

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>1-14-09</u>	Action Requested
UDC MEETING DATE: <u>1-21-09</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: Parcels 1-5 @ Northwest corner of Park and Regent Streets

ALDERMANIC DISTRICT: 8

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
Thomas G. Degen Stuart LaRose
Degen & Associates, LLC Eppstein Uhen Architects, Inc.
3518 Blackhawk Drive 333 E. Chicago Street
Madison, WI 53705 Milwaukee, WI 53202

CONTACT PERSON: _____
Address: Stuart LaRose
Phone: (414) 291-8172
Fax: (414) 271-7794
E-mail address: stuartl@eua.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

**Regent Street Mixed-Use
Letter of Intent
To: The City of Madison Plan Commission**

The Regent Street Mixed-Use project – Apartment Housing and Retail, is located at the Northwest corner of Regent Street and North Park Street in Madison, Wisconsin. The site occupies parcels 1-5 within the corner and is located within aldermanic district 8. The density of 65 apartment units over approximately 4,200 square feet of retail space is consistent with the Regent Street South Campus – Neighborhood Plan for the property. The building height of 6-stories also conforms to the plan. We have met with the DAT committee in Madison over the past couple of months and we have had preliminary meetings with planning staff and traffic engineering. In addition, we have met with Alderpersons Eli Judge and Julie Kerr to discuss the design. The goal of the project is to offer an architecturally pleasing and quality constructed housing alternative for upperclassmen attending UW and young professionals in the Madison area.

1. The name of the project: Regent Street Mixed-Use
2. Construction schedule: Summer 2009 – July 2010
3. Description of existing conditions: A vacant Josie's Restaurant sits along Regent Street, with a surface parking lot at the Park & Regent intersection. Three existing wood frame single family homes exist along College Court on the north side of the site.
4. Owner: Park & Regent Development, LLC - Contact: Tom Degen
5. Contractor: CG Schmidt
6. Architect: Eppstein Uhen Architects, Inc. – Contact: Stuart LaRose, AIA
7. Landscape Architect: RA Smith/National - Contact: Tom Mortensen
8. Civil Engineer: JSD Professional Services, Inc. – Contact: Wade P. Wyse
9. Owner Representative: Tom Degen, Park & Regent Development, LLC
10. Uses of Building: 65 apartment units housed within floors 2 – 6, ranging in size from 588 SF to 1,533 SF. The project will be completed in one phase. Covered parking for approximately 53 cars will be provided for apartment renters and retail customers. 86 spaces for bicycle parking will be accommodated within the lower level parking and ground floor at Park Street. Common amenities include vending and laundry space on the housing floors.
11. Total gross square footage: 114,147 SF
12. Square footage (acreage) of the site: 0.42 acres – 18,457 SF
13. Total number of dwelling units = 65
14. Number of bedrooms per unit = One, two, three, four, and five bedroom units
15. Trash Removal: The facility management shall provide trash removal for the residents. A private trash hauler will be contacted to pick up trash on a recurring basis.
16. Snow removal and maintenance for project: Snow removal and maintenance is provided by the facility management.

Park & Regent Mixed-Use

ARCHITECTURAL	
A102	2ND FLOOR PLAN
A105	5TH FLOOR PLAN
CIVIL	
1 OF 1	LAND TITLE SURVEY
C200	GRADING, UTILITY & EROSION CONTROL PLAN
ARCHITECTURAL SITE	
AS100	SITE DEMOLITION / LANDSCAPE PLANS
ARCHITECTURAL	
A100	LOWER LEVEL & GROUND FLOOR PLANS
A101	LIVING FLOOR PLANS
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A202	CONTEXT PHOTOS
A203	3D VIEWS
ELECTRICAL	
E001	PHOTOMETRIC PLAN



eppstein uhen : architects

UDC SUBMITTAL

JANUARY 21, 2009

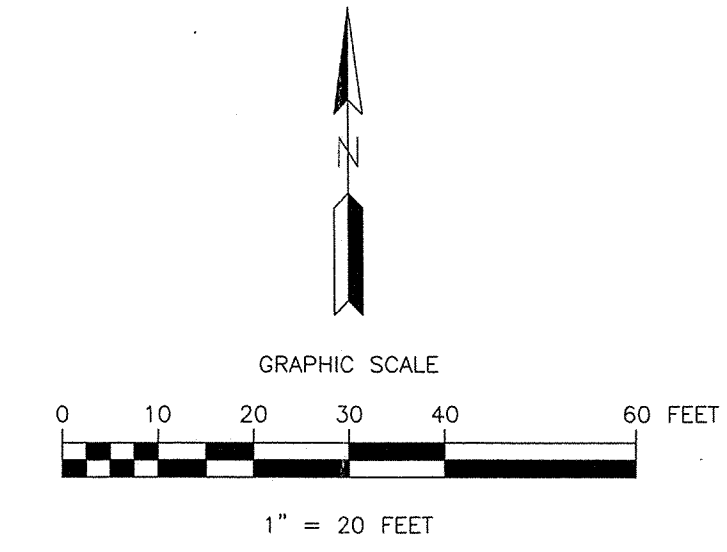
PROJECT NUMBER: 108347-02

ALTA/ACSM LAND TITLE SURVEY

The legal description and exceptions were taken from a Title Policy prepared by Lawyers Title Insurance Corporation bearing a Case No. of MA262631 with an effective date of May 01, 2007 at 5:59 am. This title policy was used as the sole source of record encumbrances and Mayo Corporation assumes no liability for errors or omissions therein.

PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
REGULAR	22
HANDICAP	0
TOTAL	22

TOTAL AREA
18,457 Square Feet
or
0.42 Acres



Legend of Symbols & Abbreviations

- | | | |
|-----------------------------|---------------------------|----------------------|
| — BOUNDARY LINE | ⊠ FLAG POLE | N - NORTH |
| — CENTERLINE | ⊠ GAS METER | S - SOUTH |
| - - - EXISTING EASEMENT | ⊠ ELECTRIC METER | E - EAST |
| - - - SECTION LINE | ⊠ SOIL BORING | W - WEST |
| - - - RIGHT-OF-WAY LINE | ⊠ DECIDUOUS TREE | NW - NORTHWEST |
| - - - WETLAND BOUNDARY | ⊠ PINE TREE | NE - NORTHEAST |
| - - - ABUTTING SURVEY | ⊠ HANDICAP PARKING | SW - SOUTHWEST |
| - - - SETBACK LINE | ⊠ POWER POLE | SE - SOUTHEAST |
| - - - UNDERGROUND ELECTRIC | ⊠ ROAD SIGN | SE - NORTHWESTERLY |
| - - - UNDERGROUND TELEPHONE | ⊠ WATER VALVE/GAS VALVE | NELY - NORTHEASTERLY |
| - - - UNDERGROUND CABLE TV | ⊠ HYDRANT | SWLY - SOUTHWESTERLY |
| - - - OVERHEAD ELECTRIC | ⊠ LIGHT POLE | SELY - SOUTHEASTERLY |
| - - - OVERHEAD TELEPHONE | ⊠ CATCH BASIN/INLET | SE - SOUTHWESTERLY |
| - - - OVERHEAD CABLE TV | ⊠ STORM MANHOLE | SELY - SOUTHEASTERLY |
| - - - SANITARY SEWER | ⊠ SANITARY MANHOLE | SE - SOUTHWESTERLY |
| - - - STORM SEWER | ⊠ BRUSH OR SHRUB | SE - NORTHWESTERLY |
| - - - WATER LINE | ⊠ UTILITY POLE GUY ANCHOR | NELY - NORTHEASTERLY |
| - - - GAS LINE | ⊠ SATELLITE DISH | SWLY - SOUTHWESTERLY |
| - - - FIBER OPTIC LINE | ⊠ VENT / SEPTIC VENT | SELY - SOUTHEASTERLY |
| - - - FORCE MAIN | ⊠ MAIL BOX | SE - SOUTHWESTERLY |
| - - - FENCE LINE | ⊠ UTILITY VAULT | SE - NORTHWESTERLY |
| - - - RAILROAD TRACKS | ⊠ TRAFFIC LIGHT | NELY - NORTHEASTERLY |
| - - - CONTOUR LINE | ⊠ CURB STOP | SWLY - SOUTHWESTERLY |
| - - - BRUSH LINE | ⊠ MONITORING WELL | SELY - SOUTHEASTERLY |
| - - - ACCESS RESTRICTION | ⊠ GUARD POST | SE - SOUTHWESTERLY |
| - - - CORPORATE BOUNDARY | ⊠ ELECTRIC PEDESTAL | SE - NORTHWESTERLY |
| | ⊠ CABLE TV PEDESTAL | SELY - SOUTHEASTERLY |
| | ⊠ TELEPHONE PEDESTAL | SE - SOUTHWESTERLY |

