

Area Plan / Site Location



Image 1 - Monroe Street from NW



Image 2 - From Corner of Oakland & Monroe



Image 3 - From Corner of Alley & Oakland



Image 4 - Alley from SE

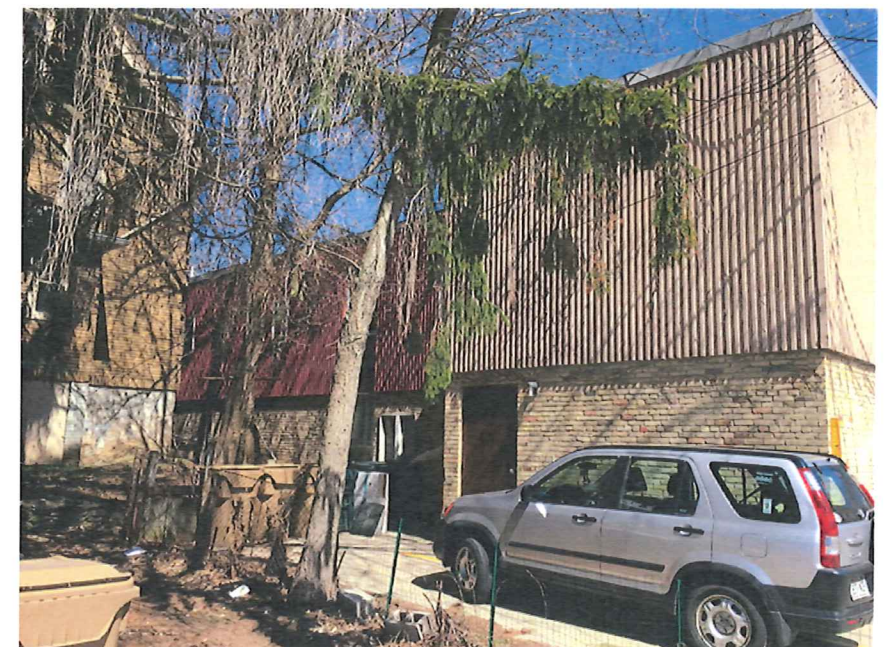


Image 5 - SW Elevation from Alley

15002.00 **Site Location & Images of Existing**

Sixteen O Three Monroe  
Scale: NTS

April 13, 2016 (Plan Commission Submittal)

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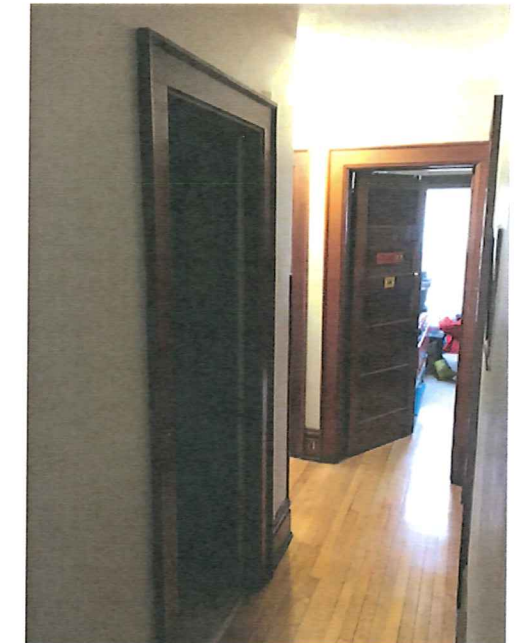
Image 6 - SW Elevation of House



Image 7 - Front & SW Elevation of House



Image 8 - Front & NE Elev. of House



House - Upstairs Corridor



House - Entry & Stairs



House - Living & Dining



House - Kitchen

15002.00

## Images of Existing

Sixteen O Three Monroe  
Scale: NTS

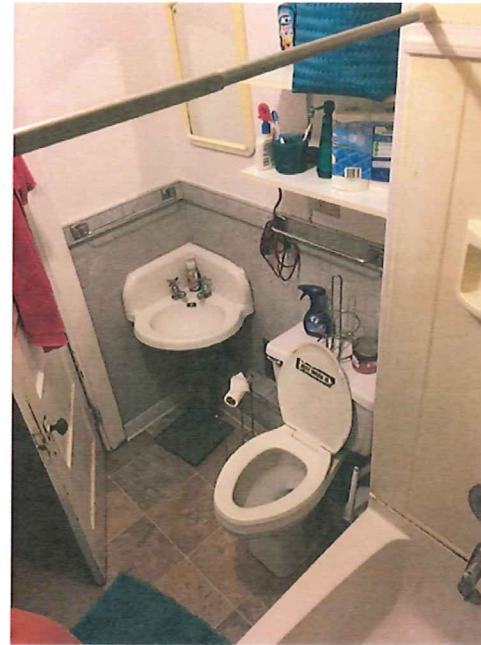
April 13, 2016 (Plan Commission Submittal)

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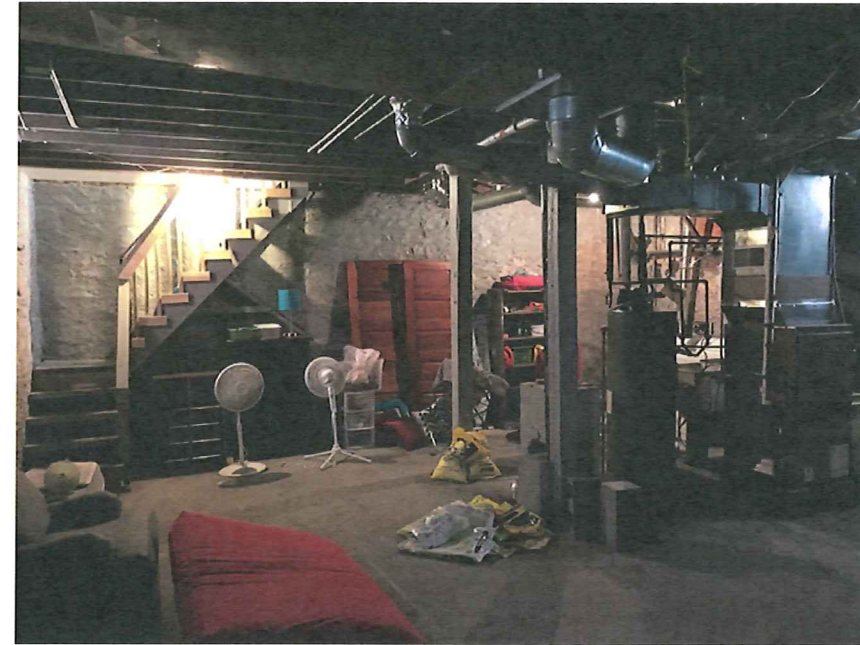
**Cās**<sub>4</sub>  
architecture, llc



