkins Survey & Design, Inc.

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(608) 486-5060

MILWAUKEE REGIONAL OFFICE
422 W22931 Nancy Court
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Milwaukee, Wisconsin 53186
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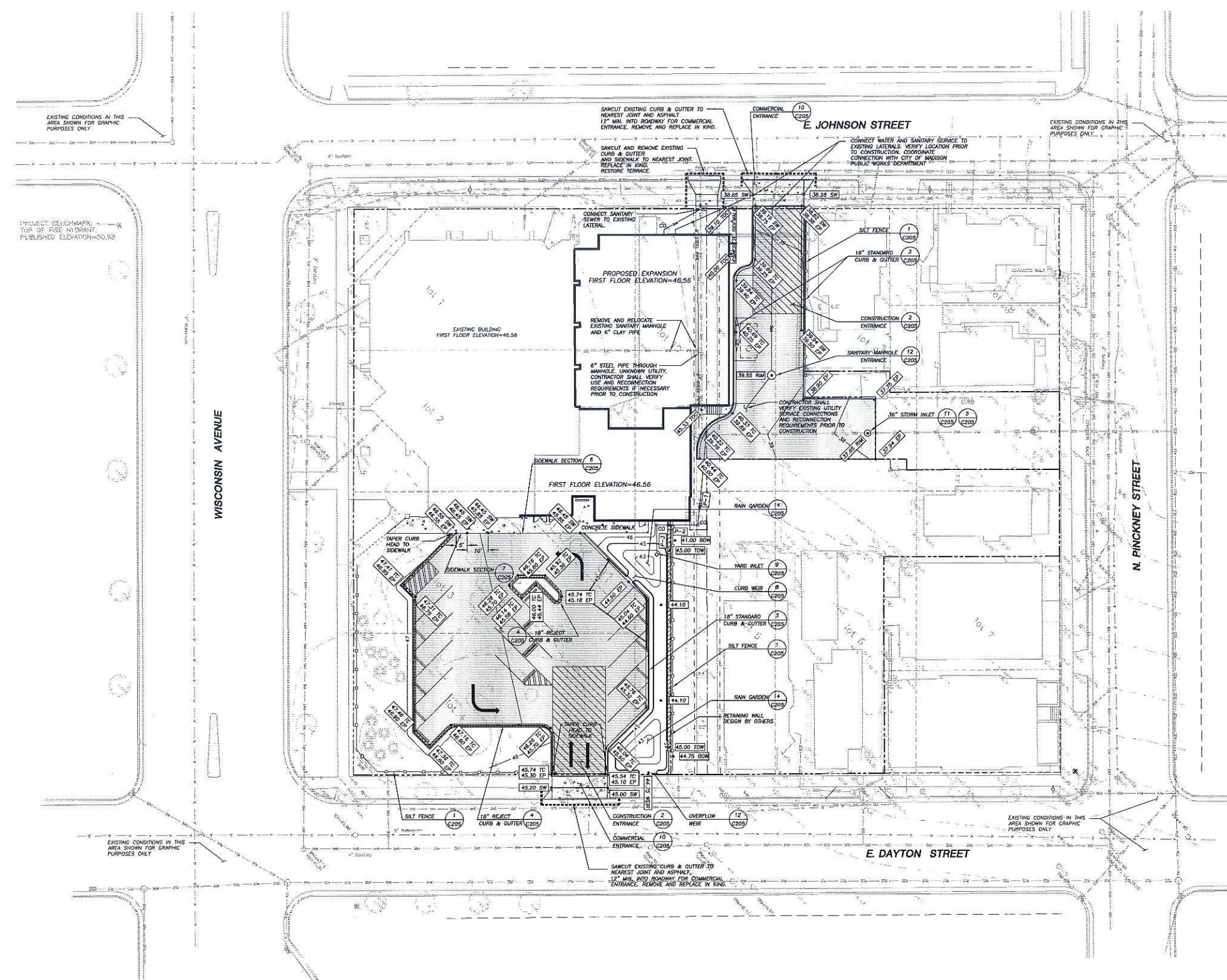
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DATE 5/10/06
PROJECT NO. 2003D42
PROJECT TITLE

