



CITY OF MADISON ZONING BOARD OF APPEALS VARIANCE APPLICATION

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 116 E. Dayton Street

Name of Owner: Dewey & Sandy Bredeson

Address of Owner (if different than above): 6420 Clovernook Rd. Middleton, WI 53562

Daytime Phone: 608 575-0990 Evening Phone: 608 575-0990

Email Address: baytree@chorus.net

Name of Applicant (Owner's Representative): _____

Address of Applicant: _____

Daytime Phone: _____ Evening Phone: _____

Email Address: _____

Description of Requested Variance:

Side yard setback variance for a rear 2-story addition at existing open first floor porch and finished second floor bump-out location on an existing non-conforming lot.

(See reverse side for more instructions)

FOR OFFICE USE ONLY

Amount Paid: \$300-

Receipt: 073612-0008

Filing Date: 9-25-18

Received By: JEM

Parcel Number: 0709-141-1418-4

Zoning District: UOR

Alder District: 2-Zellers

Hearing Date: _____

Published Date: _____

Appeal Number: _____

GQ: _____

Code Section(s): 25.075 (3)

Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

The lot and house are already non-conforming due to lot width

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

Moving the addition the northeast to comply with the side yard setback, results in the elimination of the garage access

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

The lot and house are already non-conforming due to lot width

5. The proposed variance shall not create substantial detriment to adjacent property.

The addition will basically match with what is there currently except have finished space and not an open porch at the first floor level

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

We are proposing to match characteristics of the gable end in order to keep the aesthetic character of the existing building

Application Requirements

Please provide the following Information (Please note any boxes left uncheck below could result in a processing delay or the Board's denial of your application):

<input checked="" type="checkbox"/>	Pre-application meeting with staff: Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. Incomplete applications could result in referral or denial by the Zoning Board of Appeals.
<input checked="" type="checkbox"/>	Site plan , drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"): <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Lot lines <input checked="" type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines <input checked="" type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance <input checked="" type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features <input checked="" type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred) <input checked="" type="checkbox"/> North arrow
<input checked="" type="checkbox"/>	Elevations from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17")
<input checked="" type="checkbox"/>	Interior floor plan of existing and proposed structure , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	Front yard variance requests only. Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input type="checkbox"/>	Lakefront setback variance requests only. Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	Variance requests specifically involving slope, grade, or trees. Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	CHECK HERE. I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	CHECK HERE. I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

Owner's Signature: **Date:** 4-24-2018

-----~~(Do not write below this line/For Office Use Only)~~-----

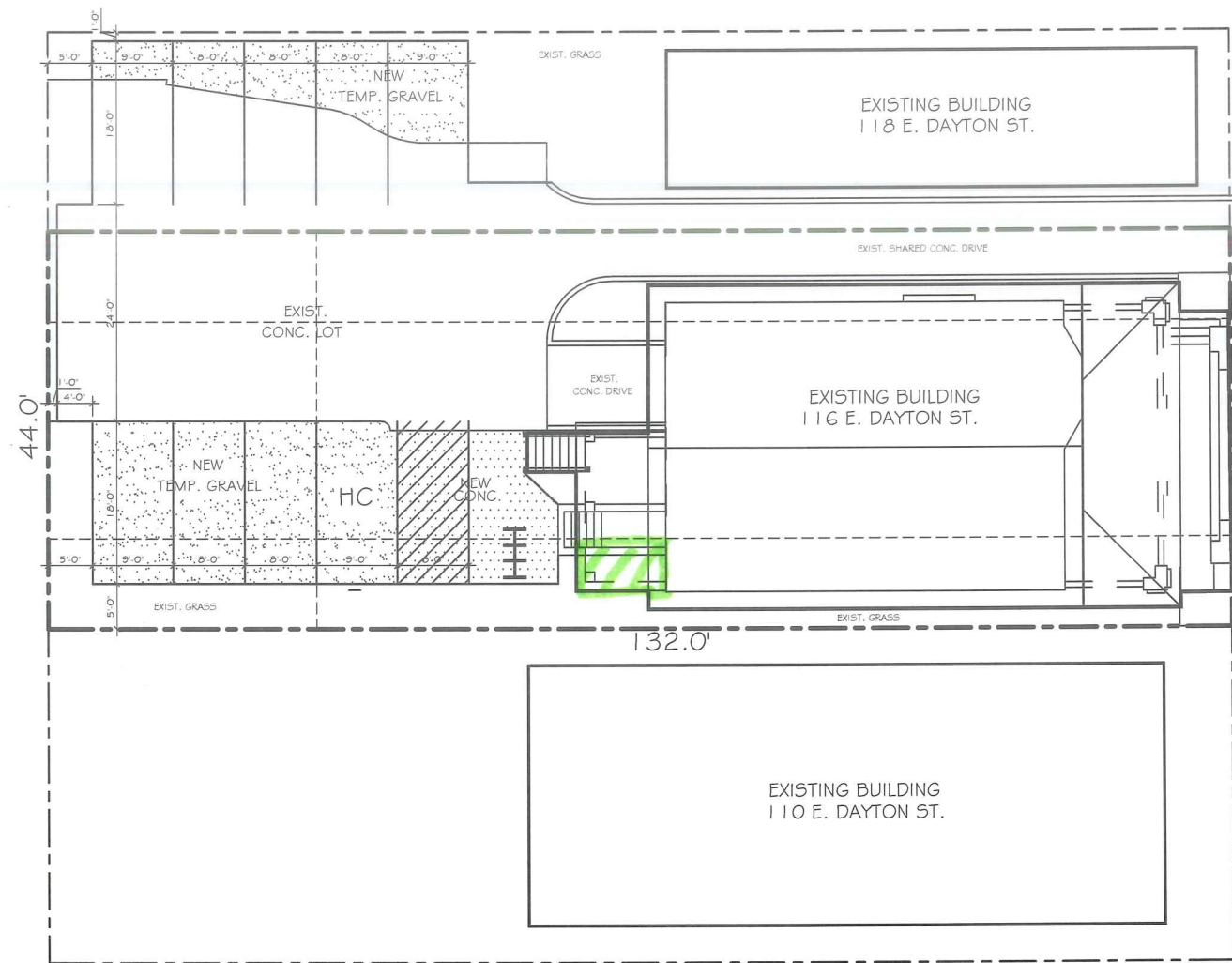
DECISION

The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ **(is) (is not)** in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.

The Zoning Board of Appeals: **Approved** **Denied** **Conditionally Approved**

Zoning Board of Appeals Chair: _____

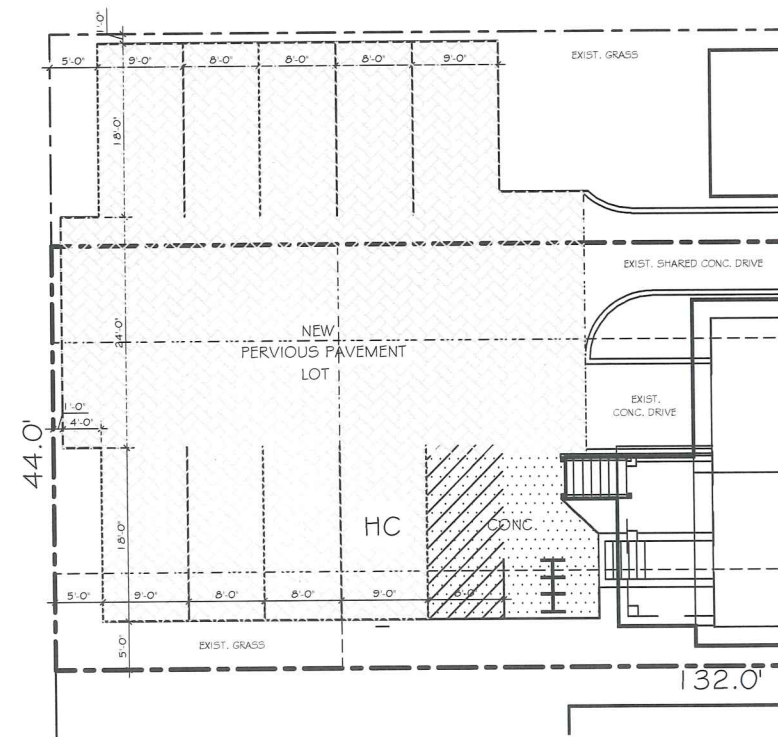
Date: _____



TRUE NORTH
 ① TEMPORARY SITE PLAN
 1" = 20'-0"

two-story four-unit apartment building
 Enclose 1st level porch at ramp structure
 side yard
 10.0' Rwyer red provided
 variance

E. DAYTON ST.



TRUE NORTH
 ② SITE PLAN
 1" = 20'-0"

SITE INFORMATION BLOCK

PROJECT DESCRIPTION: A JOINT DRIVEWAY PARKING LOT EASEMENT AGREEMENT WILL BE PROVIDED FOR SITES 116 & 118 EAST DAYTON STREET. DUE TO THE DEMOLITION OF 118 IN THE NEAR FUTURE, THE PROPOSED PERVIOUS PAVEMENT LOT WILL BE COMPLETED AFTER AT A LATER DATE.

WORK FOR 118 EAST DAYTON STREET WILL BE SUBMITTED UNDER A SEPARATE COVER.

SITE ADDRESS: 116 EAST DAYTON STREET
 SITE ACREAGE: (TOTAL) 0.13 ACRES
 SITE ZONING: UOR - URBAN OFFICE-RESIDENTIAL DISTRICT
 EXISTING NON-CONFORMING LOT (LOT WIDTH)

NUMBER OF BUILDING STORIES (ABOVE GRADE): 2 - EXISTING
 BUILDING HEIGHT: EXISTING
 DILHR TYPE OF CONSTRUCTION: TYPE IIIB EXISTING
 TOTAL SQUARE FOOTAGE OF BUILDING: 3,996 SF.

USE OF PROPERTY: GROUP R-2 - 4-UNIT MULTI-FAMILY
 1ST FLR: 1 BEDROOM UNIT
 2ND FLR: (2) 1 BEDROOM UNITS
 2ND FLR: 2 BEDROOM UNIT

NUMBER OF BICYCLE STALLS SHOWN: 6 STALLS

NUMBER OF PARKING STALLS:

SMALL CARS	2
LARGE CARS	1
ACCESSIBLE	1
TOTAL PROVIDED	4

SITE AREA CALCS:

TOTAL LOT AREA: 5,808 SQ. FT.
 HOUSE FOOTPRINT AREA: 2,464 SQ. FT.
 EXISTING CONCRETE DRIVES: 553 SQ. FT.
 NEW CONCRETE ISLE/WALKS: 282 SQ. FT.
 NEW PERVIOUS PAVEMENT LOT: 1,779 SQ. FT.
 TOTAL LOT COVERAGE: 57%

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Zoning Submittal

Bourl Design Studio, LLC
 Architects
 116 East Dayton Street, Madison, WI 53703
 Phone: (608) 823-2400