Legal Description

PARCEL 1:
PART OF LOTS 1 AND 2, BLOCK 5, CENTRAL HOME ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF LOT 1, BLOCK 5, CENTRAL HOMES ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN; THENCE SOUTH 00°39'55" EAST, 13.27 FEET ALONG THE WEST LINE OF SAID LOT 1, BLOCK 5, TO THE POINT OF BEGINNING OF THE PROPERTY DESCRIBED; THENCE SOUTH 80°48'47" EAST, 8.04 FEET TO A POINT OF CURVE; THENCE ON A CURVE TO THE RIGHT, CONVEX TO THE NORTHEAST, HAVING A RADIUS OF 25 FEET AND A LONG CHORD THAT BEARS SOUTH 40°30'53" EAST, 32.34 FEET TO ITS POINT OF INTERSECTION WITH A LINE THAT IS PARALLEL TO AND 26.0 FEET EAST, AS MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID LOT 1; THENCE SOUTH 00°39'55" EAST, 40.0 FEET MORE OR LESS ALONG A LINE THAT IS PARALLEL TO AND 26.0 FEET EAST OF, MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID LOT 1 AND THE WEST LINE OF LOT 2 OF SAID BLOCK 5 TO THE SOUTH LINE OF SAID LOT 2; THENCE WESTERLY 26 FEET MORE OR LESS ALONG THE SOUTH LINE OF SAID LOT 2 TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE NORTH 00°39'55" WEST, 65 FEET MORE OR LESS ALONG THE WEST LINES OF SAID LOTS 1 AND 2 TO THE POINT OF BEGINNING.

ALSO, LOT 3, BLOCK 5, CENTRAL HOME ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPTING THEREFROM THAT PORTION OF SAID LOT 3, BLOCK 5, CONVEYED TO THE CITY OF MADISON BY WARRANTY DEED RECORDED MAY 1, 1972 AS DOCUMENT NUMBER 1324007.

PARCEL 2:
LOT 4, BLOCK 5, CENTRAL HOME ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPTING THEREFROM THAT PORTION OF SAID LOT 4, BLOCK 5, CONVEYED TO THE CITY OF MADISON BY WARRANTY DEED RECORDED MAY 1, 1972 AS DOCUMENT NUMBER 1324007.

PARCEL 3:
LOT 5, BLOCK 5, CENTRAL HOME ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PARCEL 4:
LOT 15, BLOCK 5, CENTRAL HOME ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PARCEL 5:
LOT 16, BLOCK 5, CENTRAL HOME ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ALSO, PART OF LOTS 17 AND 18, BLOCK 5, CENTRAL HOME ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 17, BLOCK 5, CENTRAL HOMES ADDITION; THENCE SOUTH 88° 48' EAST, 26.0 FEET ALONG THE NORTH LINE OF SAID LOT 17 TO ITS POINT OF INTERSECTION WITH A LINE THAT IS PARALLEL TO AND 26.0 FEET EAST OF, MEASURED AT RIGHT ANGLES TO, THE WEST LINE OF SAID LOT 17; THENCE SOUTH 11° 52' WEST, 53.19 FEET ALONG A LINE THAT IS PARALLEL TO AND 26.0 FEET EAST OF, MEASURED AT RIGHT ANGLES TO THE WEST LINE OF SAID LOT 17 AND LOT 18 OF SAID BLOCK 5 TO A POINT OF CURVE THAT IS 25.0 FEET NORTH OF, MEASURED AT RIGHT ANGLES TO, THE SOUTH LINE OF SAID LOT 17; THENCE ON A CURVE TO THE RIGHT, CONVEX TO THE SOUTHEAST, HAVING A RADIUS OF 25.0 FEET AND A LONG CHORD THAT BEARS SOUTH 46°11'30" WEST, 35.36 FEET TO THE SOUTH LINE OF LOT 18; THENCE NORTH 88°48'00" WEST, 0.99 FEET ALONG THE SOUTH LINE OF SAID LOT 18 TO THE WEST LINE OF SAID LOT 18; THENCE NORTH 01°11' EAST, 78.2 FEET ALONG THE WEST LINE OF SAID LOTS 17 AND 18 TO THE POINT OF BEGINNING.

Notes Corresponding to Schedule B

- [EXCEPTIONS 1 THRU 7 ARE GENERAL EXCEPTIONS ESTABLISHED BY THE TITLE COMPANY]
- Taxes for the year 2007 and subsequent years. Parcel No. 251-0709-232-2412-8; 251-0709-232-2411-0; 251-0709-232-2401-1; 251-0709-232-2402-9; and 251-0709-232-2403-7 [NOTHING TO PLOT]
 - Special taxes or assessments, if any. [NOTHING TO PLOT]
 - Title to any equipment, fixtures, appliances, tanks, machinery or installations, except such as is finally determined to be part of the insured premises, determination of which shall not be part of the obligation of the company. [NOTHING TO PLOT]
 - Rights or claims, if any, of tenant(s) in possession under unrecorded lease(s). [NOTHING TO PLOT]
 - Rights of tenants in possession including any rights to tenants fixtures owned by such tenants located on the demised premises and any liens on such tenants fixtures, and all parties having a lien on or claiming by, through or under the lessee, such parties and liens are not separately shown herein. [NOTHING TO PLOT]
 - Restrictions and conditions as set forth in Warranty Deed recorded April 27, 1972 as Document Number 1323777. [NOTHING TO PLOT]
 - Right of Way Grant to Wisconsin Telephone Company recorded June 19, 1972 as Document Number 1329928.
 - Right of Way Grant to Madison Gas and Electric Company, recorded October 2, 1984 as Document Number 1853330.
 - Restrictions as set forth in Deeds recorded in Vol. 256 of Deeds at Page 17 and in Vol. 256 of Deeds at Page 24. [DOCUMENT IS UNREADABLE]
 - Terms, conditions and restrictions as set forth in Deed recorded June 29, 1942 in Vol. 423 at Page 501. [DOCUMENT IS UNREADABLE]
 - Terms, conditions, restrictions, covenants and easements, if any, as set forth in a Land Contract recorded February 5, 1962 as Document Number 1041963. [NOTHING TO PLOT]
 - Restrictions and covenants as set forth in a Land Contract recorded July 13, 1971 as Document Number 1296511 and in Deed recorded July 10, 1975 as Document Number 1435998.
 - All matters, if any, affecting the subject premises as shown on the recorded Plat of Central Home Addition to the City of Madison.
- [] - SURVEYORS COMMENTS
● - PLOTTABLE EXCEPTIONS

Statement of Encroachments

- THE PLANTER AND CONCRETE WALL AT THE SOUTHEASTERLY CORNER OF THE PARCEL 5 APPEARS TO BE ENCRANCHING INTO THE PUBLIC RIGHT-OF-WAY.
- THE PUBLIC CONCRETE SIDEWALK ALONG THE EASTERLY LINES OF PARCEL 1 & 5 APPEARS TO BE ENCRANCHING INTO THE PROPERTY.
- THE PLANTER, CONCRETE WALL, CONCRETE BUMPER & ASPHALT PARKING LOT AT THE NORTHEASTERLY CORNER OF PARCEL 1 APPEARS TO BE ENCRANCHING INTO THE PUBLIC RIGHT-OF-WAY.