**FIRST UNITED
METHODIST CHURCH
DOWNTOWN
EXPANSION**

203 WISCONSIN AVE
MADISON, WI

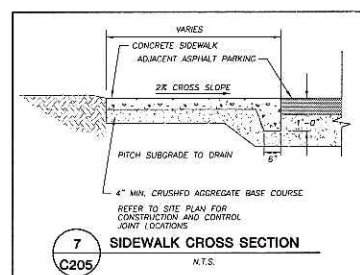
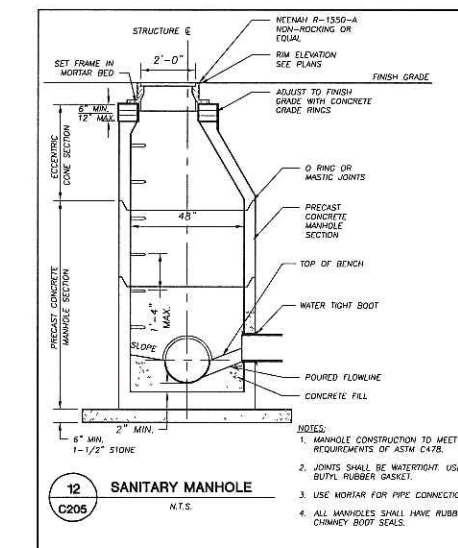
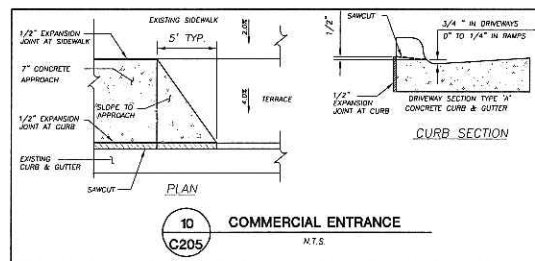
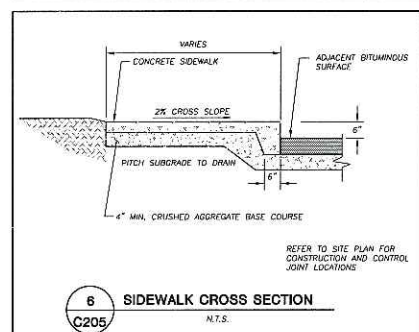
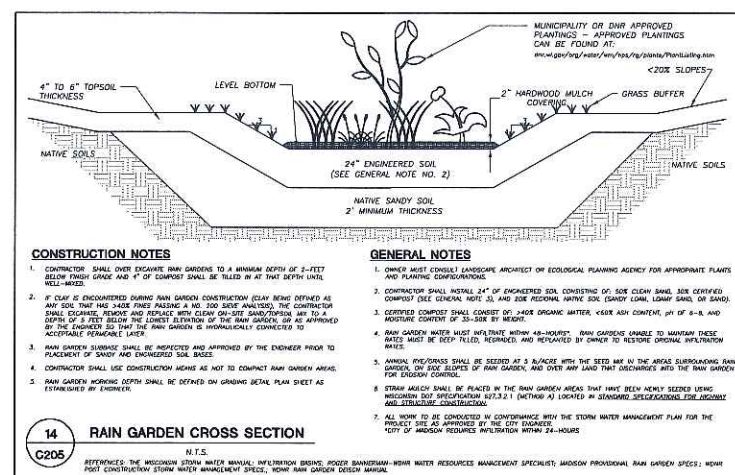
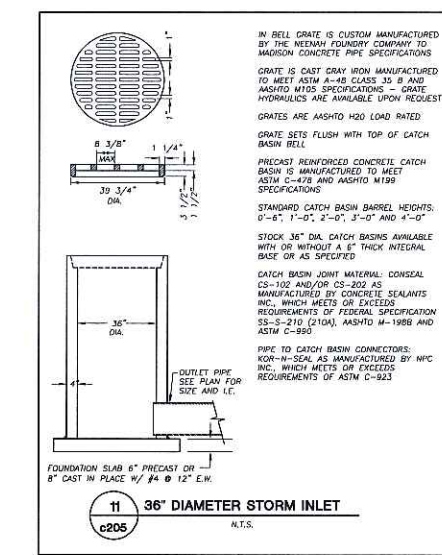
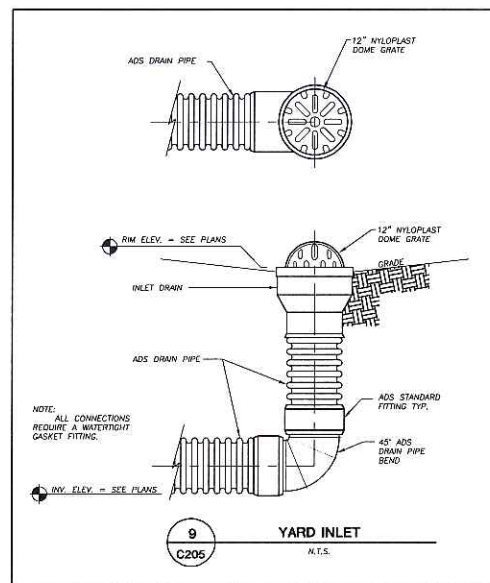
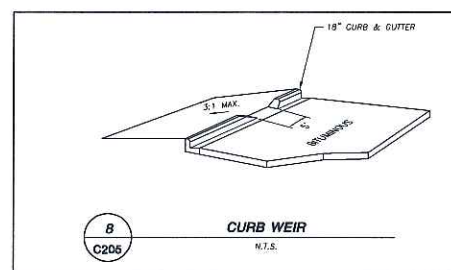
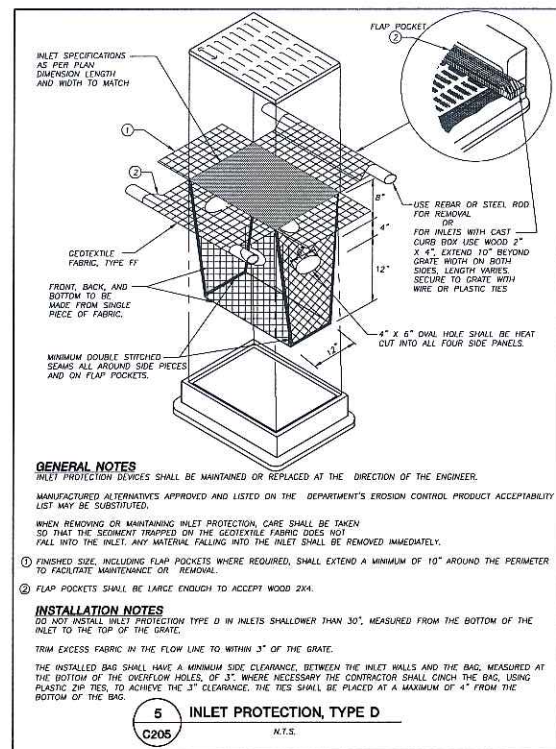
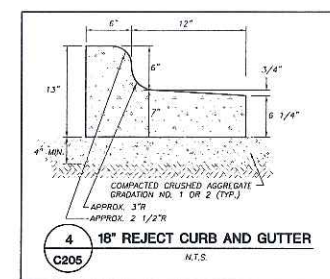
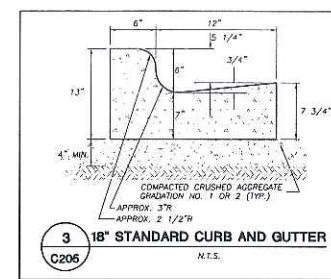
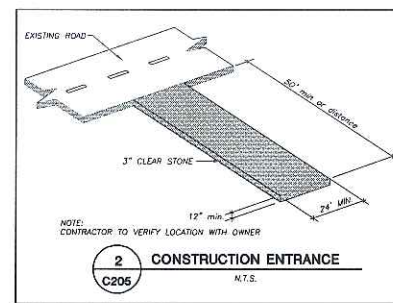
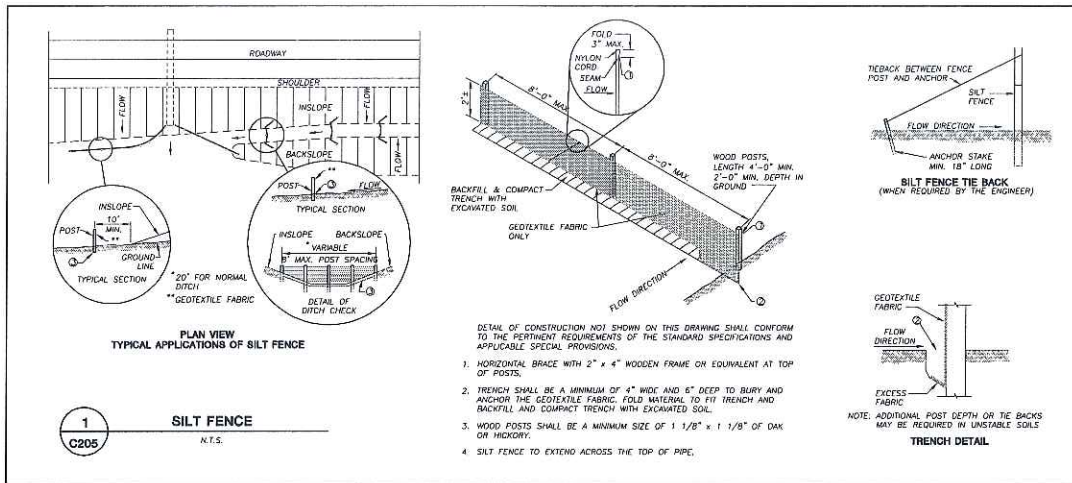
SHEET TITLE
**EROSION
CONTROL &
GRADING PLAN**
SHEET NO.
C204

REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION
DATE OF ISSUE MAY 10, 2006

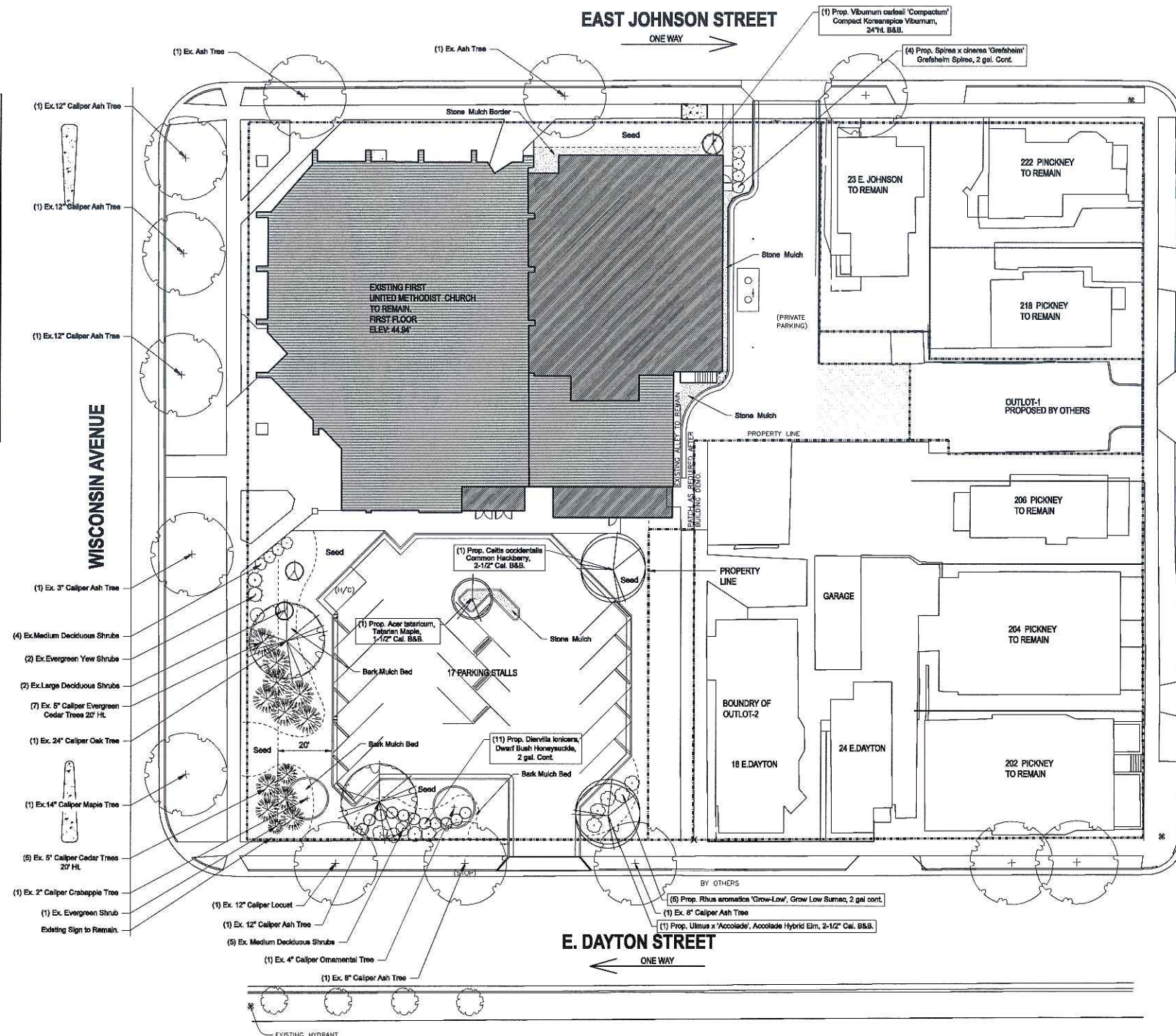


EXISTING CONDITIONS IN THIS AREA SHOWN FOR GRAPHIC PURPOSES ONLY

EXISTING CONDITIONS IN THIS AREA SHOWN FOR GRAPHIC PURPOSES ONLY



Landscape Worksheet				
First United Methodist Church				
Number of Parking Stalls	20			
Required Canopy Shade Trees	2			
Provided Shade Trees	4			
Landscape Points				
Element	Point Value	Points Quantity	Achieved Quantity	Credits Points
Canopy Tree 2" to 2-1/2"	35	2	70	0
Deciduous Shrub	2	16	32	7
Evergreen Shrub	3	0	0	0
Decorative Wall or Fence (per 10 ft.)	5	0	0	0
Earth Berm (per 10 ft.)				
Avg. Ht. 30"	5	0	0	0
Avg. Ht. 15"	2	0	0	0
Evergreen Trees 3" Ht. Min.	15	0	0	6
Canopy Tree or Small Tree 1-1/2 to 2" Caliper	15	1	15	2
		Sub Totals	117	134
		Total Points Required		98
		Total Points Provided		261



SITE PLANTING PLAN
 SCALE: 1/16" = 1'



