

952 N Fair Oaks Avenue
Contract 9746
Project 16128
Developer: The Point Residences, LLC



Summary of Improvements:

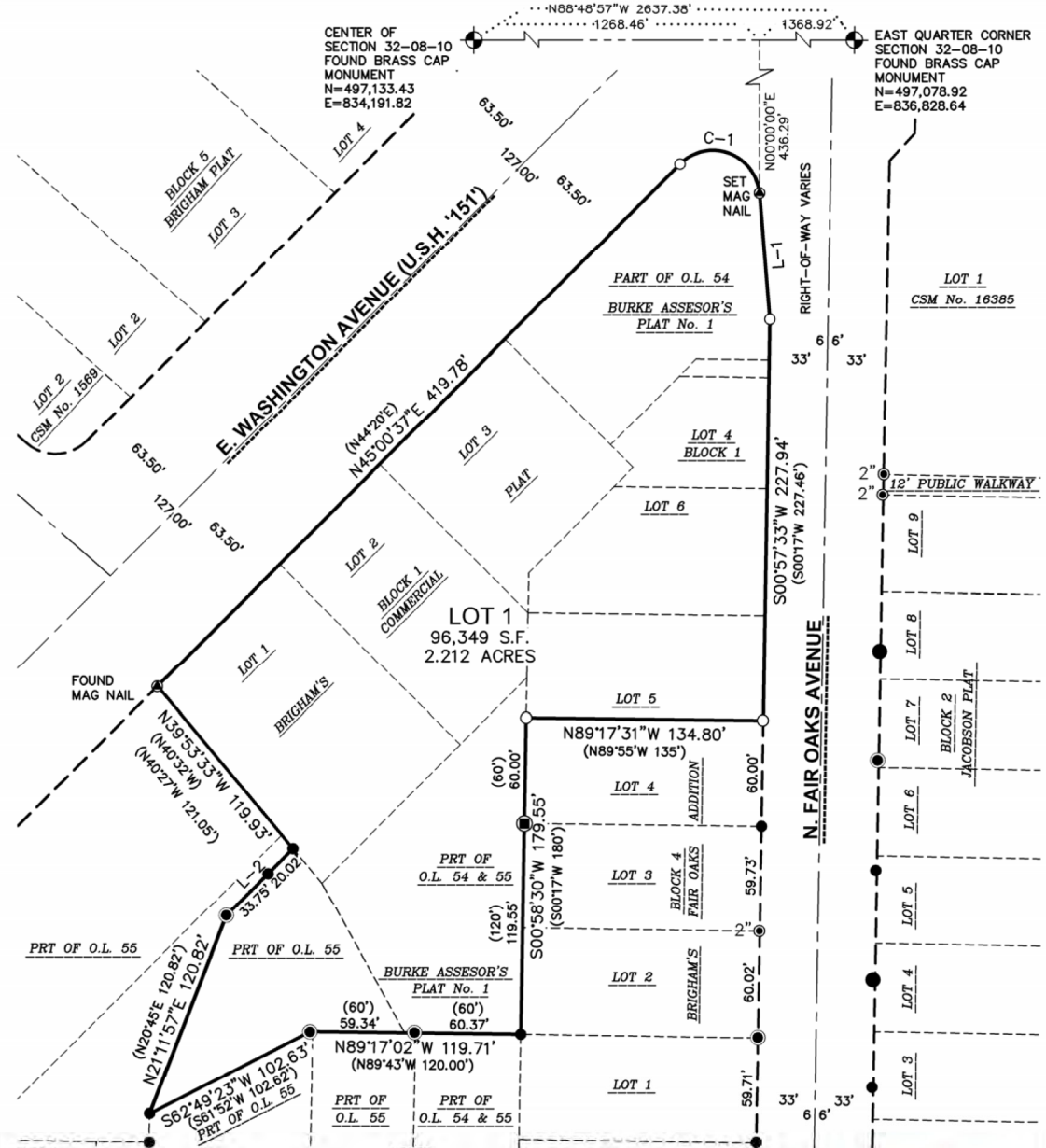
- Certified Survey Map.
- Grant a Public Sidewalk Easement for and be responsible for the construction of a minimum six (6)-foot wide sidewalk, eight (8)-foot terrace, and additional one (1) foot for maintenance along E Washington Avenue frontage.
- Grant a Public Sidewalk Easement for and be responsible for the construction of a minimum five (5)-foot wide sidewalk, eight (8)-foot terrace, and additional one (1) foot for maintenance along the N Fair Oaks Avenue frontage.
- Construction of terrace, curb and gutter, and pavement along the property frontages E Washington Avenue and N Fair Oaks Avenue.
- Construction of a traffic island to facilitate pedestrian crossing on N Fair Oaks Avenue, south of E Washington Avenue, including marked continental crosswalk, pedestrian ramps, pedestrian crossing signing, and street lighting.

- Private water, sewer, and storm lateral connections to public infrastructure.
- Construction of public storm sewer on N Fair Oaks Avenue to connect private storm into public infrastructure.
- Public improvements for this site will include those immediately adjacent to the site as well as off-site sanitary sewer improvement due to projects wastewater flow calculations exceeding existing public sewer pipe capacity.
- Provide public street terrace tree protection and plantings per City Forestry approvals.
- Close abandoned driveways with curb and gutter. Construct new private drive entrance aprons per plans approved by the City Engineering and per the Commercial Driveway Permit approved by the City Traffic Engineer.
- Protect existing public streetlights, electrical, and fiber facilities in the project area. Coordinate with City Traffic Engineering and City IT on relocations needed to facilitate construction.
- Coordinate project access, street closures, and street occupancy with other projects in the area and as approved by City Traffic Engineering.
- Restoration of all street, sidewalk, curb and gutter, terrace, and pavement markings as required due to construction activities.

PRELIMINARY

CERTIFIED SURVEY MAP NO.

PART OF LOTS 1, 2, 3, 4, BLOCK 1, BRIGHAM'S COMMERCIAL PLAT, RECORDED IN VOLUME 26, ON PAGE 10, AS DOCUMENT NO. 1057242, ALL OF LOT 4, 5 & 6 BLOCK 4, BRIGHAM'S FAIR OAKS ADDITION, RECORDED IN VOLUME 10, ON PAGE 30, AS DOCUMENT NO. 1672840, AND PART OF OUTLOTS FIFTY-FOUR (54) AND FIFTY-FIVE (55), BURKE ASSESSOR'S PLAT NO. 1, RECORDED IN VOLUME 9 ON PAGES 15-21 AS DOCUMENT NO. 593673, LOCATED IN THE WEST HALF OF THE SOUTHEAST QUARTER, SECTION 32, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



