



Olin Avenue Mixed Use Development
250 East Olin Avenue | Madison, Wisconsin



DESIGN ARCHITECT

**Eastman
Lee**
Architects

ARCHITECT OF RECORD





Redevelopment Proposal - 250 E. Olin Avenue

- Two Lot Certified Survey Map
- Lot 1 - Wonder Bar
- Lot 2 - New Project
 - 12-story post-tensioned concrete
 - Approx. 13,500 SF of commercial space
 - 225 parking stalls
 - 192 apartments
 - Common amenities



Olin Avenue Mixed Use Development

250 East Olin Avenue | Madison, Wisconsin



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ARCHITECTS

MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: 21-1201



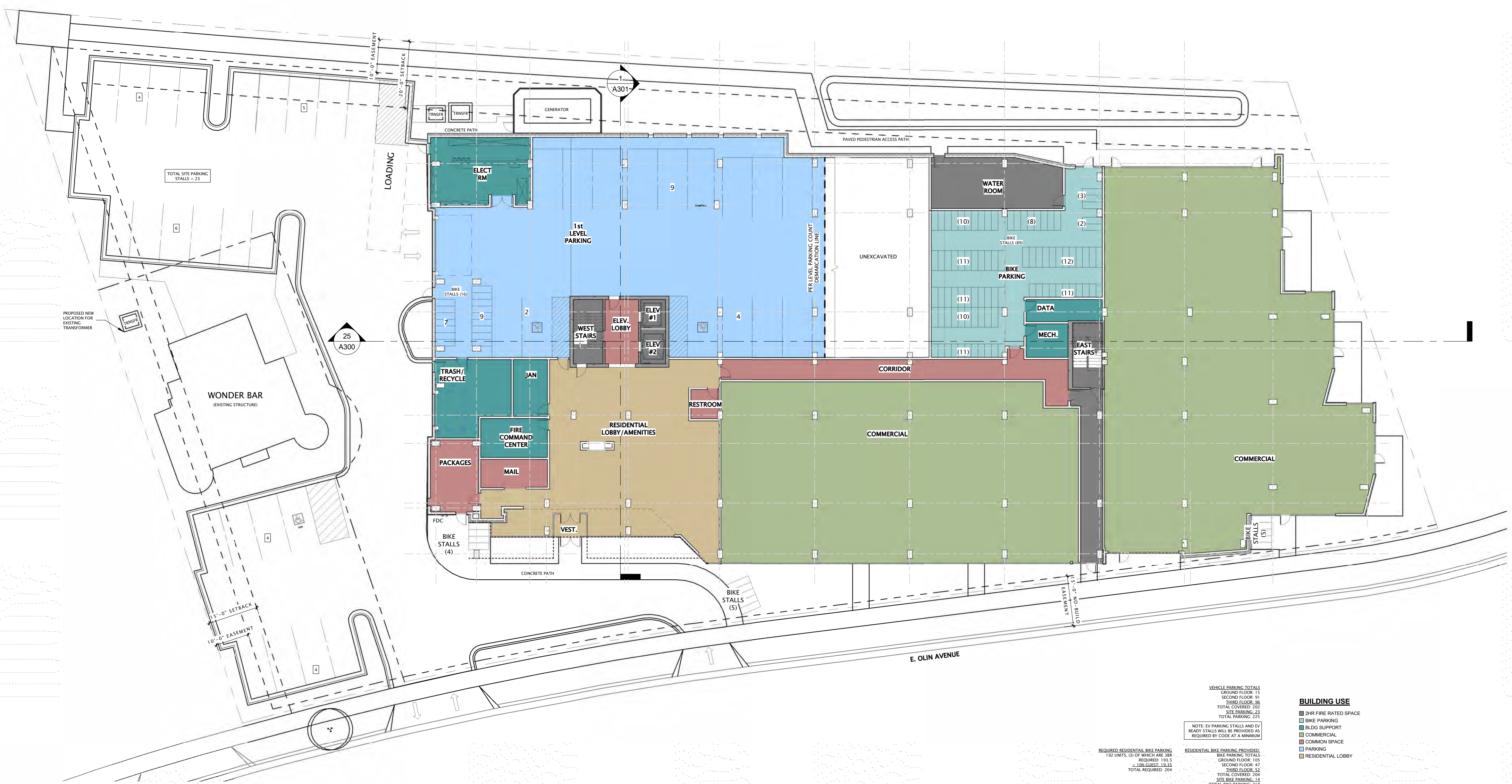
OLIN AVENUE
MIXED-USE
DEVELOPMENT
LAND USE APPLICATION

DATE OF ISSUANCE APRIL 11, 2022

| REVISION SCHEDULE | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE
OVERALL FIRST FLOOR
PLAN (INCLUDES SITE
LAYOUT)

SHEET NUMBER
A100



26 FIRST FLOOR PLAN - OVERALL
1/16" = 1'-0"

VEHICLE PARKING DETAILS
 REQUIRED FLOOR 11
 COVERED FLOOR 36
 TOTAL COVERED 47
 TOTAL PARKING 23
 TOTAL PARKING 23

NOTE: (1) PARKING STALLS AND (1) BIKE STALLS WILL BE PROVIDED AS REQUIRED BY CODE AT A MINIMUM

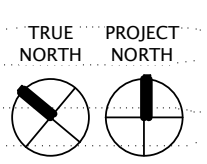
REQUIRED RESIDENTIAL BIKE PARKING:
 10% OF 100 UNITS = 10
 10% OF 100 UNITS = 10
 10% OF 100 UNITS = 10
 TOTAL REQUIRED 30

RESIDENTIAL BIKE PARKING PROVIDED:
 BIKE PARKING 20 STALLS
 COVERED FLOOR 10
 UNCOVERED FLOOR 10
 TOTAL PROVIDED 20

REQUIRED COMMERCIAL BIKE PARKING:
 10% OF 100 UNITS = 10
 10% OF 100 UNITS = 10
 10% OF 100 UNITS = 10
 TOTAL REQUIRED 30

COMMERCIAL BIKE PARKING PROVIDED:
 BIKE PARKING 20 STALLS
 COVERED FLOOR 10
 UNCOVERED FLOOR 10
 TOTAL PROVIDED 20

- BUILDING USE**
- 2HR FIRE RATED SPACE
 - BIKE PARKING
 - BIKE SUPPORT
 - COMMERCIAL
 - COMMON SPACE
 - PARKING
 - RESIDENTIAL LOBBY



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OLIN AVENUE
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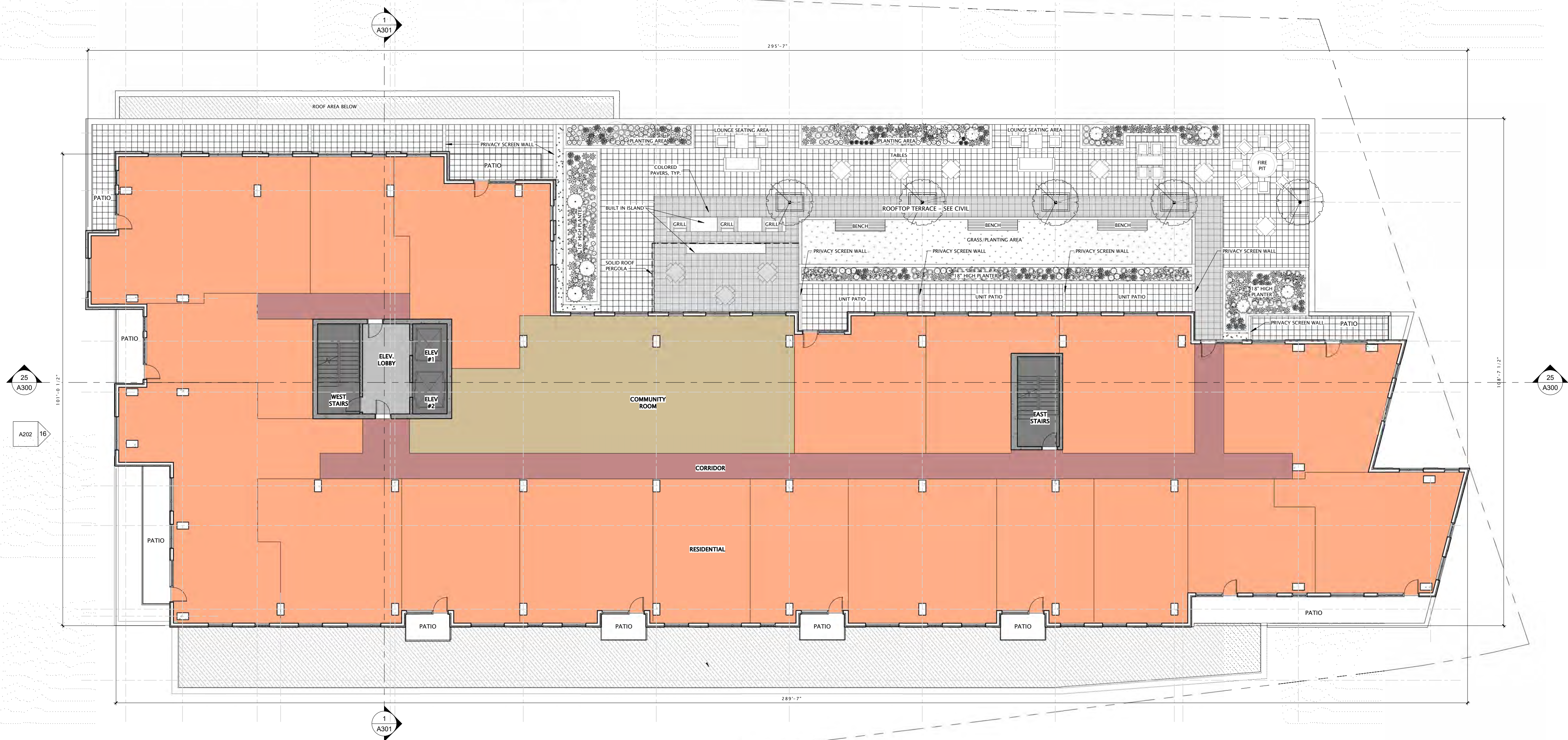
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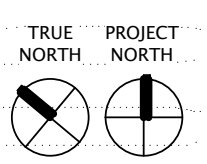
SHEET TITLE
FOURTH FLOOR PLAN