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**FIRST UNITED
 METHODIST CHURCH
 DOWNTOWN
 EXPANSION**

203 WISCONSIN AVE
MADISON, WI

SHEET TITLE
SITE PLANTING PLAN

SHEET NO.
L201



STRANG

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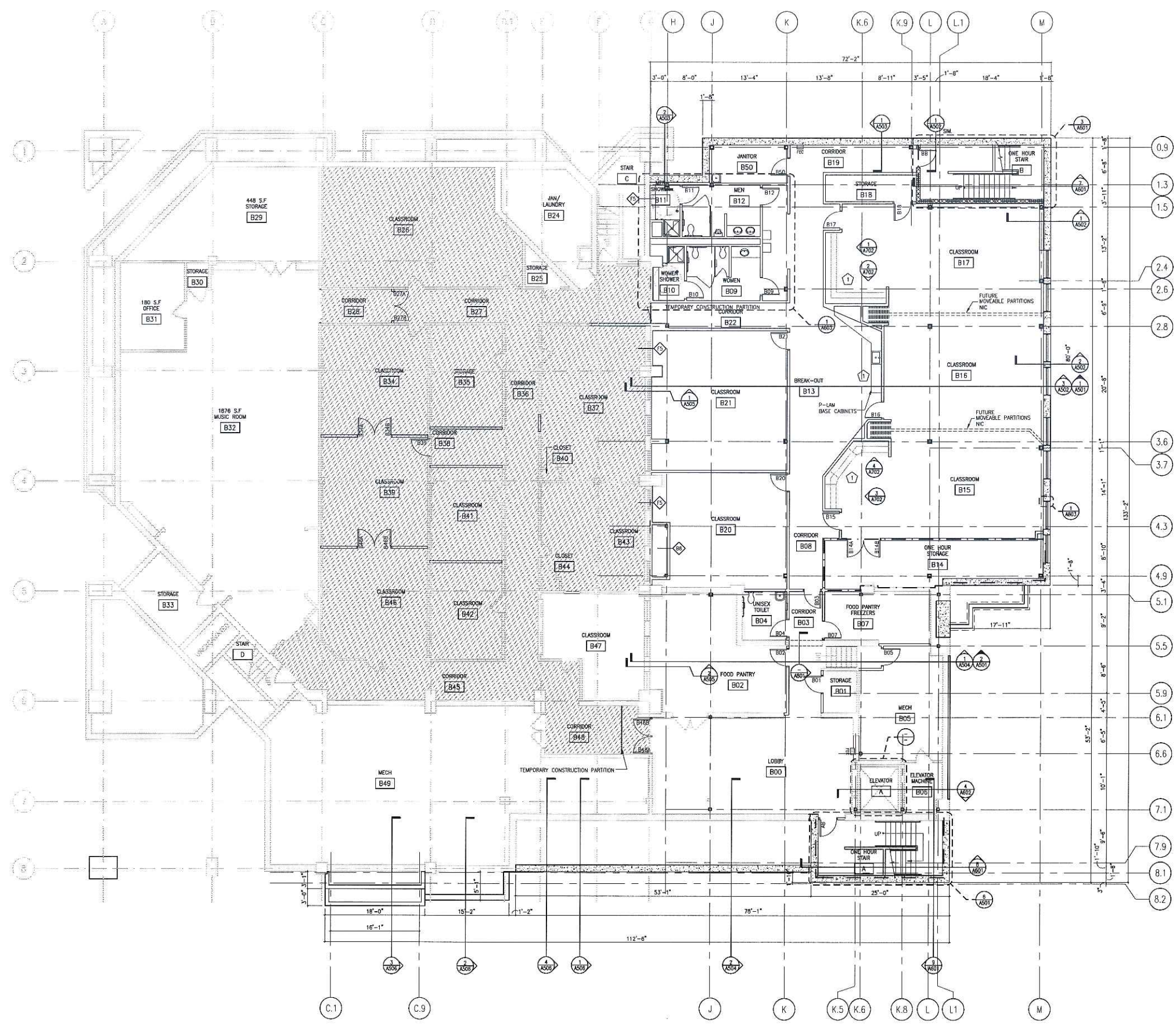
GENERAL NOTES

1. PROVIDE SOLID SURFACE WINDOW SILLS AT ALL OPENINGS.
2. MODIFY ELEVATOR TO ACCOMMODATE NEW FLOOR HEIGHTS AND TRAVEL DISTANCE.
3. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL OR CENTERLINES. ALL WALL THICKNESS DIMENSIONS ARE NOMINAL. SEE WALL SECTIONS AND PARTITION TYPE SECTIONS FOR CONSTRUCTION.
4. ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRESTOPPED AND/OR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.
5. ALL PARTITIONS SHALL BE TYPE B6 U.N.O. SEE DRAWING A001 FOR PARTITION TYPES.
6. HOLD DOOR FRAMES 2" FROM ADJACENT WALLS, U.N.O.
7. PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED ACCESSORIES, EQUIPMENT & CABINETS AS REQUIRED- INCLUDING OWNER ITEMS.

ALL WORK IN SHADED AREA IS TO BE INCLUDED AS ALTERNATE #1

SPECIFIC PLAN NOTES

- 1 24" DEEP PLAM BASE CABINETS W/ 12" DEEP PLAM WALL CABINETS



N
1
A200
LOWER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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FILE NAME	2003042-A200-DWG.
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PROJECT NO.	2003042
PROJECT TITLE	

**FIRST UNITED
METHODIST CHURCH
DOWNTOWN
EXPANSION**

203 WISCONSIN AVENUE
MADISON, WISCONSIN

SHEET TITLE

**LOWER LEVEL
FLOOR PLAN**

SHEET NO.