SURVEYOR'S CERTIFICATION

This survey is made for the benefit of and is certified to:

DEGEN & ASSOCIATES, LLC, FRANKLIN D. SCHUEPBACH, JOANNE V. MORRICK a/k/a JOANNE V. JENSEN, THE ESTATE OF JOHN J. SCHUEPBACH & LAWYERS TITLE INSURANCE CORPORATION.

I, Richard S. Lawrence, a Registered Land Surveyor in the State of Wisconsin, do hereby certify to the aforesaid parties, their successors and assigns, as of the date set forth hereon, that I have made a careful survey of the tract of land described and shown hereon.

I further certify that:

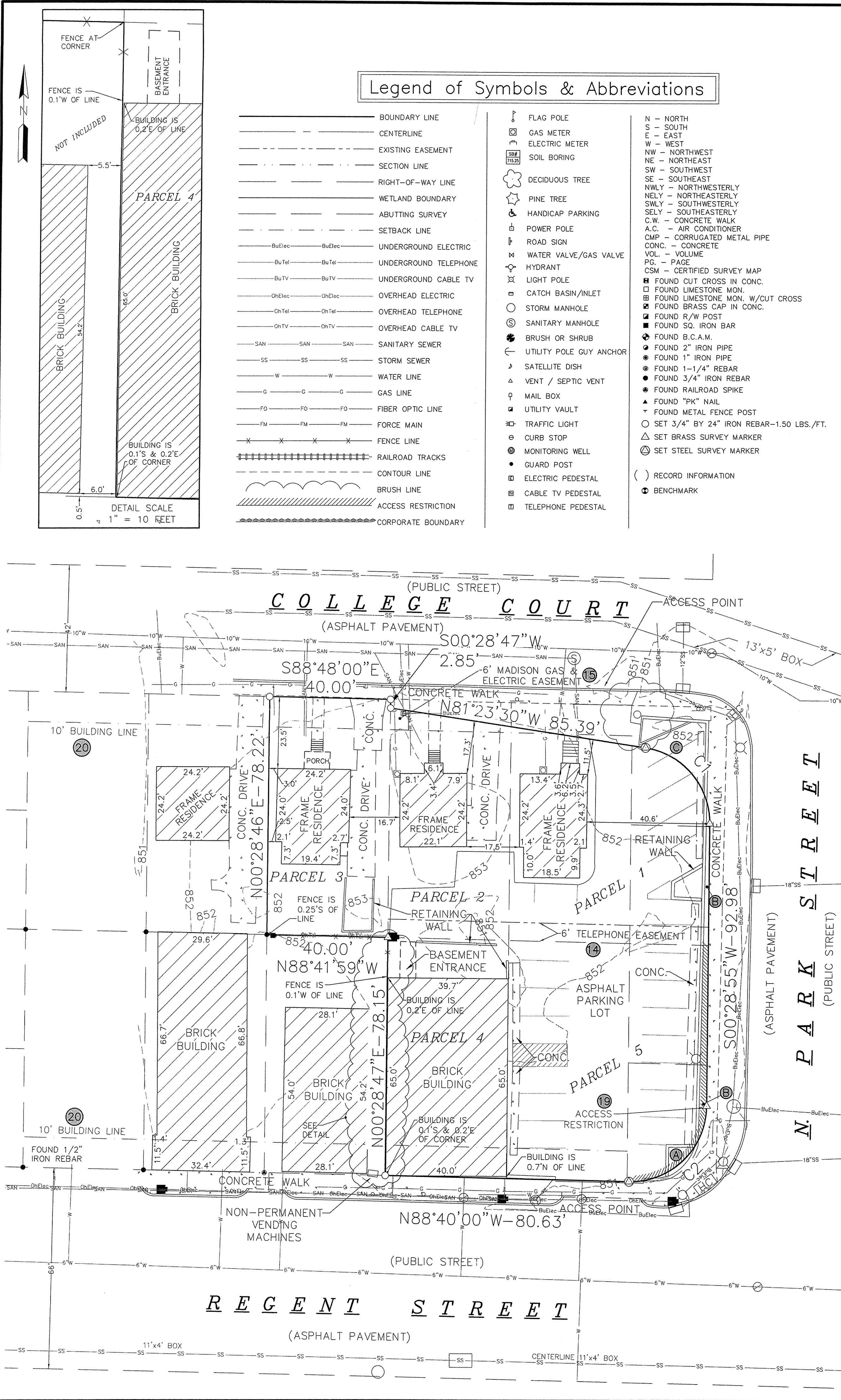
- The survey reflected by this plat was actually made upon the ground and that this plat of survey is made at least in accordance with the minimum standards established by the State of Wisconsin for surveys and with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA, ACSM and NSPS in 1999 and meets the Accuracy Standards (as adopted by ALTA, ACSM and NSPS and in effect on the date of this certification), with accuracy and precision requirements modified to meet current minimum angular and linear tolerance requirements of the state in which the subject property is located, and contains items 3, 4, 5, 7(a), 7(b)(1), 7(b)(3), 8, 9, 10, 11(a), 11(b), 14, 16, 17 and 18 of Table A thereto.
- The survey correctly shows the location of all buildings, structures and other improvements situated on the "Property" described in the title policy.
- Except as shown, all utilities serving the Property enter through adjoining public streets and/or easements of record; that, except as shown, there are no visible easements, or rights of way across said Property; that the Property described hereon is the same as the Property described in Lawyers Title Insurance Corporation Case No. MA262631 and all easements, covenants and restrictions referenced in said title commitment, or easements of which the undersigned has been advised or has knowledge, have been plotted or otherwise noted as to their effect on the subject Property.
- Except as shown, there appears to be no encroachments onto adjoining property, streets or alleys by any buildings, structures or other improvements situated on adjoining property across property lines onto said Property or across zoning restriction lines in effect as of the date of the survey.
- Said described Property is located within an area having a Zone Designation of "X" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 55025C0409F, with an effective date of June 17, 2003, for Community Number 550083, in Dane County, State of Wisconsin, which is the current Flood Insurance Rate Map for the community in which said Property is situated and the Property is not located in an area designated as a special flood hazard area by the U.S. Department of Housing and Urban Development.
- The Property has direct physical access and means of ingress and egress to Regent Street & College Court, public streets on which the Property abuts.
- The number of striped parking spaces located on the subject Property appears to be 22-regular & 0-handicap for a total of 22-parking stalls, and to the extent possible, are graphically shown hereon.