SHEET NUMBER
A104



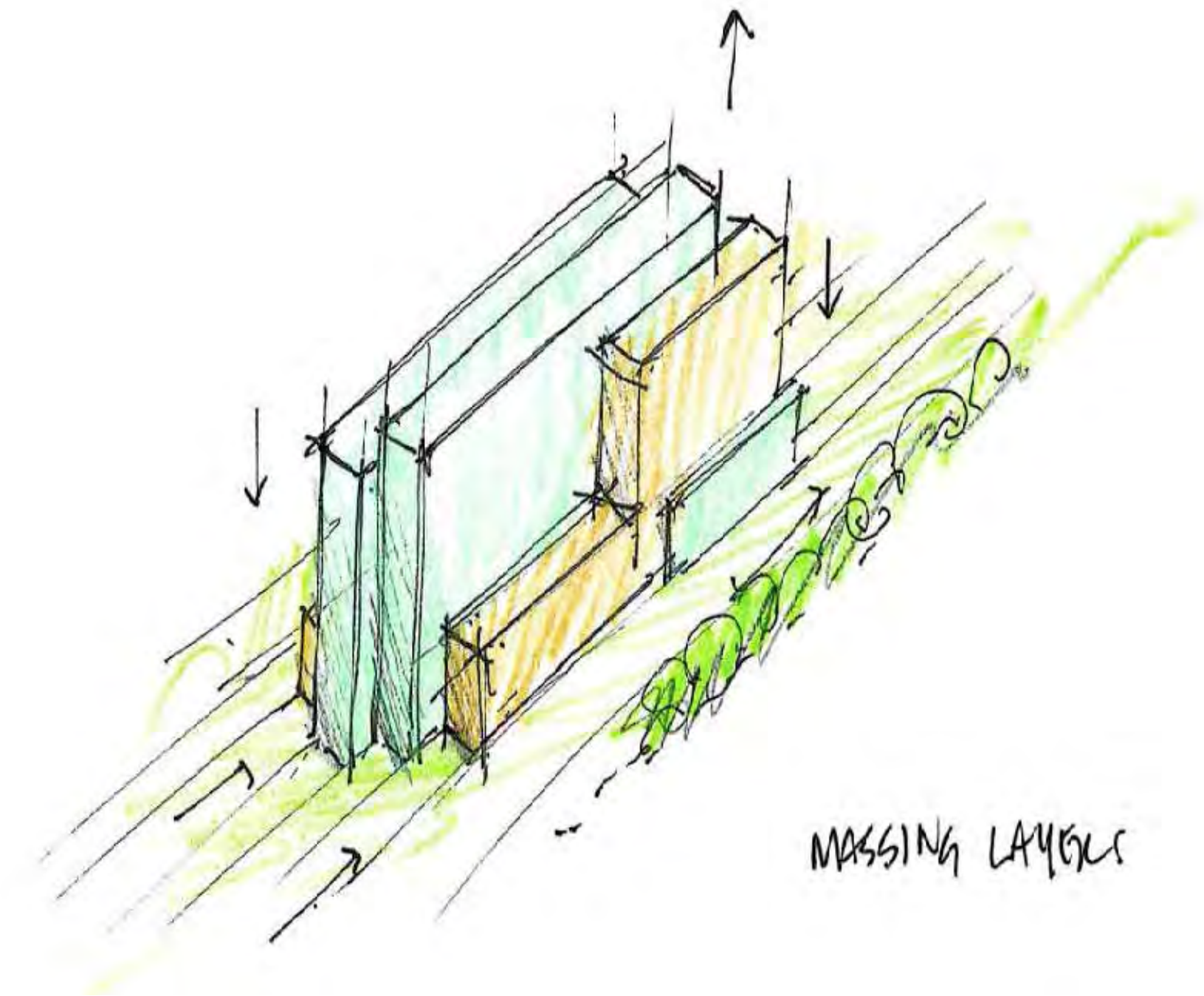
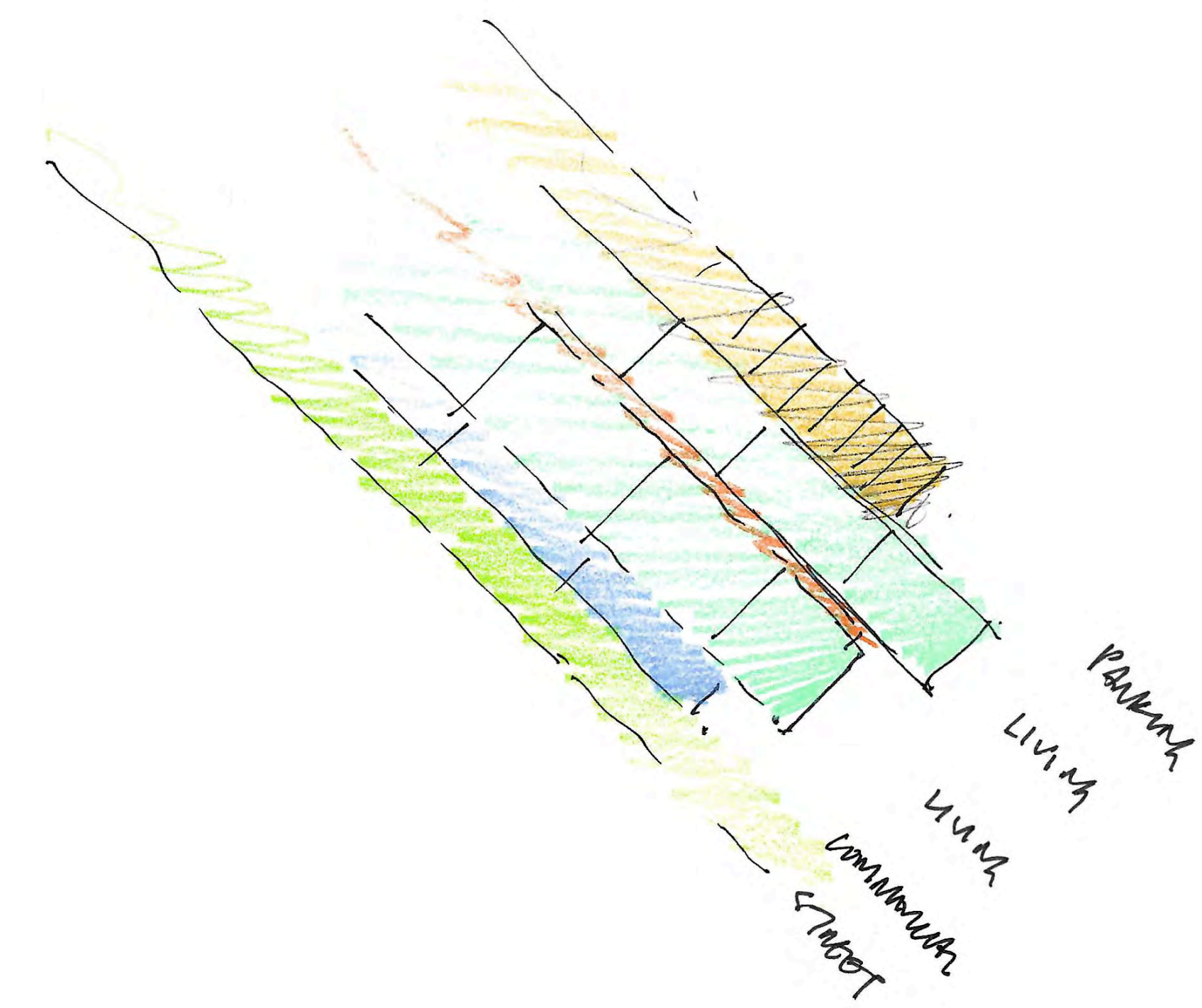
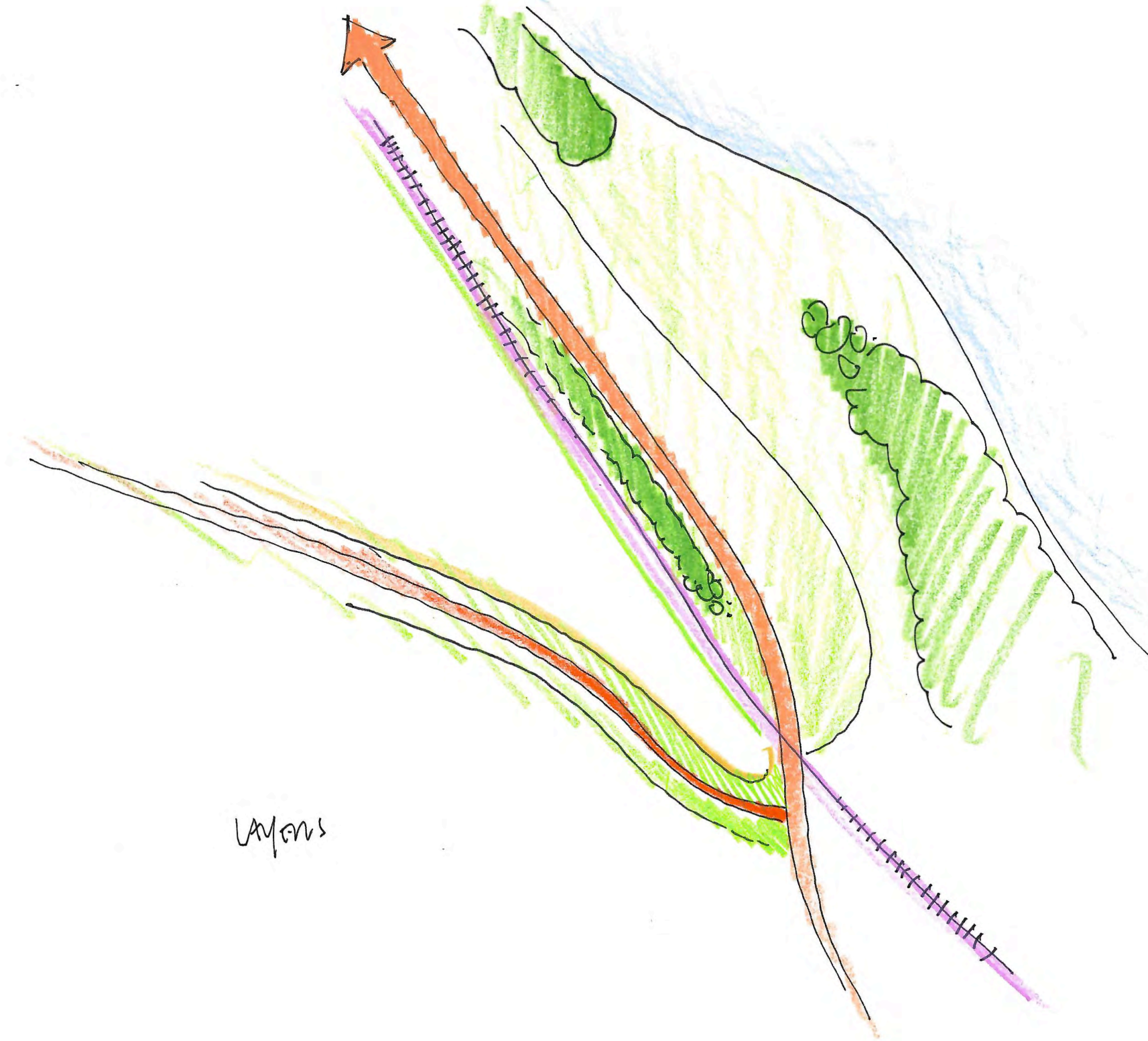
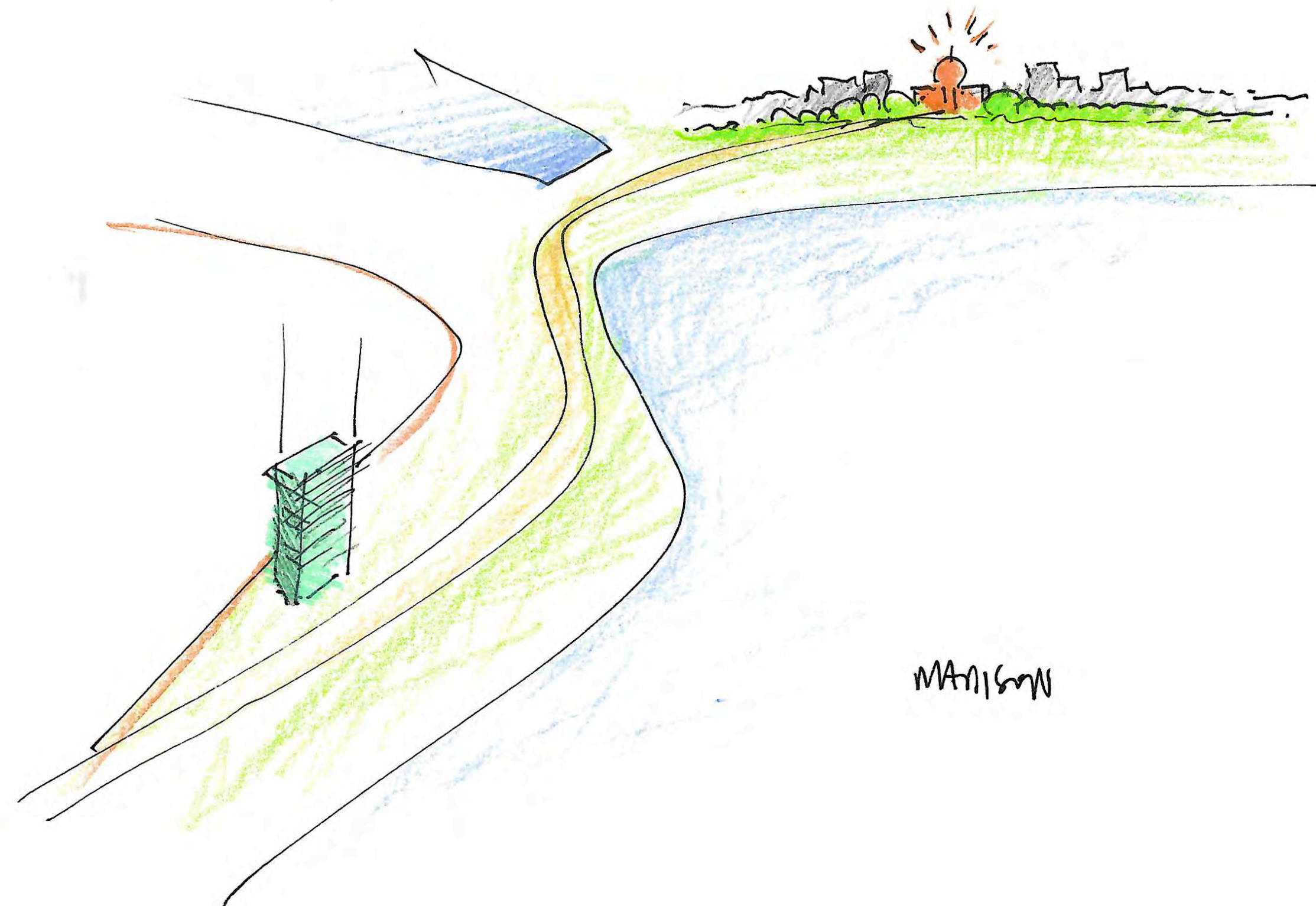
BUILDING USE