A200



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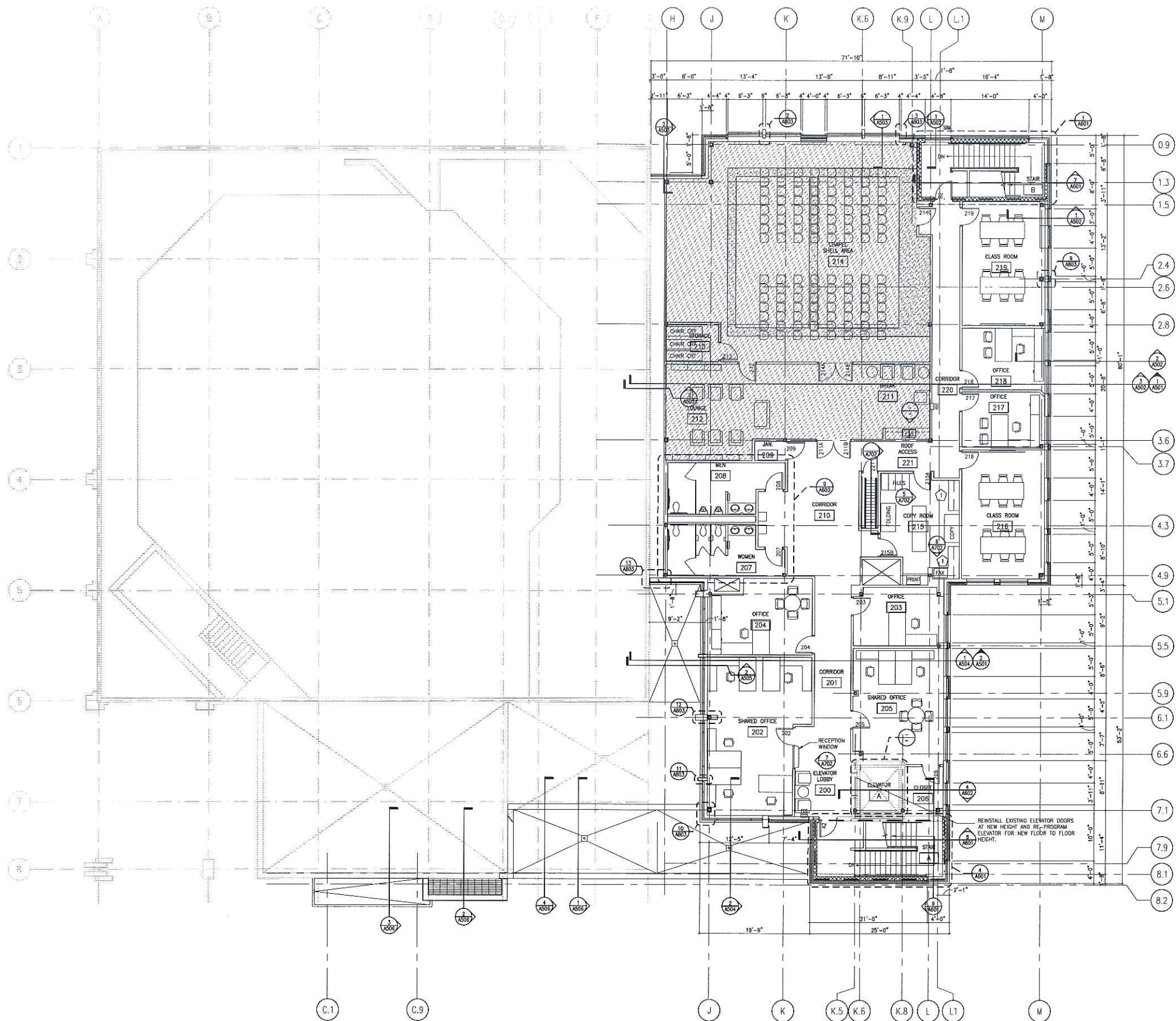
GENERAL NOTES

1. PROVIDE SOLID SURFACE WINDOW SILLS AT ALL OPENINGS.
2. ADJUST ELEVATOR TO ACCOMMODATE NEW FLOOR HEIGHTS AND TRAVEL DISTANCE.
3. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL OR CENTERLINES. ALL WALL THICKNESS DIMENSIONS ARE NOMINAL - SEE WALL SECTIONS AND PARTITION TYPE SECTIONS FOR CONSTRUCTION.
4. ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SLEEVED AND FIRESTOPPED AND VOR HAVE FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.
5. ALL PARTITIONS SHALL BE TYPE DR U.N.O. SEE DRAWING A201 FOR PARTITION TYPES.
6. HOLD DOOR FRAMES 2" FROM ADJACENT WALLS, U.N.O.
7. PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED ACCESSORIES, EQUIPMENT & CABINETS AS REQUIRED, INCLUDING OWNER ITEMS.

ALL WORK IN SHADED AREA IS TO BE INCLUDED AS ALTERNATE #2

SPECIFIC PLAN NOTES

- 17 24" DEEP PLUM BASE CABINETS W/ 12" DEEP PLUM WALL CABINETS



N

SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DRAWING SET C

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REVISIONS

DRAWN DR

CHECKED MG

DATE 00-00-00

PROJECT NO. 2003042

PROJECT TITLE

**FIRST UNITED
METHODIST CHURCH
DOWNTOWN
EXPANSION**

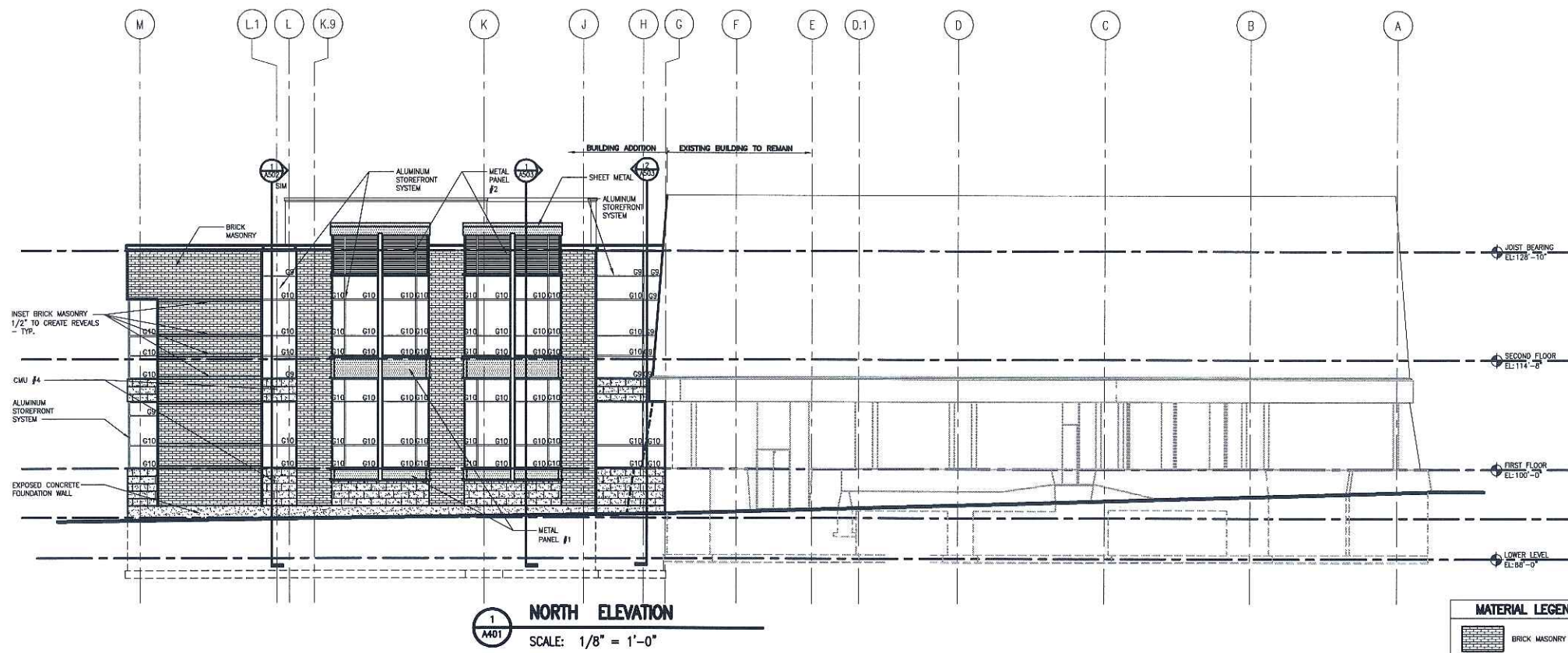
203 WISCONSIN AVENUE
MADISON, WISCONSIN

SHEET TITLE

SECOND FLOOR PLAN

SHEET NO.