SURVEYED BY: JSD MADISON REGIONAL OFFICE 507 W. VERONA AVENUE, SUITE 500 VERONA, WISCONSIN 53593 P. 608.848.5060		SURVEYED FOR: VOLKER DEVELOPMENT 464 S. HICKORY ST., STE. C FOND DU LAC, WI 54935		PROJECT NO: 24-14692 FIELDBOOK/Pg: - SHEET NO: 1 OF 8		SURVEYED BY: ZHG DRAWN BY: ZHG		VOL: _____ PAGE: _____ DOC. NO. _____ C.S.M. NO. _____	
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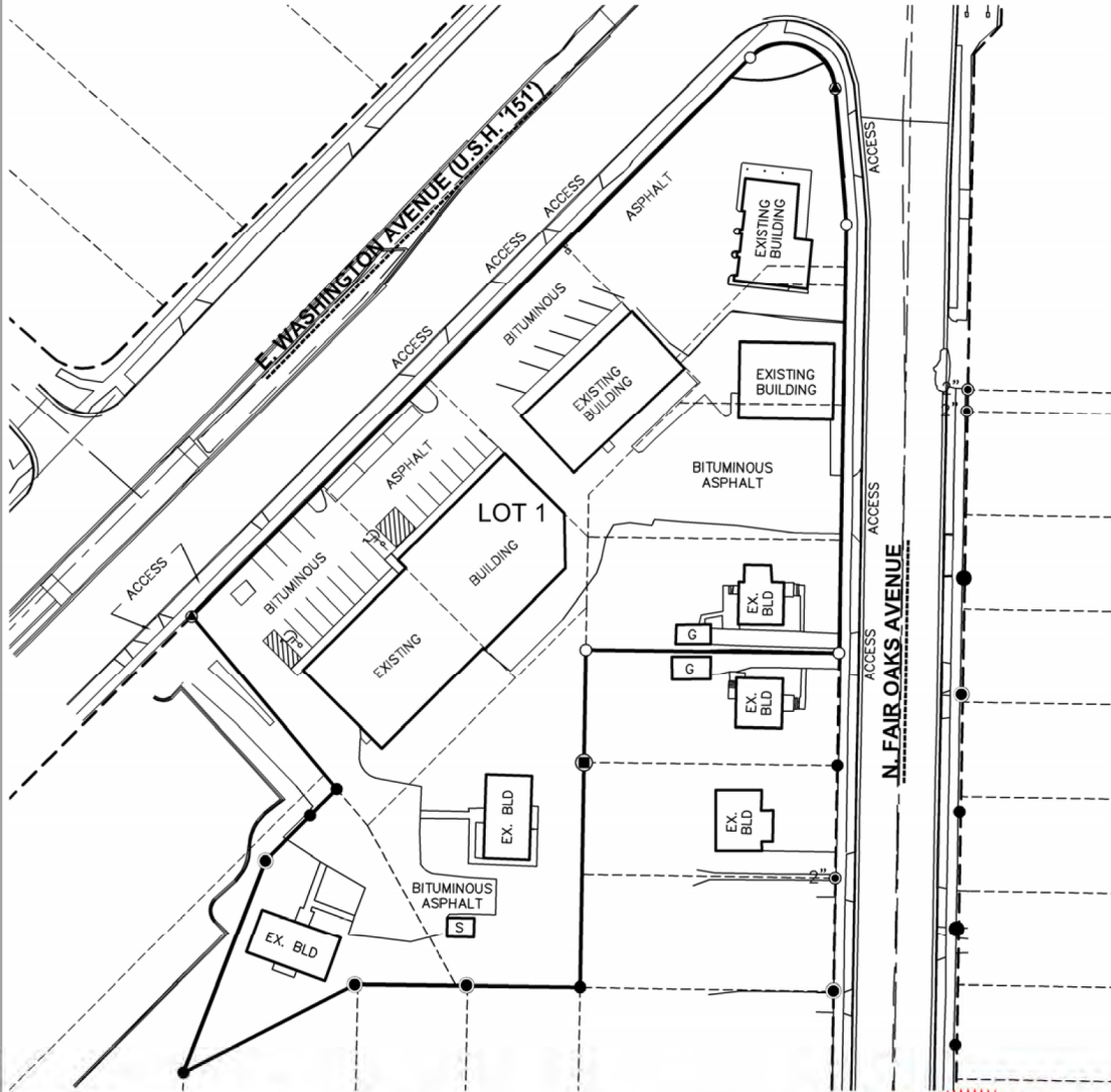
File: \\JSD\projects\2024\2414692\DWG\SURVEY SHEETS\2414692_P-C.S.M.dwg Layout: Sheet 1 User: john.krebs Plotted: Oct 30, 2025 - 10:09am

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EXISTING IMPROVEMENTS



LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S04°42'36"E	72.32'
()	S05°03'33"E	71.95'
L-2	N45°16'34"E	53.77'
()	N44°25'E	53.70'



NOTES

EXISTING IMPROVEMENTS
SHOWN ARE TO BE
REMOVED
S SHED
G GARAGE



CURVE TABLE							
CURVE	RADIUS	DELTA	CHORD BEARING	CHORD	ARC LENGTH	TANGENT IN	TANGENT OUT
C-1	26.59'	129°33'22"	S70°03'28"E	48.11'	60.11'	N45°09'51"E	S05°16'47"E
()	26.59'	-	S69°46'21"E	48.11'	60.11'	-	-

SURVEYED BY:
JSD
MADISON REGIONAL OFFICE
507 W. VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

SURVEYED FOR:
**VOLKER
DEVELOPMENT**
464 S. HICKORY ST., STE. C
FOND DU LAC, WI 54935

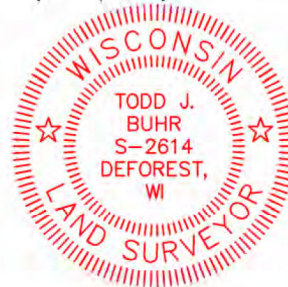
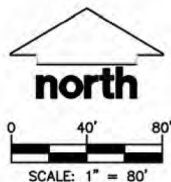
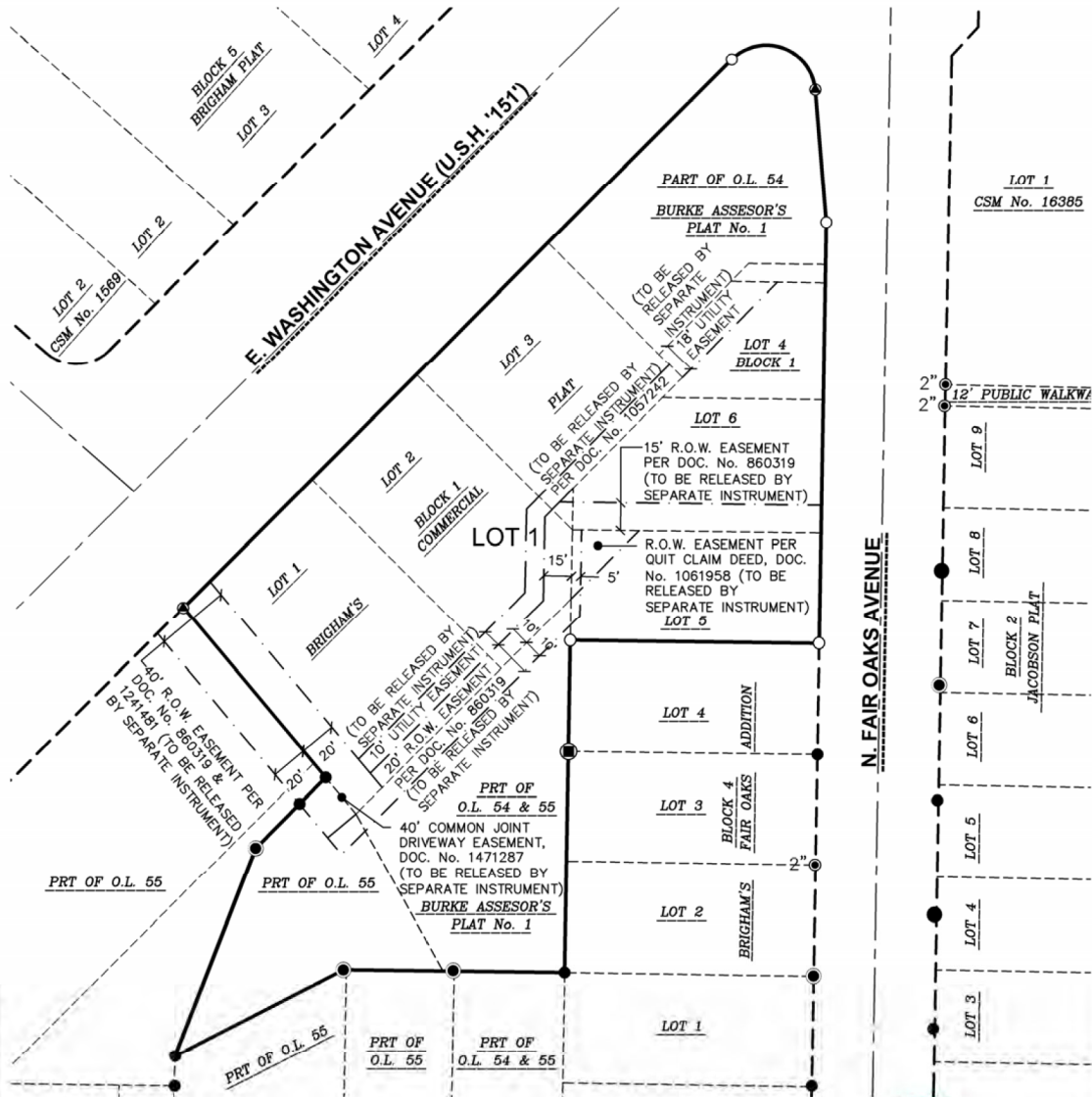
PROJECT NO: 24-14692
FIELDBOOK/Pg: -
SHEET NO: 2 OF 8

SURVEYED BY: ZHG
DRAWN BY: ZHG

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DOC. NO. _____
C.S.M. NO. _____

CERTIFIED SURVEY MAP NO.