Remodel for
 Sandy & Dewey Bredeson
 116 East Dayton Street, Madison, WI 53703

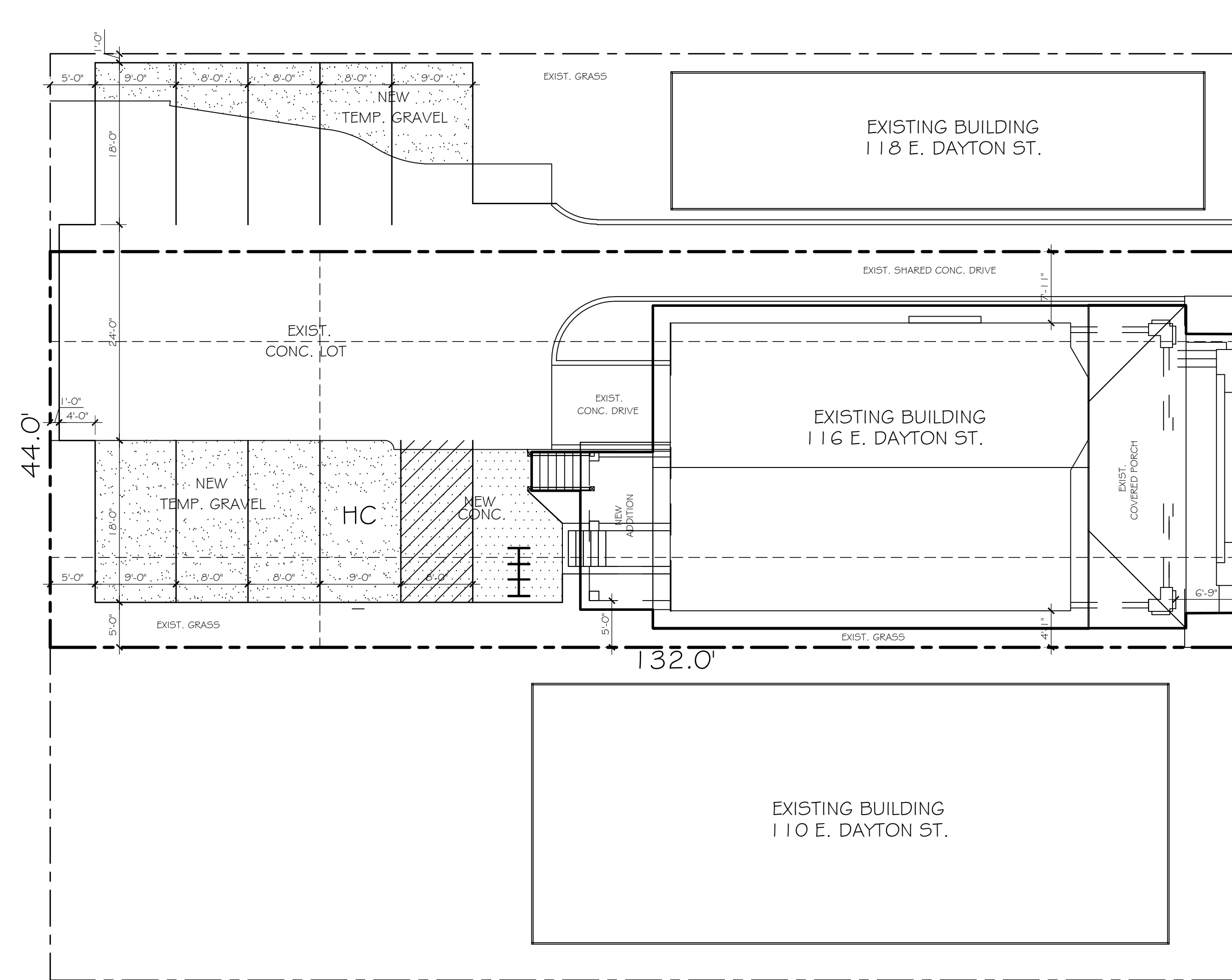
REVISIONS	DATE	ISSUE

PROJECT NO
 10011

DATE
 4/10/2018

DRAWN BY
 BB

SW1

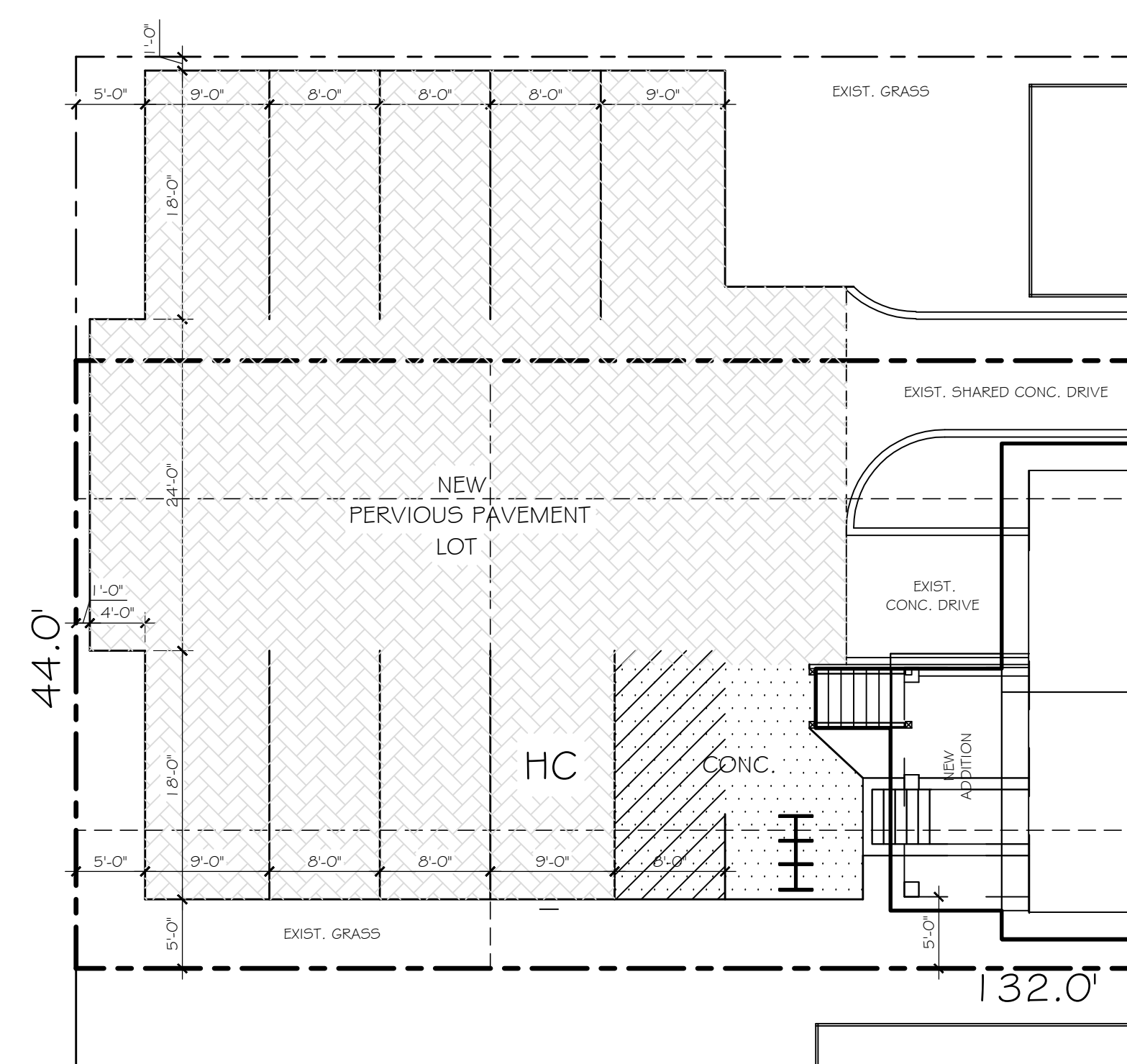


TRUE NORTH

1 TEMPORARY SITE PLAN

1" = 20'-0"

E. DAYTON ST.



TRUE NORTH

2 SITE PLAN

1" = 20'-0"

SITE INFORMATION BLOCK

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Zoning Submittal

Bouril Design Studio, LLC
525 Wisconsin Avenue 2, Madison, WI 53719
Phone: (608) 983-9400
architects

Remodel for
Sandy & Dewey Bredeson
116 East Dayton Street, Madison, WI 53703

REVISIONS

DATE	ISSUE

PROJECT NO
18011

DATE
5/8/2018

DRAWN BY
BB

SWI

Abbreviations

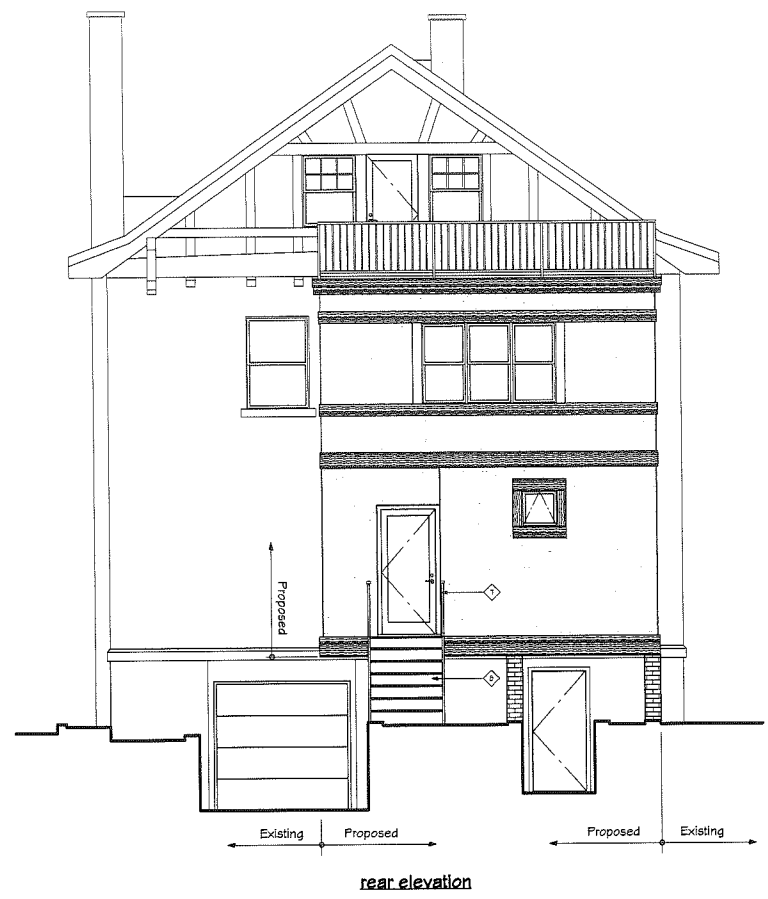
Abbreviations, reference marks, symbols & other drawing conventions may be used throughout the documents.

Table with multiple columns listing abbreviations and their corresponding full names, organized by category such as electrical, plumbing, and general construction.

project summary

municipality: Madison, WI
parcel data: Address: 116 East Dayton Street, Madison, WI, 53703
Zoning District: UOR - Urban Office-Residential

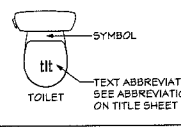
Remodel for Sandy & Dewey Bredeson



Associations & Governance

Table listing various professional associations and standards organizations such as ADA, ASCE, and ASHRAE.

object identification



material key

Table showing material keys with corresponding hatching patterns for brick, concrete, CMU, stone aggregate, etc.

symbol key

Table showing various symbols for construction elements like detail numbers, grid lines, doors, windows, and elevations.

code review

Table detailing applicable codes, jurisdiction, source, and classification/building data, including sections for fire code and means of egress.

drawing index

Table listing drawing sheets: T1 Title Sheet, SW1 Temporary Site & Site Plans, L1 Landscape Plan, S1 Roof/Roof Deck Framing Plan, etc.

The design represented by these drawings is copyright protected & is the sole property of Bouril Design Studio, LLC.

Zoning Submittal

Bouril Design Studio, LLC logo and contact information: 6425 Odana Road, Suite #2, Madison, WI 53719.

Remodel for Sandy & Dewey Bredeson

revision index table with columns for #, date, and reference.

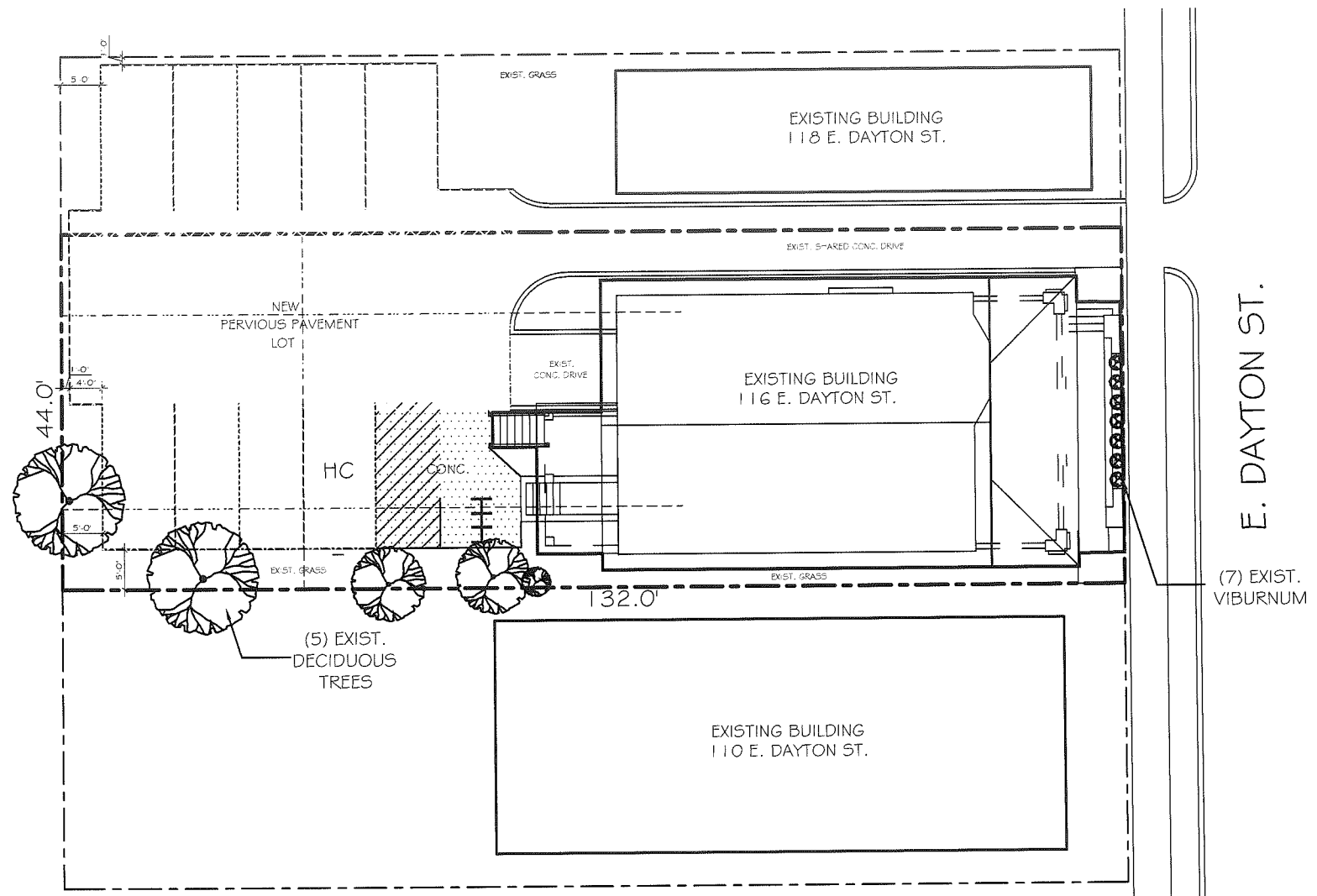
project: 18011
date: 4/16/2018
drawn by: BB

T1

GENERAL NOTES - LANDSCAPE PLAN:

1. REFER TO CITY OF MADISON LANDSCAPE WORKSHEET FOR LANDSCAPE POINT TOTAL CONFORMANCE.
2. PROVIDE EROSION CONTROL DEVICES AROUND PERIMETER OF CONSTRUCTION SITE DOWNHILL FROM EXCAVATIONS. EROSION CONTROL SHALL COMPLY WITH ALL APPLICABLE REGULATIONS.
3. CONTRACTOR TO REPAIR ALL DISTURBED AREAS WITH TOPSOIL TO FINISH GRADE, SEED & MULCH.