Surveyor's Notes

- THERE IS NO OBSERVED EVIDENCE OF ANY EARTH MOVING WORK OR BUILDING CONSTRUCTION ON THIS SITE.
 - AT THIS TIME THERE IS NO PROPOSED CHANGE IN THE RIGHT-OF-WAY OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 - THERE IS NO OBSERVED EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
 - UTILITY EASEMENTS: NO POLES OR BURIED CABLES ARE TO BE PLACED ON ANY LOT LINE OR PROPERTY CORNER.
 - THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS IN VIOLATION OF SECTION 236.32 OF THE WISCONSIN STATUTES.
 - THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS BOTH RECORDED AND UNRECORDED.
 - EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT SUPPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- DATE OF FIELD SURVEY: March 15 & 16, 2006 & May 14, 2007.

Utility Notes

LOT APPEARS TO BE SERVED BY UTILITIES, THE LOCATION OF THESE UTILITIES SHOWN HEREON ARE BASED ON MARKINGS SET BY DIGGER'S HOTLINE UNDER TICKET NUMBERS 20071804146. THEY WERE INSTRUCTED TO LOCATE ALL UTILITIES WITHIN THE ENTIRE ADJOINING RIGHT-OF-WAY OF THE STREETS AND THE ENTIRE LOT AND MAYO CORPORATION IS NOT LIABLE FOR ERRORS OR OMISSIONS IN THE MARKINGS.



MAYO CORPORATION
 600 Grand Canyon Drive
 Madison, WI 53706
 (608) 833-0628
 (608) 833-0746 (fax)

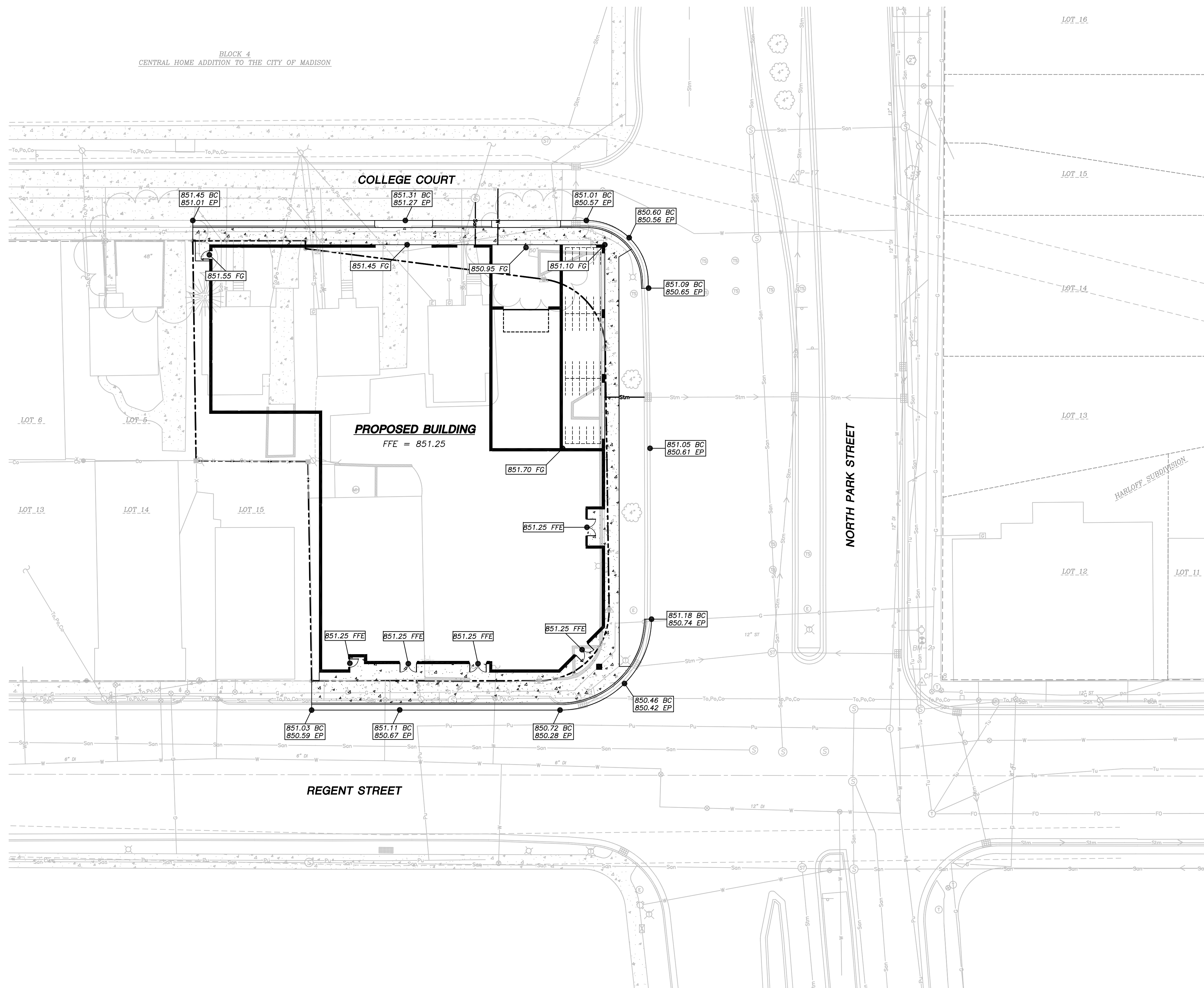
ALTA/ACSM LAND TITLE SURVEY
 PARK & REGENT SITE
 Degen & Associates
 City of Madison, Dane County, Wisconsin

PLOT DATE: OCTOBER 16, 2007 TIME: 10:59 AM
 LAYOUT: SHEET 1
 LAYER MANG: SHEET_1
 DRAWN BY: J. Jacoby
 REVIEWED BY: R. Lawrence
 FILE PATH: M:\022206\sur\0222VAS-1.dwg
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DG-22-06
 Sheet 1 of 1

BLOCK 4
CENTRAL HOME ADDITION TO THE CITY OF MADISON



LEGEND (PROPOSED)

- PROPERTY LINE
- - - - - EXISTING PROPERTY LINE
- BUILDING LINE
- San — STORM SEWER
- Ssm — SANITARY SEWER
- W — WATER MAIN
- CONCRETE PAVEMENT
- SPOT ELEVATION
- FG — FINISH GRADE
- EP — EDGE OF PAVEMENT
- BC — BACK OF CURB
- FFE — FINISHED FLOOR ELEVATION

GENERAL NOTES

1. REFER TO EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDRIES.
4. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
5. DRAWING FOR REVIEW — NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WDNR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL TECHNICAL STANDARDS (FORMERLY REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
3. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
7. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
9. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
10. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
11. ALL STORM SEWER STRUCTURES SHALL HAVE TYPE D INLET PROTECTION INSTALLED DURING CONSTRUCTION. STANDARD DETAILS FOR INLET PROTECTION ARE LOCATED IN THE WISDOT FACILITIES DEVELOPMENT MANUAL (FDM), CHAPTER 16, SDD NUMBER 8E10-2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THE FDM.
12. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR AND WDCOMM REQUIREMENTS.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6.5' MINIMUM BURY.
5. MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER AND 6" MINIMUM VERTICAL SEPARATION WHERE WATER CROSSES OVER SEWER.
6. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
7. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS AND IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
8. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
9. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDCOMM, AND WDNR.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
13. CONTRACTOR SHALL COORDINATE UTILITY RELOCATION AND/OR REMOVAL WITH RESPECTIVE UTILITY COMPANIES/SUBCONTRACTORS PRIOR TO CONSTRUCTION.
14. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
15. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
16. CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
17. IN ACCORDANCE WITH ACT 425 OF THE WISCONSIN LEGISLATURE, LOCATED IN SECTION 182.0715(2R) OF THE STATE STATUTES AND OTHER APPLICABLE REQUIREMENTS, ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THE PLAN.
18. ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO COMM 84.30-3.
19. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO COMM 84.30-6.
20. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO COMM 84.30-7. ALL WATER MAIN, HYDRANTS, AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
3. CONTRACTOR SHALL SCARIFY ALL COMPACTED PERVIOUS AREAS JUST PRIOR TO SEEDING AND MULCHING.
4. CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.