House - Typical Bedroom



House - Bathroom



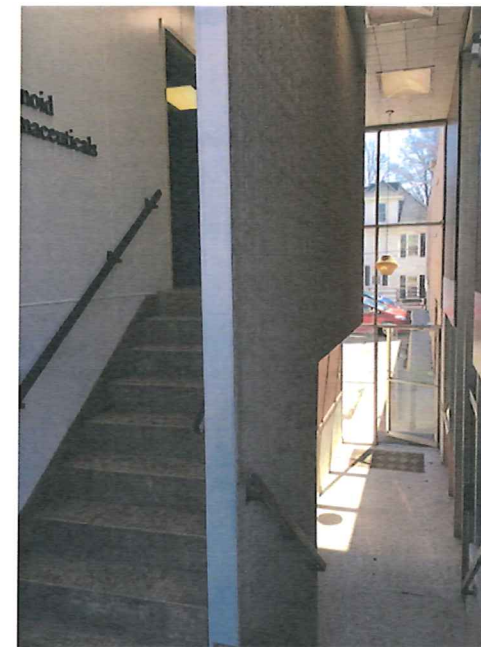
House - Basement



Office - Main Street Entry & Stairs



Office - Back Entry & Stairs



Office - 2nd Street Entry & Stairs



Office - Typical Corridor

15002.00 Images of Existing

Sixteen O Three Monroe  
Scale: NTS

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Office - Bathroom



Office - Lounge



Office - Tenant Space



Office - Kitchenette



Office - Tenant Entry & Space



Office - Tenant Space

15002.00 Images of Existing

Sixteen O Three Monroe  
Scale: NTS

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View from Intersection of Monroe & Regent



View from Park (North)



View from Breese Terrace



View from Monroe Street to East

# 15002.00 Proposed Building Images

Sixteen O Three Monroe  
Scale: NTS

April 13, 2016 (Plan Commission Submittal)

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View from Intersection of Monroe & Breese



View from Monroe Street to Entry



View from South (Bird's Eye)



View from Alley (South)

15002.00 | **Proposed Building Images**

Sixteen O Three Monroe  
Scale: NTS

April 13, 2016 (Plan Commission Submittal)

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Bird's -eye View from East



View from Oakland & Alley to West



View from Oakland to North

15002.00 **Proposed Building Images**

Sixteen O Three Monroe  
Scale: NTS

April 13, 2016 (Plan Commission Submittal)

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# 1603 Monroe

1603- 1609 Monroe Street, Madison, WI 53711

## Plan Commission Submittal

# CāS<sub>4</sub>

architecture, llc

303 S. Paterson Street, Ste. 1  
Madison, WI 53703  
ph 608-709-1250

/home/paterson/Projects/1603/15002\_0001\_PC\_Submittal.dwg

Structural Engineering:

Civil Engineering:

Landscape Architecture:

### 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-28-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Title Sheet

# G001

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe  
Project #: 15002.00

Civil	Landscape	Architectural
Burse Surveying & Engineering 2801 International Lane, Ste. 101 Madison, WI 53704  ph 608-280-9266	Ken Saiki Design 303 S. Paterson Street, Ste. 1 Madison, WI 53703  ph 608-251-3600	CāS Architecture, LLC 303 S. Paterson Street, Ste. 1 Madison, WI 53703  ph 608-709-1250
C100 Existing Conditions C200 Site Plan C300 Grading & Erosion Control Plan C400 Utility Plan C500 Details & Notes	L100 Site Planting Plan L101 Green Roof Planting Plans L102 Details & Plant Schedules	G001 Title Sheet G100 Fire Department Access Plan  D100 Demolition Plan  A100 Level P2 Floor Plan A101 Level P1 Floor Plan A101b Level P1 Floor Plan - Alternate (Commercial Auto Bank) A102 Level L1 Floor Plan A103 Level L2 Floor Plan A104 Level L3 & L4 Floor Plan A105 Level L5 Floor Plan A106 Roof Plan  A200 Exterior Elevations A201 Exterior Elevations  E001 Exterior Photometrics - Grade Level E002 Luminaire Schedule & Exterior Photometrics - Levels 2-4 E003 Exterior Photometrics - Level 5

### PROJECT INFORMATION

Site Area: 16,786 sf

Building Footprint: 14,074 sf

#### SQUARE FOOTAGE BY USE:

Use	Gross Square Feet
Parking and Storage (S-2)	27,976
Commercial and Core (A-2 and/or B)	5,020
Residential and Core (R-2)	47,001

#### BUILDING SUMMARY

Building Type: Apartment House  
Occupancy Classification: R-2 over A-2, B and S-2  
(3 hour separation at second floor line)

Construction Type: Type 1A up to 2nd Level; VA above

Maximum Allowable Area: 36,000 gsf/floor

Maximum Allowable Stories: 4 over 2nd level separation

Total Occupancy Load:

Residential (R-2) 236 occupants  
(47,001 gsf / 200 gsf per occ.)

Commercial Space (A-2) 241 occupants  
(3,615 nsf / 15 nsf per occ.)

Business (B) 6 occupants  
(1,197 gsf / 200 gsf per occ.)

Parking (S-2) 140 occupants  
(27,976 gsf / 200 gsf per occ.)

TOTAL 623 occupants

#### BUILDING TOTALS

Level	Gross Square Feet
Level P1	13,582
Level P2	14,074
Level 1 (Grade)	12,417
Level 2	10,712
Level 3	10,700
Level 4	10,572
Level 5	7,939
TOTAL	79,997

#### PARKING COUNTS

##### AUTOMOBILE PARKING

Interior	
Residential - Rental	40
Residential - Condominium	8
3 Handicap Stalls provided (6%)	
Public Use	14
1 Handicap Stalls provided (7%)	
Surface Parking	0
TOTAL ONSITE PARKING	62

##### MOPED PARKING

Interior - Residential	6
Interior - Public Use	5
Exterior	5
TOTAL ONSITE PARKING	16

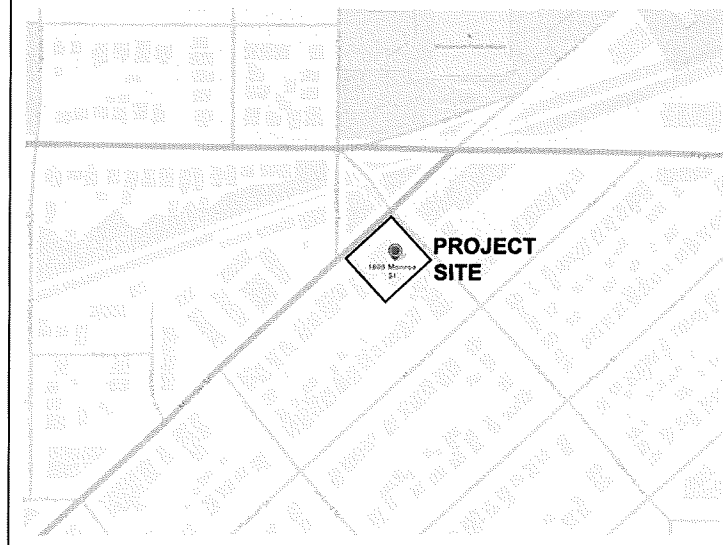
##### BIKE PARKING - REQUIRED

48 (1 & 2 bedroom units)	48
Guests (48 units * .1 stalls/unit)	5
Commercial (2 per 1,000 sf)	10
TOTAL REQUIRED	63