- 1HR FIRE RATED SPACE
- 2HR FIRE RATED SPACE
- COMMON SPACE
- RESIDENTIAL
- RESIDENTIAL AMENITIES



25 FOURTH FLOOR PLAN
3/32" = 1'-0"

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Concept Sketches

Olin Avenue Mixed Use Development

250 East Olin Avenue | Madison, Wisconsin



View from John Nolen Drive looking north

Olin Avenue Mixed Use Development
250 East Olin Avenue | Madison, Wisconsin



View from John Nolen Drive looking south

Olin Avenue Mixed Use Development

250 East Olin Avenue | Madison, Wisconsin



View from East Olin Avenue looking south

Olin Avenue Mixed Use Development
250 East Olin Avenue | Madison, Wisconsin



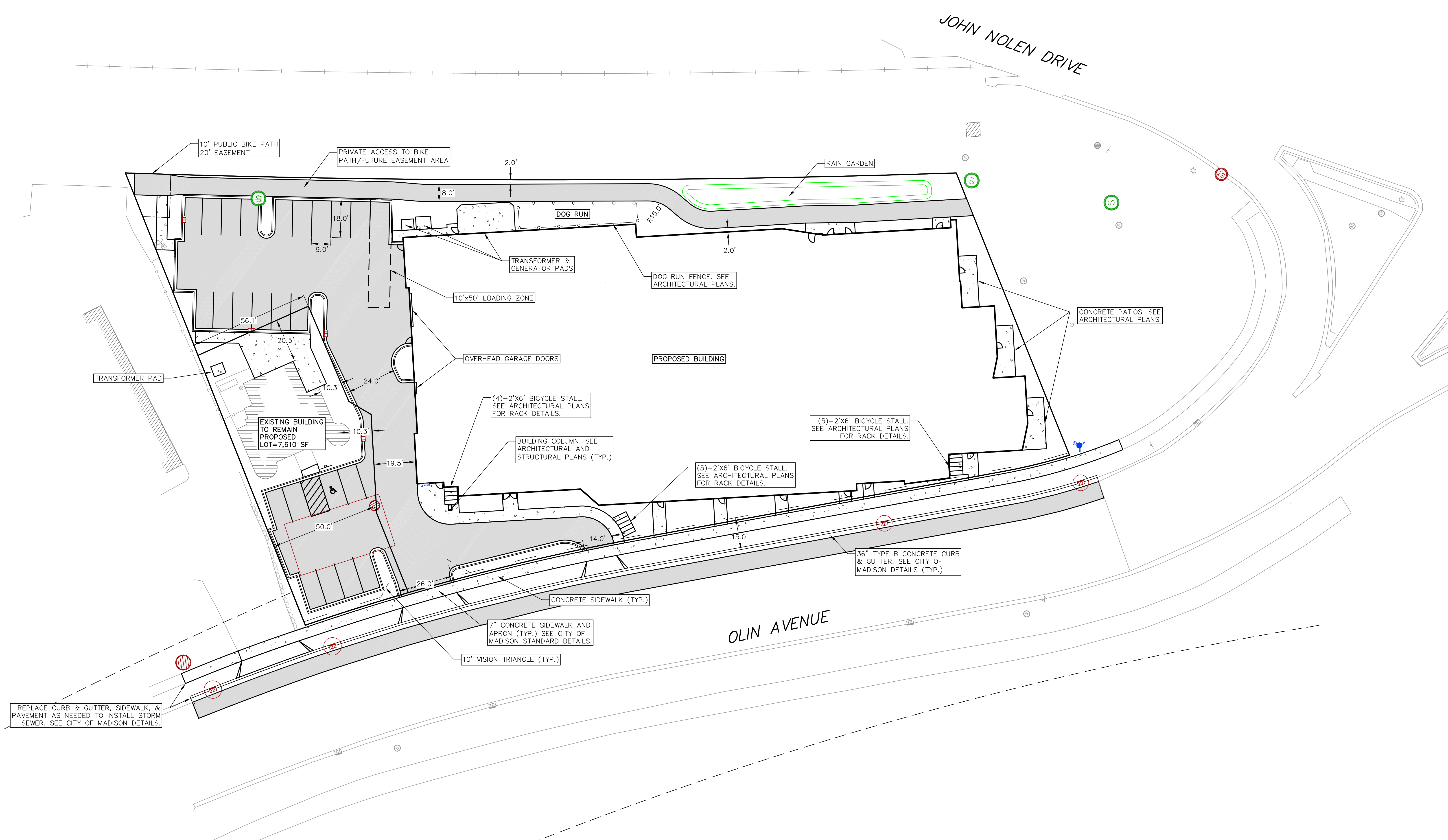
View of main entrance

Olin Avenue Mixed Use Development
250 East Olin Avenue | Madison, Wisconsin



View from John Nolen Drive looking north

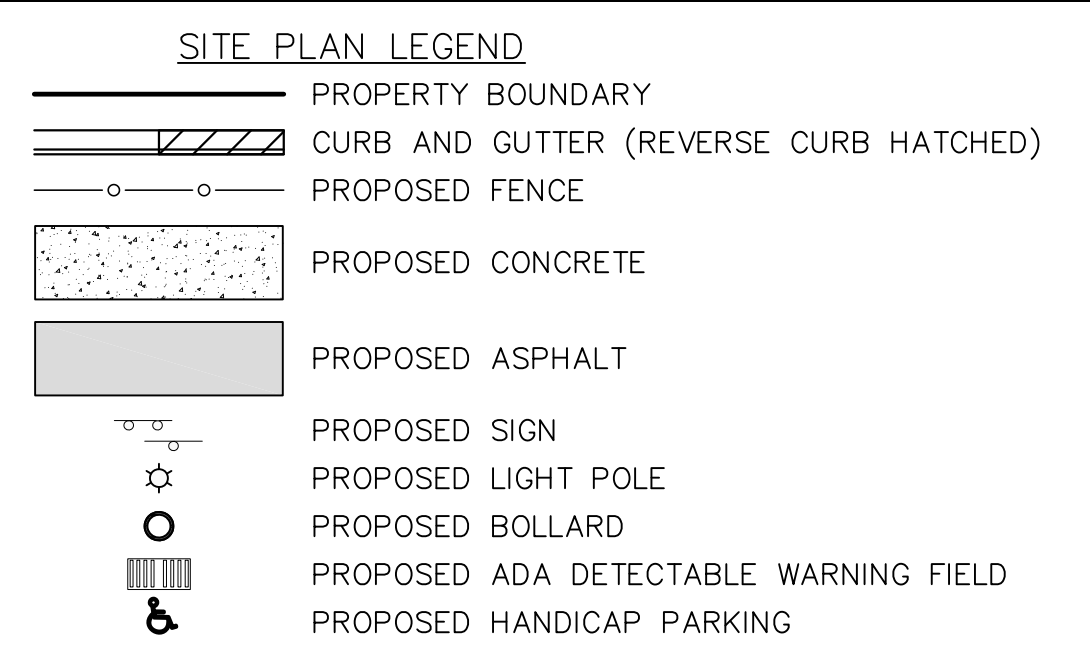
Olin Avenue Mixed Use Development
250 East Olin Avenue | Madison, Wisconsin



REPLACE CURB & GUTTER, SIDEWALK, & PAVEMENT AS NEEDED TO INSTALL STORM SEWER. SEE CITY OF MADISON DETAILS.

NOT FOR CONSTRUCTION

- SITE PLAN NOTES:**
- CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED BASE COURSE UNLESS OTHERWISE NOTED.
 - CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE COURSE OF 5" COMPACTED SAND OR CRUSHED STONE UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
 - CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS TO BE RESTORED WITH TOPSOIL AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
 - CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 - ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - SEE ARCHITECTS PLANS FOR THE BUILDING DIMENSIONS. ALL BUILDING DIMENSIONS SHALL BE COORDINATED AND VERIFIED WITH THE ARCHITECTS PLANS. ALL DIMENSIONS TO BUILDINGS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.



PARKING LOT SITE INFORMATION BLOCK

SITE ADDRESS: 250 E. OLIN AVE
SITE ACREAGE (TOTAL) = 1.47 ACRES

NUMBER OF BUILDING STORIES (ABOVE GRADE): 13
BUILDING HEIGHT: 136'
DILHR TYPE OF CONSTRUCTION (NEW STRUCTURES): TYPE 1A
USE OF PROPERTY: MIXED-USE
GROSS SQUARE FT OF BUILDING: 284,233 GSF
GROSS SQUARE FT OF COMMERCIAL/OFFICE AREA: 13,506 GSF
NUMBER OF EMPLOYEES: TBD (OFFICE SPACE)
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY: TBD

NUMBER OF BICYCLE STALLS SHOWN: 239 INTERNAL + 14 EXTERNAL = 253

NUMBER OF PARKING STALLS:

| | |
|------------------|--------------------------------|
| PROPOSED SITE | 23 |
| PROPOSED COVERED | 202 |
| ELECTRIC VEHICLE | 2% EV INSTALLED, 10% EV READY. |
| ACCESSIBLE | 7 TOTAL, 1 ON SITE, 6 COVERED. |
| VAN ACCESSIBLE | 1 ON SITE, 1 COVERED. |
| TOTAL | 225 |

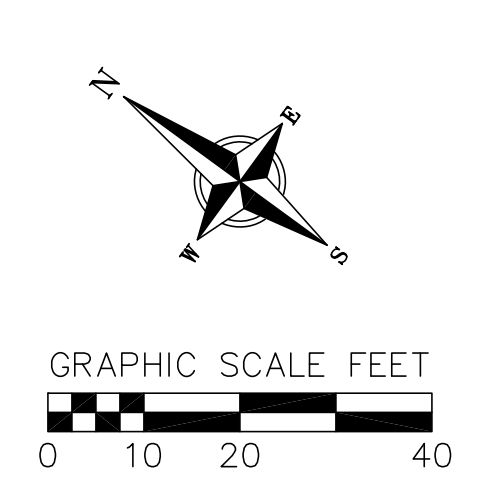
NUMBER OF TREES SHOWN: SEE LANDSCAPE PLAN

LOT COVERAGE & USABLE OPEN SPACE CALCULATIONS

SITE AREA: 63,775 SF
LOT COVERAGE: 52,923 SF
LOT COVERAGE: 83
LOT COVERAGE MAXIMUM: 85%

NUMBER OF BEDROOMS: 257
REQUIRED USABLE OPEN SPACE = 20 SF/BEDROOM = 5,140 SF
SITE USABLE OPEN SPACE AREA (DOG RUN & REAR OF BUILDING): 3,120 SF
BUILDING USABLE OPEN SPACE AREA (BALCONY & ROOFDECK AREA): 18,716 SF
(SEE ARCHITECTURAL PLANS FOR BALCONY & ROOFDECK LAYOUT)