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JSD Professional Services, Inc.
Engineers • Surveyors • Planners

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

PROJECT INFORMATION

Park & Regent
Mixed-Use

Enter address here

ISSUANCE AND REVISIONS

Bid Package

REVISIONS

#	DATE	DESCRIPTION
1	12-05-08	Client Review
2	12-09-08	Client Review

SHEET INFORMATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT MANAGER _____

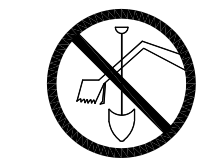
PROJECT NUMBER _____

DATE 12-09-08

GRADING, UTILITY, & EROSION CONTROL PLAN

C200

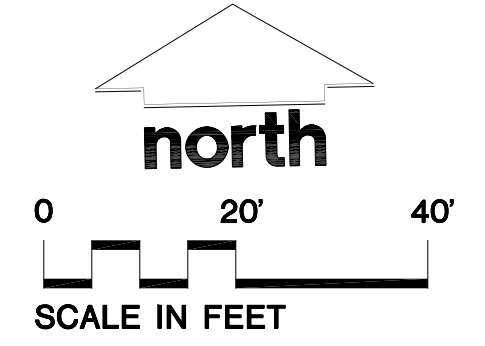
TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

WISCONSIN STATE REQUIREMENT: NOTIFYING REQUIRED MINIMUM THREE (3) WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DAMAGE RESTRICTIONS. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST ON THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISUAL INSPECTION OF THE PROPERTY OR OF WHICH THE SURVEYOR SHOULD HAVE NO KNOWLEDGE.





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PROJECT INFORMATION

Park & Regent
Mixed-Use

ISSUANCE AND REVISIONS

UDC SUBMITTAL

REVISIONS

#	DATE	DESCRIPTION

SHEET INFORMATION

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PROJECT MANAGER SL

PROJECT NUMBER 108347-02

DATE JANUARY 21, 2009

SITE DEMOLITION /
LANDSCAPE PLANS

AS100



A1 LANDSCAPE PLAN
1/16" = 1'-0"

A4 SITE DEMOLITION PLAN
1/16" = 1'-0"



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PROJECT INFORMATION

**Park & Regent
 Mixed-Use**

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PROJECT MANAGER SL

PROJECT NUMBER 108347-02

DATE JANUARY 21, 2009

**LOWER LEVEL &
 GROUND FLOOR
 PLANS**

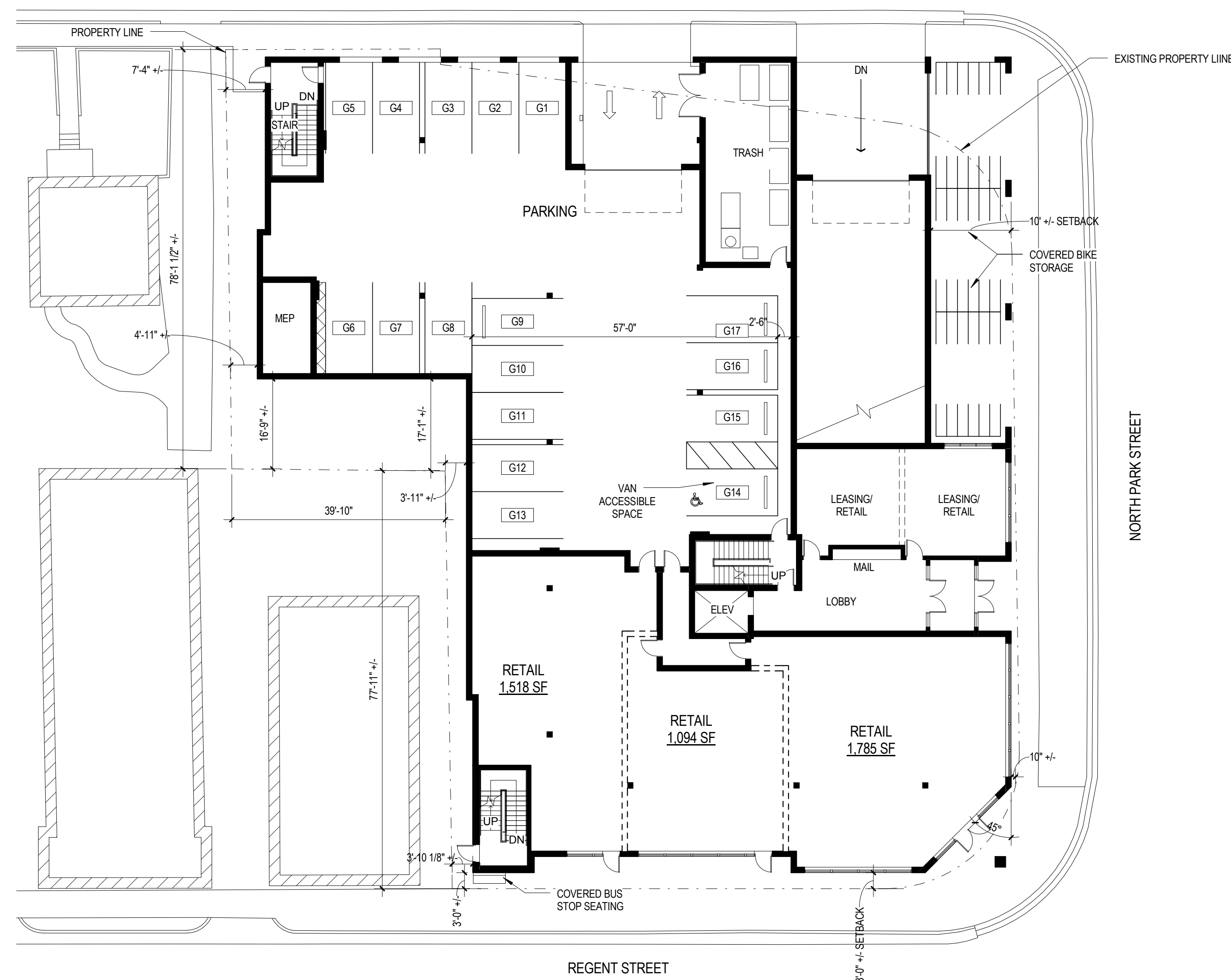
A100

PARKING SCHEDULE - GROUND FLOOR						
TYPE	FLOOR	WIDTH	ACCESSIBLE AISLE WIDTH	LENGTH	ANGLE	DESCRIPTION
ACCESSIBLE	FIRST FLOOR	8'-9"	5'-0"	17'-0"	90°	
ACCESSIBLE: 1						
COMPACT	FIRST FLOOR	8'-9"		17'-0"	90°	
COMPACT: 16						
Grand total: 17						

PARKING SCHEDULE - LOWER LEVEL						
TYPE	FLOOR	WIDTH	ACCESSIBLE AISLE WIDTH	LENGTH	ANGLE	DESCRIPTION
ACCESSIBLE	LOWER LEVEL	8'-9"	5'-0"	17'-0"	90°	
ACCESSIBLE: 1						
COMPACT	LOWER LEVEL	8'-9"		17'-0"	90°	
COMPACT: 34						
Grand total: 35						