##### BIKE PARKING - PROVIDED ONSITE

Interior - Residential & Commercial	56
Interior - Public Use	8
Exterior - Public Use	6
TOTAL PROVIDED ONSITE	70

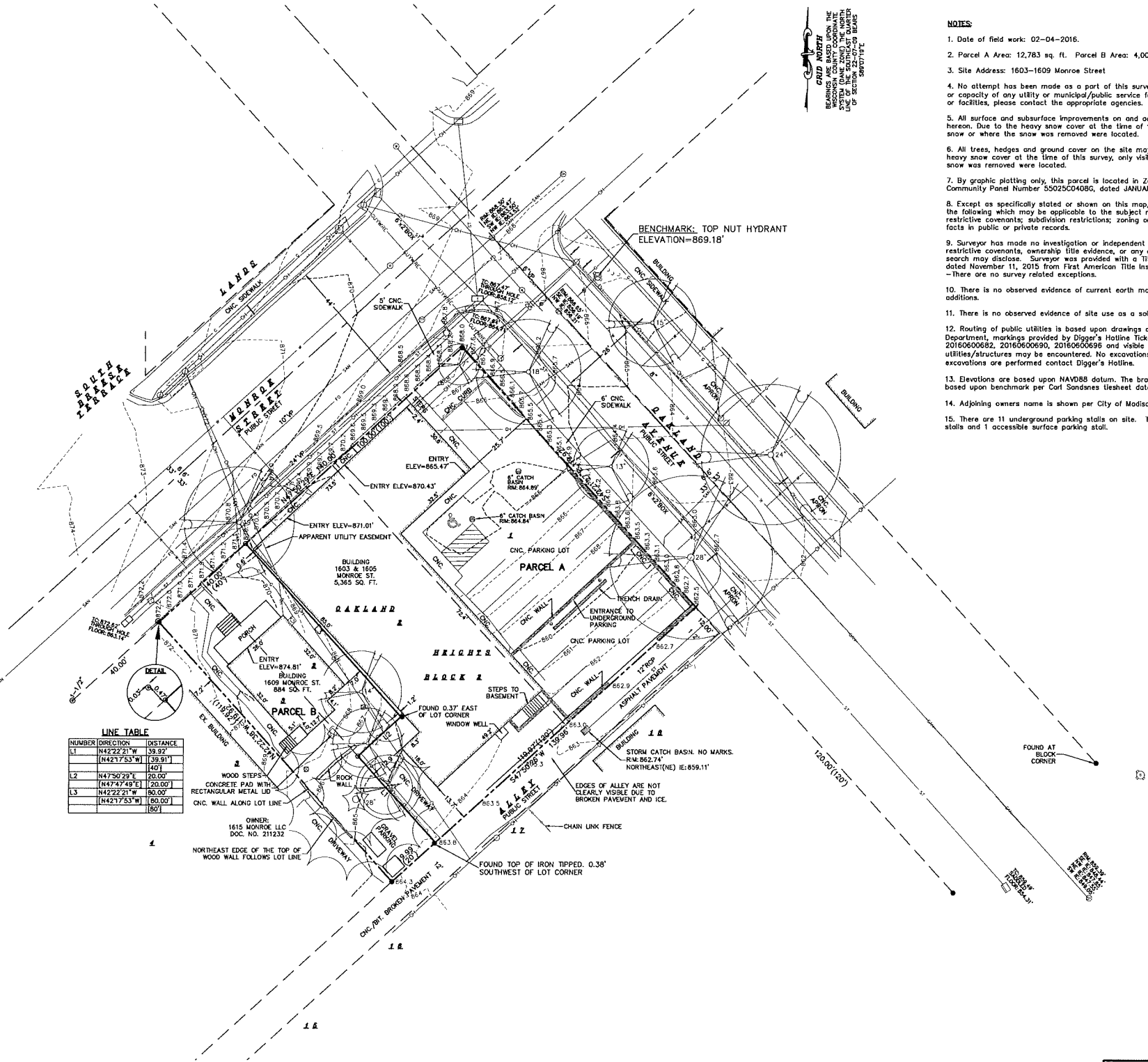
### PROJECT LOCATION MAP





LEGEND	
●	MAG NAIL SET IN FLAT ROCK 0.1" BELOW SURFACE
●	3/4" SOLID IRON ROD FOUND
⊙	1" IRON PIPE FOUND UNLESS NOTED
X	SET X OUT IN CONCRETE
○	3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
•	SPOT ELEVATION
—OH—	OVERHEAD UTILITY WIRE
—G—	BURIED GAS LINE
—W—	WATER MAIN
—S—	SANITARY SEWER
—ST—	STORM SEWER
—FO—	BURIED FIBER OPTIC
⊙	WATER VALVE
⊙	GAS METER
⊙	AIR CONDITIONER
⊙	UTILITY POLE
⊙	LIGHT POLE
⊙	FIRE HYDRANT
—	SIGN
—	GUY WIRE
⊙	CLOTHES LINE POST
⊙	STORM SEWER INLET
⊙	TELEPHONE MANHOLE
⊙	STORM SEWER MANHOLE
⊙	ROUND CATCH BASIN
⊙	STORM SEWER STRUCTURE
⊙	RECTANGLE CATCH BASIN
⊙	SANITARY SEWER MANHOLE
⊙	DECIDUOUS TREE
⊙	CONIFEROUS TREE
( )	INDICATES RECORDED AS PER PLAT
[ ]	INDICATES RECORDED AS PER PLAT OF SURVEY M2493
{ }	INDICATES RECORDED AS PER RECORD DEED
⊙	PARKING METER
⊙	BOLLARD
—	WOOD FENCE
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.	