EXISTING EASEMENTS



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MADISON REGIONAL OFFICE
507 W. VERONA AVENUE, SUITE
VERONA, WISCONSIN 53593
P. 608.848.5060

SURVEYED FOR:
VOLKER
DEVELOPMENT
464 S. HICKORY ST., STE. C
FOND DU LAC, WI 54935

PROJECT NO: 24-14692
FIELDBOOK/PG: -
SHEET NO: 3 OF 8

SURVEYED BY: ZHG
DRAWN BY: ZHG

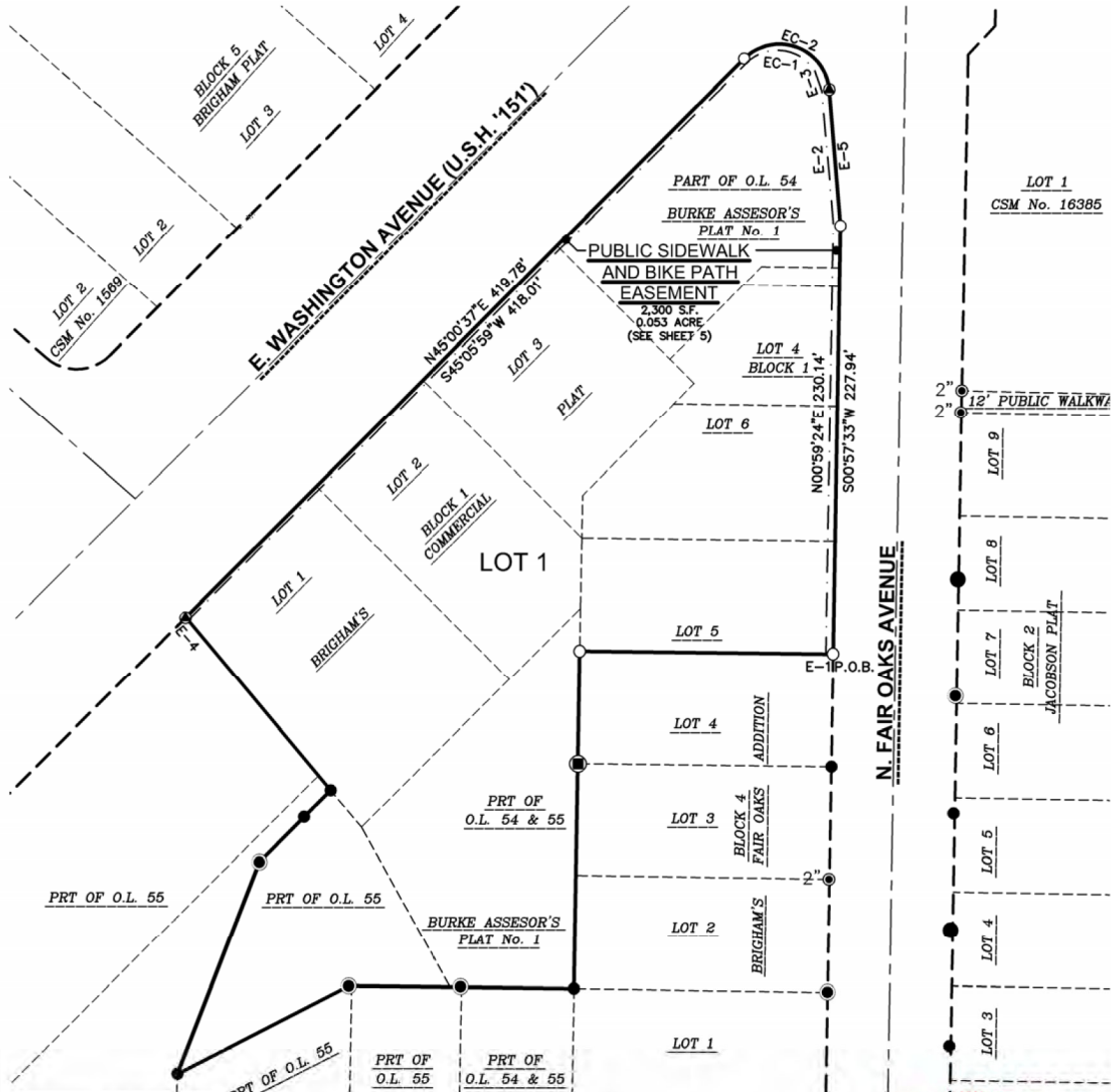
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PUBLIC SIDEWALK AND BIKE PATH EASEMENT



LINE TABLE		
LINE	BEARING	DISTANCE
E-1	N89°17'31"W	3.96'
E-2	N5°03'47"W	69.25'
E-3	N19°11'19"W	11.22'
E-4	N39°53'33"W	1.90'
E-5	S4°42'36"E	72.32'



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
EC-1	43.18'	23.39'	105°47'19"	37.30'	N84°38'35"W
EC-2	60.12'	26.59'	129°33'22"	48.11'	S70°03'28"E

SURVEYED BY:
JSD
 MADISON REGIONAL OFFICE
 507 W. VERONA AVENUE, SUITE 500
 VERONA, WISCONSIN 53593
 P. 608.848.5060

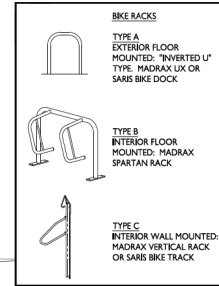
SURVEYED FOR:
VOLKER DEVELOPMENT
 464 S. HICKORY ST., STE. C
 FOND DU LAC, WI 54935

PROJECT NO: 24-14692
 FIELDBOOK/PG: -
 SHEET NO: 4 OF 8

SURVEYED BY: ZHG
 DRAWN BY: ZHG

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 DOC. NO. _____
 C.S.M. NO. _____





SITE DEVELOPMENT DATA:	
ZONING:	CC-1
DENSITY:	Commercial Corridor - Transitional
LOT AREA:	854,438 S.F. / 1.40 ACRES
DWELLING UNITS	
APT. BUILDING	171 UNITS
TOWNHOMES	6 UNITS
TOTAL:	177 UNITS
LOT COVERAGE	
LOT AREA / D.U.	396 S.F. / D.U.
COVERAGE:	73.8 UNITS / ACRE
LOT COVERAGE	
BUILDING HEIGHT	24,224 S.F. (715)
COMMERCIAL AREA	3 STORIES / 46'4"
GROSS BUILDING AREA (INCLUDES GARAGE)	256,899 S.F.
BUILDING 1	11,111 S.F.
BUILDING 2	245,788 S.F.
TOTAL:	256,899 S.F.
DWELLING UNIT MIX:	
ONE BEDROOM	76
TWO BEDROOM	48
THREE BEDROOM	37
TOTAL:	171 D.U.
BUILDING 3	
THREE BEDROOM	6 D.U.
TOTAL:	177 D.U.
VEHICLE PARKING STALLS	
GARAGE - APTS	114 (INCL. 3 ADA)
GARAGE - TOWNHOMES	6
SURFACE	40 (INCL. 7 ADA)
TOTAL:	160 VEHICLE STALLS
BIKECYCLE PARKING	
GARAGE - LONG TERM	174
SURFACE - LONG TERM	17
SURFACE - SHORT TERM	30
SURFACE - COMMERCIAL	7
TOTAL:	238 BIKECYCLE STALLS

- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND CUTTING THAT AFFECTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND CUTTING WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DURABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-APPROVED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON CITY STREETS AND ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMPLETION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ADDRESSER WITHIN WHICH DISTRICT IS AFFECTED BY THE STREET TREE REMOVALS PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (564-4885) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: CITYOFMADISON.COM/BUSINESS/PWS/PWSPECS.COM
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DEBRUISE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THEY MAY REQUIRE USING SHALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON OR BELOW GRADE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (ETHER ABOVE OR BELOW GRADE) MUST BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 564-4885. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (PWSPEC) (PWSPECS.COM) ADDRESSING THE COMPACTED MAX TREE TRUNKS AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF EXCAVATED MATERIALS, EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPILLS OR DUMPING OF HAZARDOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE EXCAVATION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR EXCAVATION OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT 564-4885 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND NURSERY PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTRY (564-4885).
- THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME FOR THE RECOMMENDATION OF THE CITY ENGINEERING AND CITY ENGINEERING DEPARTMENT. NO OTHER SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REPEATED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