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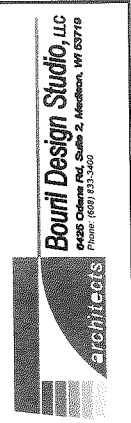


E. DAYTON ST.

(7) EXIST. VIBURNUM

TRUE NORTH
 1 LANDSCAPE PLAN
 1" = 20'-0"

Zoning Submittal



Remodel for
Sandy & Dewey Bredeson
 116 East Dayton Street, Madison, WI 53703

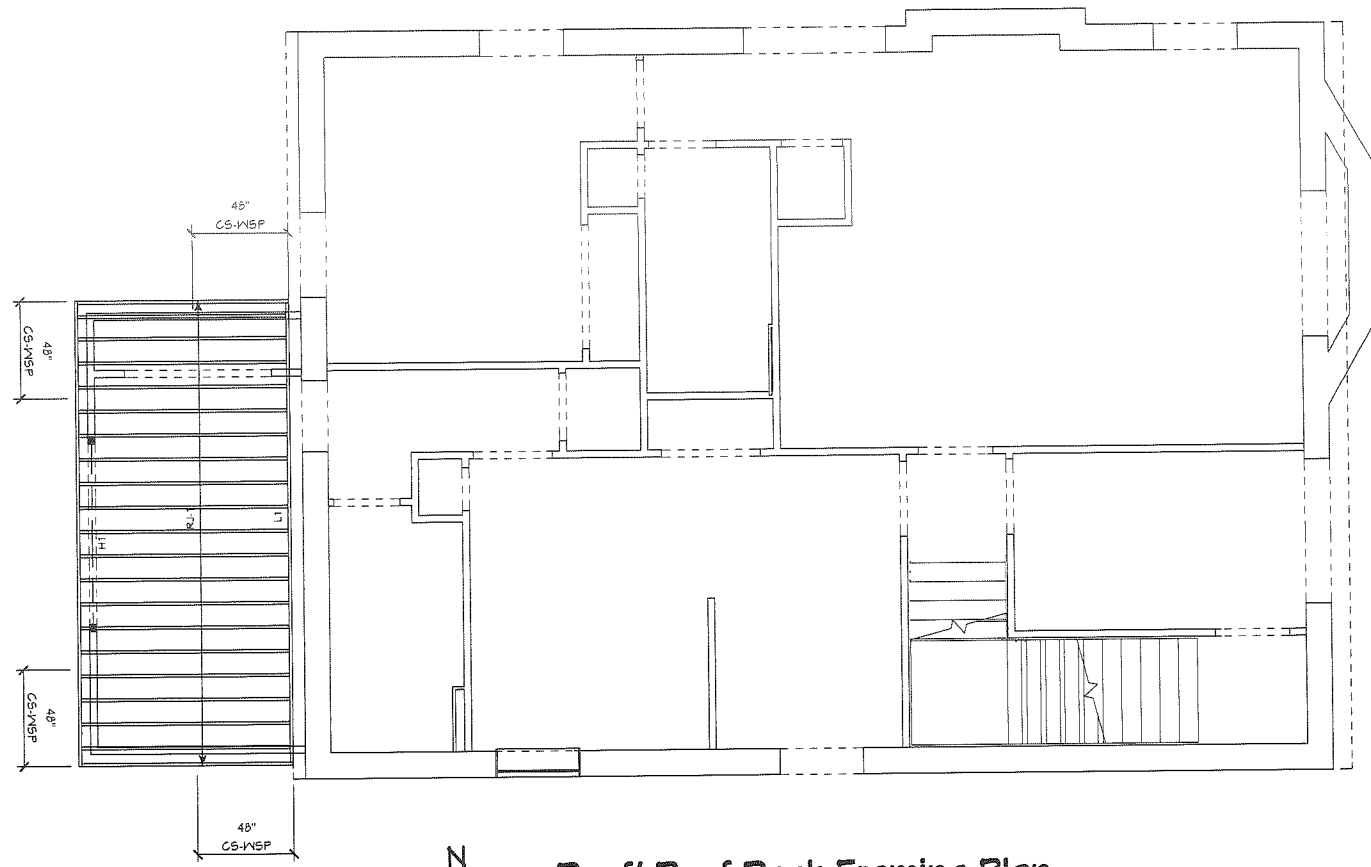
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DATE	ISSUE

PROJECT NO
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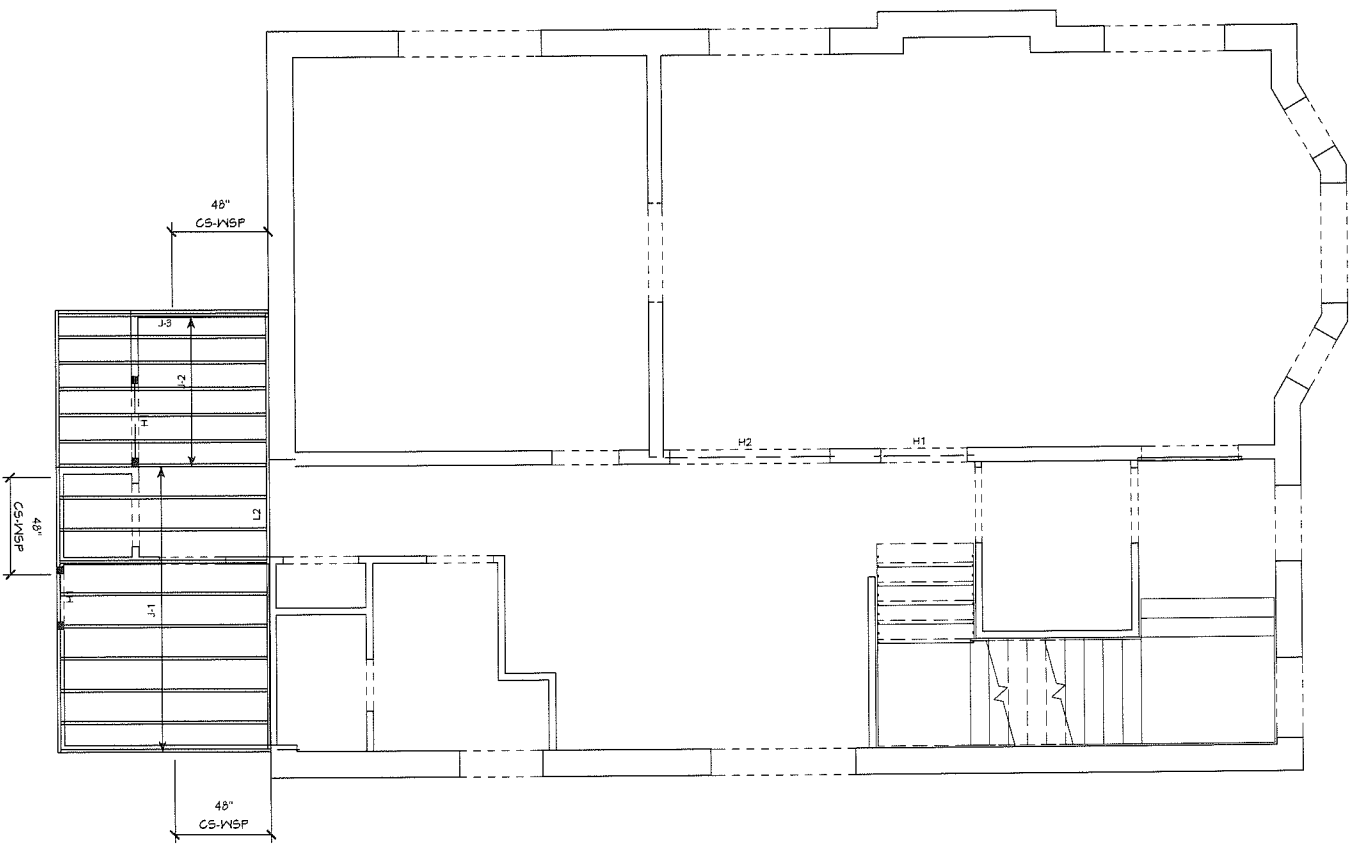
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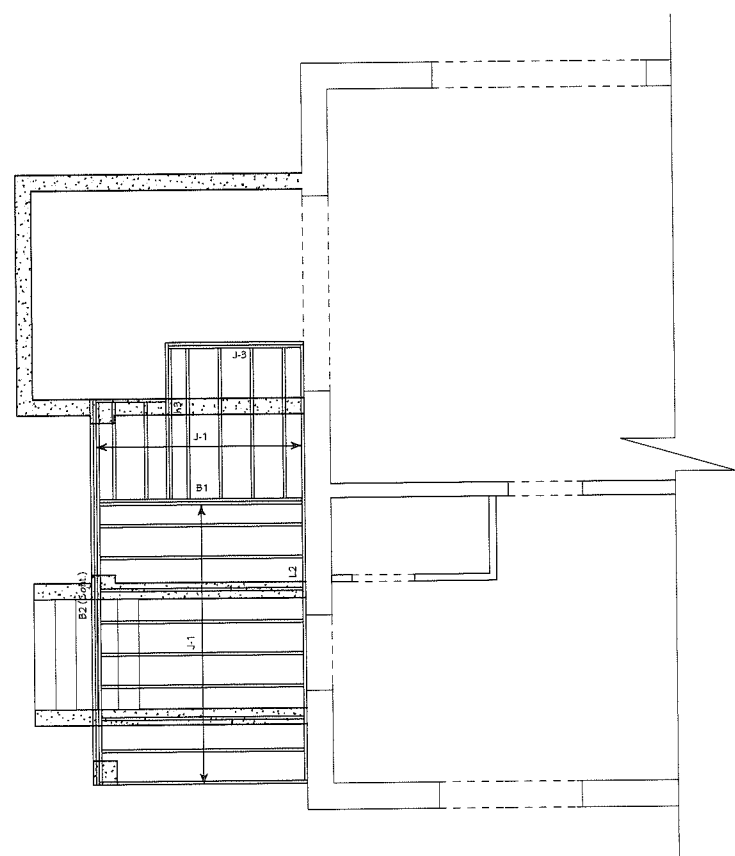
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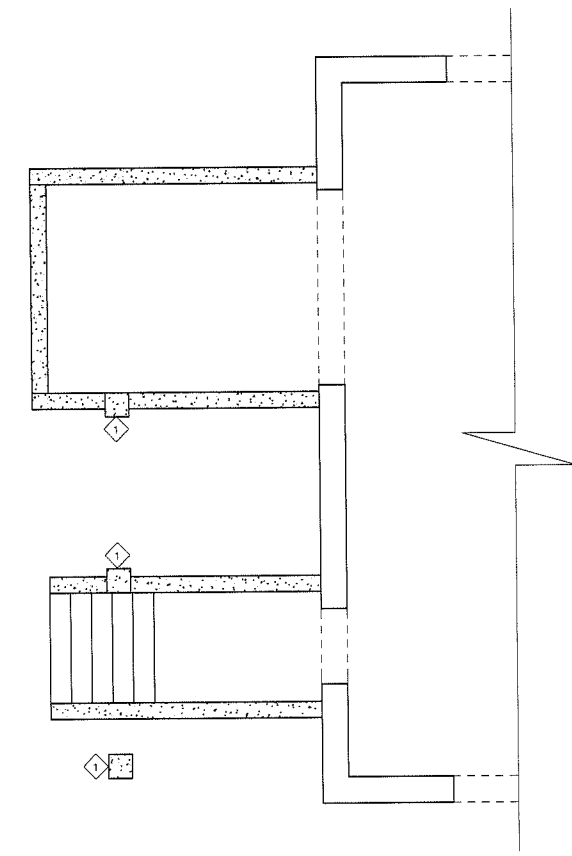
1 Roof/ Roof Deck Framing Plan
SCALE: 1/8" = 1'-0"



2 Second Floor Framing Plan
SCALE: 1/8" = 1'-0"



3 First Floor Framing Plan
SCALE: 1/8" = 1'-0"



4 Existing Foundation Plan
SCALE: 1/8" = 1'-0"

General Notes - Structural Plans

- All dimensions reference the face of concrete, or the face or centerline of a framing member (column, beam, joist, etc).
- All wood framing members in contact with concrete, metal, or the elements shall be pressure treated. All connectors and fasteners in contact with concrete, metal, or the elements shall be stainless steel, galvanized finish or equal.
- Connections not specified will be in accordance with applicable codes and best engineering practices, including fastener type and spacing. All multi-ply structural members shall be stitched together.
- All specified engineered wood products shall be Meyerhauser. All specified metal connectors shall be Simpson Strong-Tie. Unless specified in the drawings all installations, connections, bracing, blocking, and reinforcement of structural engineered lumber shall follow the manufacturer's printed instructions.
- Supported member bearing shall be the full depth of the supporting member or connector seat.
- Provide solid wood blocking at all connections to ensure installations are secure and tied to adjacent framing. Provide solid wood blocking at all joist spaces below supporting members to transfer loads through to the structure below. Solid wood blocking shall be equal to or greater than the bearing area and capacity of the supporting member above. Fasteners through blocking shall be of sufficient length to provide full embedment in connected members as specified by the manufacturer or as required by the installation.

Joist and Ledger Schedule

Tag	Description	Spacing	Connectors	Details	Notes
L1	2x12 FT Ledger Beams	-	SDVNS	-	1
L2	2x12 SPP #2 Ledger Beams	-	SDVNS	-	1
RJ1	2x12 FT Roof Deck Joist (Tapered)	12" OC (max)	Joist Hanger	-	2, 3
J1	2x12 SPP #2 Floor Joist	16" OC (max)	Joist Hanger	-	2
J2	2x12 SPP #2 Floor Joist	12" OC (max)	Joist Hanger	-	2, 4
J3	2x12 SPP #2 Floor Joist	12" OC (max)	Joist Hanger	-	2, 4

- Fasten deck ledger through sheathing to rim joist using two staggered rows of SDVNS22400DB structural wood screws at 12" OC, 1-1/2" clear of edges and 6" clear of ends.
- Fasten joist at ledger with face mount joist hanger.
- Cut top of joist for taper of 1/4" per 1'-0".
- Fasten joist at flush beam with top Range hanger.