ALL OF LOTS 1 AND 2 AND PART OF LOT 3, BLOCK 2, OAKLAND HEIGHTS AS RECORDED IN VOLUME 1 OF PLATS, ON PAGE 30, AS DOCUMENT NUMBER 211232, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



NUMBER	DIRECTION	DISTANCE
L1	N42°22'21"W	39.92'
	(N42°17'53"W)	59.91'
		40.1'
L2	N47°50'29"E	20.00'
	(N47°47'49"E)	20.00'
L3	N42°22'21"W	80.00'
	(N42°17'53"W)	80.00'

- NOTES**
1. Date of field work: 02-04-2016.
  2. Parcel A Area: 12,763 sq. ft. Parcel B Area: 4,004 sq. ft.
  3. Site Address: 1603-1609 Monroe Street
  4. No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
  5. All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon. Due to the heavy snow cover at the time of this survey, only visible improvements above the snow or where the snow was removed were located.
  6. All trees, hedges and ground cover on the site may not necessarily be shown hereon. Due to the heavy snow cover at the time of this survey, only visible ground cover above the snow or where the snow was removed were located.
  7. By graphic plotting only, this parcel is located in Zone X per the Flood Insurance Rate Map Community Panel Number 55025C0408G, dated JANUARY 02, 2009.
  8. Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts in public or private records.
  9. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment Number NCS-763740-MAD dated November 11, 2015 from First American Title Insurance Company, which references the following: -There are no survey related exceptions.
  10. There is no observed evidence of current earth moving work, building construction or building additions.
  11. There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
  12. Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20160600672, 20160600677, 20160600682, 20160600690, 20160600695 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
  13. Elevations are based upon NAVD83 datum. The brass cap monument has an elevation of 877.47 based upon benchmark per Carl Sandness tiesheet dated February 16, 2004.
  14. Adjoining owners name is shown per City of Madison Assessor's website.
  15. There are 11 underground parking stalls on site. There are 16 regular visible surface parking stalls and 1 accessible surface parking stall.



303 S. Paterson Street, Ste. 1  
Madison, WI 53703  
ph 608-709-1250

Structural Engineering:

Civil Engineering:



Landscape Architecture:

**1603 Monroe**  
1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
1	Plan Commission Submittal	4-13-2016

Drawn by: BSEI  
Checked by: CaS4 Architecture

Existing Conditions

**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

**C-100**

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe  
Project #: 15002.00  
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# CāS<sub>4</sub> architecture, llc

303 S. Paterson Street, Ste. 1  
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ph 608-709-1250

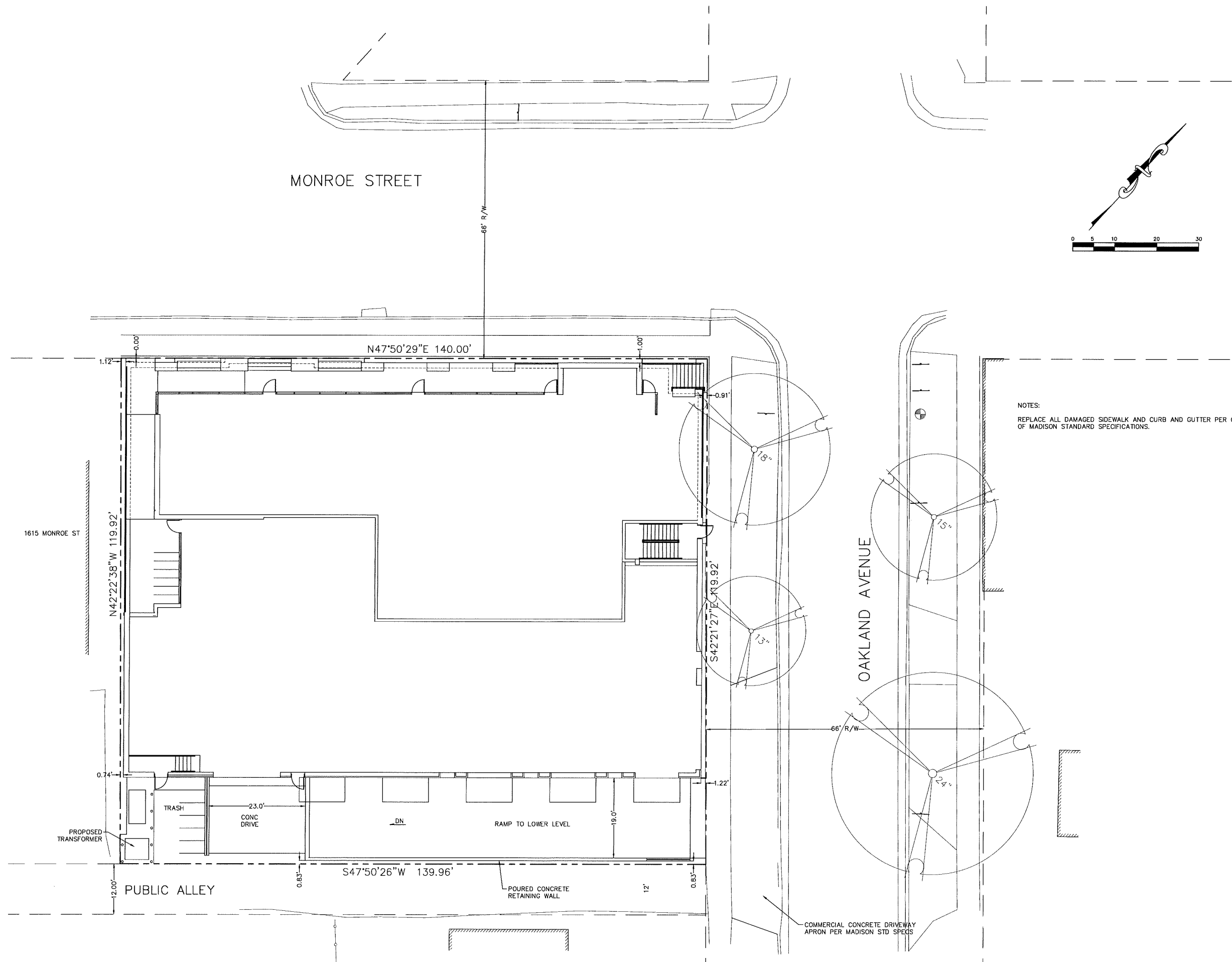
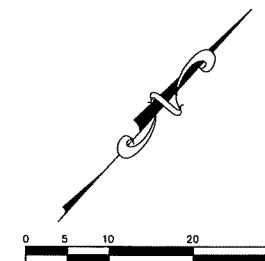
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Structural Engineering:

Civil Engineering:



Landscape Architecture:



NOTES:  
REPLACE ALL DAMAGED SIDEWALK AND CURB AND GUTTER PER CITY OF MADISON STANDARD SPECIFICATIONS.