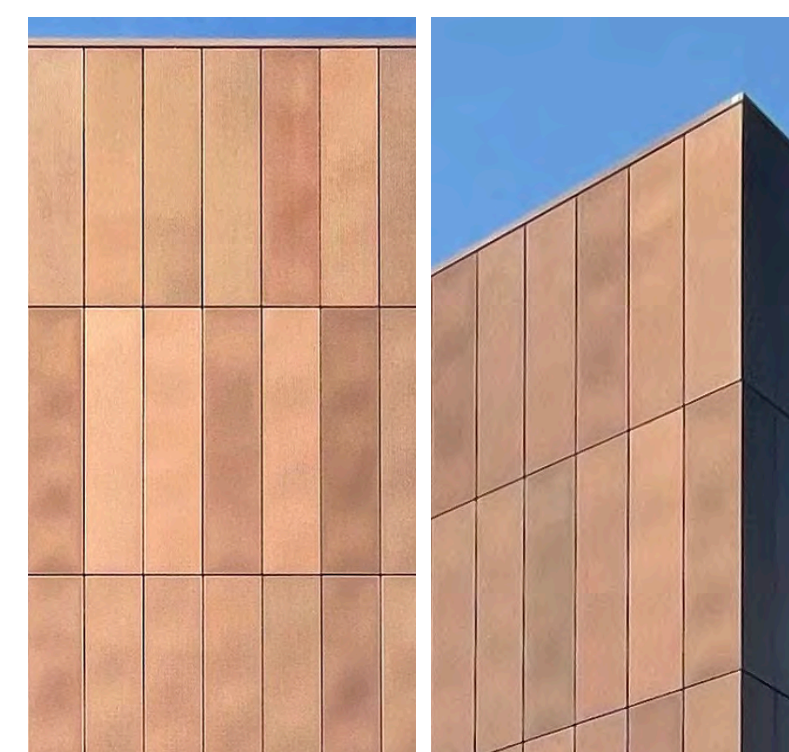
TOTAL USABLE OPEN SPACE: 21,836 SF



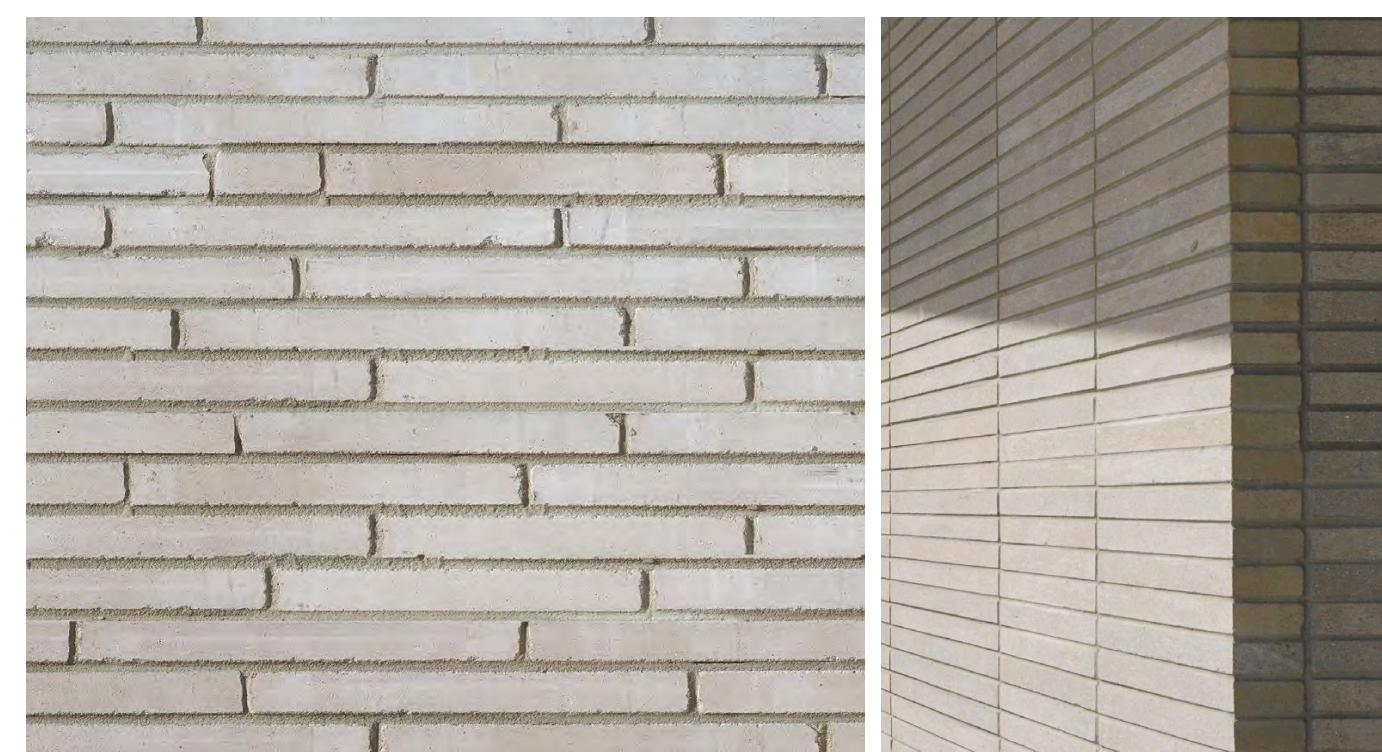
SITE PLAN
250 E. OLIN AVENUE
CITY OF MADISON
DANE COUNTY, WISCONSIN

| NO. | DATE | REVISIONS | REMARKS |
|-----|------|-----------|---------|
| | | | |
| | | | |
| | | | |
| | | | |

DATE: 06/13/2022
DRAFTER: JGOL
CHECKED: CLAN/TSCH
PROJECT NO.: 210063
C300



MTL-6
Copper Anodized Examples



BRICK-1
Arriscraft Linear Brick in Opal Examples



MTL-1/2
Morin Matrix 1.0 Example (for profile only)



Materials

Olin Avenue Mixed Use Development

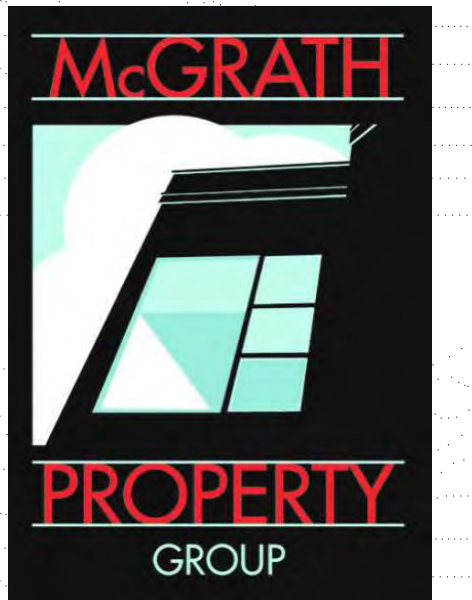
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| | | |

SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A101



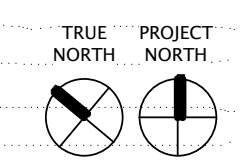
VEHICLE PARKING TOTALS
GROUND FLOOR 11
SECOND FLOOR 0
TOTAL VEHICLE 11
TOTAL PARKING 22

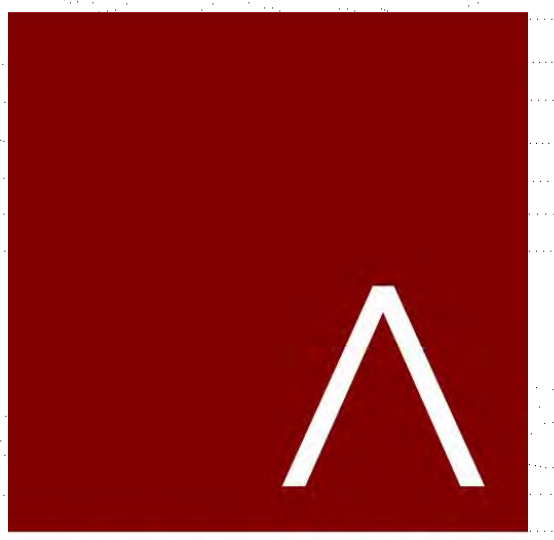
NOTE: BIKE STALLS ARE TO BE PROVIDED AS REQUIRED BY CODE AT A MINIMUM.

RESIDENTIAL BIKE PARKING PROVIDED TO MEET THE MINIMUM OF 15 PER 100 GROSS SQ FT. TOTAL PROVIDED 204

RESIDENTIAL BIKE PARKING PROVIDED TO MEET THE MINIMUM OF 15 PER 100 GROSS SQ FT. TOTAL PROVIDED 204

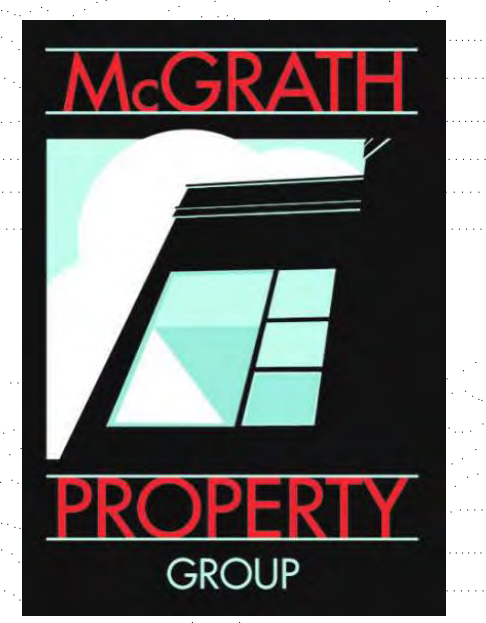
- BUILDING USE**
- 2HR FIRE RATED SPACE
 - BIKE PARKING
 - BILOG SUPPORT
 - COMMERCIAL
 - COMMON SPACE
 - PARKING
 - RESIDENTIAL LOBBY





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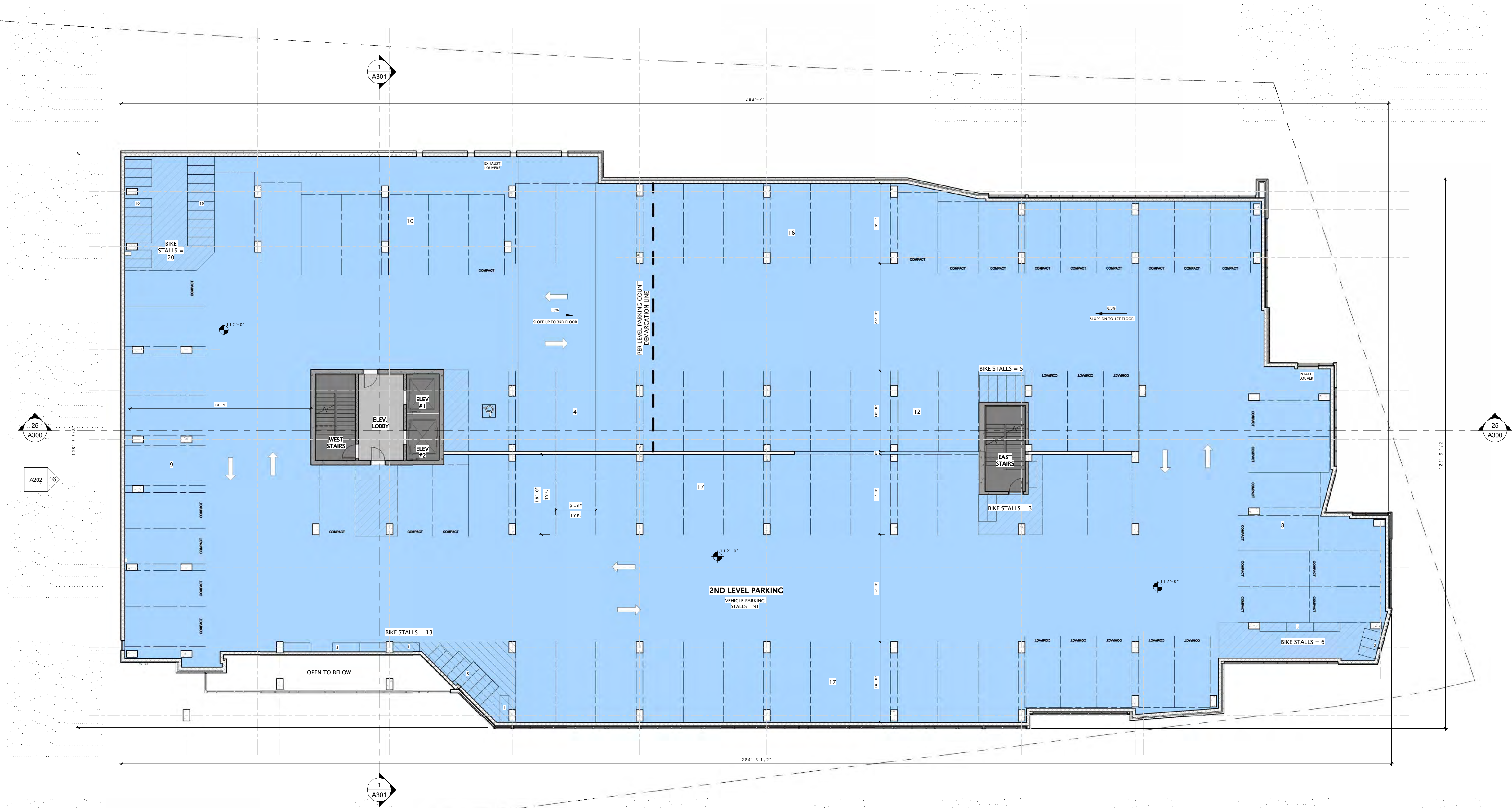


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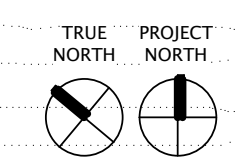
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| DATE OF ISSUANCE | APRIL 11, 2022 |
| REVISION SCHEDULE | |
| Mark | Description Date |

SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A102

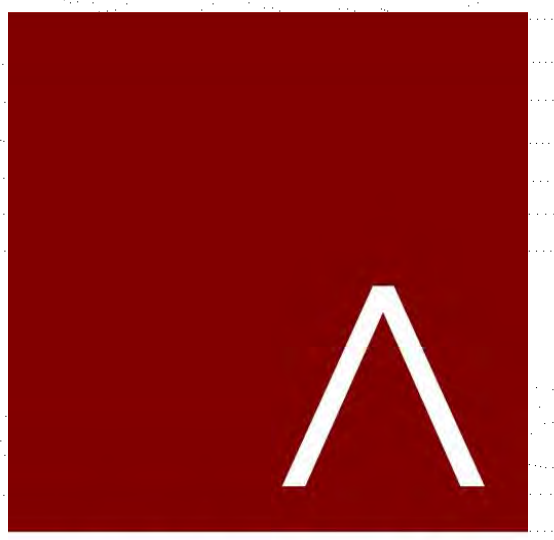


BUILDING USE
 [Symbol] 1HR FIRE RATED SPACE
 [Symbol] 2HR FIRE RATED SPACE
 [Symbol] PARKING