Header/ Beam Schedule

Tag	Description	Type	Connectors	Details	Notes
H1	2x12 SPP #2	Dropped	-	-	1
H2	3x2x10 SPP #2	Dropped	-	-	1
B1	2x12 SPP #2	Flush	-	-	1
B2	3x2x12 SPP #2	Flush	-	-	1

- Support header at each end with (1) trimmer (shoulder stud) stitched to an adjacent king stud. End nail the solid portion of the header to the king stud using 4-10d with an edge distance of 1" all around.

Wall Bracing Schedule

- Wall bracing is in accordance with one of the following: the Wisconsin Uniform Dwelling Code, current edition; or the International Residential Code, 2012 edition.
- OSB braced panel construction: apply gypsum wall board to both sides of wall. All panel edges to be supported by framing or blocking. Fasten panels using Type Y or Type S screws at T' edge spacing and T' field spacing; screws to provide a 5/8" (min) penetration into the framing.
 - VNSP and CS-VNSP braced panel construction: apply 7/16" 2x16 span rated wood structural sheathing to one side of wall. All panel edges to be supported by framing or blocking. Fasten panels using 8d commons at 6" edge spacing and 12" field spacing.
 - See the relevant detail for all other methods of braced panel or portal frame construction.

Key Notes - Structural Plans

- Field verify condition of existing solid masonry pilasters, if req'd, demo and replace w/ new solid masonry pilasters for support of new roof beam

J:\2016 Projects\18011 Bredeson, Sandy & Dewey\18011 Bredeson.dwg 4/16/2016 - 2:54:10 PM

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Zoning Submittal

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(608) 833-3400 www.bourilstudio.com

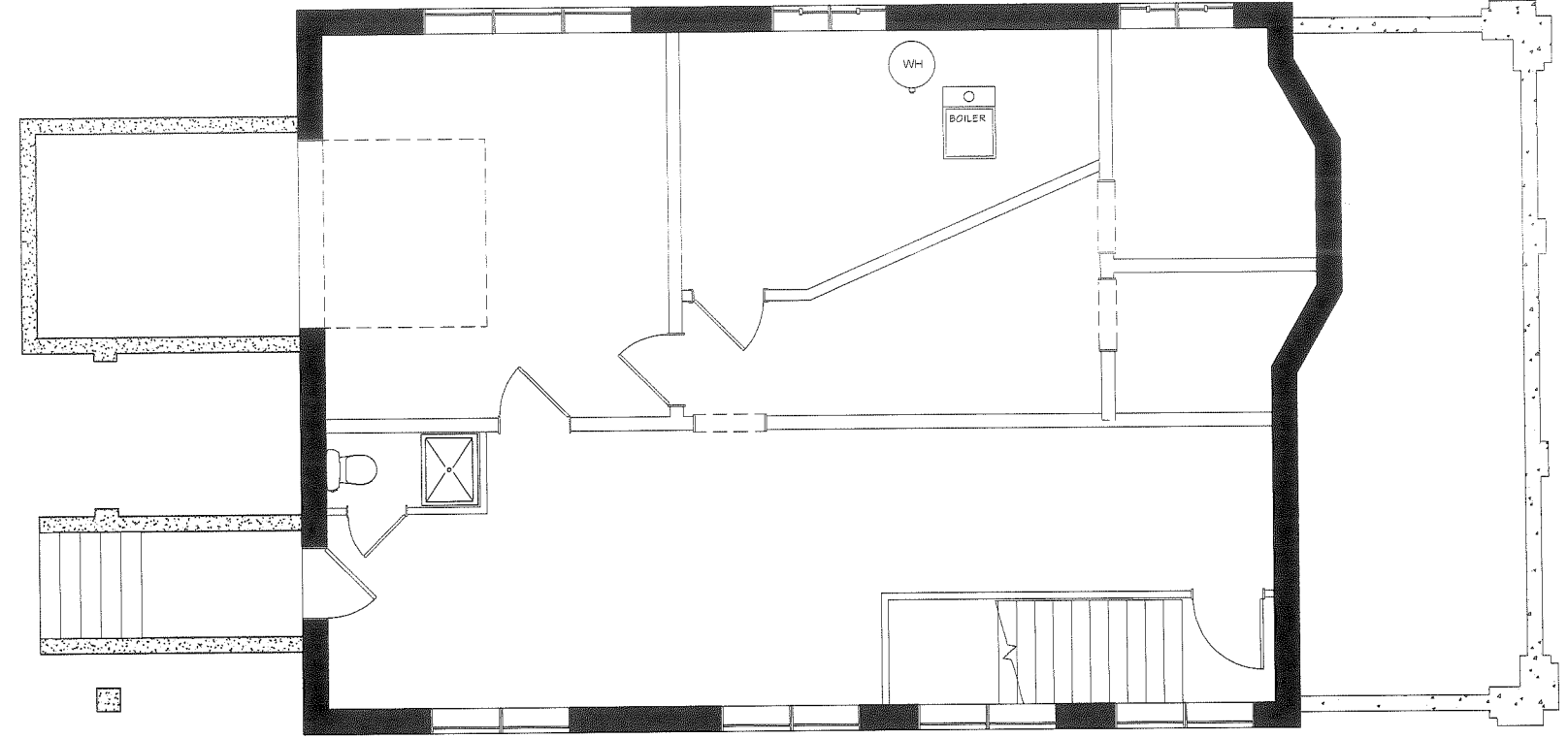
Remodel for
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116 East Dayton Street, Madison, WI, 53703

#	date	reference

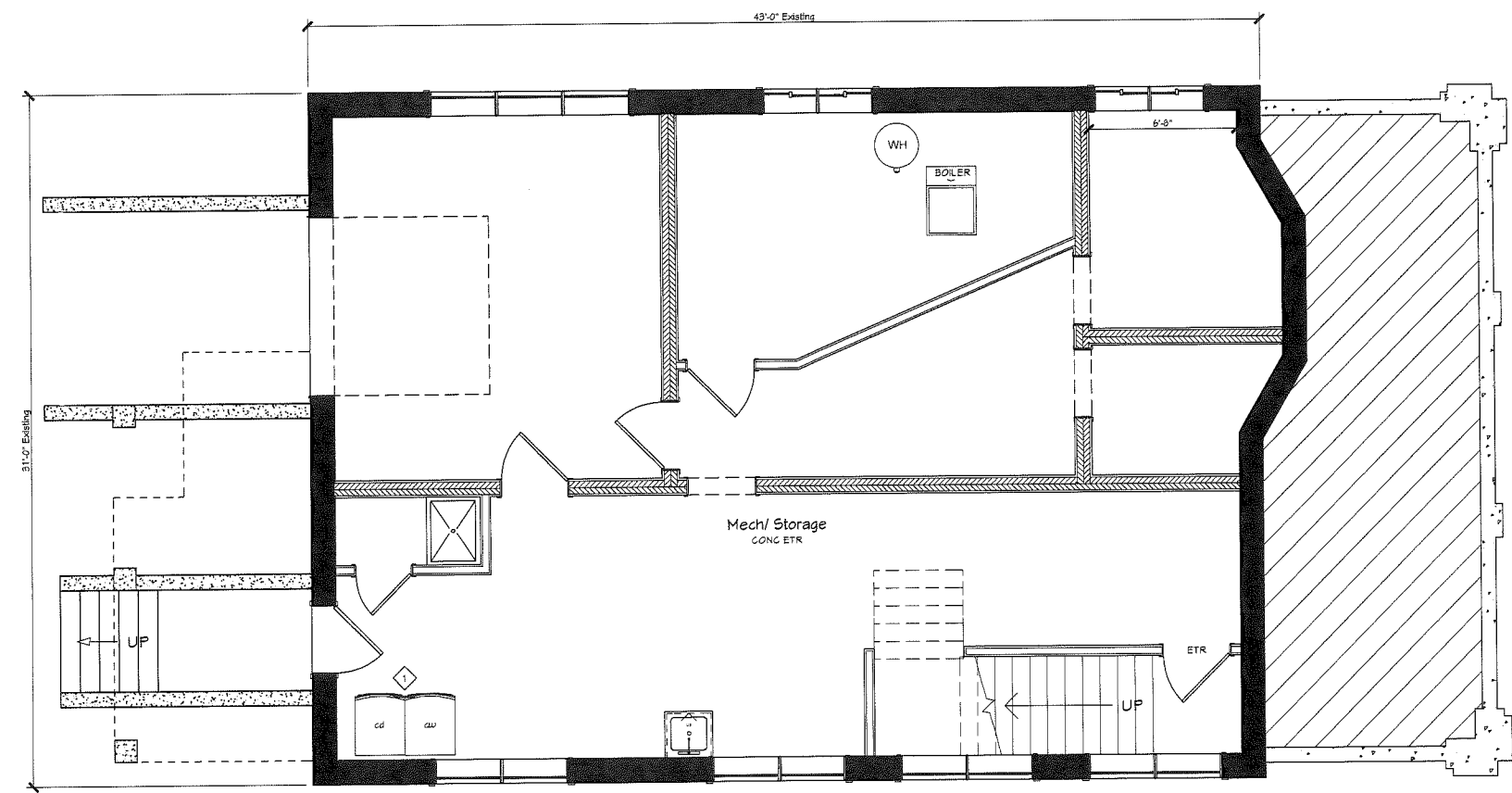
project: 18011
date: 4/16/2016
drawn by: BB

S1

General Notes - Basement Plan	
1.	Existing basement items are to remain as they are. Update MEP equipment as needed for new work on other floors.
Key Notes - Basement Plan	
1	Washer/dryer by owner at existing connections



1 Existing Basement Floor Plan
SCALE: 1/8" = 1'-0"

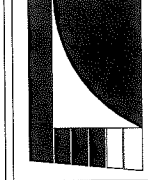


2 Proposed Basement Floor Plan
SCALE: 1/8" = 1'-0"

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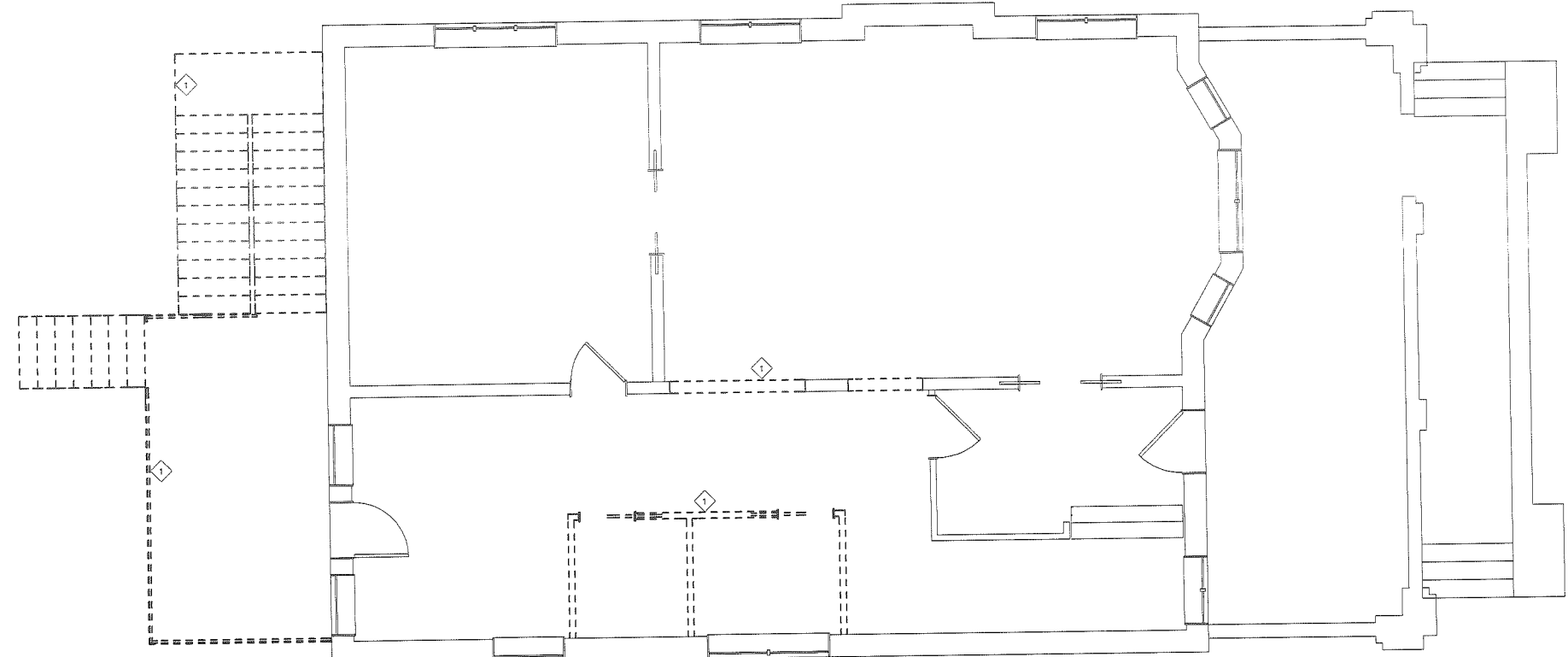
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General Notes - Demolition Plan

- The general contractor is responsible for determining the presence of asbestos-containing material and lead-based paint. These materials have the potential to adversely affect human health and the environment. The abatement of these materials is regulated by federal, state, and local laws and regulations. Along with the appropriate industry practices, these laws and regulations must be followed during abatement and all phases of construction activity including demolition and new construction.
- The general contractor and subcontractors shall thoroughly familiarize themselves with the existing building prior to the start of demolition. All work outside of the area of demolition shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to completion of new construction.
- All existing structure to remain shall be braced, shored, and reinforced as required during the demolition process. All bracing, shoring, and reinforcement shall remain in place during new construction as required or as deemed necessary by the general contractor.
- The disposition of all equipment, fixtures, doors, windows, hardware, etc. stated for demolition shall be coordinated with the owner. Items that are selected by the owner for salvage shall be carefully removed to avoid incidental damage. The general contractor is responsible for storing items designated for re-use, all other salvaged items shall be turned over to the owner.
- Extent of demolition of openings must be coordinated with the new construction.