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

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No.	Description	Date
1	Plan Commission Submittal	4-13-2016

Drawn by: BSEI  
Checked by: CoS4 Architecture

Site Plan

# C-200

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe  
Project #: 15002.00

Structural Engineering:

Civil Engineering:



Landscape Architecture:

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	Plan Commission Submittal	4-13-2016

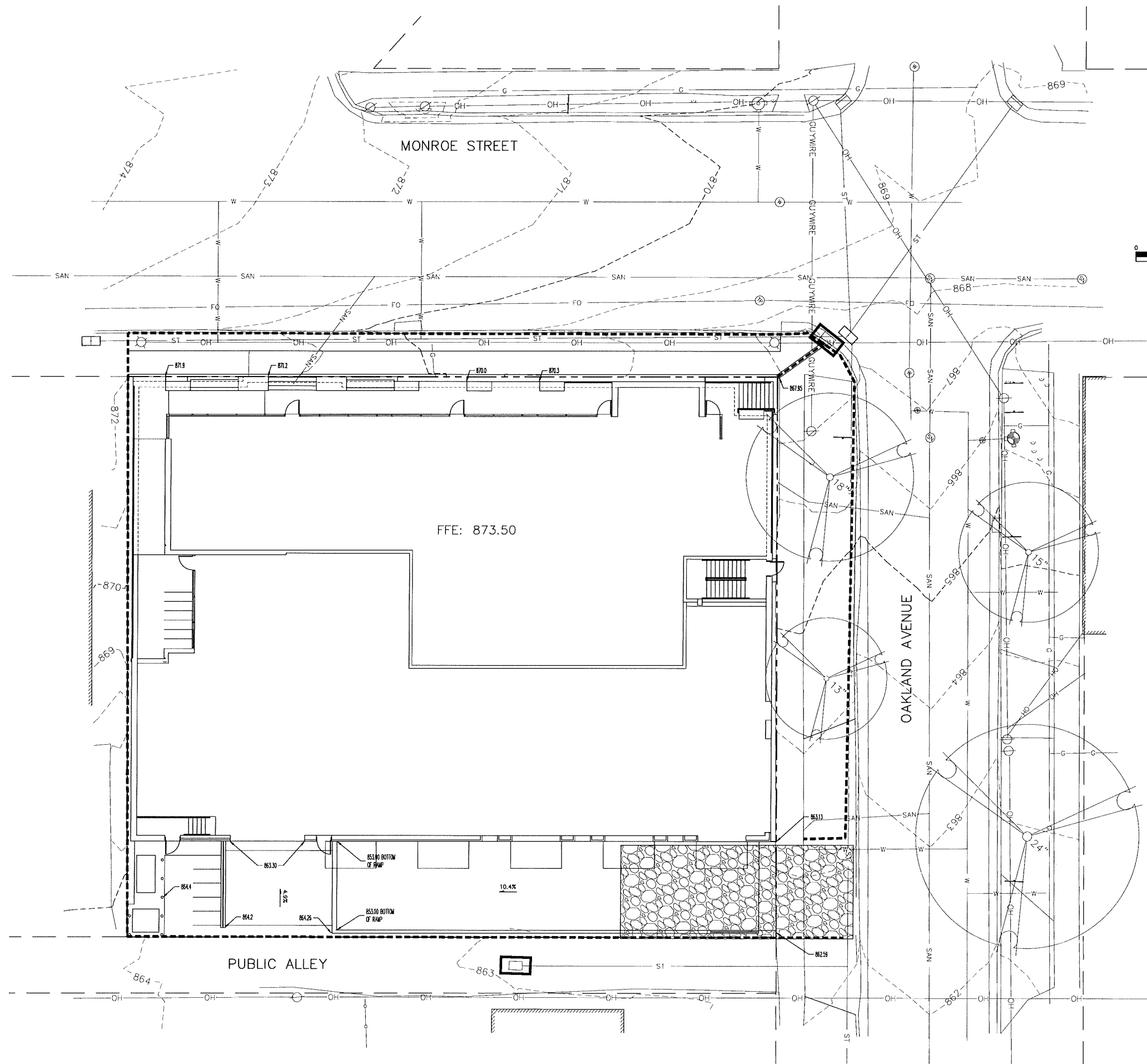
Drawn by: BSEI  
Checked by: CoS4 Architecture

Grading and  
Erosion Control Plan

# C-300

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe  
Project #: 15002.00



#### LEGEND

- 872--- EXISTING MINOR CONTOUR
- 855--- EXISTING MAJOR CONTOUR
- 852--- PROPOSED MINOR CONTOUR
- 855--- PROPOSED MAJOR CONTOUR
- [Hatched Box] TRACKING PAD 20' X 50'
- [Dashed Line] SILT SOCK
- [Rectangular Box] INLET PROTECTION
- [Circle with 'H'] BM = 869.18  
TOP NUT HYDRANT

FFE: 873.50

PUBLIC ALLEY

OAKLAND AVENUE

Structural Engineering:

Civil Engineering:



Landscape Architecture:

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

Issued for:

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1	Plan Commission Submittal	4-13-2016