BICYCLE PARKING - GROUND FLOOR		
TYPE	WIDTH	LENGTH
BICYCLE	2'-0"	6'-0"
BICYCLE: 36		

BICYCLE PARKING - LOWER LEVEL		
TYPE	WIDTH	LENGTH
BICYCLE	2'-0"	6'-0"
BICYCLE: 19		
BICYCLE - WALL MOUNT	2'-0"	3'-0"
BICYCLE - WALL MOUNT: 31		
Grand total: 50		



A1 GROUND FLOOR / SITE PLAN
 1/16" = 1'-0"



A4 LOWER LEVEL PLAN
 1/16" = 1'-0"



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PROJECT INFORMATION

Park & Regent
Mixed-Use

ISSUANCE AND REVISIONS

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PROJECT NUMBER 108347-02

DATE JANUARY 21, 2009

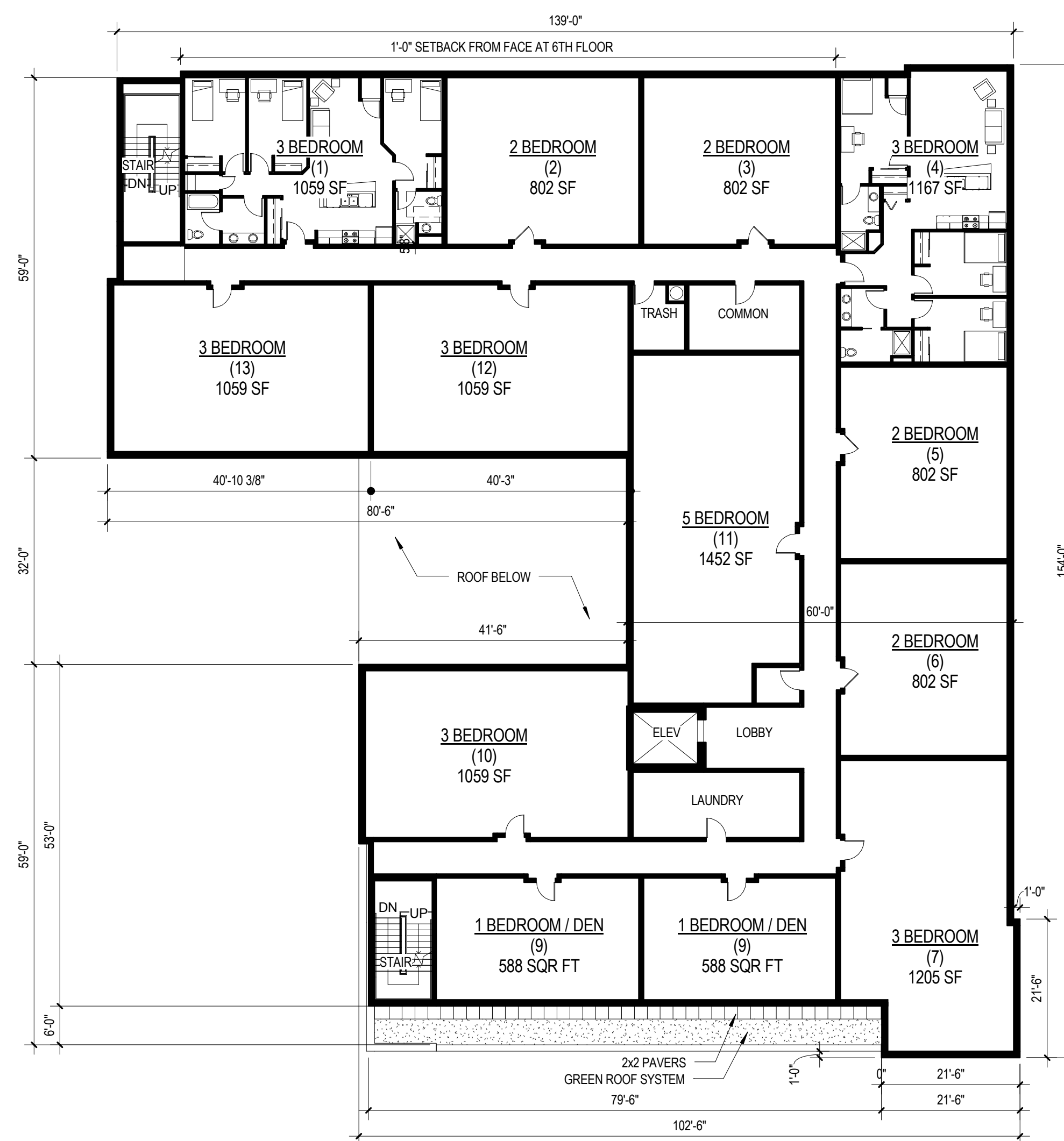
LIVING FLOOR PLANS

A101

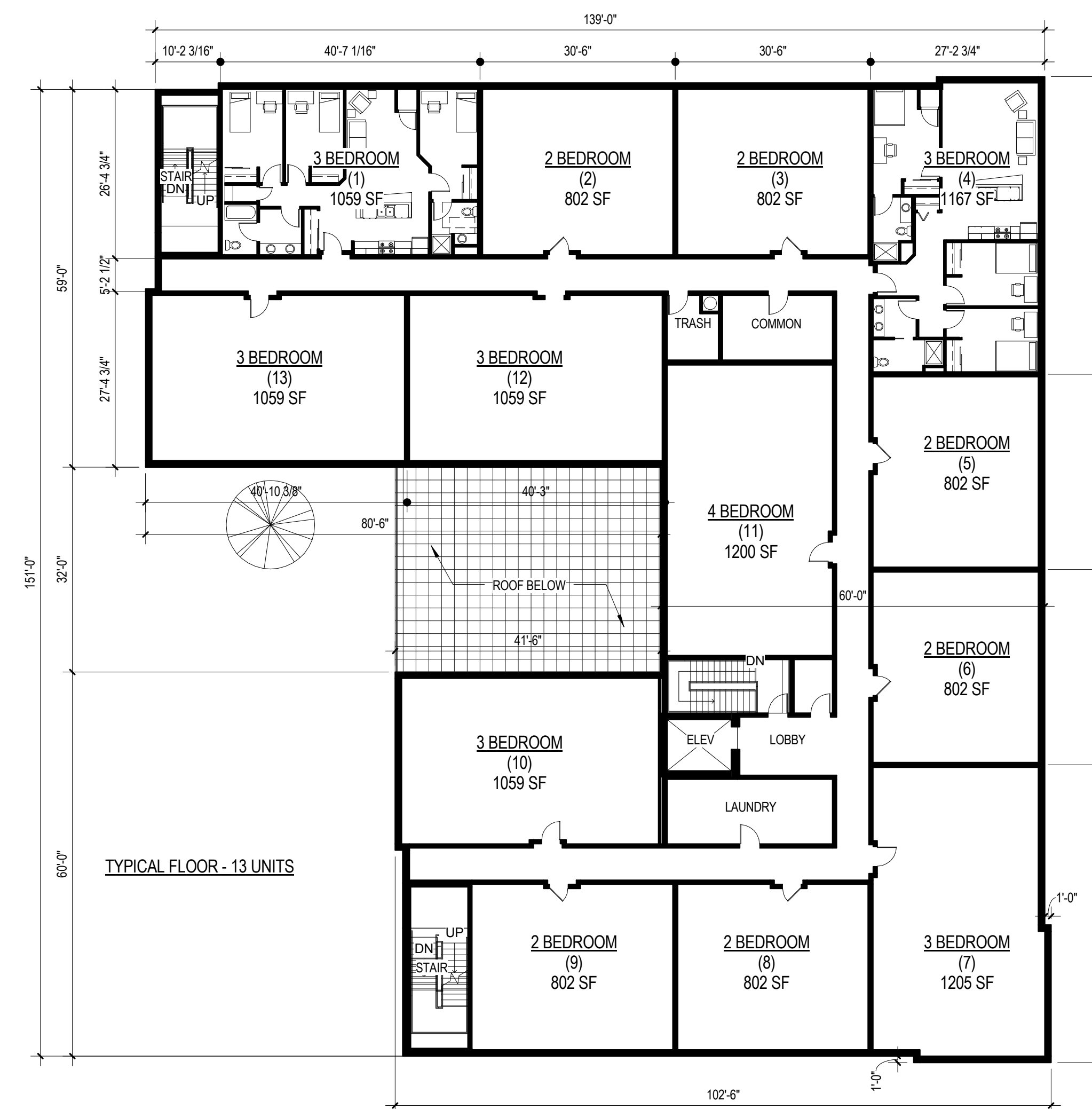
© Eppstein Uhen Architects, Inc.