25 SECOND FLOOR PLAN
3/32" = 1'-0"

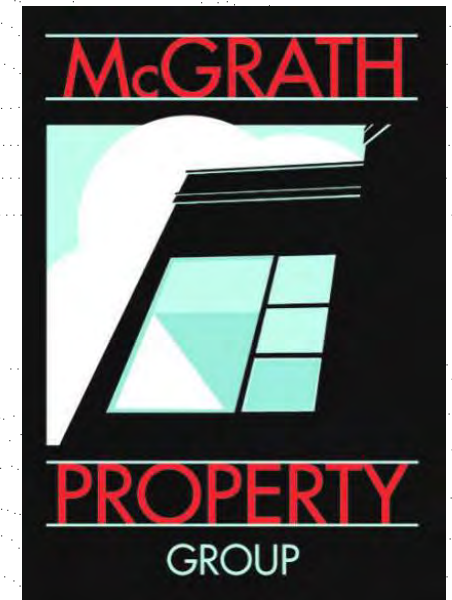
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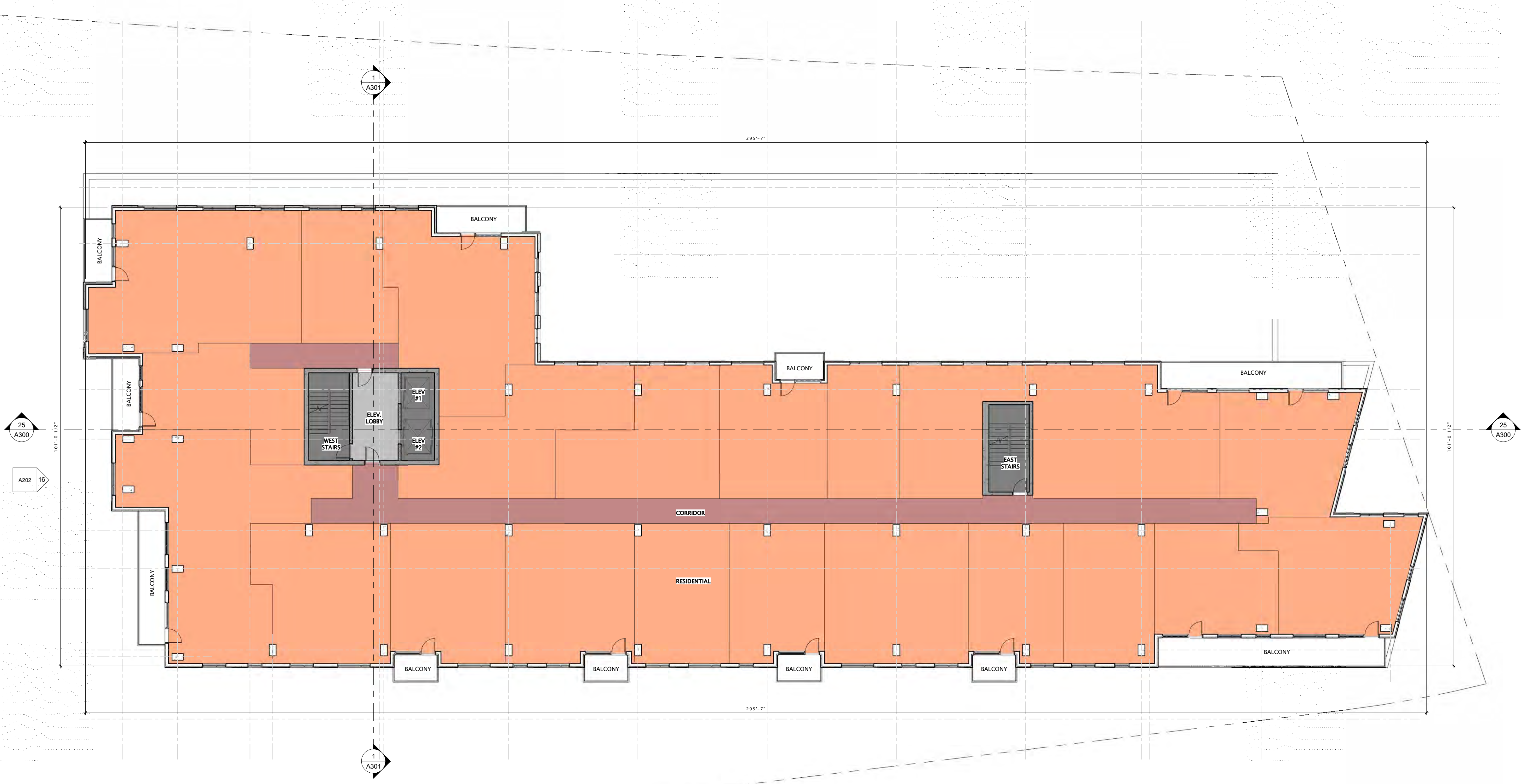
REVISION SCHEDULE

| Mark | Description | Date |
|------|-------------|------|
| | | |

SHEET TITLE
FIFTH - ELEVENTH
FLOOR PLAN

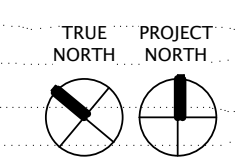
SHEET NUMBER

A105



BUILDING USE

- 1 HR FIRE RATED SPACE
- 2 HR FIRE RATED SPACE
- COMMON SPACE
- RESIDENTIAL



25 FIFTH FLOOR PLAN
3/32" = 1'-0"

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View from East Olin Avenue looking north



Southwest Elevation

Olin Avenue Mixed Use Development

250 East Olin Avenue | Madison, Wisconsin



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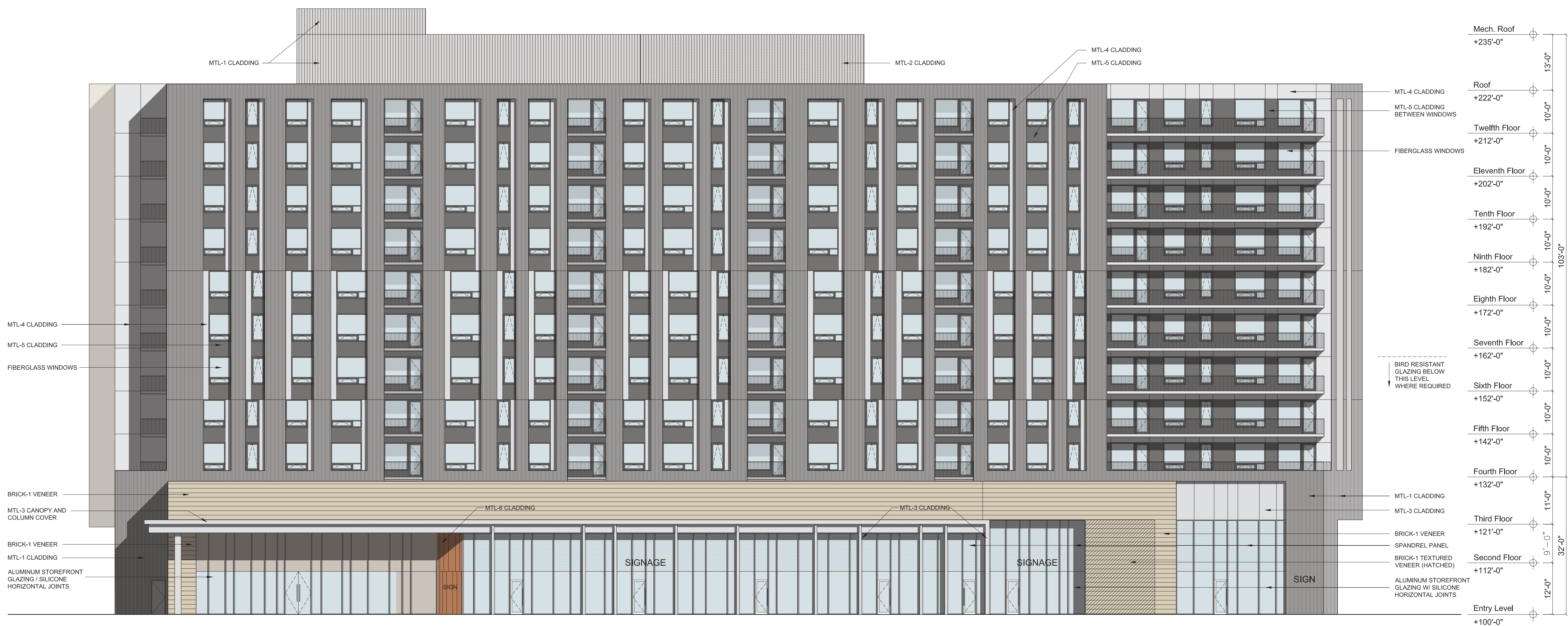


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OLIN AVENUE
MIXED-USE
DEVELOPMENT
LAND USE APPLICATION

EXTERIOR MATERIALS LEGEND

| TAG | DESCRIPTION | MANUFACTURER | TYPE / STYLE | COLOR / APPEARANCE |
|------------|---|--------------|----------------------|-------------------------|
| MTL-1 | VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS | TBD | PREFINISHED ALUMINUM | WEATHERED ZINC |
| MTL-2 | PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS | TBD | PREFINISHED ALUMINUM | WEATHERED ZINC |
| MTL-3 | ALUMINUM COMPOSITE MATERIAL | TBD | PREFINISHED ALUMINUM | METALLIC SILVER |
| MTL-4 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | METALLIC SILVER |
| MTL-5 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | DARK GREY |
| MTL-6 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | COPPER ANODIZED |
| BRICK-1 | BRICK VENEER | TBD | TBD | BUFF COLORED BLEND |
| BRICK-2 | BRICK VENEER | TBD | TBD | BUFF COLORED BLEND |
| WINDOWS | FIBERGLASS WINDOWS | TBD | TBD | GRAY |
| STOREFRONT | ALUMINUM STOREFRONT | TBD | TBD | CLEAR ANODIZED ALUMINUM |
| GUARDRAILS | GUARDRAILS | TBD | TBD | CLEAR ANODIZED ALUMINUM |



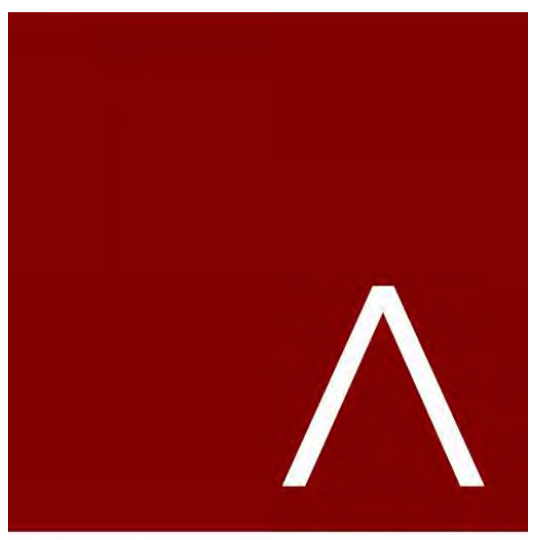
Southwest Elevation
scale: 3/32" = 1'-0"

DATE OF ISSUANCE APRIL 11, 2022

| REVISION SCHEDULE | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A200



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LAND USE APPLICATION

| TAG | DESCRIPTION | MANUFACTURER | TYPE / STYLE | COLOR / APPEARANCE |
|------------|---|--------------|----------------------|-------------------------|
| MTL-1 | VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS | TBD | PREFINISHED ALUMINUM | WEATHERED ZINC |
| MTL-2 | PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS | TBD | PREFINISHED ALUMINUM | WEATHERED ZINC |
| MTL-3 | ALUMINUM COMPOSITE MATERIAL | TBD | PREFINISHED ALUMINUM | METALLIC SILVER |
| MTL-4 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | METALLIC SILVER |
| MTL-5 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | DARK GREY |
| MTL-6 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | COPPER ANODIZED |
| BRICK-1 | BRICK VENEER | TBD | TBD | BUFF COLORED BLEND |
| BRICK-2 | BRICK VENEER | TBD | TBD | BUFF COLORED BLEND |
| WINDOWS | FIBERGLASS WINDOWS | TBD | TBD | GRAY |
| STOREFRONT | ALUMINUM STOREFRONT | TBD | TBD | CLEAR ANODIZED ALUMINUM |
| GUARDRAILS | GUARDRAILS | TBD | TBD | CLEAR ANODIZED ALUMINUM |



Southeast Elevation
scale: 3/32" = 1'-0"