Drawn by: BSEI  
Checked by: CoS4 Architecture

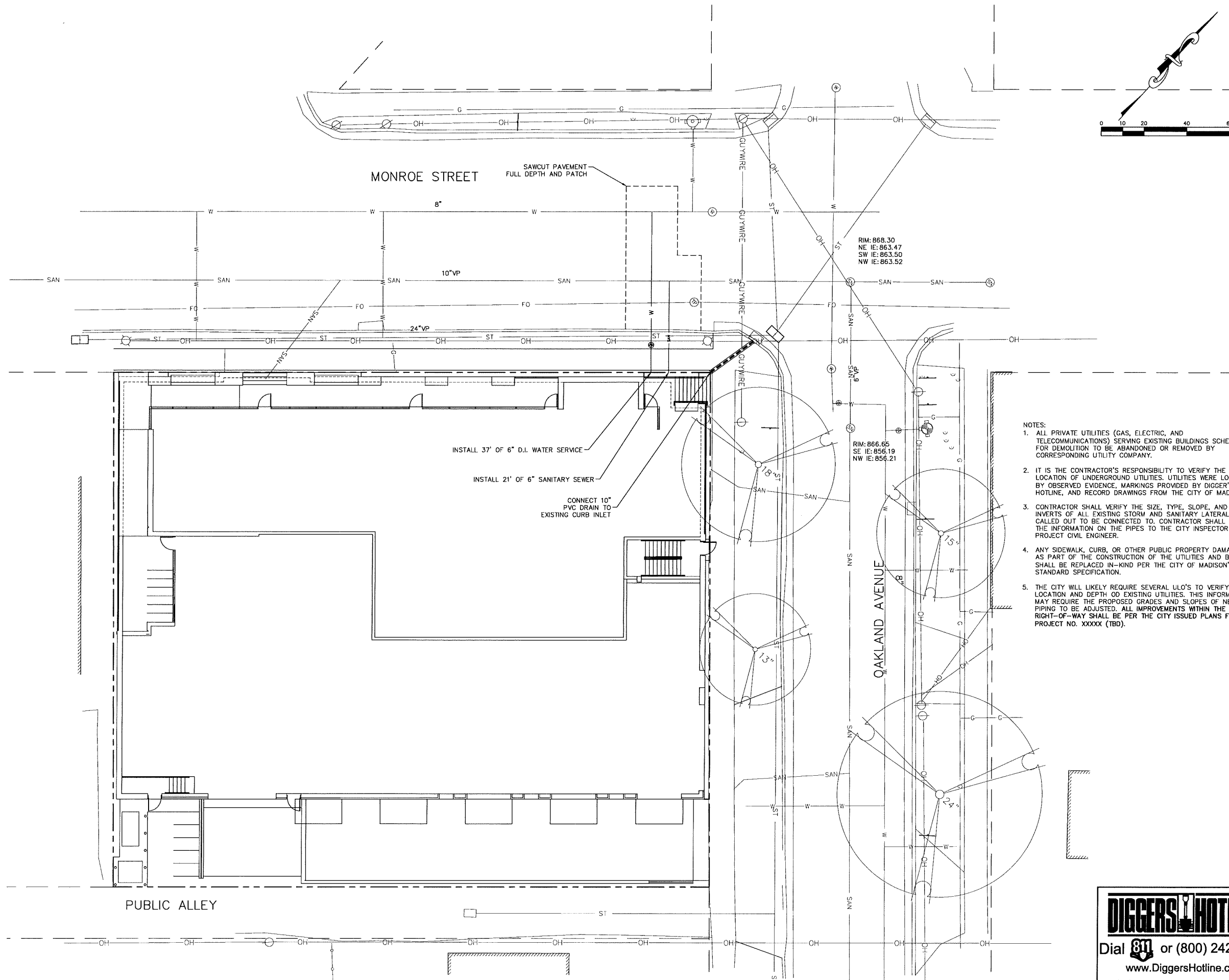
Utility Plan

# C-400

Dial 811 or (800) 242-8511  
www.DiggersHotline.com

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe  
Project #: 15002.00



- NOTES:
1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
  2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
  3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
  4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
  5. THE CITY WILL LIKELY REQUIRE SEVERAL ULO'S TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. THIS INFORMATION MAY REQUIRE THE PROPOSED GRADES AND SLOPES OF NEW PIPING TO BE ADJUSTED. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. XXXXX (TBD).

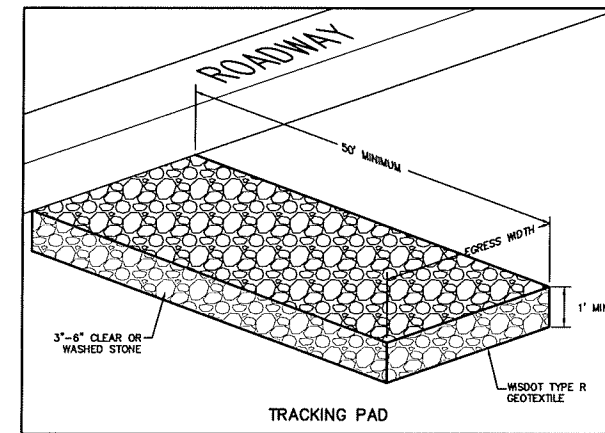
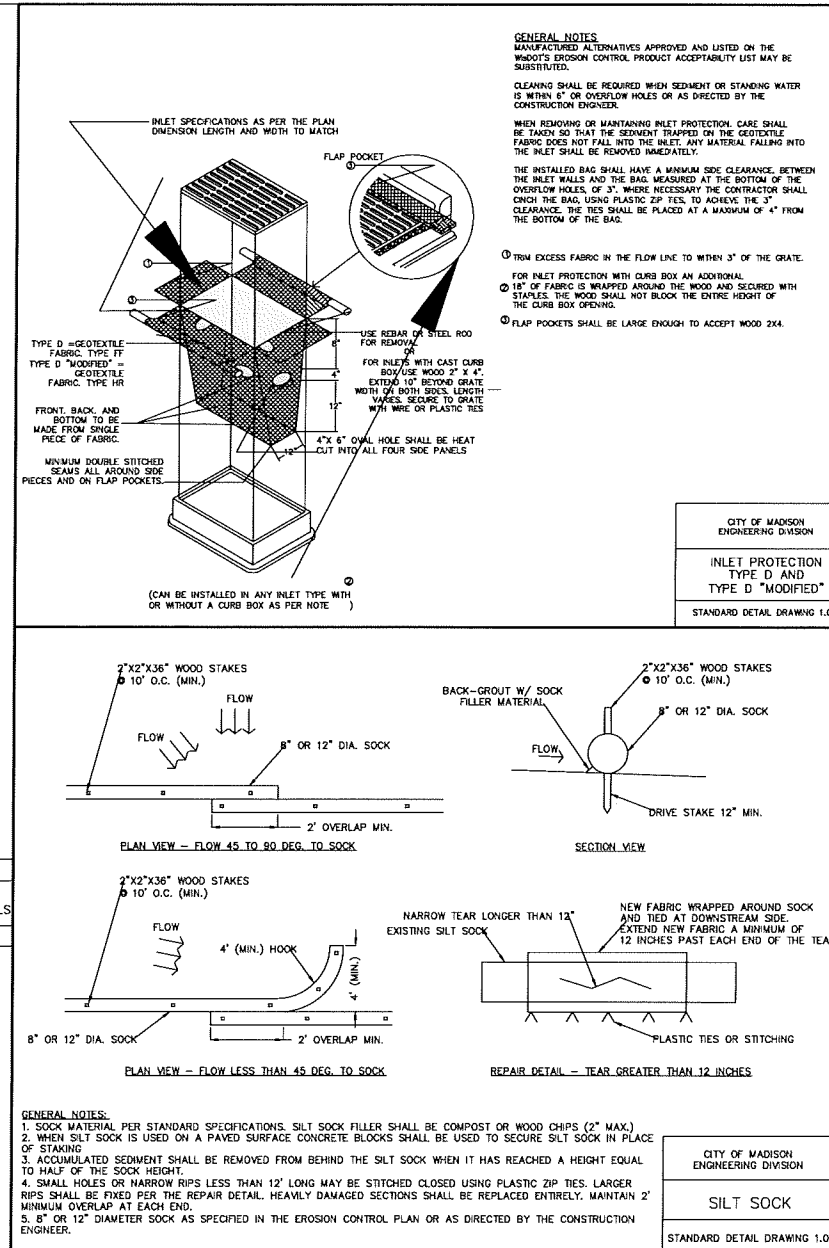
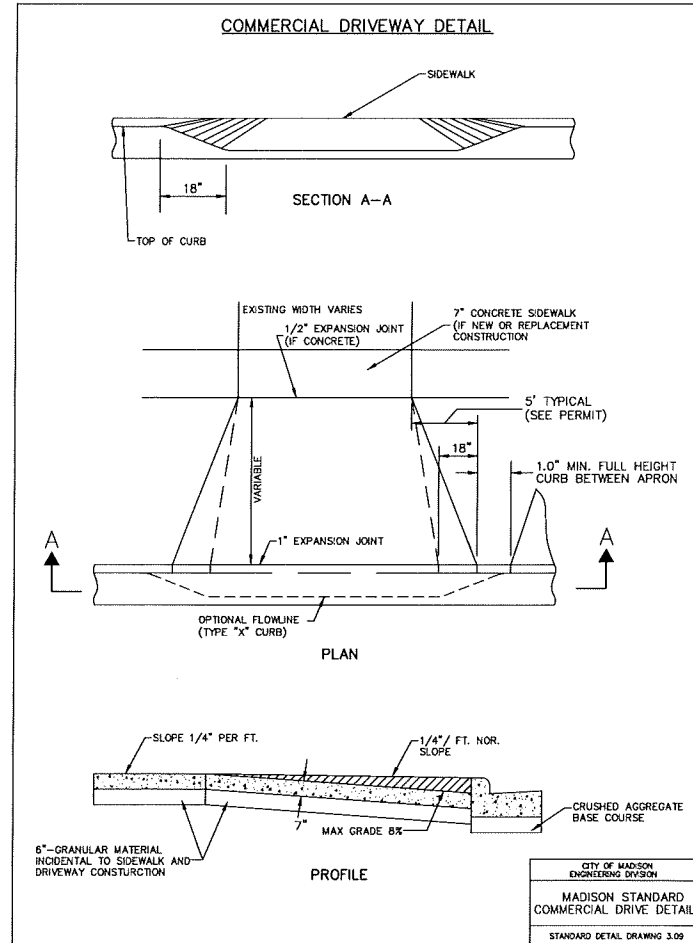
**Erosion Control Notes/Specifications:**