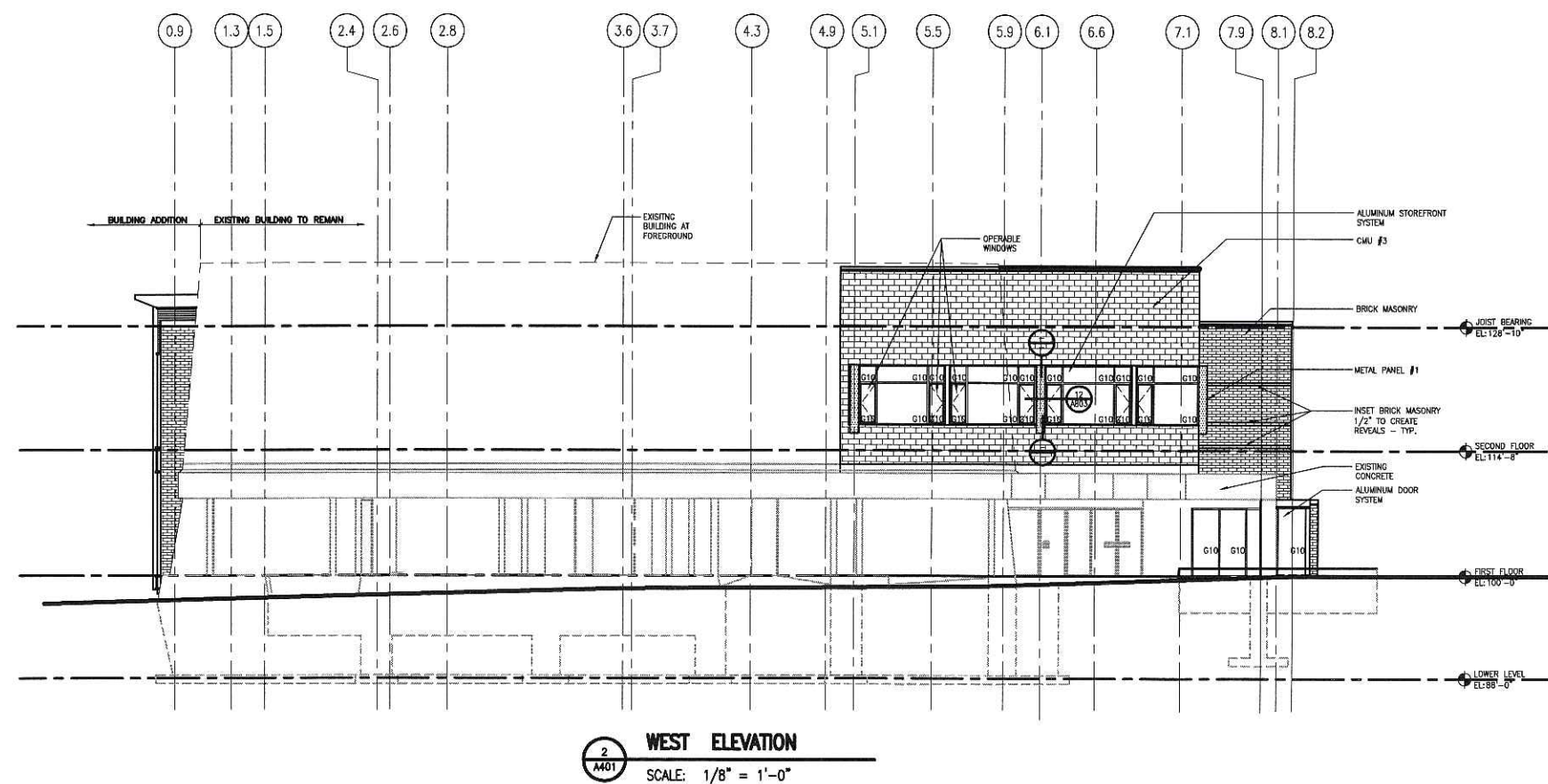
A202



MATERIAL LEGEND

	BRICK MASONRY
	METAL PANEL #1
	METAL PANEL #2
	CMU #1
	CMU #2
	CMU #3
	CMU #4

GLASS: ALL GLASS TO BE TYPE G10 UNLESS NOTED OTHERWISE



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PROJECT TITLE
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EXPANSION**