C4 FLOOR PLAN - LEVELS 3 & 4
1/16" = 1'-0"



A2 FLOOR PLAN - LEVEL 5 (6TH FLOOR SIMILAR)
1/16" = 1'-0"



A4 FLOOR PLAN - LEVEL 2
1/16" = 1'-0"

D

C

B

A

D

C

B

A

1

2

3

4

5

6

1

2

3

4

5

6



1 East Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"



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PROJECT INFORMATION

**Park & Regent
Mixed-Use**

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PROJECT MANAGER SL

PROJECT NUMBER 108347-02

DATE JANUARY 21, 2009

**EXTERIOR
ELEVATIONS**

A200



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PROJECT INFORMATION

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PROJECT MANAGER SL

PROJECT NUMBER 108347-02

DATE JANUARY 21, 2009

EXTERIOR ELEVATIONS

A201



1 South Elevation
1/8" = 1'-0"



2 North Elevation
1/8" = 1'-0"



UW Welcome Center



UW Residence Hall



1 South Park Street



Meriter Hospital



Memorial Union
University of Wisconsin Campus
UW Stadium
Kohl Center
Meriter Hospital
St. Mary's Hospital
Capitol Building
Overture Center
Site



3 and 4 Story Student Apartments
Retail
Retail
Regent Street
Park Street
UW Residence Hall
UW Welcome Center
Medical Offices
Medical Offices



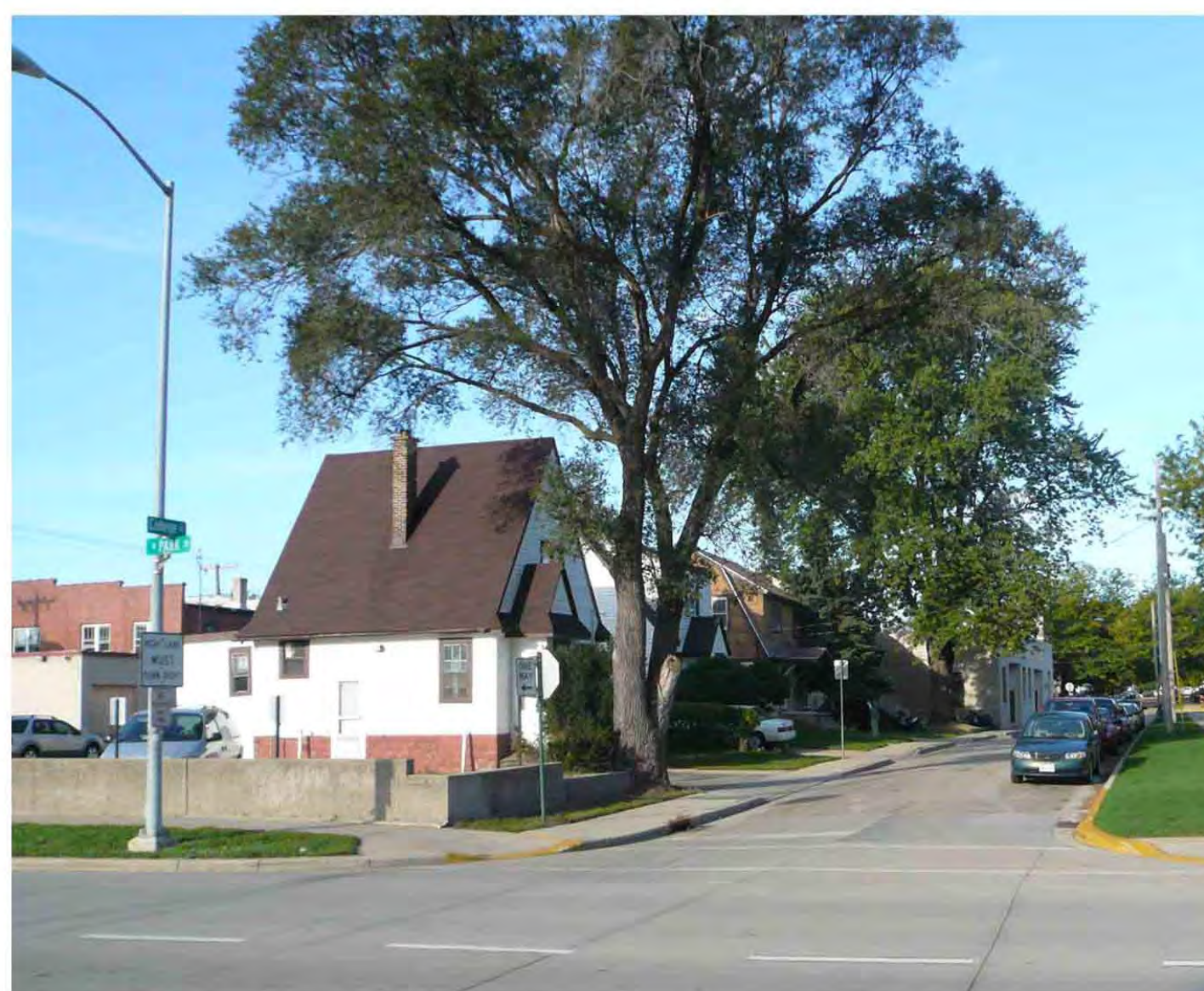
College Court: Looking North



College Court: Looking South



College Court: Looking East



College Court: Looking West



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PROJECT INFORMATION

**Park & Regent
Mixed-Use**

ISSUANCE AND REVISIONS

UDC SUBMITTAL

REVISIONS

#	DATE	DESCRIPTION
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SHEET INFORMATION

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PROJECT MANAGER SL

PROJECT NUMBER 108347-02

DATE JANUARY 21, 2009

CONTEXT PHOTOS

A202



REGENT AND PARK CORNER



REGENT STREET PERSPECTIVE



PARK STREET STOREFRONT



PARK AND COLLEGE CORNER



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PROJECT INFORMATION

Park & Regent
 Mixed-Use

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PROJECT MANAGER SL

PROJECT NUMBER 108347-02

DATE JANUARY 21, 2009

3D VIEWS

A203



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LUMINAIRE SCHEDULE							
Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
A	35	DESIGNPLAN RHL-S-H3-4-XX-0-C-0-0	RECESSED DOWNLIGHT	32W TRT	2200	0.80	36
B	8	InVUE PHH-150-MP-MB-NS	BUILDING FACADE UPLIGHT	150 WATT T-6 MH	14000	0.75	185
C	14	MCGRAW EDISON EPL-100-MH-SQ	PARKING STRUCTURE FIXTURE	100W MH	6200	0.75	130
D	2	AEL48-224HO	OVER DOOR EGRESS LIGHT FIXTURE	(2) F24T9HO	4000	0.80	55