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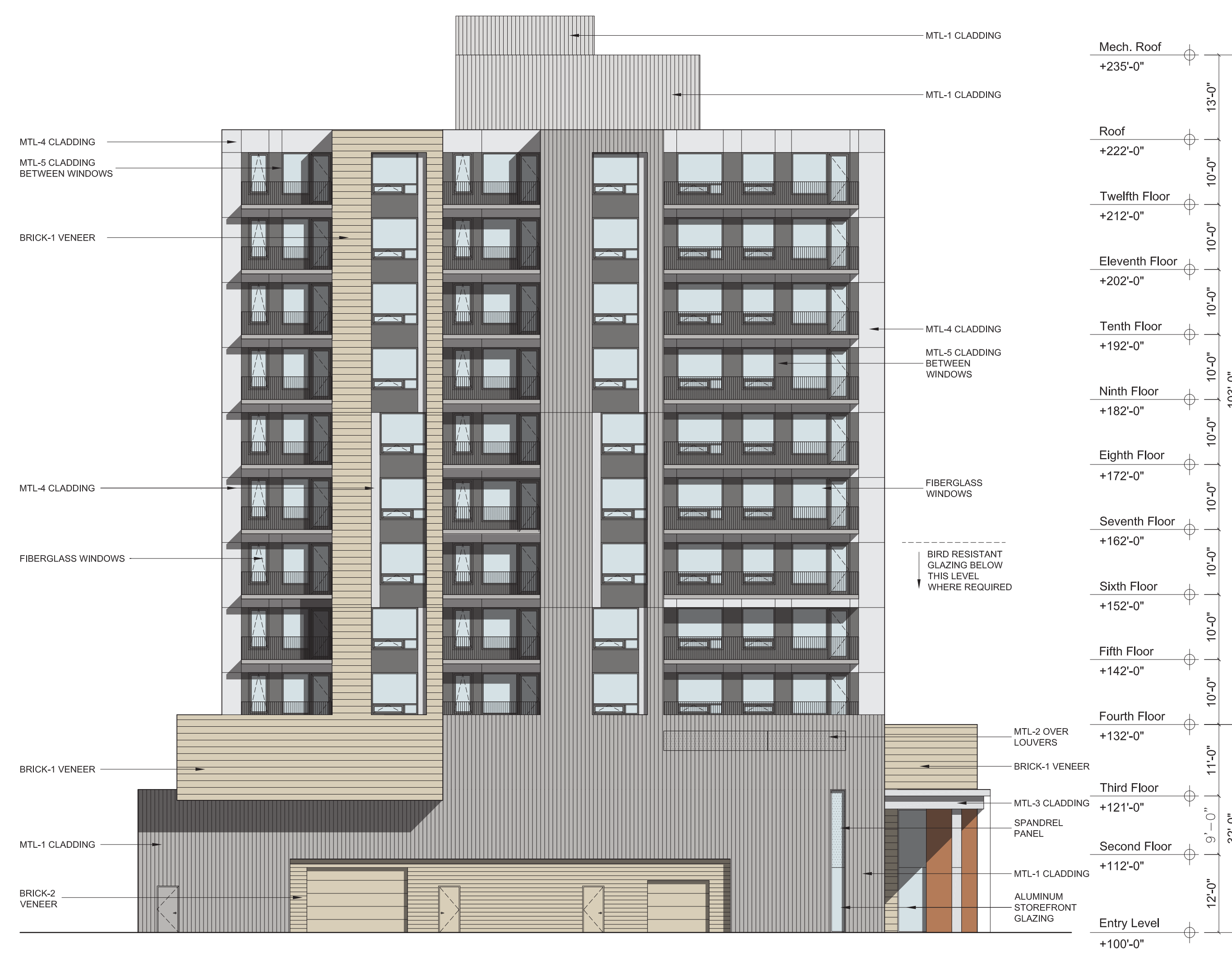
| Mark | Description | Date |
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| | | |

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201

EXTERIOR MATERIALS LEGEND

| TAG | DESCRIPTION | MANUFACTURER | TYPE / STYLE | COLOR / APPEARANCE |
|------------|---|--------------|----------------------|-------------------------|
| MTL-1 | VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS | TBD | PREFINISHED ALUMINUM | WEATHERED ZINC |
| MTL-2 | PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS | TBD | PREFINISHED ALUMINUM | WEATHERED ZINC |
| MTL-3 | ALUMINUM COMPOSITE MATERIAL | TBD | PREFINISHED ALUMINUM | METALLIC SILVER |
| MTL-4 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | METALLIC SILVER |
| MTL-5 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | DARK GREY |
| MTL-6 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | COPPER ANODIZED |
| BRICK-1 | BRICK VENEER | TBD | TBD | BUFF COLORED BLEND |
| BRICK-2 | BRICK VENEER | TBD | TBD | BUFF COLORED BLEND |
| WINDOWS | FIBERGLASS WINDOWS | TBD | TBD | GRAY |
| STOREFRONT | ALUMINUM STOREFRONT | TBD | TBD | CLEAR ANODIZED ALUMINUM |
| GUARDRAILS | GUARDRAILS | TBD | TBD | CLEAR ANODIZED ALUMINUM |

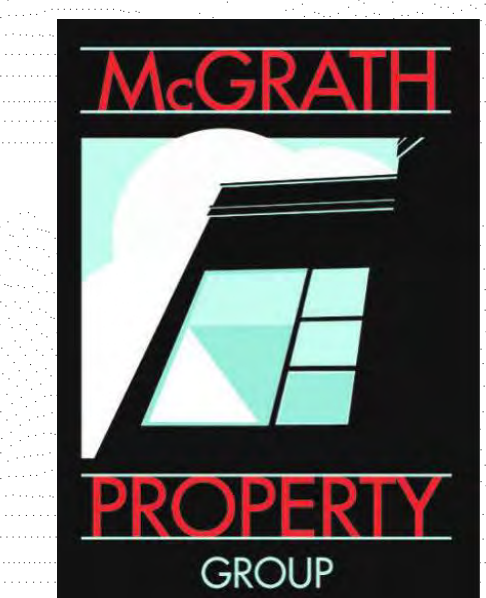


Northwest Elevation
scale: 3/32" = 1'-0"



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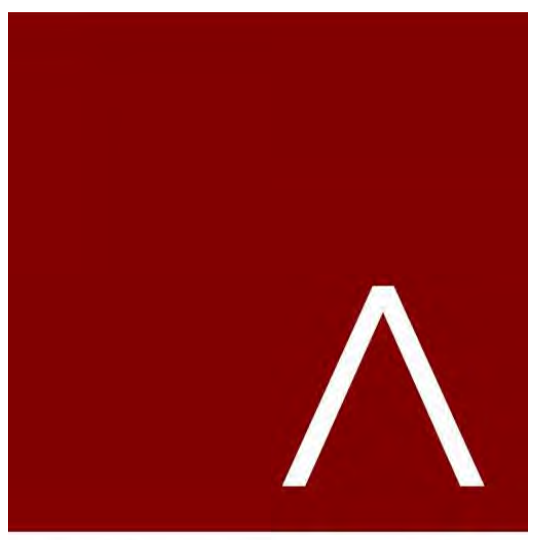
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SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A202



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OLIN AVENUE
MIXED-USE
DEVELOPMENT
LAND USE APPLICATION

EXTERIOR MATERIALS LEGEND

| TAG | DESCRIPTION | MANUFACTURER | TYPE / STYLE | COLOR / APPEARANCE |
|------------|---|--------------|----------------------|-------------------------|
| MTL-1 | VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS | TBD | PREFINISHED ALUMINUM | WEATHERED ZINC |
| MTL-2 | PERFORATED VERTICAL RIBBED METAL PANEL W/ CONCEALED FASTENERS | TBD | PREFINISHED ALUMINUM | WEATHERED ZINC |
| MTL-3 | ALUMINUM COMPOSITE MATERIAL | TBD | PREFINISHED ALUMINUM | METALLIC SILVER |
| MTL-4 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | METALLIC SILVER |
| MTL-5 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | DARK GREY |
| MTL-6 | FLAT METAL PANEL | TBD | PREFINISHED ALUMINUM | COPPER ANODIZED |
| BRICK-1 | BRICK VENEER | TBD | TBD | BUFF COLORED BLEND |
| BRICK-2 | BRICK VENEER | TBD | TBD | BUFF COLORED BLEND |
| WINDOWS | FIBERGLASS WINDOWS | TBD | TBD | GRAY |
| STOREFRONT | ALUMINUM STOREFRONT | TBD | TBD | CLEAR ANODIZED ALUMINUM |
| GUARDRAILS | GUARDRAILS | TBD | TBD | CLEAR ANODIZED ALUMINUM |



Northeast Elevation
scale: 3/32" = 1'-0"

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REVISION SCHEDULE

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| | | |

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A203

GROUND COVER SCHEDULE

| | | |
|--|--------------------------------------|----------|
| | RAIN GARDEN PLANTS | 1,098 sf |
| | SEDUM TRAYS | 3,353 sf |
| | BIRCH UNDERSTORY PLANTING MIX | 1,044 sf |
| | ARTIFICIAL TURF | 1,425 sf |

PLANT SCHEDULE

| CANOPY TREES | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
|------------------|---|------------|----------|------------|-----|
| AS | Acer saccharum 'Barrett Cole' TM / Apollo Sugar Maple | B & B | 2.5" Cal | | 8 |
| GO | Gymmodicus dioica 'McKBranded' TM / Decaf Kentucky Coffeetree | B & B | 2.5" Cal | | 1 |
| UNDERSTORY TREES | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
| BP | Betula populifolia 'Whitespire' / Whitespire Gray Birch | B & B | 7' ht. | Multi-Stem | 1 |
| CC | Carpinus caroliniana 'J.M. Strain' TM / J.M. Strain American Hornbeam | B & B | 2" Cal | | 21 |
| CM | Cornus mas 'Golden Glory' / Golden Glory Cornelian Cherry | Cont. | 5' ht. | Tree Form | 5 |
| SR | Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac | B & B | 2" Cal | | 2 |
| DECIDUOUS SHRUBS | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
| Aa | Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry | Cont. | 5 Gal. | | 2 |
| Amc | Aronia melanocarpa 'Morton' / Iroquois Beauty Chokeberry | Cont. | 3 Gal. | | 30 |
| Caf | Cornus stolonifera 'Farrow' TM / Arctic Fire Red Twig Dogwood | Cont. | 5 Gal. | | 21 |
| CT | Cotoneaster apiculatus 'Tom Thumb' / Tom Thumb Cranberry Cotoneaster | Cont. | 3 Gal. | | 13 |
| Vd | Viburnum dentatum 'Christom' / Blue Muffin Arrowwood Viburnum | Cont. | 5 Gal. | | 4 |
| EVERGREEN SHRUBS | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
| Jcp | Juniperus horizontalis 'Plumosa Compacta' / Creeping Juniper | Cont. | 5 Gal. | | 6 |
| Js | Juniperus sabina 'Blue Forest' / Blue Forest Juniper | Cont. | 5 Gal. | | 10 |
| Tm | Taxus x media 'Everlow' / Everlow Anglo-Japanese Yew | B & B | 5 Gal. | | 8 |
| Tom | Thuja occidentalis 'Hez Midjet' / Hez Midjet Arborvitae | Cont. | 5 Gal. | | 7 |
| Toh | Thuja occidentalis 'Holmstrup' / Holmstrup Cedar | B & B | 5' ht. | | 23 |
| TJ | Tsuga canadensis 'Jeddleloh' / Jeddleloh Eastern Hemlock | Cont. | 3 Gal. | | 3 |
| Tc | Tsuga canadensis 'Monks' TM / Golden Duke Eastern Hemlock | Cont. | 7 Gal. | | 2 |
| PERENNIALS | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
| ca | Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass | Cont. | 1 Gal. | | 45 |
| cb2 | Carex bicknellii / Prairie Sedge | Cont. | 4 In | | 49 |
| ci | Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge | Cont. | 4 In | | 21 |
| cr2 | Carex radiata / Eastern Star Sedge | Cont. | 4 In | | 27 |
| cr | Carex rosea / Rosy Sedge | Cont. | 4 In | | 92 |
| ch | Cimicifuga racemosa 'Snakeroot' / Snakeroot | Cont. | 4 In | | 43 |
| du | Dryopteris filix-mas 'Undulata Robusta' / Robust Undulated Male Fern | Cont. | 4 In | | 28 |
| he | Hosta x 'Earth Angel' / Earth Angel Hosta | Cont. | 1 Gal. | | 3 |
| hba | Hosta x 'Awakening Angel' / Awakening Angel Hosta | Cont. | 4 In | | 22 |
| hb | Hosta x 'Blue Mouse Ears' / Blue Mouse Ears Hosta | Cont. | 4 In | | 8 |
| hf | Hosta x 'Fire Island' / Fire Island Hosta | Cont. | 4 In | | 86 |
| pal | Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage | Cont. | 1 Gal. | | 76 |
| rf | Rudbeckia fulgida 'Goldsturm' / Goldsturm Coneflower | Cont. | 4 In | | 71 |
| rf | Rudbeckia fulgida 'Goldsturm' / Goldsturm Coneflower | Cont. | 1 Gal. | | 64 |
| ss | Schizachyrium scoparium 'Standing Ovation' / Standing Ovation Little Bluestem | Cont. | 1 Gal. | | 323 |
| ts2 | Tiarella x 'Spring Symphony' / Spring Symphony Foamflower | Cont. | 4 In | | 53 |

| GROUND COVERS | CODE | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | SPACING | QTY |
|---------------|------|--|------------|-------------------|-------|----------|--------|
| | ac | Ajuga reptans 'Chocolate Chip' / Chocolate Chip Carpet Bugle | flat | 2" x 2" x 4" plug | | 12" o.c. | 196 sf |