203 WISCONSIN AVENUE
MADISON, WISCONSIN

SHEET TITLE
**EXTERIOR
ELEVATIONS**

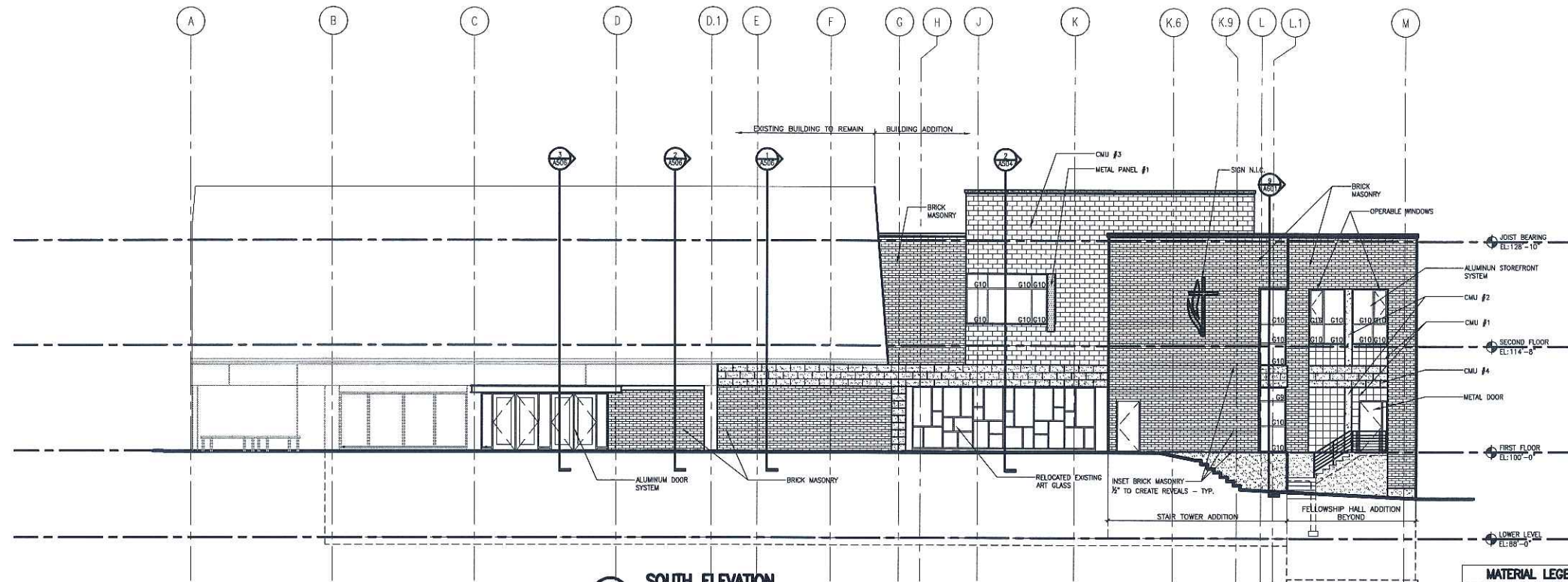
SHEET NO.
A401



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1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND	
	BRICK MASONRY
	METAL PANEL #1
	METAL PANEL #2
	CMU #1
	CMU #2
	CMU #3
	CMU #4

GLASS: ALL GLASS TO BE TYPE G10 UNLESS NOTED OTHERWISE



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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203 WISCONSIN AVENUE
MADISON, WISCONSIN

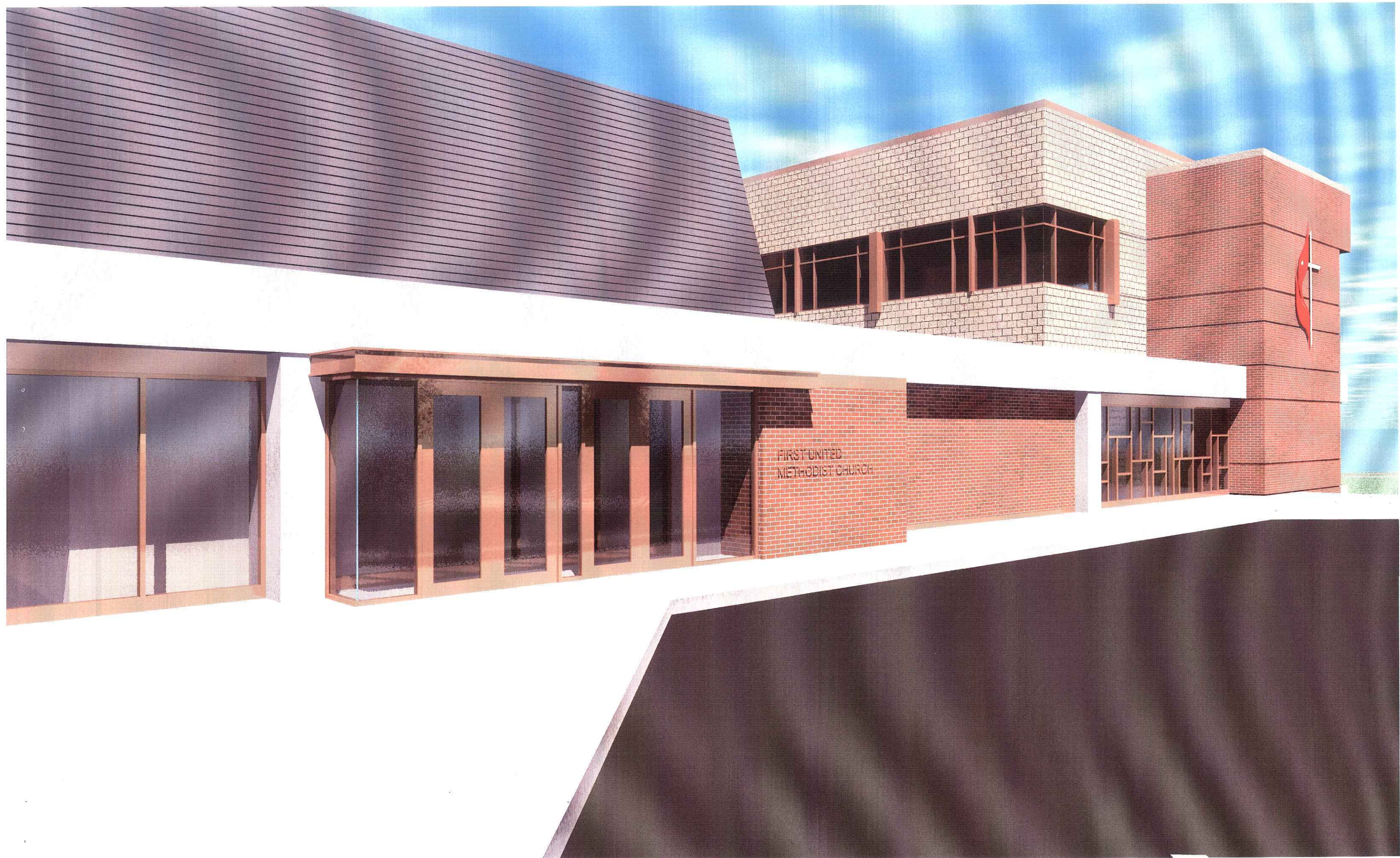
SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NO.