- Erosion control devices and/or structures shall be installed prior to demolition operations. These shall be properly maintained for maximum effectiveness until the site is completely stabilized.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
- Construction Entrances - Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057.
- Dewatering - Water pumped from the site shall be treated by using a geotextile bag. Sandy soil is expected to be found at the bottom of the excavation, therefore Geotextile Bags shall be Type I per DNR Technical Standard 1061. The following table identifies the size a bag required for a given sized pump. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.

Pump Size (Max GPM)	Type I Bag Size (sq-ft)
50	25
100	50
150	75
- Storm Sewer Inlets - Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until site stabilization is complete.
- Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
- No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- Erosion control devices shall adhere to the technical standards found at: [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html) and comply with all City of Madison ordinances.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- All building and waste material shall be handled properly to prevent runoff of these materials off of the site. Contractor shall prepare a concrete management plan.
- All disturbed areas shall be seeded, sodded, or otherwise restored immediately after grading activities have been completed per the approved landscape plan.

**Schedule:**

July 15, 2016	Begin site demolition
August 1, 2016	Begin foundation excavation/building construction.
June 1, 2017	Building substantially complete. Restore disturbed areas, install landscape installation.
August 1, 2017	Vegetation established.



**CaS<sub>4</sub> architecture, llc**

303 S. Paterson Street, Ste. 1  
Madison, WI 53703  
ph 608-709-1250

Structural Engineering:

Civil Engineering:

**Burse**  
Surveying and Engineering, Inc.

Landscape Architecture:

**1603 Monroe**

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
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Issued for:

No.	Description	Date
1	Plan Commission Submittal	4-13-2016

Drawn by: BSEI  
Checked by: CaS4 Architecture

Details & Notes

**C-500**

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe Project #: 15002.00

Structural Engineering:

Civil Engineering:

Landscape Architecture:

**KEN SAIKI DESIGN**

LANDSCAPE ARCHITECTS

303 S. PATERSON  
SUITE ONE  
MADISON, WI 53703  
Phone: 608 251-3600

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: Cas4 Architecture  
Checked by: Cas4 Architecture

### Site Planting Plan

# L100

**NOT FOR CONSTRUCTION**

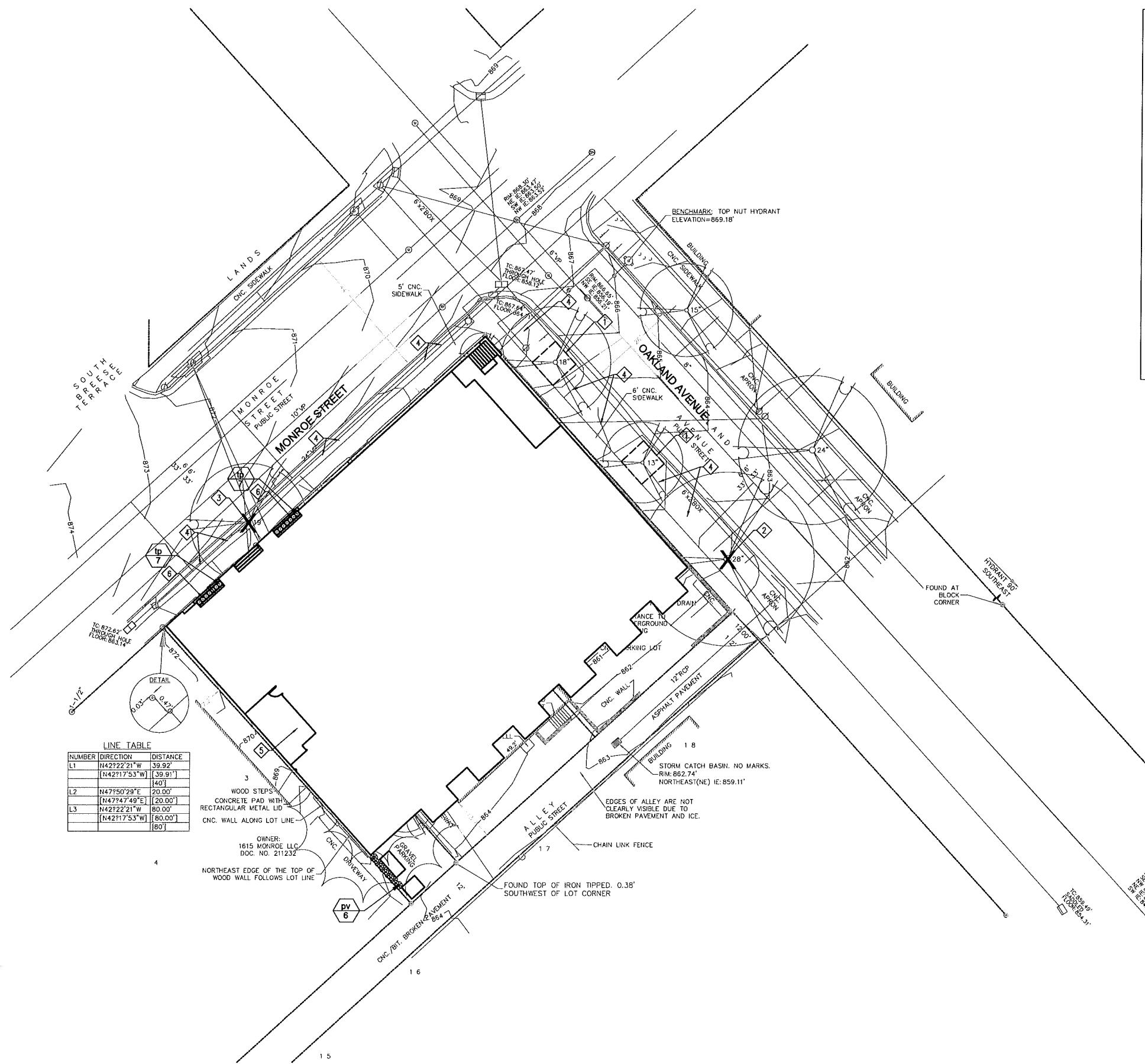
Project Name: 1603 Monroe  
Project #: 15002.00