Key Notes - Demolition Plan

- Dashed line indicates the demolition of wall, stairs, post, door, window, slab, etc. (typ).



Existing/Demo First Floor Plan
SCALE: 1/8" = 1'-0"

General Notes - First Floor Plan

- See Title Sheets for Abbreviations & Product & Material Specifications.
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board or other finish items unless noted otherwise.
- Provide solid wood blocking & bracing for all wall-mounted & ceiling-mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.
- All wood in contact with concrete shall be preservative treated.
- Verify rough opening requirements for all framed openings.
- Position & layout of cabinets, countertops, appliances & fixtures are for general reference only. Installation & rough-ins shall be per owner approved shop drawings.
- Unless noted otherwise, Linen, Pantry, Storage & Utility Closets to receive five adjustable white low pressure laminate shelves on pre-finished steel or aluminum shelf standards of sufficient strength to support loads. Shelf depth shall allow clearance for changing shelf heights.
- Master Closet to receive modular closet storage & hanging system as an allowance. Supplier to coordinate directly with Owner for design & finishes. All other Bedroom Closets, entry Coat Closets & Mudroom Closets to receive one white low pressure laminate fixed shelf with pre-finished steel, aluminum or wood hanging rod. Shelf to be 1/2 the depth of the closet, mounted at 10" above the finished floor; rod to be mounted at 66" above the finished floor & centered in the closet depth.
- Bathrooms to receive an Energy Star rated venting fan with built-in adjustable delay timer & automatic backdraft damper. If installed within a shower enclosure, select a unit that is UL listed for this use & wire to a GFCI protected circuit. Exhaust directly to the exterior through a single 4" diameter min 28ga min smooth-bore rigid duct, minimum elbow, minimum run, terminating with a lowervent wall cap or dampered & screened roof jack.
- Exhaust clothes dryer directly to the exterior through a single 4" diameter min 28ga min smooth-bore rigid duct, minimum elbow, minimum run, terminating with a dampered wall cap or screened roof jack. If the vent is routed through a framed wall provide a recessed dryer vent box or manifold. In all cases the vent must exhaust 3' (min) from any other opening into the building.
- Provide dusted range hood & vent fan with automatic backdraft damper, Energy-Star rated. Exhaust directly to the exterior through a single 4" min. 28ga min. smooth-bore rigid duct, minimum elbow, minimum run, terminating with a screened & dampered wall cap or roof jack.

Partition Type Legend

Existing Exterior Wall:	
Existing Masonry Load Bearing Wall:	
Existing 2x Interior Wall:	
Existing 2x Interior Wall w/ sound batt insulation:	
New 2x Exterior Stud Wall w/ foam-in-place insulation:	
New 2x Interior Stud Wall w/ sound batt insulation:	

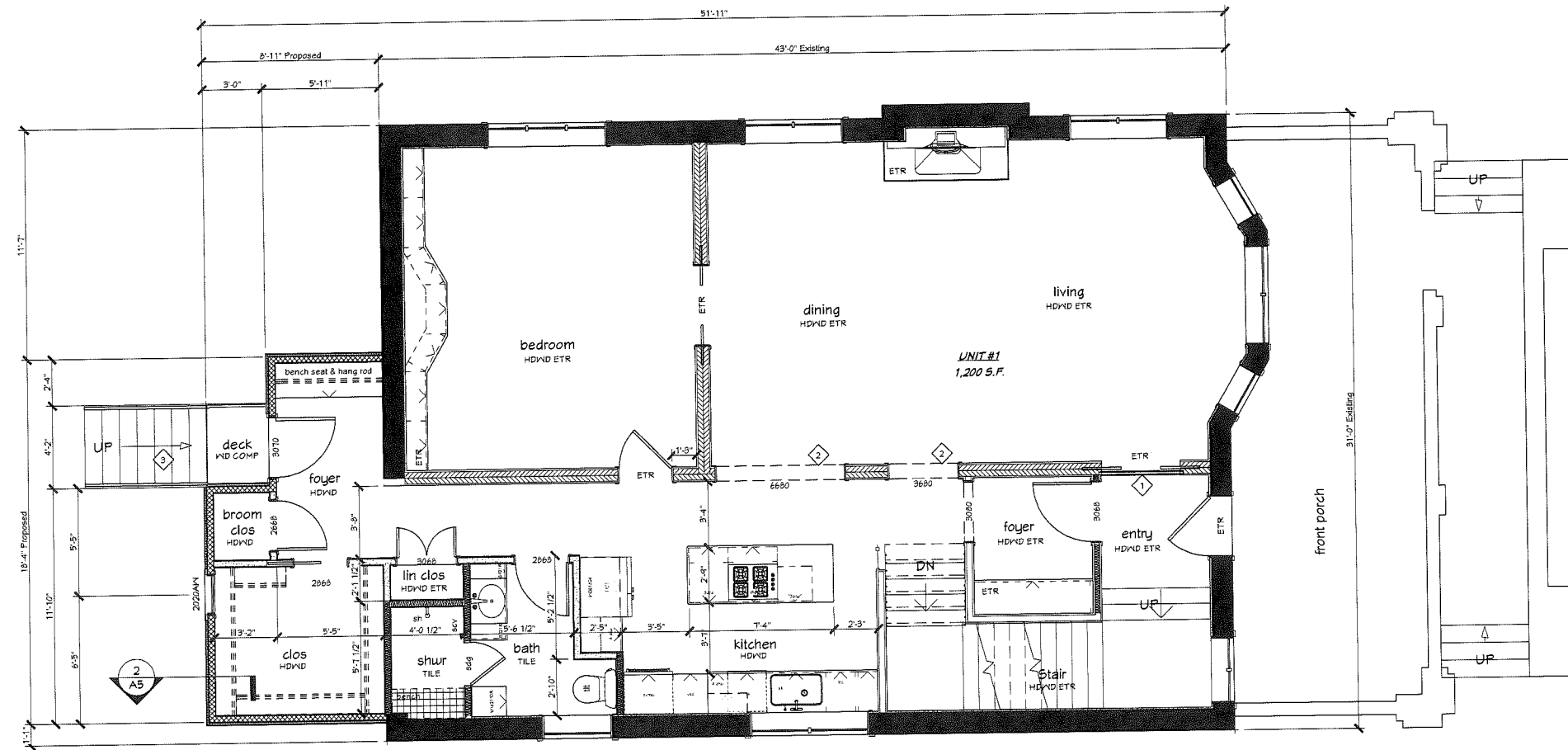
*Note - Provide plaster finish to match existing.

Finish Info - First Floor Plan

- Trim - Base & Casing: New base and casing to match existing in material, profile & finish. Reuse existing where possible.
- Doors: New doors are to match existing in material, profile & finish. Reuse existing doors where possible.
- Windows: New windows are to match existing in material, profile & finish. Re-glaze existing windows as required.
- Cabinetry: New kitchen and bath cabinets are to match existing trim material & finish, verify door style. Countertops are to be granite for the kitchen and quartz for the bath.
- Shower Doors & Mirrors: New swinging glass door @ shower & mirror @ vanity.
- Appliances: Provide an allowance for appliances as shown.
- Flooring:
- HDVD ETR - Existing hardwood to remain, patch and refinish as required
 - HDVD - New hardwood to match existing
 - GPT - New carpet & pad
 - VNL PLANK - New vinyl plank flooring
 - VNL W/P DECKING - New vinyl waterproof decking
 - TILE - New tile & underlayment
 - MD COMP - New composite wood decking
- *Note - Provide soundproof floor underlayment @ all new flooring locations as required.

Key Notes - First Floor Plan

- 2x infill @ existing pocket door location on front side, door is to remain on back side
- New header @ existing load bearing wall
- New railing system



Proposed First Floor Plan
SCALE: 1/8" = 1'-0"

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Remodel for
Sandy & Dewey Bredeson
116 East Dayton Street, Madison, WI, 53103

revision index		
#	date	reference

project: 18011
date: 4/16/2018
drawn by: BB

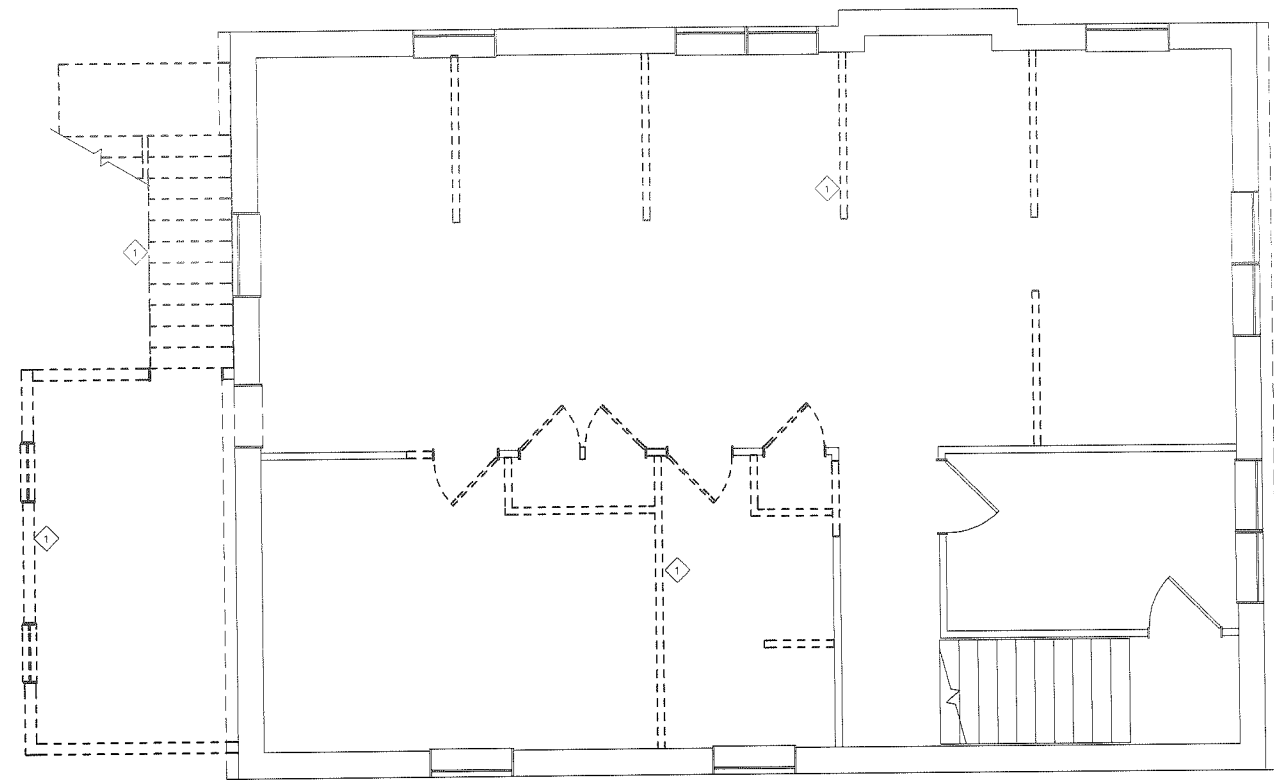
A2

General Notes - Demolition Plan

- The general contractor is responsible for determining the presence of asbestos-containing material and lead-based paint. These materials have the potential to adversely affect human health and the environment. The abatement of these materials is regulated by federal, state, and local laws and regulations. Along with the appropriate industry practices, these laws and regulations must be followed during abatement and all phases of construction activity including demolition and new construction.
- The general contractor and subcontractors shall thoroughly familiarize themselves with the existing building prior to the start of demolition. All work outside of the area of demolition shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to completion of new construction.
- All existing structure to remain shall be braced, shored, and reinforced as required during the demolition process. All bracing, shoring, and reinforcement shall remain in place during new construction as required or as deemed necessary by the general contractor.
- The disposition of all equipment, fixtures, doors, windows, millwork, etc slated for demolition shall be coordinated with the owner. Items that are selected by the owner for salvage shall be carefully removed to avoid incidental damage. The general contractor is responsible for storing items designated for re-use, all other salvaged items shall be turned over to the owner.
- Extent of demolition of openings must be coordinated with the new construction.

Key Notes - Demolition Plan

- Dashed line indicates the demolition of wall, stairs, post, door, window, slab, etc (typ).



1 Existing/ Demo Second Floor Plan
SCALE: 1/8" = 1'-0"

General Notes - Second Floor Plan

- See Title Sheets for Abbreviations & Product & Material Specifications.
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board or other finish items unless noted otherwise.
- Provide solid wood blocking & bracing for all wall-mounted & ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.
- Verify rough opening requirements for all framed openings.
- Position & layout of cabinetry, countertops, appliances & fixtures are for general reference only. Installation & rough-ins shall be per owner approved shop drawings.
- Unless noted otherwise, Linen, Party, Storage & Utility Closets to receive five adjustable white low pressure laminate shelves on pre-finished steel or aluminum shelf standards of sufficient strength to support loads. Shelf depth shall allow clearance for changing shelf heights.
- All Bedroom Closets, entry Coat Closets & Mudroom Closets to receive one white low pressure laminate fixed shelf with pre-finished steel, aluminum or wood hanging rod. Shelf to be 1/2 the depth of the closet, mounted at 70" above the finished floor; rod to be mounted at 66" above the finished floor & centered in the closet depth.
- Bathrooms to receive an Energy Star rated venting fan with built-in adjustable delay timer & automatic backdraft damper. If installed within a shower enclosure, select a unit that is UL listed for this use & wire to a GFCI protected circuit. Exhaust directly to the exterior through a single 4" diameter min 28ga min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a louvered wall cap or dampered & screened roof jack.
- Exhaust clothes dryer directly to the exterior through a single 4" diameter min 28ga min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a dampered wall cap or screened roof jack. If the vent is routed through a framed wall provide a recessed dryer vent box or manifold. In all cases the vent must exhaust 3' (min) from any other opening into the building.
- Provide ducted range hood & vent fan with automatic backdraft damper, Energy-Star rated. Exhaust directly to the exterior through a single 4" min, 28ga min, smooth-bore rigid duct, minimum elbows, minimum run, terminating with a screened & dampered wall cap or roof jack.