ISSUED
2023.06.14 - UDC / LU SUBMITTAL
2023.06.14 - UDC / LU SUBMITTAL
2023.12.10 - SITE PLAN SUBMITTAL

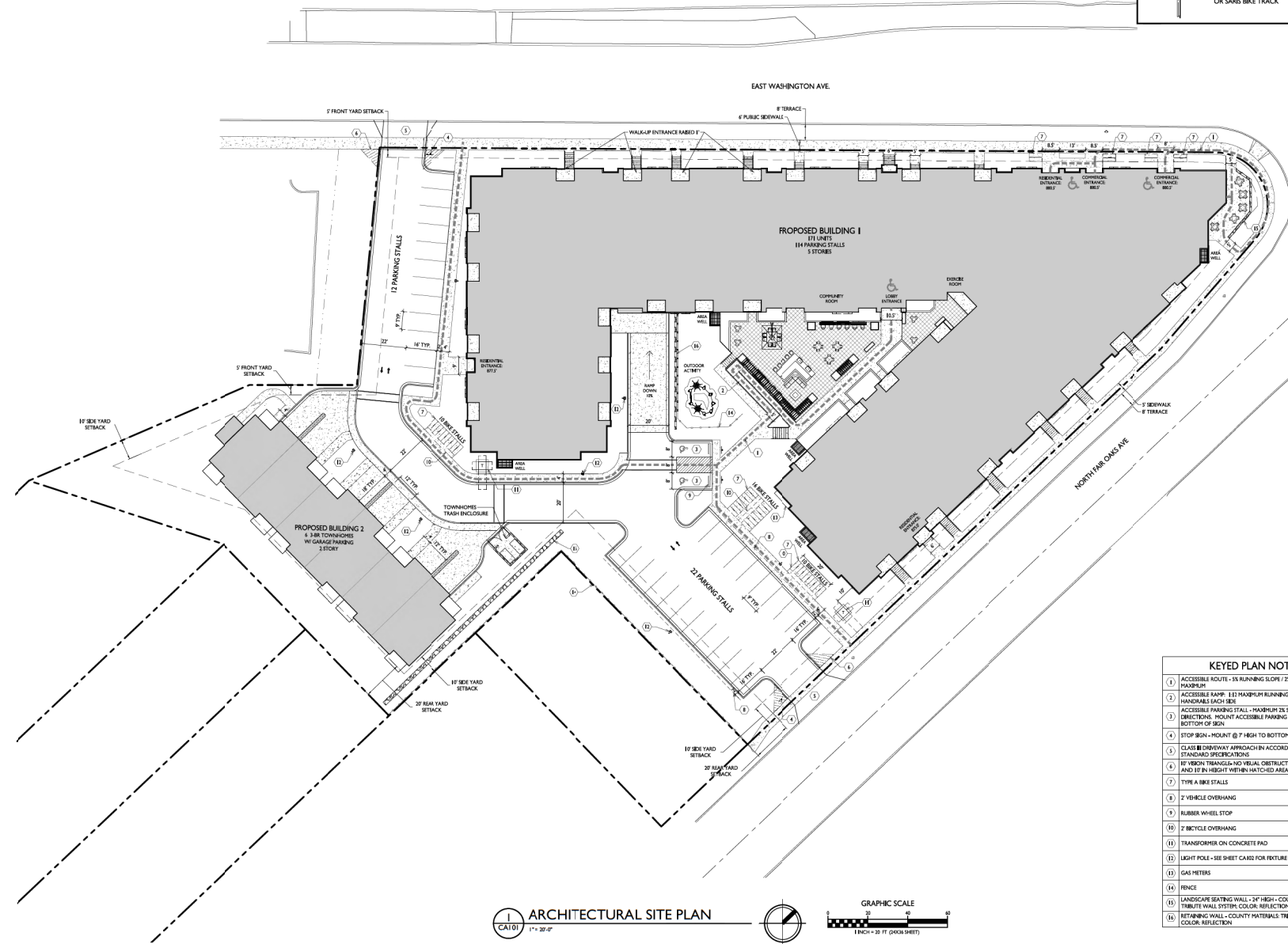
PROJECT TITLE
Mixed-Use
Redevelopment

3361-3375 E Washington
Ave. & 926-930 Fair Oaks
Ave Madison, Wisconsin
SHEET TITLE
Architectural
Site Plan

SHEET NUMBER

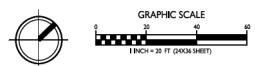
CA101

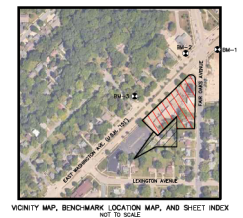
PROJECT NO. 2439
© Knothe + Bruce Architects, LLC



KEYED PLAN NOTES	
(1)	ACCESSIBLE ROUTE - 3% RUNNING SLOPE / 2% CROSS SLOPE
(2)	ACCESSIBLE RAMP - 1:12 MAXIMUM RUNNING SLOPE, PROVIDE HANDRAILS EACH SIDE
(3)	ACCESSIBLE PARKING STALL - MAXIMUM 2% SLOPE IN ALL DIRECTIONS, MOUNT ACCESSIBLE PARKING SIGN @ 6' HIGH TO BOTTOM OF SIGN
(4)	STOP SIGN - MOUNT @ 7' HIGH TO BOTTOM OF SIGN
(5)	GLASS OVERHANG APPROACH IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS
(6)	18" WIDE TRIANGULAR NO VEHICLE OBSTRUCTIONS BETWEEN 30' AND 10' IN HEIGHT WITHIN HATCHED AREA
(7)	TYPE A BIKE STALLS
(8)	2" VEHICLE OVERHANG
(9)	RUBBER WHEEL STOP
(10)	2" BIKECYCLE OVERHANG
(11)	TRANSFORMER ON CONCRETE PAD
(12)	LIGHT POLE - SEE SHEET CA102 FOR TEXTURE SCHEDULE
(13)	GAS METERS
(14)	FENCE
(15)	LANDSCAPE SEATING WALL - 24" HIGH - COUNTRY MATERIALS, TRIBUTE WALL SYSTEM, COLOR REFLECTION
(16)	RETAINING WALL - COUNTRY MATERIALS, TRIBUTE WALL SYSTEM, COLOR REFLECTION

ARCHITECTURAL SITE PLAN
CA101
1" = 20'-0"





CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING
C1	60.12'	26.59'	56.45	129°33'22"	48.11'	N70°03'28"W

[illegible]

TAX KEY NUMBER: 251/0810-324-110B-5, 251/0810-324-1109-3, 251/0810-324-1110-0, 251/0810-324-1111-8, 251/0810-324-1115-0, 251/0810-324-1114-2, AND 251/0810-324-1113-4

SURVEYOR'S CERTIFICATE

1) FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES.
2) VOLKER DEVELOPMENT, INC., A WISCONSIN CORPORATION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS.

WISCONSIN
TODD J. BUHR
S-2814

TODD J. BUHR, S-2014
PROFESSIONAL LAND SURVEYOR
Email: todd.buhr@jcdinc.com
Website: www.jcdinc.com

DATE _____

DEFOREST, MI
LAND SURVEYOR

PART OF OUTLOTS FIFTY-FOUR (54) AND FIFTY-FIVE (55), BURKE ASSESSOR'S PLAT NO. 1, RECORDED IN VOLUME 9
ON PAGES 15-21 AS DOCUMENT No. 593673, LOCATED IN THE WEST HALF OF THE SOUTHEAST QUARTER,
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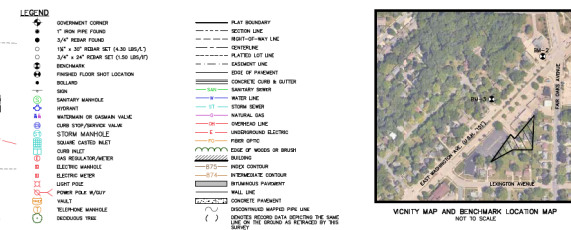


PROJECT:
**EAST WASHINGTON
AVENUE AND NORTH FAIR
OAKS AVENUE**

INC



PROJECT NO: 24-14002



1. FIELD WORK PERFORMED MAY 7 & 8, 2025.

2. THE LOCATION OF THE LINE IS BASED ON THE HIGHER QUALITY COORDINATE SYSTEM, DANE COUNTY, THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 07 NORTH, RANGE 09 EAST, RECORDED AS MB88903793.

3. LOCATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83). BENCHMARK IS A BRASS CP MONUMENT MARKING THE CENTER CORNER OF SECTION 10, TOWNSHIP 07 NORTH, RANGE 09 EAST.

4. CONTAINMENT LINE IS ONE FOOT.

5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY EXAMINING SURVEY, RECORDS AND APPROPRIATELY LOCATING DUGGERS (SEE DUGGER LOGS 202502022448, 202502022449, 202502022450, 202502022451, 202502022452, 202502022453, 202502022454, 202502022455, 202502022456, 202502022457, 202502022458, 202502022459, 202502022460, 202502022461, 202502022462, 202502022463, 202502022464, 202502022465, 202502022466, 202502022467, 202502022468, 202502022469, 202502022470, 202502022471, 202502022472, 202502022473, 202502022474, 202502022475, 202502022476, 202502022477, 202502022478, 202502022479, 202502022480, 202502022481, 202502022482, 202502022483, 202502022484, 202502022485, 202502022486, 202502022487, 202502022488, 202502022489, 202502022490, 202502022491, 202502022492, 202502022493, 202502022494, 202502022495, 202502022496, 202502022497, 202502022498, 202502022499, 202502022500, 202502022501, 202502022502, 202502022503, 202502022504, 202502022505, 202502022506, 202502022507, 202502022508, 202502022509, 202502022510, 202502022511, 202502022512, 202502022513, 202502022514, 202502022515, 202502022516, 202502022517, 202502022518, 202502022519, 202502022520, 202502022521, 202502022522, 202502022523, 202502022524, 202502022525, 202502022526, 202502022527, 202502022528, 202502022529, 202502022530, 202502022531, 202502022532, 202502022533, 202502022534, 202502022535, 202502022536, 202502022537, 202502022538, 202502022539, 202502022540, 202502022541, 202502022542, 202502022543, 202502022544, 202502022545, 202502022546, 202502022547, 202502022548, 202502022549, 202502022550, 202502022551, 202502022552, 202502022553, 202502022554, 202502022555, 202502022556, 202502022557, 202502022558, 202502022559, 202502022560, 202502022561, 202502022562, 202502022563, 202502022564, 202502022565, 202502022566, 202502022567, 202502022568, 202502022569, 202502022570, 202502022571, 202502022572, 202502022573, 202502022574, 202502022575, 202502022576, 202502022577, 202502022578, 202502022579, 202502022580, 202502022581, 202502022582, 202502022583, 202502022584, 202502022585, 202502022586, 202502022587, 202502022588, 202502022589, 202502022590, 202502022591, 202502022592, 202502022593, 202502022594, 202502022595, 202502022596, 202502022597, 202502022598, 202502022599, 202502022600, 202502022601, 202502022602, 202502022603, 202502022604, 202502022605, 202502022606, 202502022607, 202502022608, 202502022609, 202502022610, 202502022611, 202502022612, 202502022613, 202502022614, 202502022615, 202502022616, 202502022617, 202502022618, 202502022619, 202502022620, 202502022621, 202502022622, 202502022623, 202502022624, 202502022625, 202502022626, 202502022627, 202502022628, 202502022629, 202502022630, 202502022631, 202502022632, 202502022633, 202502022634, 202502022635, 202502022636, 202502022637, 202502022638, 202502022639, 202502022640, 202502022641, 202502022642, 202502022643, 202502022644, 202502022645, 202502022646, 202502022647, 202502022648, 202502022649, 202502022650, 202502022651, 202502022652, 202502022653, 202502022654, 202502022655, 202502022656, 202502022657, 202502022658, 202502022659, 202502022660, 202502022661, 202502022662, 202502022663, 202502022664, 202502022665, 202502022666, 202502022667, 202502022668, 202502022669, 202502022670, 202502022671, 202502022672, 202502022673, 202502022674, 202502022675, 202502022676, 202502022677, 202502022678, 202502022679, 202502022680, 202502022681, 202502022682, 202502022683, 202502022684, 202502022685, 202502022686, 202502022687, 202502022688, 202502022689, 202502022690, 202502022691, 202502022692, 202502022693, 202502022694, 202502022695, 202502022696, 202502022697, 202502022698, 202502022699, 202502022700, 202502022701, 202502022702, 202502022703, 202502022704, 202502022705, 202502022706, 202502022707, 202502022708, 202502022709, 202502022710, 202502022711, 202502022712, 202502022713, 202502022714, 202502022715, 202502022716, 202502022717, 202502022718, 202502022719, 202502022720, 202502022721, 202502022722, 2025020

27. EASEMENT GRANTED TO CITY OF MADISON RECORDED MARCH 7, 1961, VOLUME 308 OF RECORDS, PAGE 516, AS DOCUMENT NO. 1020696.
(THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREIN.)

28. LIMITED-HORISON EASEMENT GRANTED TO THE CITY OF MADISON SET FORTH IN AN AMOUNT OF DAMAGES RECORDED MARCH 15, 1971, VOLUME 234 OF RECORDS, PAGE 197, AS DOCUMENT NO. 1284817.
(THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREIN.)

29. COMMON EASEMENT RIGHT-OF-WAY AND COMMON JOINT DRAINAGE EASEMENT SET FORTH IN WARRANTY DEED RECORDED JUNE 2, 1976, VOLUME 685 OF RECORDS, PAGE 261 AS DOCUMENT NO. 1475878.
(THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.)

30. RIGHT-OF-WAY AS SET FORTH IN AFFIDAVIT OF CORRECTION RECORDED SEPTEMBER 02, 2016 AS DOCUMENT NO. 3264923, ALSO REPEAT IN PRIOR DEEDS.
(AFFECTS PARCEL A.)

(THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREIN.)

31. MORTGAGE DATED AUGUST 11, 2016 AND RECORDED AUGUST 11, 2016 AS DOCUMENT NO. 5283606, MADE BY 3353-59 EAST WASHINGTON AVENUE, LLC, A WISCONSIN LIMITED LIABILITY COMPANY, TO HOME SAVINGS BANK, ORGANIZED AND EXISTING UNDER THE LAWS OF WISCONSIN, TO SECURE AN INDEBTEDNESS IN THE AMOUNT OF \$146,434.36, AND THE TERMS AND CONDITIONS THEREON.
(AFFECTS PARCELS A.)

32. MODIFICATION AND/OR AMENDMENT BY INSTRUMENTS: MODIFICATION OF MORTGAGE RECORDED INFORMATION: SEPTEMBER 02, 2016 AS DOCUMENT NO. 5261416, AND/OR IDENTIFY MORTGAGE WAS ASSIGNED FROM HOME SAVINGS BANK, ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF WISCONSIN TO DUPUAC COMMUNITY CREDIT UNION, FILED FOR RECORD MARCH 14, 2023 AS DOCUMENT NO. 5898685 AND 5898848.
(AFFECTS PARCELS A.)

(THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, AND THEREFORE IS NOT PLOTTED HEREIN.)

33. ASSIGNMENT OF RIGHTS MADE BY 3353-59 EAST WASHINGTON AVENUE, LLC, A WISCONSIN LIMITED LIABILITY COMPANY TO HOME SAVINGS BANK, ORGANIZED AND EXISTING UNDER THE LAWS OF WISCONSIN RECORDED AUGUST 11, 2016 AS DOCUMENT NO. 5283607.
(AFFECTS PARCEL A.)

(THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, AND THEREFORE IS NOT PLOTTED HEREIN.)

34. MORTGAGE DATED AUGUST 11, 2016 AND RECORDED AUGUST 11, 2016 AS DOCUMENT NO. 5283450, MADE BY 3353-59 EAST WASHINGTON AVENUE, LLC, A WISCONSIN LIMITED LIABILITY COMPANY, TO HOME SAVINGS BANK, ORGANIZED AND EXISTING UNDER THE LAWS OF WISCONSIN, TO SECURE AN INDEBTEDNESS IN THE AMOUNT OF \$146,113.32, AND THE TERMS AND CONDITIONS THEREON.
(AFFECTS PARCELS B.)