POWER DENSITY STATISTICS				
Name	# Luminaires	Total Watts	Area	Density
Power Density Zone # 1	58	4540.0 W	23744.5 ft ²	0.2 W/ft ²

PROJECT INFORMATION

Park & Regent Mixed-Use

ISSUANCE AND REVISIONS

Issued for Plan Review

SHEET INFORMATION

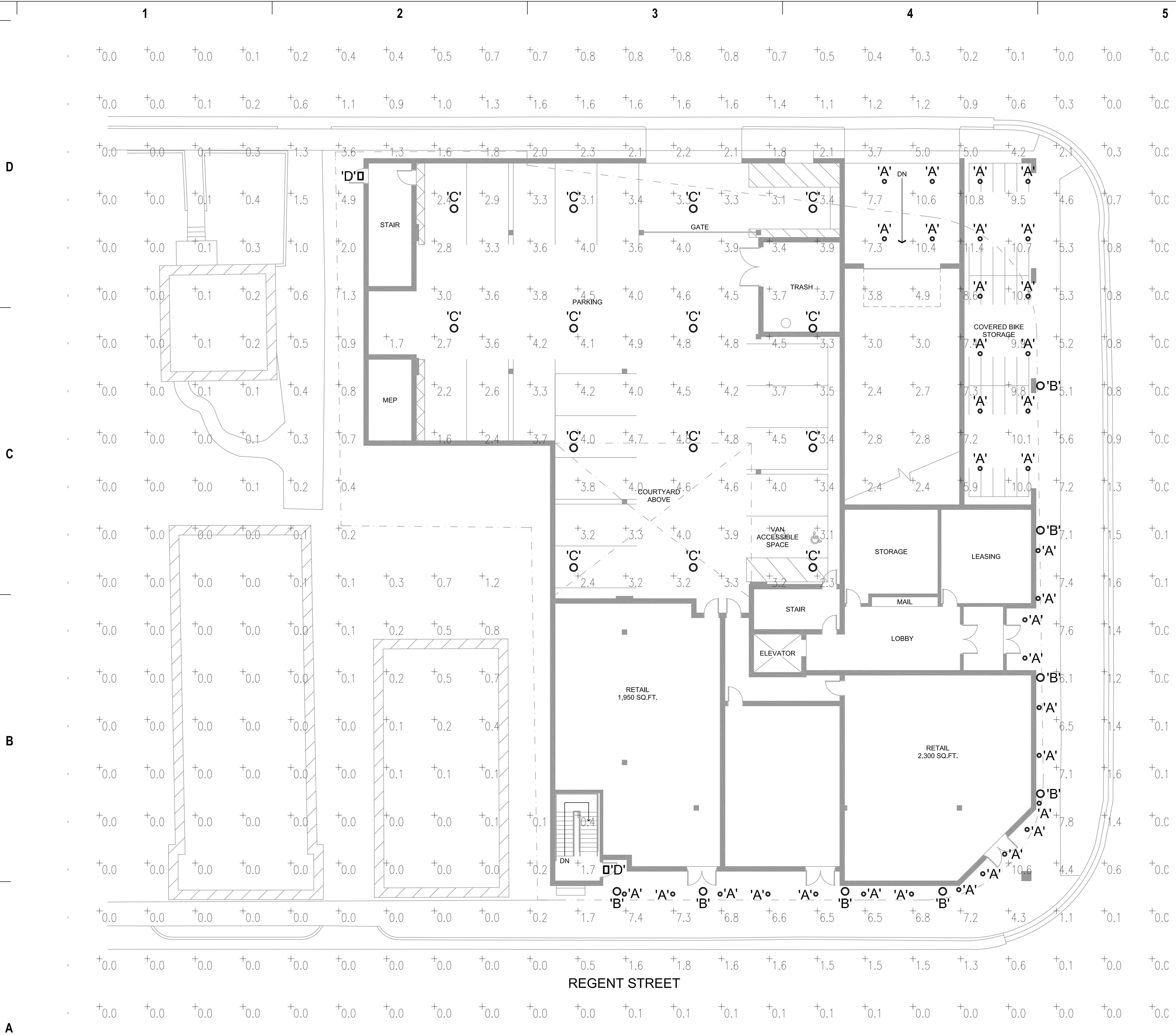
PROGRESS DOCUMENTS
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PROJECT MANAGER _____ PM
 PROJECT NUMBER 108347-02
 DATE December 9th, 2008

PHOTOMETRIC PLAN

E001

LPA # 7826
LEEDY & PETZOLD ASSOCIATES, LLC
 Consulting Electrical Engineers/Planners
 12970 W. Bluemound Road - Suite 101
 Elm Grove, Wisconsin 53122
 Ph. (262) 860-1544 Fax (262) 860-1566



SITE LIGHTING PHOTOMETRIC PLAN
 SCALE: 3/32" = 1'-0"
 0 2 4 8 16 32



eppstein uhen : architects

January 13, 2009

City of Madison
Urban Design Commission
Final Approval Meeting – January 21, 2009

Subject: Regent Street Mixed-Use
EUA Project No.: 108347-02

The proposed project is a six-story mixed-use building of approximately 114,147 gross square feet, to be located on the northwest corner of the intersection of Park Street and Regent Street. The first floor of the building will include approximately 4,250 net square feet of retail space, 18 vehicle parking spaces, and space for parking approximately 36 bicycles or mopeds. Floors 2 through 6 will include approximately 65 apartment units. The lower level of the building will include approximately 35 vehicle parking spaces, and space for parking approximately 50 bicycles. The exterior construction will be a combination of masonry, glass, and insulated metal panels.

Thank you in advance for your review of our project.

Sincerely,

Stuart LaRose, AIA
Senior Project Manager: Associate

333 E. Chicago St.
Milwaukee, WI 53202
414 271 5350 : main
414 271 7794 : fax

222 W. Washington Ave.
Suite 650
Madison, WI 53703
608 442 5350 : main
608 442 6680 : fax

ZONING TEXT PUD - GDP/SIP

Regent Street Mixed-Use

Parcels 1-5 of NW corner of Regent & Park Streets

Madison, Wisconsin

Legal Description: The lands subject to this planned unit development shall include those described in the site survey/legal description, attached hereto.

- A. **Statement of Purpose:** This zoning district will be established to allow for the construction of mixed-use apartments and retail space with underground parking.
- B. **Permitted Uses:**
 - 1. The apartment housing and retail uses are permitted per the Regent Street – South Campus Neighborhood Plan
 - 2. Underground accessory parking use is permitted per the neighborhood plan
- C. **Lot Area:** As stated in the site survey/legal description, attached hereto
- D. **Building Height:**
 - 1. Maximum height is 8 stories or 116', whichever is less per the Regent Street – South Campus Neighborhood Plan
 - 2. Minimum building height is 3 stories per the neighborhood plan
 - 3. Proposed building height is 6 stories
- E. **Yard Requirements:** Yard areas will be provided as shown on approved plans
- F. **Landscaping:** Site landscaping will be provided as shown on the approved plans
- G. **Lighting:** Site lighting will be provided as shown on approved plans
- H. **Signage:** Signage package for the development requires Urban Design Commission approval.
- I. **Family Definition:** The family definition of this PUD-SIP shall coincide with the definition given in Chapter 28.03 (2) of the Madison General Ordinances.
- J. **Alterations and Revisions:** No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.