Partition Type Legend

Existing Exterior Wall:	[Symbol]
Existing Masonry Load Bearing Wall:	[Symbol]
Existing 2x Interior Wall:	[Symbol]
Existing 2x Interior Wall w/ sound batt insulation:	[Symbol]
New 2x4 Exterior Stud Wall w/ foam-in-place insulation:	[Symbol]
New 2x Interior Stud Wall w/ sound batt insulation:	[Symbol]

*Note - Provide plaster finish to match existing.

Finish Info - Second Floor Plan

Trim - Base & Casing: New base and casing is to match existing in material, profile & finish. Reuse existing where possible.

Doors: New doors are to match existing in material, profile & finish. Reuse existing doors where possible.

Windows: New windows are to match existing in material, profile & finish. Re-finish painted windows as needed to match existing. Re-glaze existing windows as required.

Cabinetry: New kitchen and bath cabinets are to match existing trim material & finish, verify door style. Countertops are to be laminate for the kitchens and the baths.

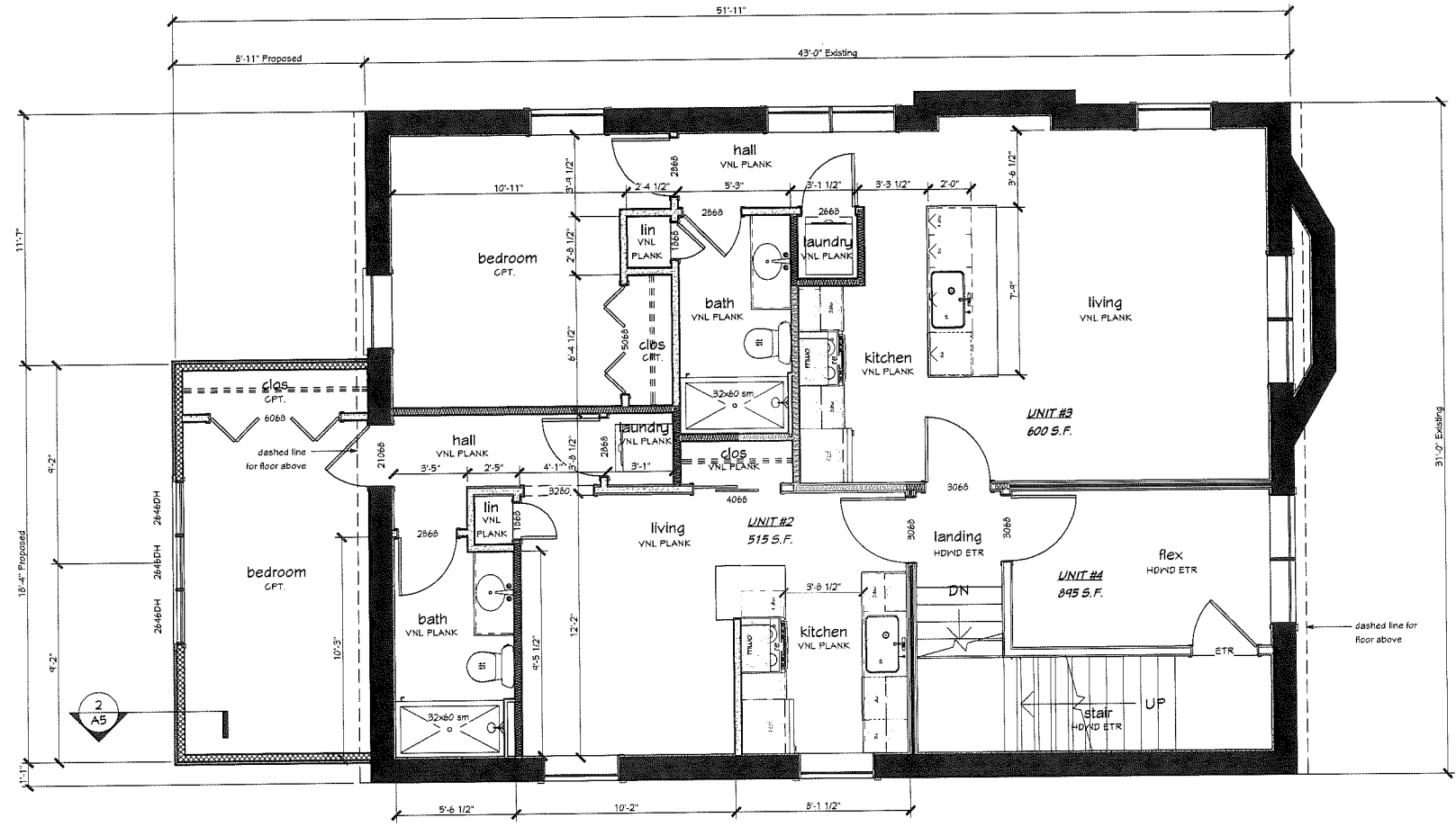
Shower Doors & Mirrors: New sliding glass door @ showers & mirrors @ vanities.

Appliances: Provide an allowance for appliances as shown.

Flooding:

- HDVD ETR - Existing hardwood to remain, patch and refinish as required
- HDVD - New hardwood to match existing
- CPT - New carpet & pad
- VNL PLANK - New vinyl plank flooring
- VNL XP DECKING - New vinyl waterproof decking
- TILE - New tile & underlayment
- WD COMP - New composite wood decking

*Note - Provide soundproof floor underlayment @ all new flooring locations as required.



2 Proposed Second Floor Plan
SCALE: 1/8" = 1'-0"

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Zoning Submittal

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(608) 833-3400 www.bourilstudio.com

Remodel for
Sandy & Dewey Bredeson
116 East Dayton Street, Madison, WI, 53703

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project: 18011
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A3

General Notes - Demolition Plan

- The general contractor is responsible for determining the presence of asbestos-containing material and lead-based paint. These materials have the potential to adversely affect human health and the environment. The abatement of these materials is regulated by federal, state, and local laws and regulations. Along with the appropriate industry practices, these laws and regulations must be followed during abatement and all phases of construction activity, including demolition and new construction.
- The general contractor and subcontractors shall thoroughly familiarize themselves with the existing building prior to the start of demolition. All work outside of the area of demolition shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to completion of new construction.
- All existing structure to remain shall be braced, shored, and reinforced as required during the demolition process. All bracing, shoring, and reinforcement shall remain in place during new construction as required or as deemed necessary by the general contractor.
- The disposition of all equipment, fixtures, doors, windows, hardware, etc. slated for demolition shall be coordinated with the owner. Items that are selected by the owner for salvage shall be carefully removed to avoid incidental damage. The general contractor is responsible for storing items designated for re-use; all other salvaged items shall be turned over to the owner.
- Extent of demolition of openings must be coordinated with the new construction.

Key Notes - Demolition Plan

- Dashed line indicates the demolition of wall, stairs, post, door, window, slab, etc. (typ).

General Notes - Third Floor Plan

- See Title Sheets for Abbreviations & Product & Material Specifications.
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc.). Dimensions do not reference sheathing, wall board or other finish items unless noted otherwise.
- Provide solid wood blocking & bracing for all wall-mounted & ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.
- Verify rough opening requirements for all framed openings.
- Position & layout of cabinetry, countertops, appliances & fixtures are for general reference only. Installation & rough-ins shall be per owner approved shop drawings.
- Unless noted otherwise, Linen, Fantry, Storage & Utility Closets to receive five adjustable white low pressure laminate shelves on pre-finished steel or aluminum shelf standards of sufficient strength to support loads. Shelf depth shall allow clearance for changing shelf heights.
- All Bedroom Closets, entry Coat Closets & Mudroom Closets to receive one white low pressure laminate fixed shelf with pre-finished steel, aluminum or wood hanging rod. Shelf to be 1/2 the depth of the closet, mounted at 10" above the finished floor; rod to be mounted at 66" above the finished floor & centered in the closet depth.
- Bathrooms to receive an Energy Star rated venting fan with built-in adjustable delay timer & automatic backdraft damper. If installed within a shower enclosure, select a unit that is UL listed for this use & wire to a GFCI protected circuit. Exhaust directly to the exterior through a single 4" diameter min 28ga min smooth bore rigid duct, minimum elbows, minimum run, terminating with a lowered wall cap or dampered & screened roof jack.
- Exhaust clothes dryer directly to the exterior through a single 4" diameter min 28ga min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a dampered wall cap or screened roof jack. If the vent is routed through a framed wall provide a recessed dryer vent box or manifold. In all cases the vent must exhaust 3' (min) from any other opening into the building.
- Provide ducted range hood & vent fan with automatic backdraft damper, Energy-Star rated. Exhaust directly to the exterior through a single 4" min, 28ga min, smooth-bore rigid duct, minimum elbows, minimum run, terminating with a screened & dampered wall cap or roof jack.

Partition Type Legend

- Existing Exterior Wall: [Symbol]
- Existing Masonry/Load Bearing Wall: [Symbol]
- Existing 2x Interior Wall: [Symbol]
- Existing 2x Interior Wall w/ sound batt insulation: [Symbol]
- New 2x4 Exterior Stud Wall w/ foam-in-place insulation: [Symbol]
- New 2x Interior Stud Wall w/ sound batt insulation: [Symbol]

*Note - Provide plaster finish to match existing.

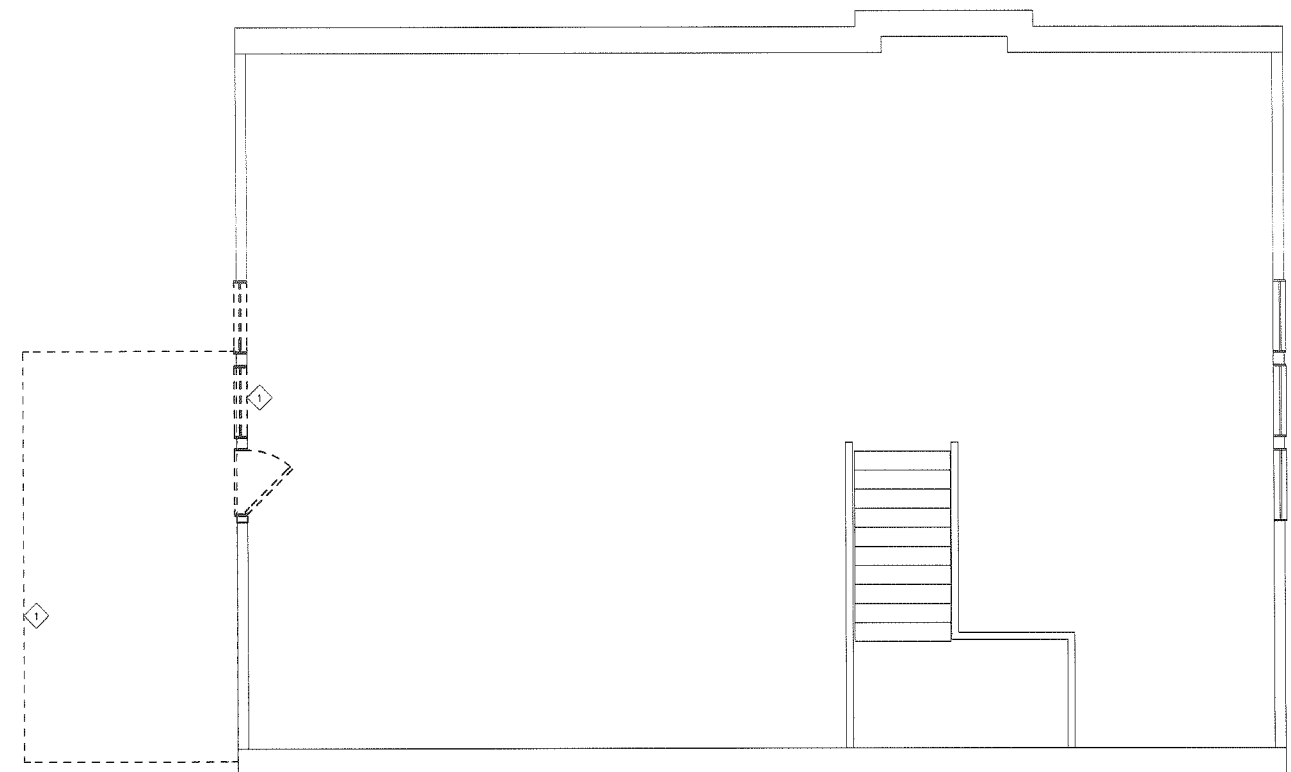
Finish Info - Third Floor Plan

- Trim - Base & Casing: New base and casing is to match existing in material, profile & finish. Reuse existing where possible.
- Doors: New doors are to match existing in material, profile & finish. Reuse existing doors where possible.
- Windows: New windows are to match existing in material, profile & finish. Re-glaze existing windows as required.
- Cabinetry: New kitchen and bath cabinets are to match existing trim material & finish, verify door style. Countertops are to be laminate for the kitchen the bath.
- Shower Doors & Mirrors: New sliding glass door @ showers & mirrors @ vanities.
- Appliances: Provide an allowance for appliances as shown.
- Flooring:
 - HDWD ETR - Existing hardwood to remain, patch and refinish as required
 - HDWD - New hardwood to match existing
 - CPT - New carpet & pad
 - VNL PLANK - New vinyl plank flooring
 - VNL W/P DECKING - New vinyl waterproof decking
 - TILE - New tile & underlayment
 - W/O CHIP - New composite wood decking