35. MODIFICATION AND/OR AMENDMENT BY INSTRUMENTS: MODIFICATION OF MORTGAGE RECORDED INFORMATION: SEPTEMBER 02, 2016 AS DOCUMENT NO. 5261416, AND/OR IDENTIFY MORTGAGE WAS ASSIGNED FROM HOME SAVINGS BANK, ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF WISCONSIN TO DUPUAC COMMUNITY CREDIT UNION, FILED FOR RECORD MARCH 14, 2023 AS DOCUMENT NO. 5898685 AND 5898848.
(AFFECTS PARCELS B.)

(THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, AND THEREFORE IS NOT PLOTTED HEREIN.)

36. ASSIGNMENT OF RIGHTS MADE BY 3353-59 EAST WASHINGTON AVENUE, LLC, A WISCONSIN LIMITED LIABILITY COMPANY TO HOME SAVINGS BANK, ORGANIZED AND EXISTING UNDER THE LAWS OF WISCONSIN RECORDED AUGUST 11, 2016 AS DOCUMENT NO. 5283451.
(AFFECTS PARCEL B.)

(THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, AND THEREFORE IS NOT PLOTTED HEREIN.)

PARCEL A:

FOR INFORMATIONAL PURPOSES ONLY:
PROPERTY ADDRESS: 3159 EAST WASH

FOR INFORMATIONAL PURPOSES ONLY:

PROPERTY ADDRESS: 3357 EAST WASHINGTON AVENUE
TAX PARCEL NO. 251/0810-324-1107-7

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TO:

1) FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES,
 2) VOLKER DEVELOPMENT, INC. & WORKINGMAN CORPORATION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS.

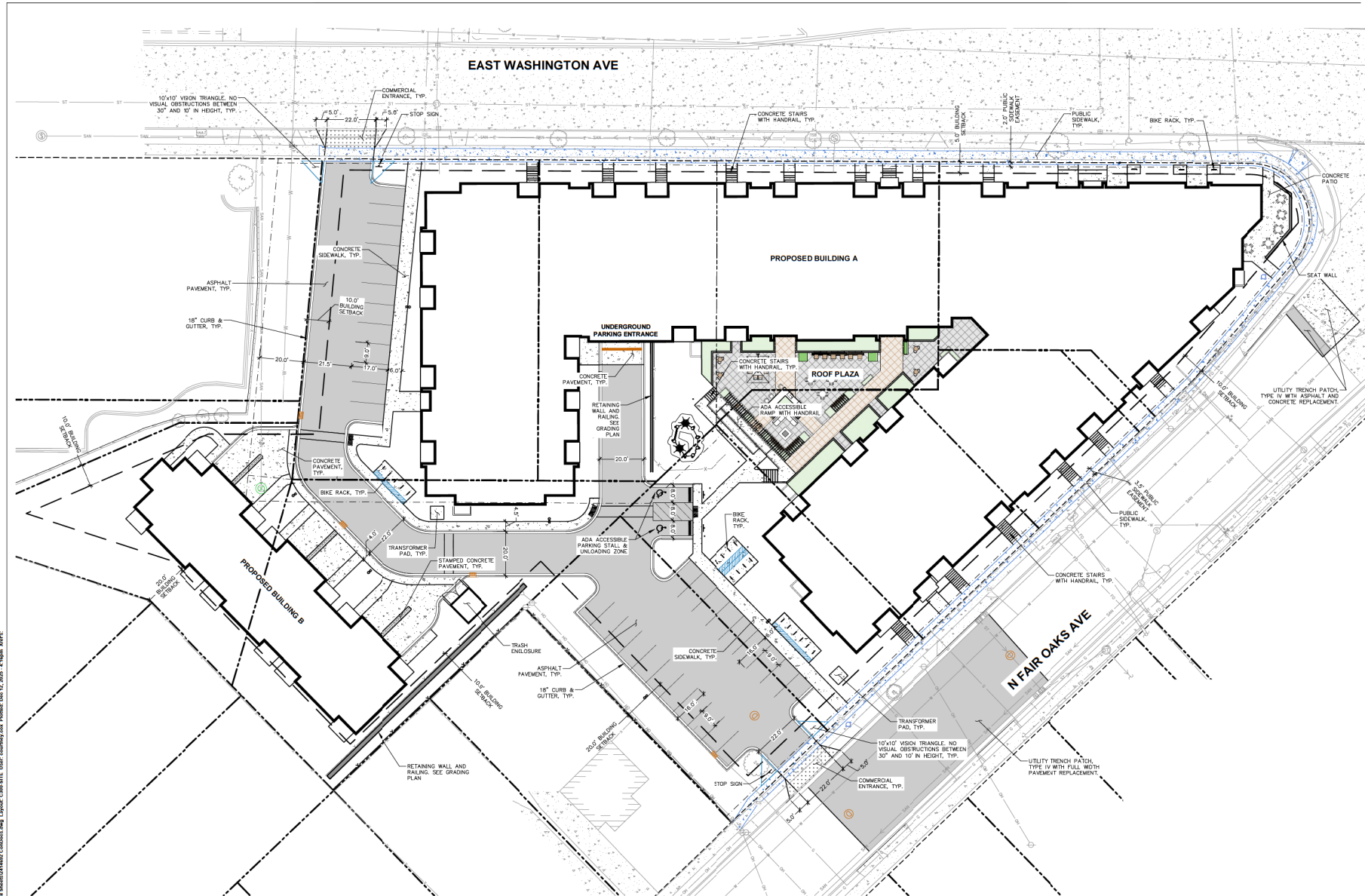
TODD J. BUHR, S-28
PROFESSIONAL LAND

Email: todd.bahr@jadinc.com
Website: www.jadinc.com

STORM SEWER INLETS					
INLET ID	R/W ELEVATION	INVERT	ELEVATION	PIPE SIZE	PP: TYPE
INL-1	872.52		--		
INL-2	872.48	E	870.18	15"	RCP
INL-3	872.51		--		
INL-4	872.50	W	869.37	15"	RCP
		NE	869.37	15"	RCP
INL-5	878.45	NW	875.12	12"	RCP
INL-6	876.54	SE	874.90	8"	PVC
INL-7	857.79	SW	854.58	8"	PVC

STORM SEWER MANHOLES						
STRUCT. ID	R/W	ELEVATION	INVERT	ELEVATION	PIPE SIZE	P/CPT TYPE
STM-1		873.69	SW	869.39	15"	RCP
			N	869.42	12"	RCP
STM-2		876.54	SE	866.34	15"	RCP
			SE	874.39	12"	RCP
			NW	874.39	12"	RCP
STM-3		876.28	SW	874.29	18"	RCP
			NE	--	18"	RCP
			SE	872.30	12"	RCP
STM-4		874.60	NW	872.30	12"	RCP
			NW	872.23	24"	RCP
			--	--	--	--

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THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



DIGGERS HOTLINE
Toll Free (800) 242-8511



jsdinc.com

MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
VOLKER DEVELOPMENT INC

CLIENT ADDRESS:
464 S HICKORY ST. SUITE C
FOND DU LAC, WI 54935

PROJECT:
FAIR OAKS REDEVELOPMENT

PROJECT LOCATION:
952 N FAIR OAKS AVE.
MADISON, DANE COUNTY
WISCONSIN 53704

PLAN MODIFICATIONS:	
#	Description
1	06.16.20 LAND USE SUBMITTAL
2	09.02.20 LAND USE RE-SUBMITTAL
3	12.12.20 SITE PLAN REVIEW SUBMITTAL
4	
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15	