PLANT MATERIAL NOTES:

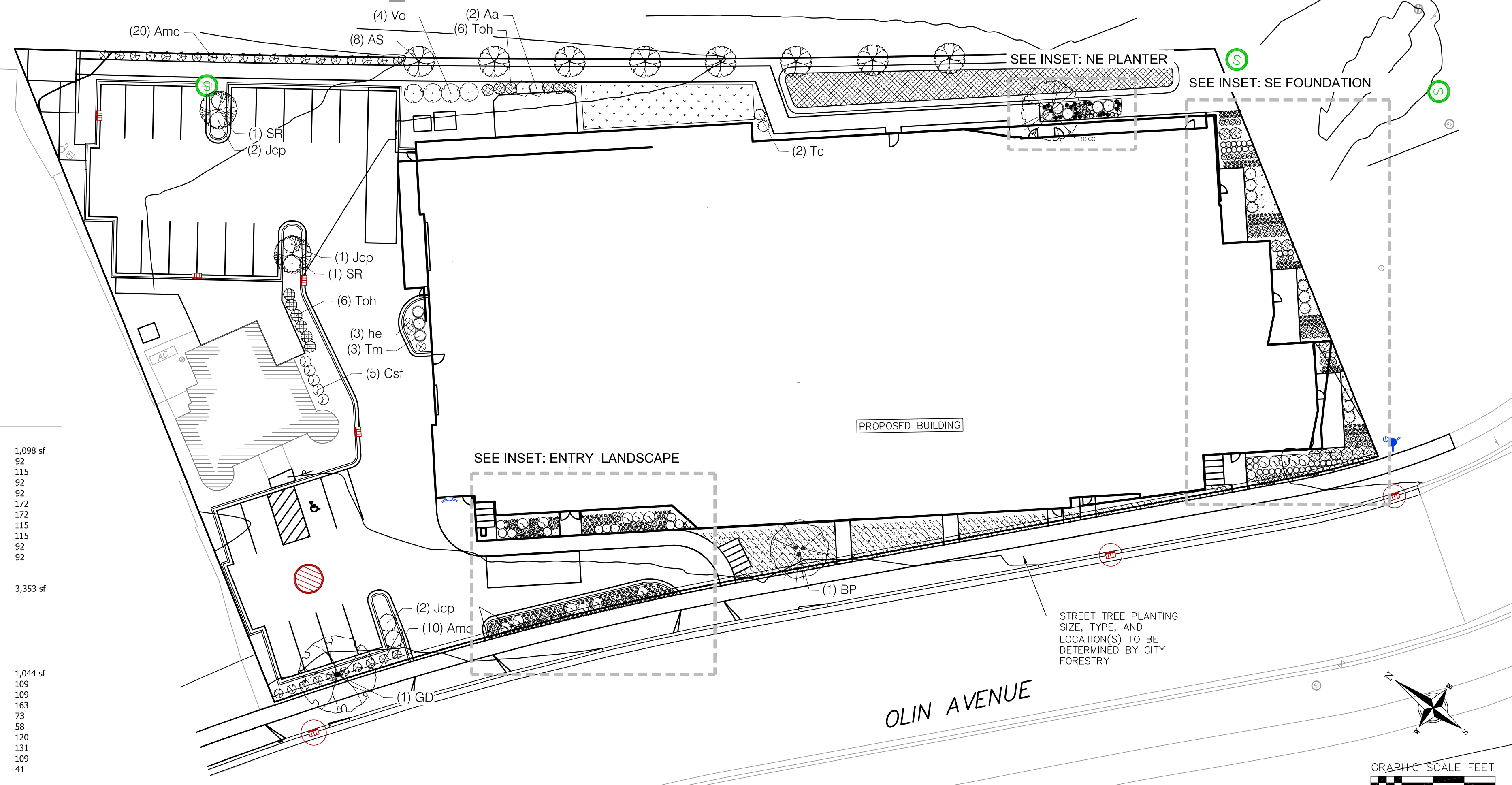
- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

LANDSCAPE MATERIAL NOTES:

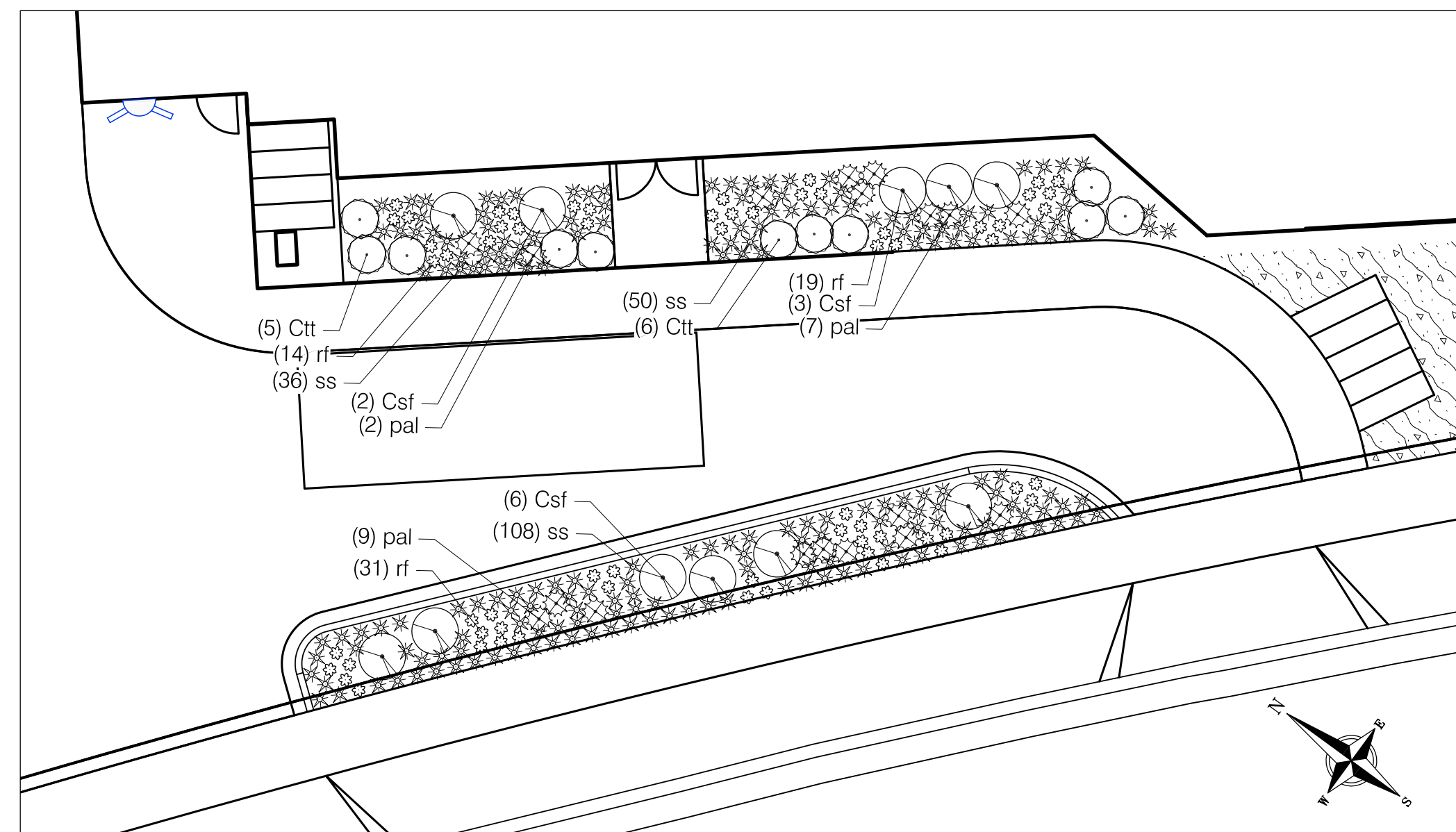
- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDEYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN. AND EDGED WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 4"x4" OR EQUAL, COLOR BLACK ANODIZED.
- ALL TREES AND/OR SHRUBS PLANTED IN LAWN AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING AND SHOVEL CUT EDGE. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH AS WELL AS TOPICALLY APPLIED TO TREE RING.

SEEDING AND PLUG PLANTING NOTES:

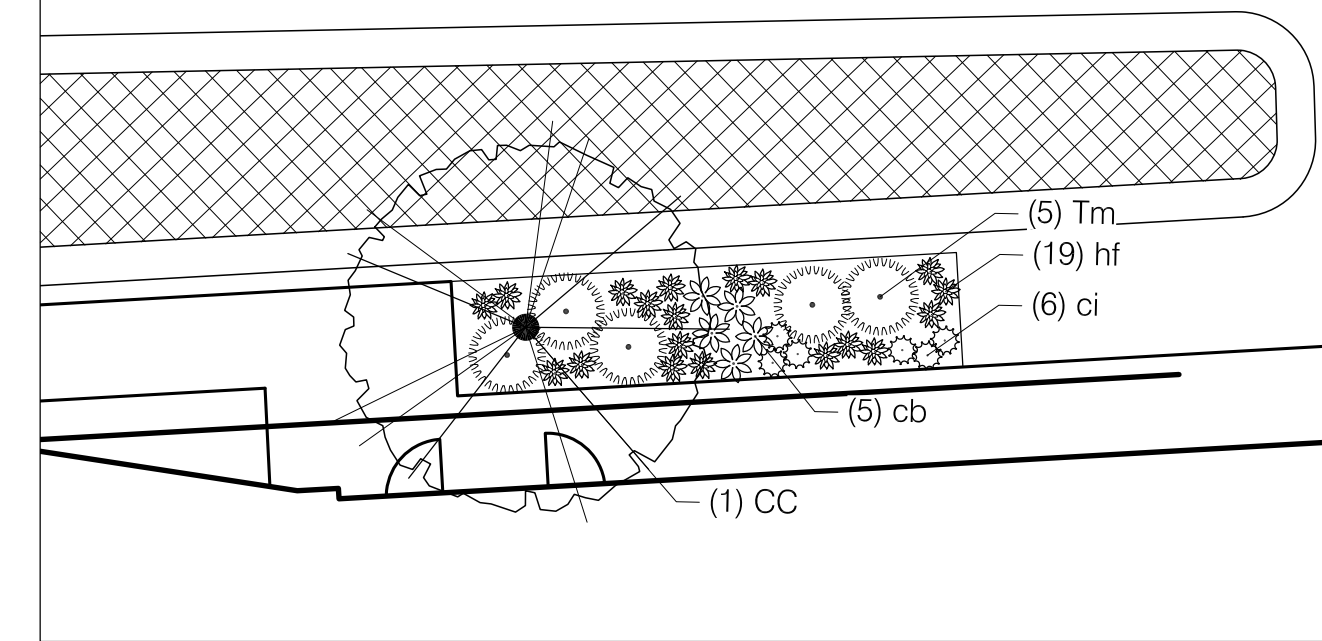
- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEEDDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEEDDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.
- INSTALL BIORETENTION PLUG PLANTINGS AS 2" x 2" x 4" DEEP PLUGS, 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES IN ODD NUMBERED GROUPS OF 5-9 PLANTS, DISTRIBUTING EACH SPECIES RANDOMLY ACROSS PLANTING AREA FOR NATURAL APPEARANCE.