A402





FIRST UNITED
METHODIST CHURCH

EAST JOHNSON STREET



WISCONSIN AVENUE

N. PINCKNEY STREET

CHURCH EXPANSION

BOUNDRY OF OUTLOT-1

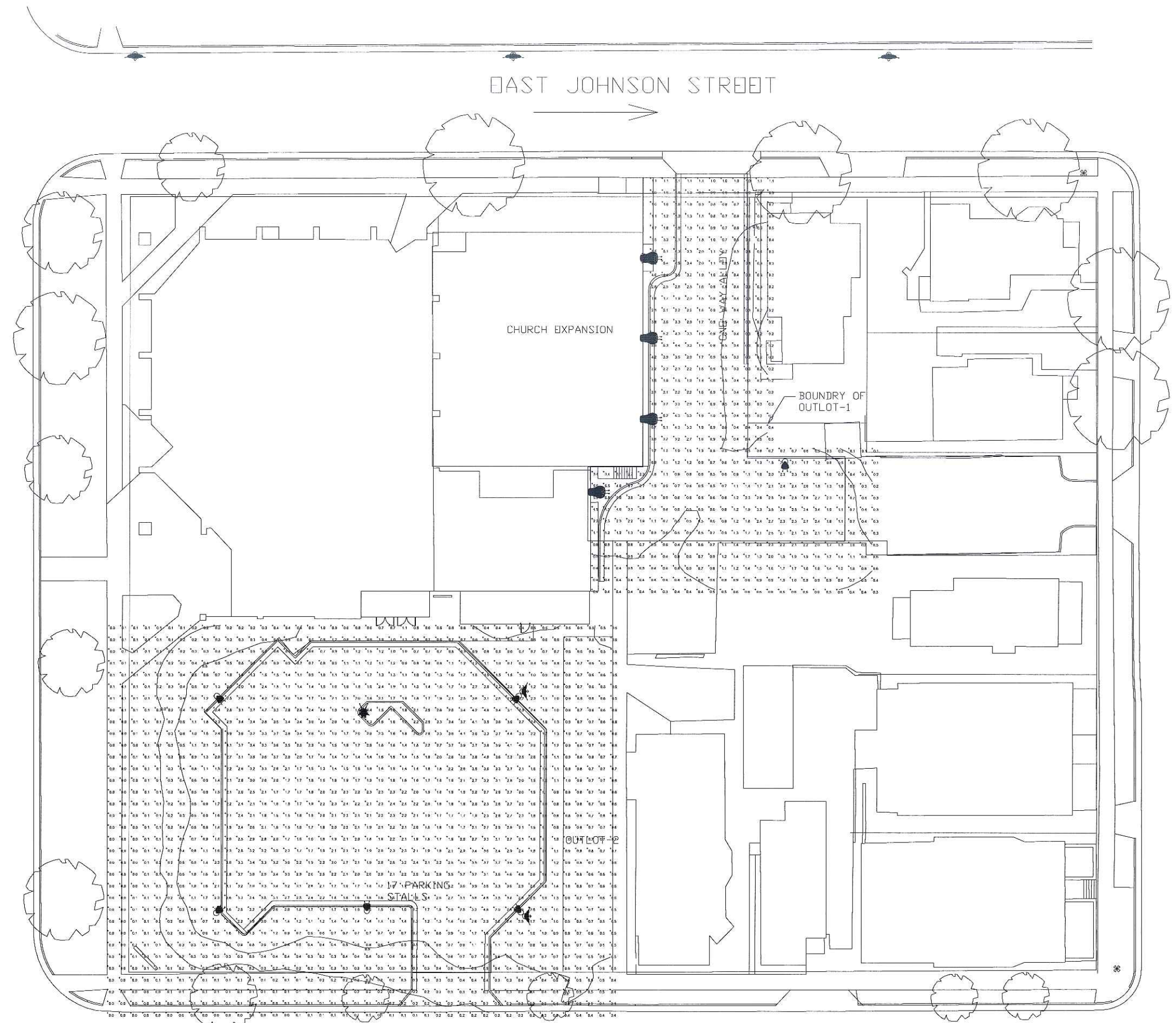
ONE WAY DRIVE

WALK

17 PARKING STALLS

OUTLOT-2

E. DAYTON STREET



LUMINAIRE LOCATIONS

No.	Label	Location			MH	Orientation	Tilt	Aim		
		X	Y	Z				X	Y	Z
1	I	424.8	301.8	22.5	22.5	225.0	0.0	424.8	301.8	0.0
2	I	425.6	228.2	22.5	22.5	-45.0	0.0	425.6	228.2	0.0
3	I	373.1	228.7	30.0	30.0	0.0	0.0	373.1	228.7	0.0
4	F	371.8	296.2	22.5	22.5	180.0	0.0	371.8	296.2	0.0
5	K	467.7	451.1	17.0	17.0	90.0	0.0	467.7	451.1	0.0
6	K	467.7	423.9	17.0	17.0	90.0	0.0	467.7	423.9	0.0
7	K	467.7	396.2	17.0	17.0	90.0	0.0	467.7	396.2	0.0
8	I	515.9	381.7	22.5	22.5	180.0	5.0	515.9	379.8	0.0
9	K	449.8	371.3	17.0	17.0	90.0	0.0	449.8	371.3	0.0
10	L	426.2	303.5	52.5	30.0	90.0	0.0	426.2	303.5	22.5
11	L	427.3	226.8	52.5	30.0	90.0	0.0	427.3	226.8	22.5
12	M	293.1	520.3	30.0	30.0	180.0	0.0	293.1	520.3	0.0
13	M	422.6	520.3	30.0	30.0	180.0	0.0	422.6	520.3	0.0
14	M	551.1	520.3	30.0	30.0	180.0	0.0	551.1	520.3	0.0
15	M	195.2	473.4	30.0	30.0	90.0	0.0	195.2	473.4	0.0
16	I	321.6	301.8	22.5	22.5	135.0	0.0	321.6	301.8	0.0
17	I	321.6	228.0	22.5	22.5	45.0	0.0	321.6	228.0	0.0



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POWER DENSITY STATISTICS

Name	# Luminaires	Total Watts	Area	Density
Power Density Zone # 1	6	750.0 W	10186.3 ft²	0.1 W/ft²
Power Density Zone # 2	5	625.0 W	5858.2 ft²	0.1 W/ft²

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	F	1	MSQL	TYPE VS DIST	100 WATT MH, ED17, CLEAR	AR20005.ies	6000	1.00	125
	I	6	MSQL	TYPE III DIST (FF)	100 WATT MH, ED17, CLEAR	AR20011.ies	6000	1.00	125
	K	4	TWAC 100M	SPECIFICATION BUILDING MOUNTED LUMINAIRE, 100W MH, W/CLEAR LAMP.	ONE 100-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION.	III8359.ies	6000	1.00	125
	L	2	MSQL	Type III DIST	100 WATT MH, ED17, CLEAR	AR20001.ies	6000	1.00	125
	M	4	HPRY-GL-3-400	SITE/ROADWAY - TYPE III DISTRIBUTION	400 WATT HPS CL E-18	RY40H3PG.IE S	50000	1.00	400

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PROJECT NO. 2003042

PROJECT TITLE

FIRST UNITED
METHODIST CHURCH
DOWNTOWN
EXPANSION

203 WISCONSIN AVENUE
MADISON, WISCONSIN

SHEET TITLE

ELECTRICAL
SITE PLAN

SHEET NO.

E001