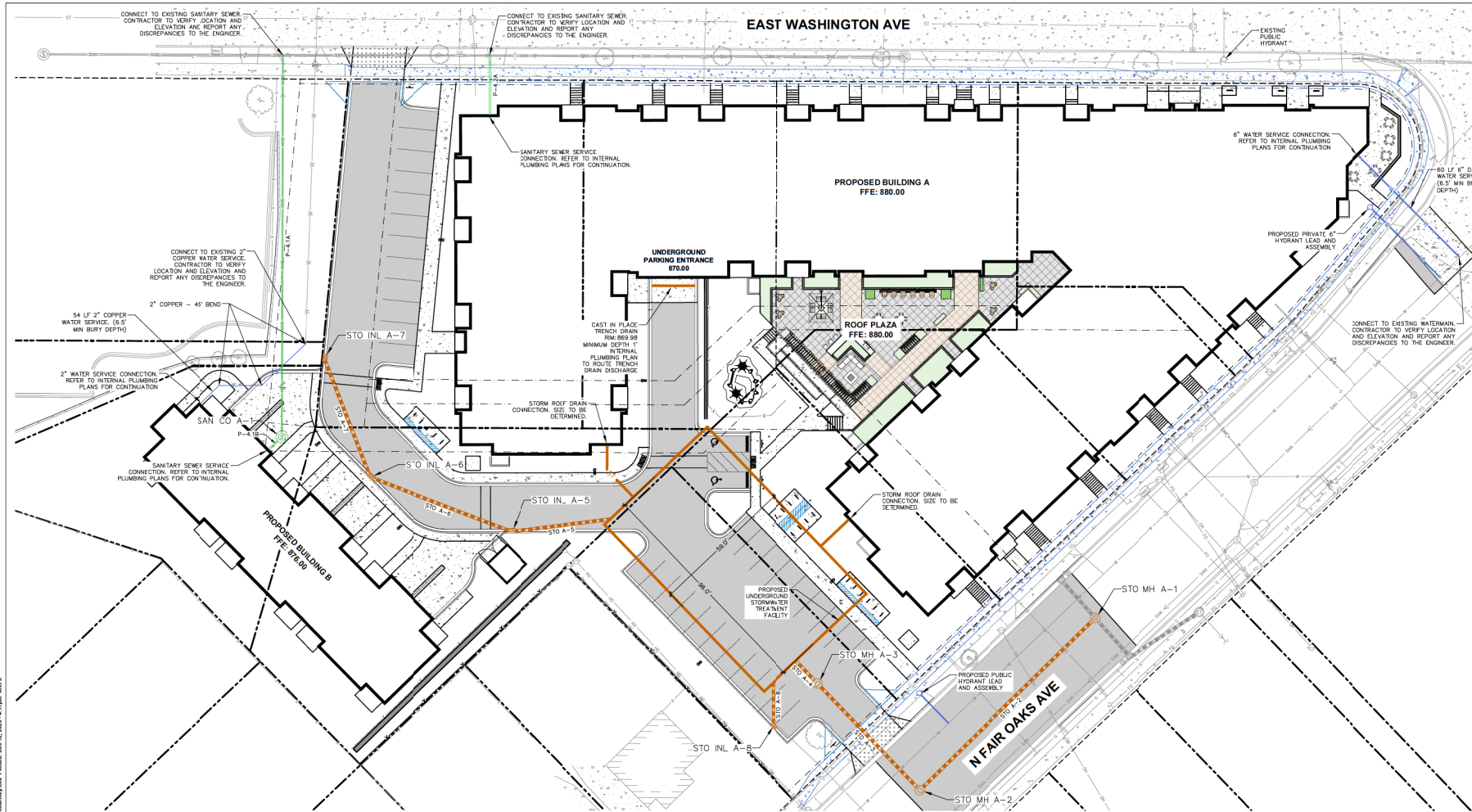
Designed By: CAC
Reviewed By: CWD
Approved By: CWD

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C300

JSD PROJECT NO: 24-14882

FILE: J:\JSD\Projects\052020\052020-04-002\DWG\052020-04-002-01-001.dwg User: cswd\jswd Date: 12/20/2020 4:47pm Page: 1



PROPOSED STORM SEWER STRUCTURE TABLE						
LABEL	RM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE	
STO INL A-5	874.41	NE INV: 871.21 (15') SW INV: 871.31 (15')	3.2	2 x 3 INLET	R-3067 TYPE L	
STO INL A-6	874.87	NE INV: 871.62 (15') NW INV: 871.72 (15')	3.2	2 x 3 INLET	R-3067 TYPE R	
STO INL A-7	875.59	SE INV: 871.99 (15')	3.6	2 x 3 INLET	R-3067 TYPE R	
STO INL A-8	873.42	NW INV: 870.78 (12') W INV: 869.77 (15') S INV: 869.77 (15')	2.7	2 x 3 INLET	R-3067 TYPE L	
STO MH A-1	873.41	E INV: 870.18 (15') W INV: 870.18 (15')	3.6	48 IN MH (FLAT)	R-1550 SOLID LD	
STO MH A-2	873.73	N INV: 870.18 (15') W INV: 870.18 (15')	3.7	48 IN MH (FLAT)	R-1550 SOLID LD	
STO MH A-3	873.72	E INV: 870.18 (15') W INV: 870.18 (15')	3.5	48 IN MH (FLAT)	R-1550 SOLID LD	

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-2	STO MH A-2	STO MH A-1	102'	870.03	869.77	0.25%	15 IN RCP
STO A-3	STO MH A-3	STO MH A-2	67'	870.18	870.03	0.25%	15 IN RCP
STO A-4	UG SYSTEM A-4	STO MH A-3	13'	870.21	870.18	0.25%	15 IN RCP
STO A-5	STO INL A-5	UG SYSTEM A-4	42'	871.21	871.00	0.50%	15 IN RCP
STO A-6	STO INL A-6	STO INL A-5	63'	871.62	871.31	0.50%	15 IN RCP
STO A-7	STO INL A-7	STO INL A-6	53'	871.99	871.72	0.50%	15 IN RCP
STO A-8	STO INL A-8	UG SYSTEM A-4	18'	870.76	870.71	0.25%	12 IN RCP

PROPOSED SANITARY SEWER STRUCTURE TABLE						
LABEL	RM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE	
SAN CO A-1	875.53	NW INV: 868.88 (5') S INV: 868.88 (5')	6.7	CLEANOUT	R-5900A SOLID LD	

PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
P-4.1A	SAN CO A-1	SAN MAIN A	159'	868.88	867.23	1.04%	6 IN PVC
P-4.1B	TOWN HOMES	SAN CO A-1	7'	868.96	868.88	1.04%	6 IN PVC
P-4.2A	BUILDING A	SAN MAIN B	23'	867.90	867.64	1.04%	8 IN PVC

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MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
VOLKER DEVELOPMENT INC

CLIENT ADDRESS:
464 S HICKORY ST. SUITE C
FOND DU LAC, WI 54935

PROJECT:
FAIR OAKS REDEVELOPMENT

PROJECT LOCATION:
952 N FAIR OAKS AVE.
MADISON, DANE COUNTY
WISCONSIN 53704

PLAN MODIFICATIONS	
#	Description
1	06.18.20 LAND USE SUBMITTAL
2	09.02.20 LAND USE RE-SUBMITTAL
3	10.12.20 SITE PLAN REVIEW SUBMITTAL
4	
5	
6	
7	
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13	
14	
15	

Designed By: CAC
Reviewed By: CWD

Approved By: CWD

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:

C500

JSD PROJECT NO:

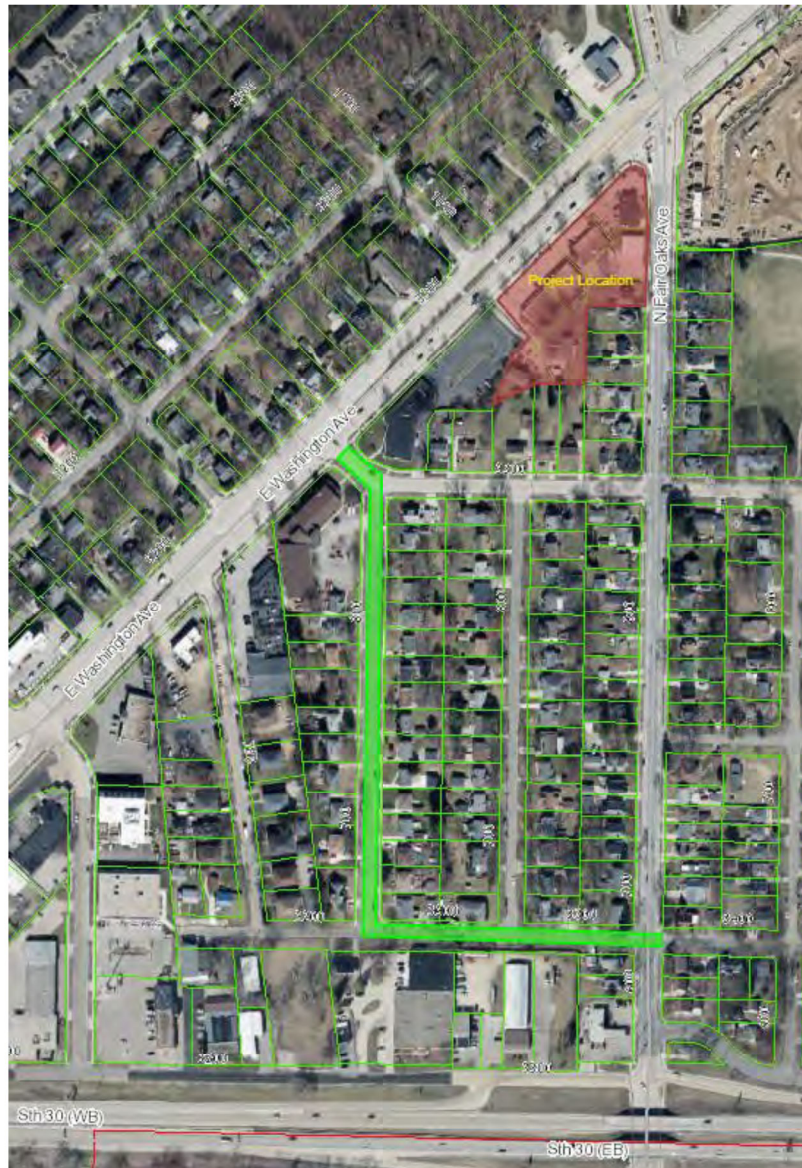
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

**952 N Fair Oaks Avenue
Contract 9746
Project 16128
Developer: The Point Residences, LLC**

Required off-site sanitary sewer improvement due to projects wastewater flow calculations exceeding existing public sewer pipe capacity. The Developer is responsible for the cost of the improvements increasing the public main from 8" to 15". The City will reimburse the Developer, up to the limit allowed by State Statute, which is currently \$25,000, for the clay pipe that would have otherwise been lined.

Off-Site Sanitary Sewer Corridor Location

Begin at E Washington Ave and Lexington St to the intersection of Lexington St and Powers Ave, south approximately 1,000' on Powers Ave to Burke Ave, east of Burke Ave approximately 650' and connect into existing at N Fair Oaks Ave.



A north arrow pointing to the right, labeled "north" vertically. Below it is a scale bar labeled "SCALE IN FEET" with markings at 30', 0, and 30'.



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MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**VOLKER
DEVELOPMENT, INC.**

CLIENT ADDRESS:
464 S HICKORY ST STE C
FOND DU LAC, WI, 54935

PROJECT:
E WASHINGTON AVE &
N FAIR OAKS MULTI-
FAMILY DEVELOPMENT
CITY PROJECT #: XXXXX; CONTRACT #: XXXXX

PROJECT LOCATION:
BURKE AVE / POWERS AVE
MADISON, WI 53701
DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	##.##.##	NOT FOR CONSTRUCTION
2		
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Designed By:	SJF
Reviewed By:	CAC
Approved By:	CWD

SHEET TITLE:
**PUBLIC SANITARY
IMPROVEMENT
GRADING & EROSION
CONTROL PLAN - NORTH**

SHEET NUMBER:

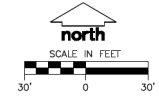
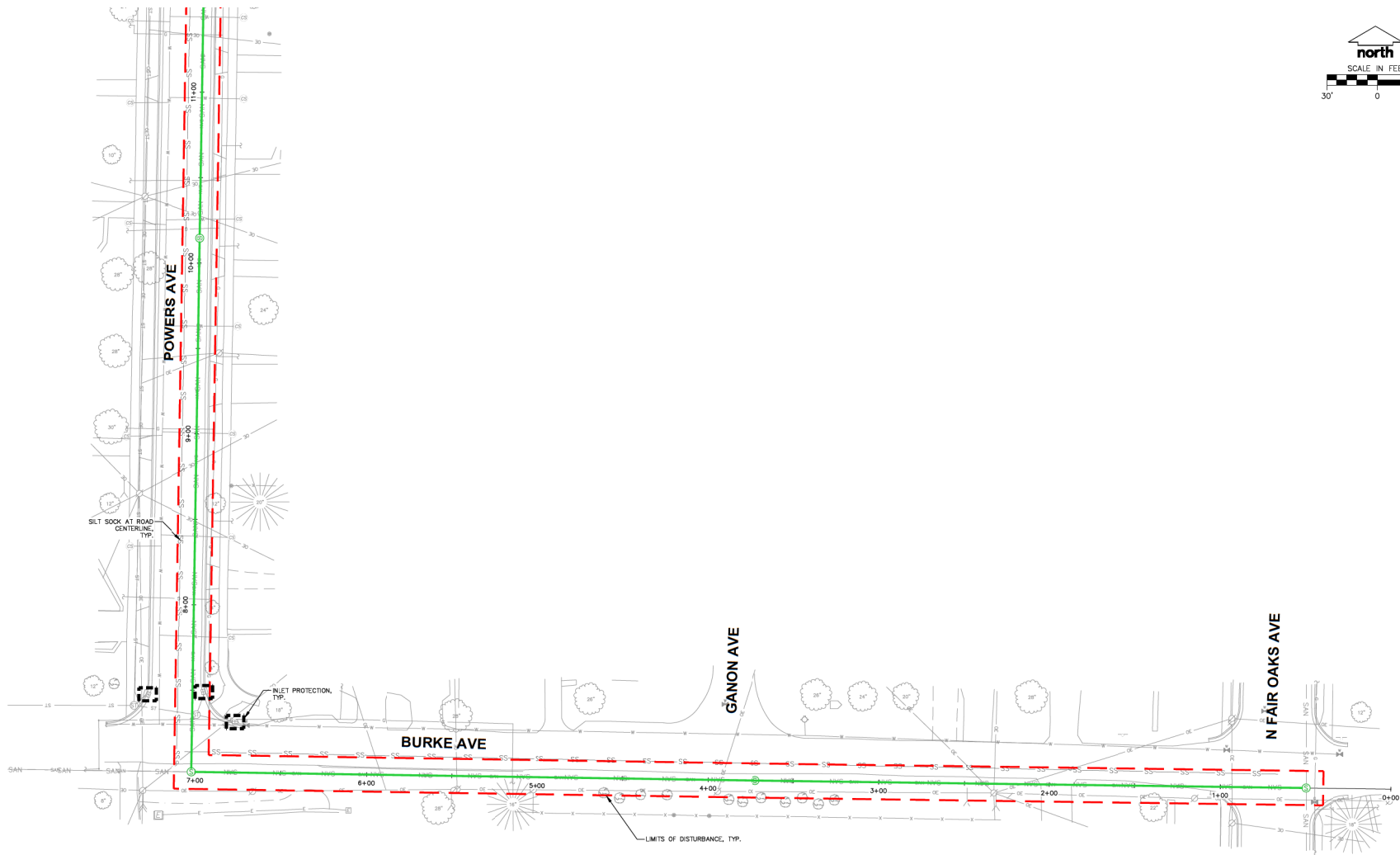
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JSD PROJECT NO:

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File: \\USDINC\projects\2024\2414692\DWG\Civil Sheets\2414692 EC Plan.dwg Layout: EC PLAN - NORTH User: scott.foley Plotted: Mar 30, 2026 - 4:06pm Xrefs:

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MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 300
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**VOLKER
DEVELOPMENT, INC.**

CLIENT ADDRESS:
464 S HICKORY ST STE C
FOND DU LAC, WI, 54935

PROJECT:
**E WASHINGTON AVE &
N FAIR OAKS MULTI-
FAMILY DEVELOPMENT**
CITY PROJECT #: XXXXX; CONTRACT #: XXXX

PROJECT LOCATION:
**BURKE AVE / POWERS AVE
MADISON, WI 53701
DANE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1.	08.08.08	NOT FOR CONSTRUCTION
2.		
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Designed By: SJT
Reviewed By: CAC
Approved By: CWD

SHEET TITLE:
**PUBLIC SANITARY
IMPROVEMENT
GRADING & EROSION
CONTROL PLAN - SOUTH**

SHEET NUMBER:
EC-1

JSD PROJECT NO: 24-14692

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.