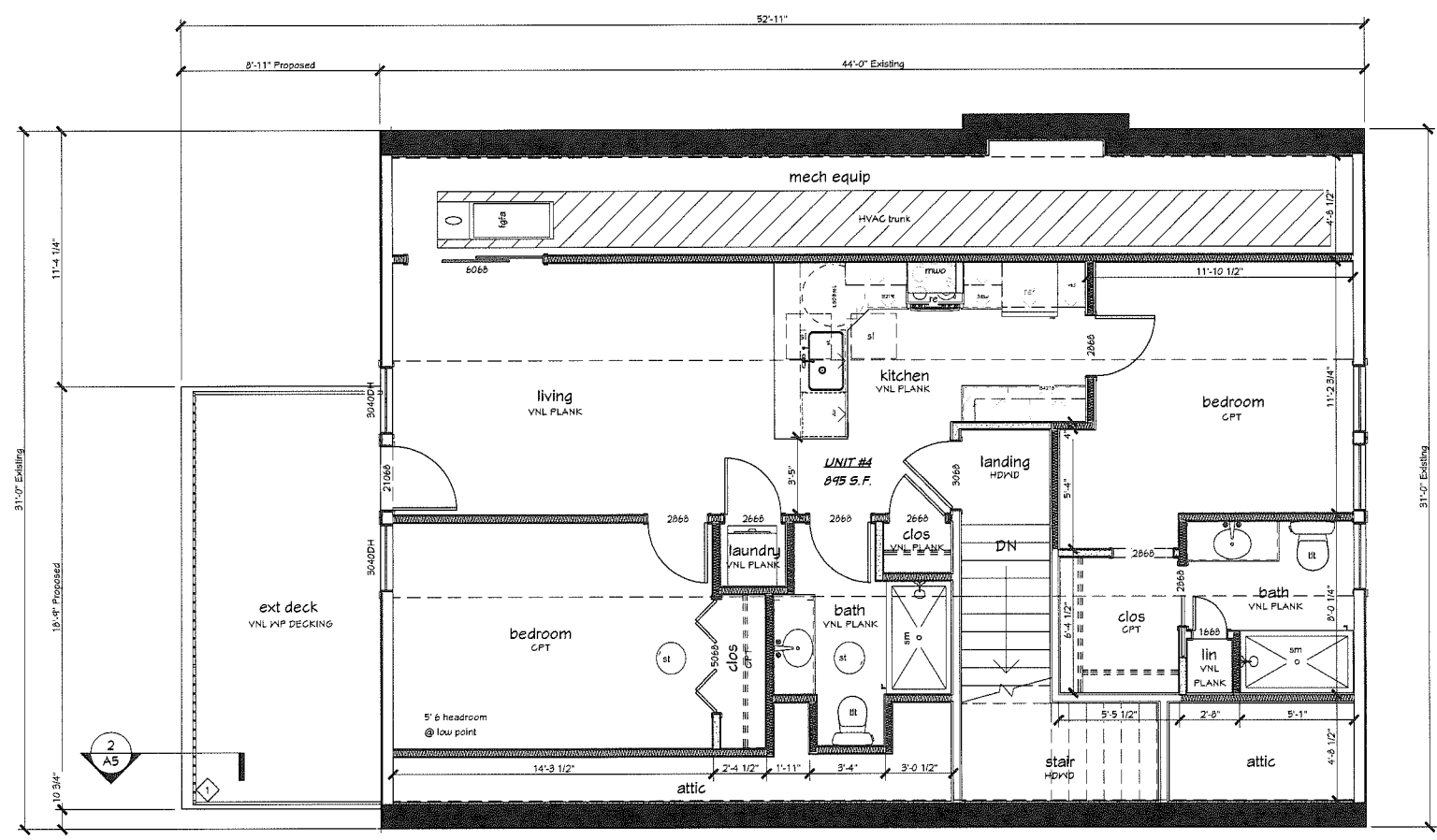
*Note - Provide soundproof floor underlayment @ all new flooring locations as required.

Key Notes - Third Floor Plan

- New guardrail system



Existing/ Demo Third Floor Plan
SCALE: 1/8" = 1'-0"



Proposed Third Floor Plan
SCALE: 1/8" = 1'-0"

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Zoning Submittal

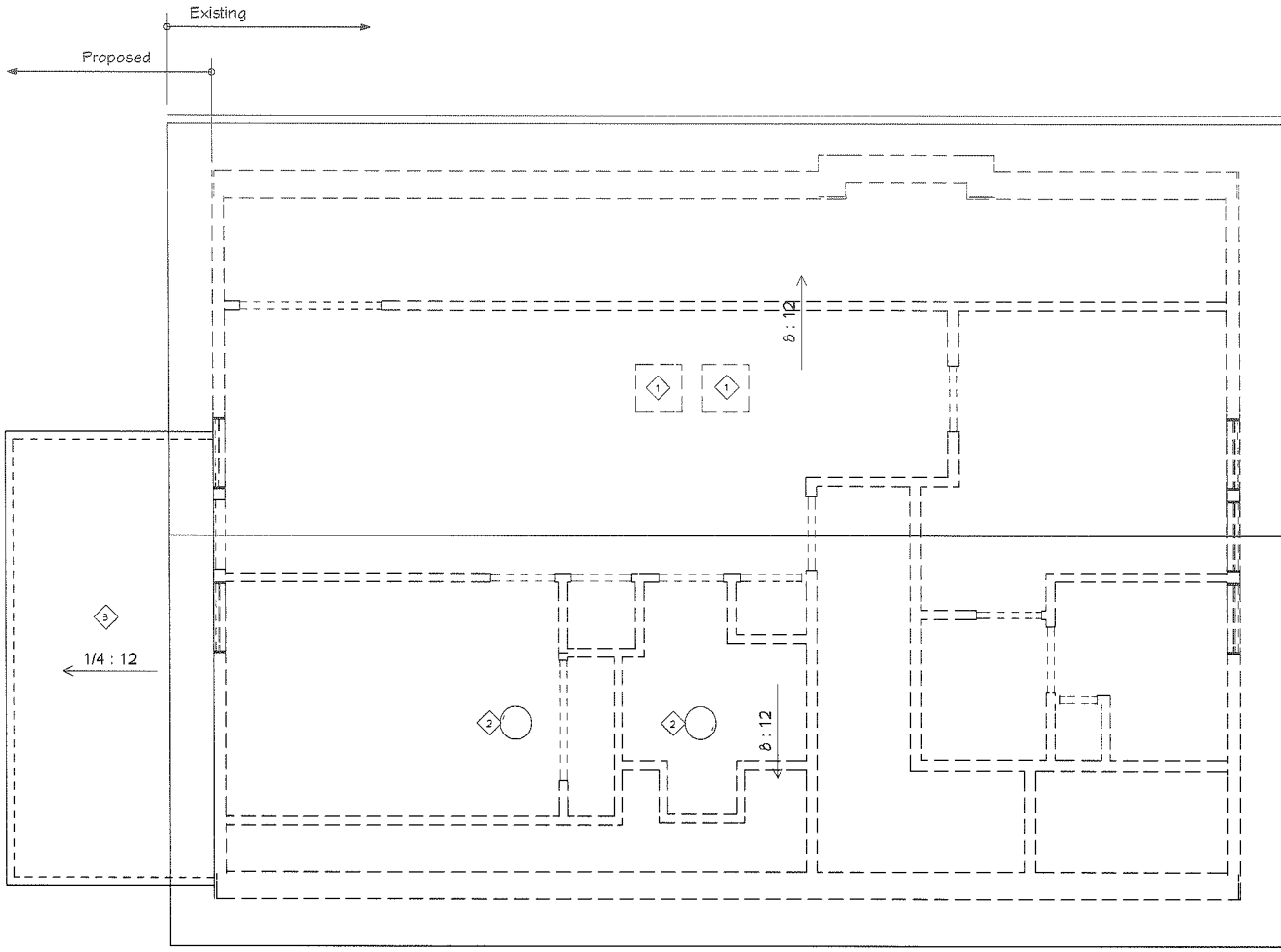
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Remodel for
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116 East Dayton Street, Madison, WI, 53703

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A4



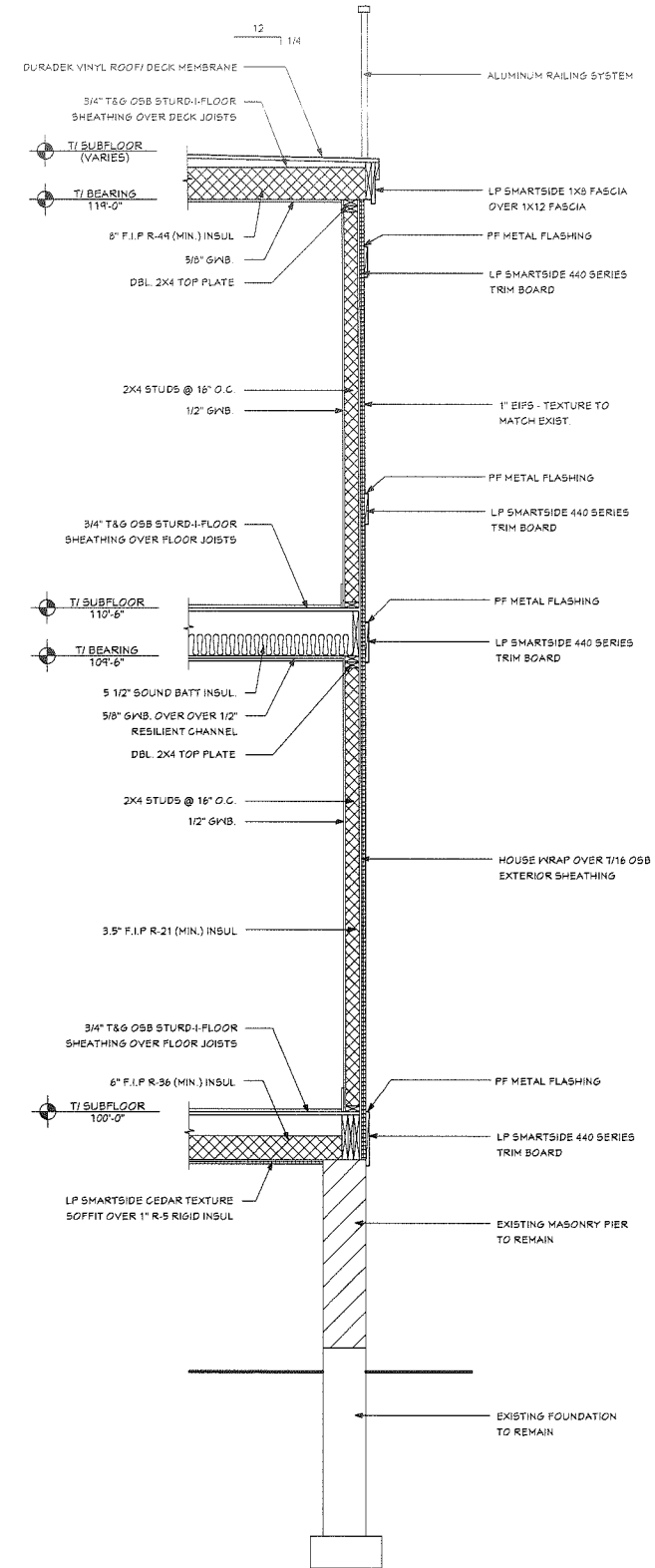
1 Roof Plan
SCALE: 1/8" = 1'-0"

General Notes - Roof Plan

1. All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
2. Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
3. Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents & stacks; along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch & other vertical surfaces; over the entire surface of any roof, crickets, or over-build with a slope 4:12 or less. All areas not covered by waterproof membrane will be covered with 15# roofing felt applied horizontally from eave to ridge.
4. Gutters, downspouts, and leaders shall be roll-formed from 0.032" aluminum coil stock in a color to match the eave fascia. Gutter lengths shall be seamless; K Style profile & shall provide 20sq in (min) of net cross-sectional area and shall have a depth to width ratio of not less than 1.25 (eg a 4" deep x 5" high U-shaped gutter satisfies this requirement). All gutters shall receive a fully covered leaf guard system. Downspouts & leaders shall be a 4"x3" rectangular profile. Downspouts which discharge to a leader at grade shall be provided with a decorative aggregate concrete splash block at the leader termination. Downspouts which discharge to a drain receptor shall terminate into a 4x3x4 PVC offset downspout tile adaptor mated to a buried 4" SDR35 drain pipe receiver. Buried drain pipe shall slope at 1/4:12 and drain to daylight; all pipe fittings shall be permanently welded or use gaskets; all bends shall be 45 degrees or less.