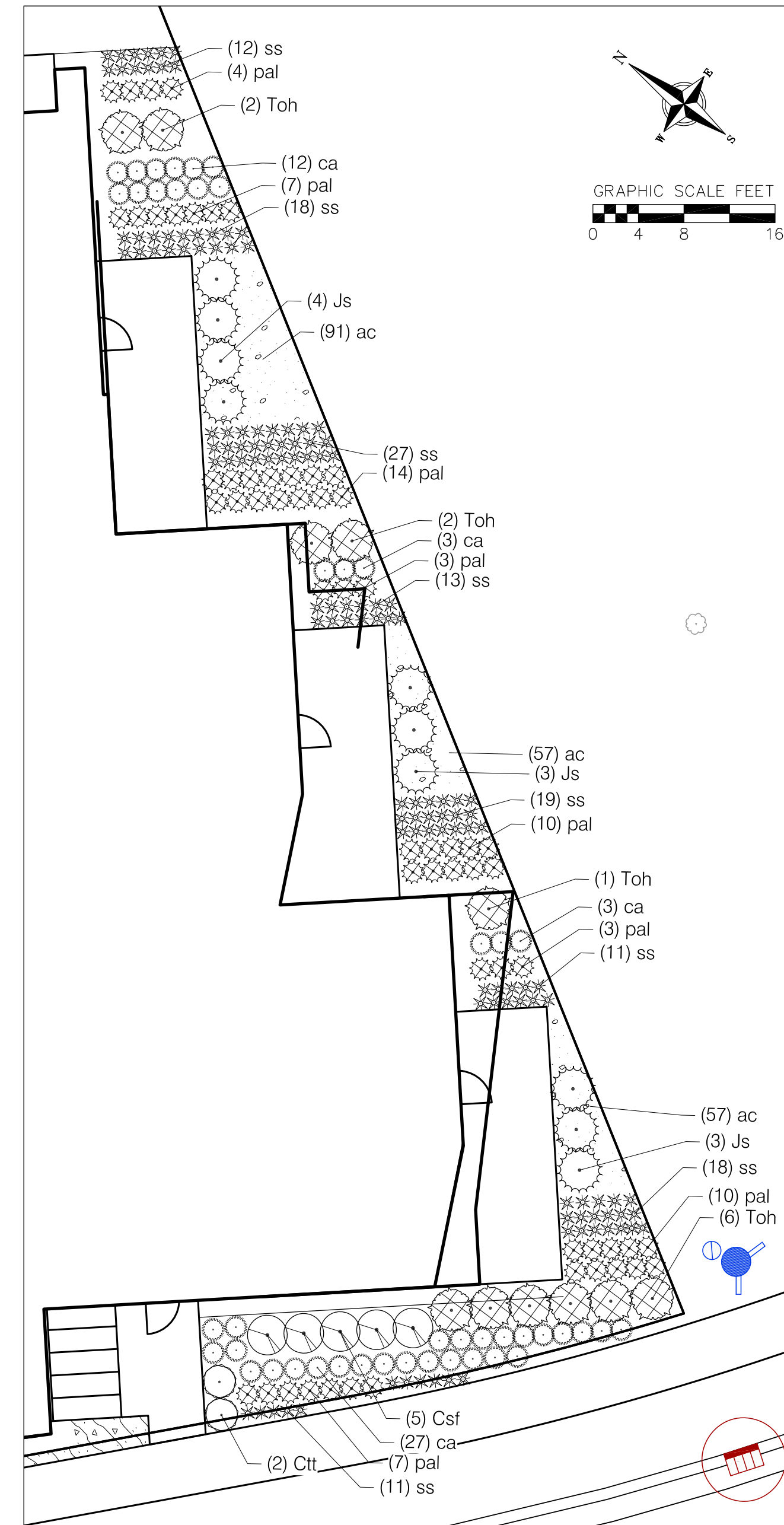
LANDSCAPE PLAN: OVERALL SITE



INSET: ENTRY LANDSCAPE



INSET: NE PLANTER DETAIL



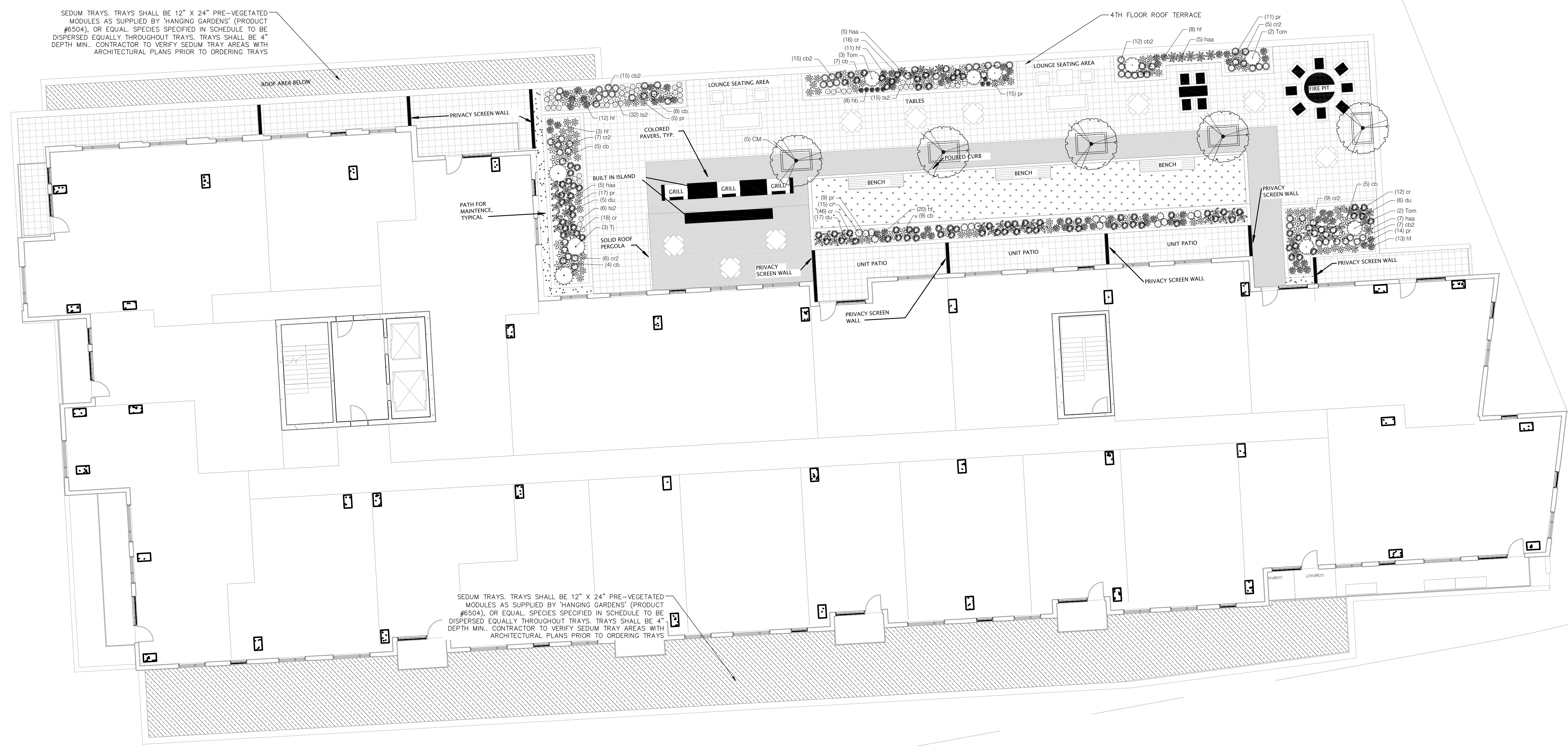
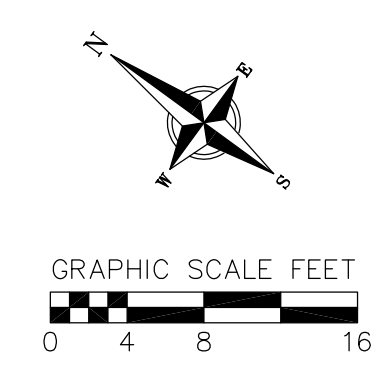
INSET: SE FOUNDATION LANDSCAPE

| REVISIONS | NO. | DATE | REMARKS |
|-----------|-----|------|---------|
| | | | |
| | | | |
| | | | |
| | | | |

DATE: 4/8/2022
DRAFTER: SVN
CHECKED: CLAN/TSCH
PROJECT NO.: 210063

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



SEDUM TRAYS. TRAYS SHALL BE 12" X 24" PRE-VEGETATED MODULES AS SUPPLIED BY 'HANGING GARDENS' (PRODUCT #6504), OR EQUAL. SPECIES SPECIFIED IN SCHEDULE TO BE DISPERSED EQUALLY THROUGHOUT TRAYS. TRAYS SHALL BE 4" DEPTH MIN.. CONTRACTOR TO VERIFY SEDUM TRAY AREAS WITH ARCHITECTURAL PLANS PRIOR TO ORDERING TRAYS

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PLANT SCHEDULE ROOF DECK

| UNDERSTORY TREES | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
|------------------|--|------------|--------|-----------|-----|
| CM | Cornus mas 'Golden Glory' / Golden Glory Cornelian Cherry | Cont. | 5' ht. | Tree Form | 5 |
| EVERGREEN SHRUBS | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
| Tom | Thuja occidentalis 'Hetz Midjet' / Hetz Midjet Arborvitae | Cont. | 5 Gal. | | 7 |
| TJ | Tsuga canadensis 'Jeddeloh' / Jeddeloh Eastern Hemlock | Cont. | 3 Gal. | | 3 |
| PERENNIALS | BOTANICAL / COMMON NAME | ROOT COND. | SIZE | NOTES | QTY |
| cb2 | Carex bicknellii / Prairie Sedge | Cont. | 4 In | | 49 |
| ci | Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge | Cont. | 4 In | | 15 |
| cr2 | Carex radiata / Eastern Star Sedge | Cont. | 4 In | | 27 |
| cr | Carex rostrata / Ruy Sedge | Cont. | 4 In | | 92 |
| cb | Climaculopsis racemosa 'Brunette' / Snakeroot | Cont. | 4 In | | 38 |
| du | Dryopteris filix-mas 'Undulata Robusta' / Robust Undulated Male Fern | Cont. | 4 In | | 28 |
| haa | Hosta x 'Awakening Angel' / Awakening Angel Hosta | Cont. | 4 In | | 22 |
| hb | Hosta x 'Blue Mouse Ears' / Blue Mouse Ears Hosta | Cont. | 4 In | | 8 |
| hf | Hosta x 'Fire Island' / Fire Island Hosta | Cont. | 4 In | | 67 |
| pr | Pulmonaria x 'Raspberry Splash' / Raspberry Splash Lungwort | Cont. | 4 In | | 71 |
| ts2 | Tilarella x 'Spring Symphony' / Spring Symphony Foamflower | Cont. | 4 In | | 53 |

GROUNDCOVER SCHEDULE ROOF DECK

| | | |
|--|---|----------|
| | SEDUM TRAYS Sedum album 'Coral Carpet' / Coral Carpet Stonecrop Sedum floriferum 'Welhenstephaner Gok' / Stonecrop Sedum reflexum 'Blue Spruce' / Blue Spruce-leaved Stonecrop Sedum spurium 'Green Mantle' / Green Mantle Stonecrop Sedum x 'Immergrunnen' / Immergrunnen Stonecrop | 3,353 sf |
| | ARTIFICIAL TURF | 725 sf |

| City of Madison Landscape Worksheet | | | | | | |
|---|--|--|-------------------------------|--------------------------------------|---------------------------|-----------------|
| Address: | 250-252 E. Olin Ave. | Date: | 04.08.2022 | | | |
| Total Square Footage of Developed Area: | (Site Area) 63,775 | | | (Building Footprint at Grade) 33,916 | = | 29,859 sf |
| Total Landscape Points Required (<5 ac): | 29,859 / 300 = | 100 | x 5 = | 498 | | 498 |
| Landscape Points Required >5 ac: | 0 / 100 = | 0 | x 1 = | - | | - |
| Plant Type/ Element | Min. Size at Installation | Points | Credits/ Existing Landscaping | | New/ Proposed Landscaping | |
| | | | Quantity | Points Achieved | Quantity | Points Achieved |
| Overstory deciduous tree | 2.5" cal | 35 | 0 | 9 | 315 | |
| Tall Evergreen Tree | 5-6 feet tall | 35 | 0 | 0 | 0 | |
| Ornamental tree | 1.5" cal | 15 | 0 | 9 | 135 | |
| Upright evergreen shrub | 3-4 feet tall | 10 | 0 | 22 | 220 | |
| Shrub, deciduous | #3 gallon container size, Min. 12-24" | 3 | 0 | 65 | 195 | |
| Shrub, evergreen | #3 gallon container size, Min. 12-24" | 4 | 0 | 31 | 124 | |
| Ornamental grasses/perennials | #1 gallon container size, Min. 8-18" | 2 | 0 | 511 | 1022 | |
| Ornamental/decorative fencing or wall | n/a | 4 per 10 LF | 0 | 0 | 0 | |
| Existing significant specimen tree | Min. Size 2.5" cal. Trees must be within developed area and cannot comprise more than 30% of total required points. | 14 per caliper inch. Max. points per tree: 200 | 0 | 0 | 0 | |
| Landscape Furniture for public seating and/or transit connections | Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points. | 5 points per "seat" | 0 | 0 | 0 | |
| Sub Totals | | | 0 | 2011 | | |
| Total Points Provided: | | | 2011 | | | |