Key Notes - Roof Plan

1. New Velox FS-D26 Skylight
2. New Velox Pitched TMR 14" Dia. sun tunnel
3. Duradek vinyl roof deck membrane



2 Wall Section
SCALE: 1/4" = 1'-0"

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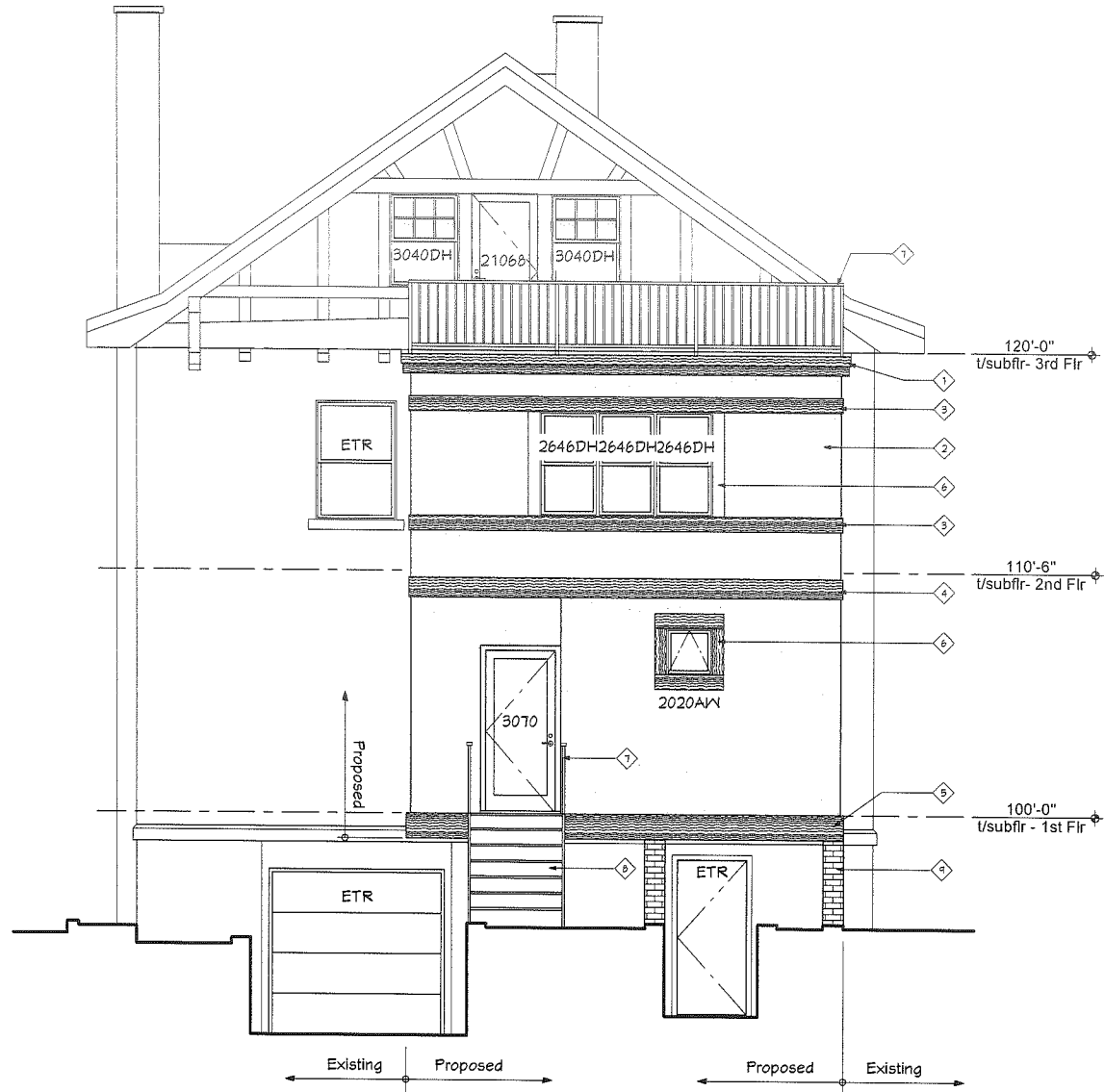


Remodel for
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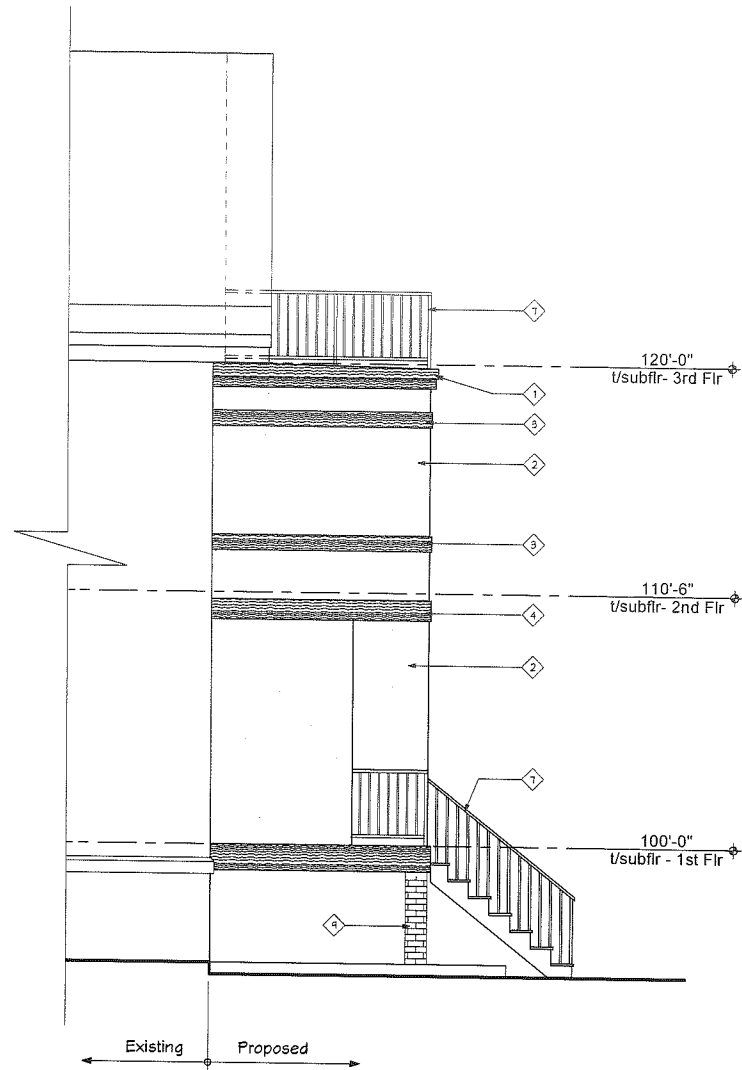
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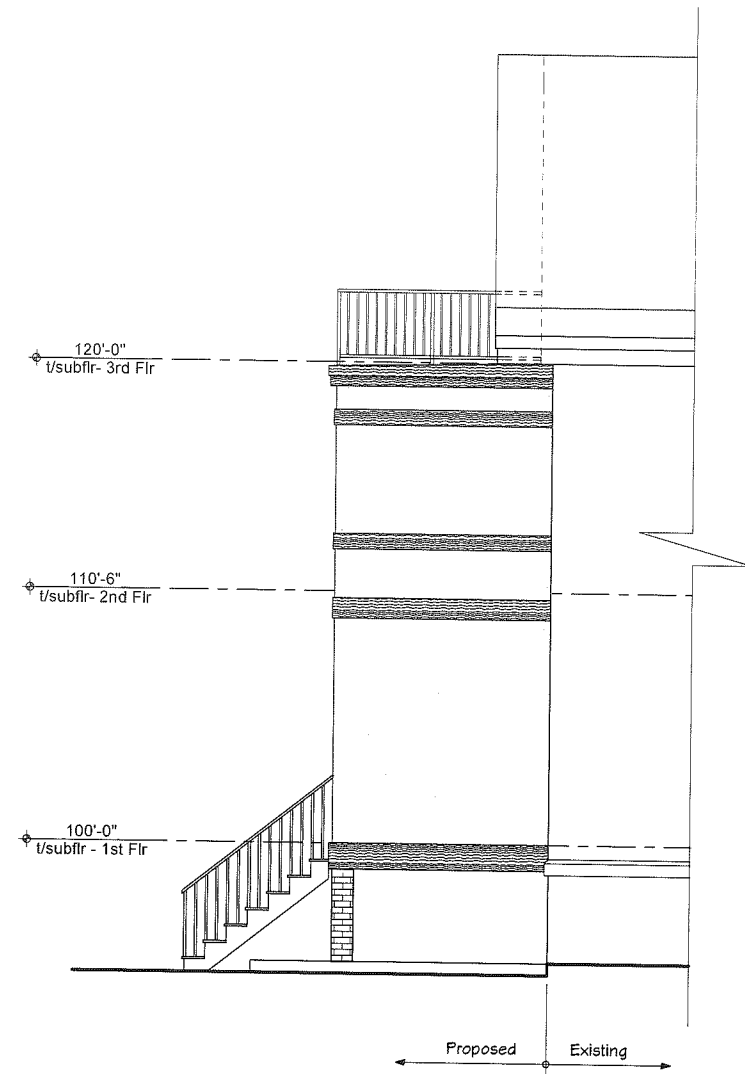
A5



1 West Elevation
SCALE: 1/8" = 1'-0"



2 North Elevation
SCALE: 1/8" = 1'-0"



3 South Elevation
SCALE: 1/8" = 1'-0"

- General Notes - Exterior Elevations**
1. See Title Sheet for Abbreviations.
 2. See Typical Exterior Wall Sections for additional material information, sizes & dimensions.
 3. Provide physical samples of all exterior materials, colors & finishes for owner approval prior to installation.
 4. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.
- Key Notes - Exterior Elevations**
1. LP Smartside 1x6 fascia over 1x12 fascia
 2. EIFS - texture to match existing
 3. LP Smartside 440 series trim (1 1/4")
 4. LP Smartside 440 series trim (1 1/4")
 5. LP Smartside 440 series trim (1 1/2")
 6. LP Smartside 440 series trim (1 1/2")
 7. Aluminum railing system
 8. Wood composite deck/stair system
 9. Existing masonry pier to remain

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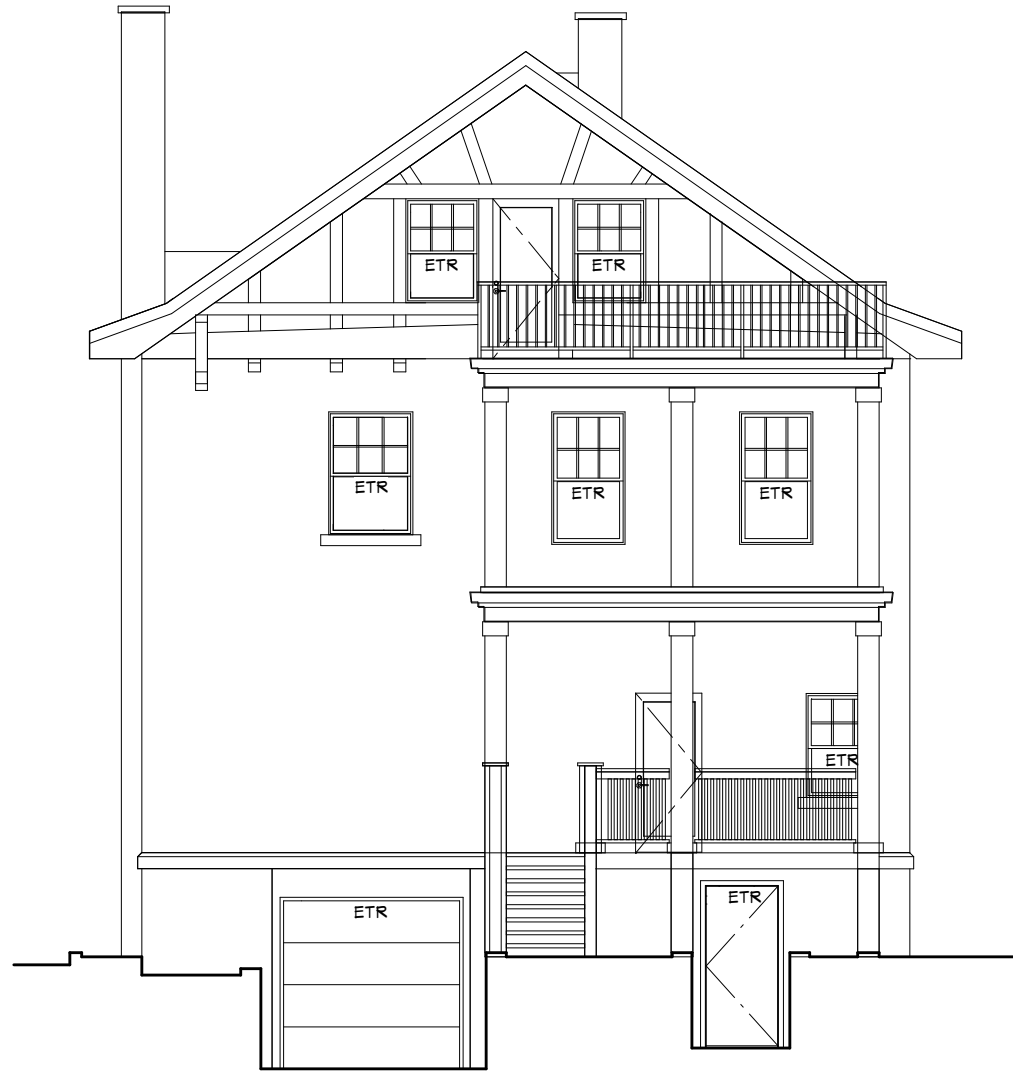
Zoning Submittal


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Remodel for
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116 East Dayton Street, Madison, WI, 53703

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project: 18011
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1 Existing West Elevation 
SCALE: 1/8" = 1'-0"



2 Existing East Elevation 
NTS



3 Existing North Elevation 
NTS



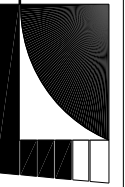
4 Existing South Elevation 
NTS

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Interior Alteration for
Sandy & Dewey Bredeson
116 East Dayton Street, Madison, WI, 53703

#	date	reference
1	4/26/18	SD#1
2	4/30/18	SD#2
3	5/17/18	SD#3
4	5/2/18	SD#4

project: 18011
date: 5/8/2018
drawn by: BA

A7