#### LEGEND

- 1 TREE PROTECTION, 1/L102
- 2 REMOVE EX. HONEYLOCUST, GRIND STUMP, FILL WITH TOPSOIL AND FINE GRADE TO FINISH LEVEL WITH ADJACENT GRADES
- 3 REMOVE EX. ASH, GRIND STUMP, FILL WITH TOPSOIL AND FINE GRADE TO FINISH LEVEL WITH ADJACENT GRADES
- 4 RESTORE ANY AND ALL LAWN TERRACES DISTURBED BY CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION), SECTION 207 "SEEDING". USE "SHADE TERRACE MIX" SEED BLEND UNLESS OTHERWISE DIRECTED BY A CITY OF MADISON REPRESENTATIVE.
- 5 BICYCLE PARKING, 2/L102
- 6 PERENNIALS IN PLANTER, 3/L102

#### GENERAL NOTES:

1. PROTECT ALL EXISTING PAVEMENTS, CURBS, WALLS, UTILITIES AND ANY OTHER IMPROVEMENTS DURING TREE REMOVALS AND LANDSCAPE INSTALLATION.
2. PROTECT ALL EXISTING PLANTINGS AS NOTED.
3. ALL PLANT BEDS SHALL UTILIZE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE NOTED.



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N42°22'21"W	39.92'
	(N42°17'53"W)	(39.91')
L2	N47°50'29"E	20.00'
	(N47°47'49"E)	(20.00')
L3	N42°22'21"W	80.00'
	(N42°17'53"W)	(80.00')

1 SITE RESTORATION PLAN  
1/16" = 1'-0"

Structural Engineering:

Civil Engineering:

Landscape Architecture:

**KEN SAIKI DESIGN**  
LANDSCAPE ARCHITECTS

303 S. PATERSON  
SUITE ONE  
MADISON, WI 53703  
Phone: 608 251-3600

**1603 Monroe**

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

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Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

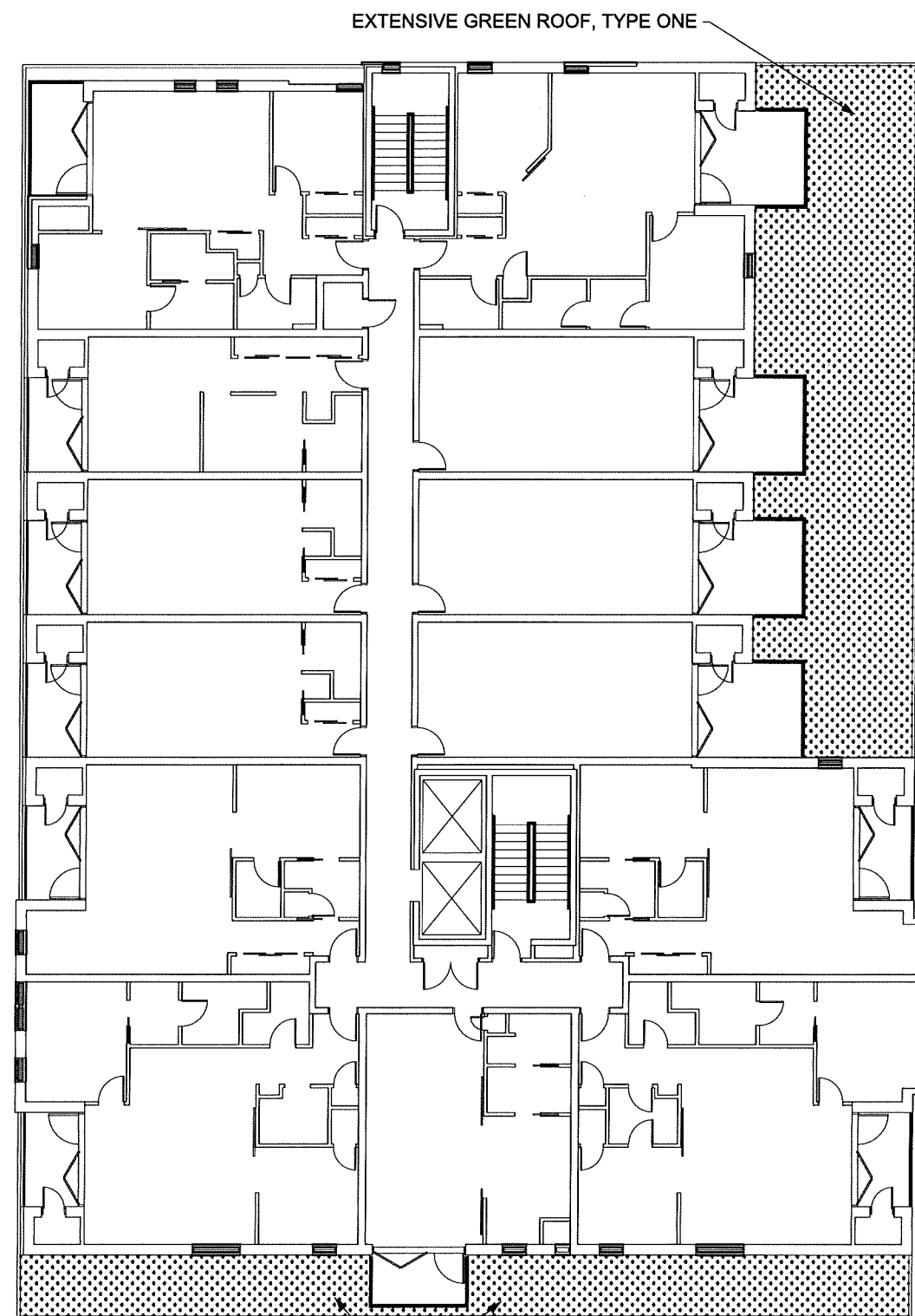
**Green Roof  
Planting Plans**

# L101

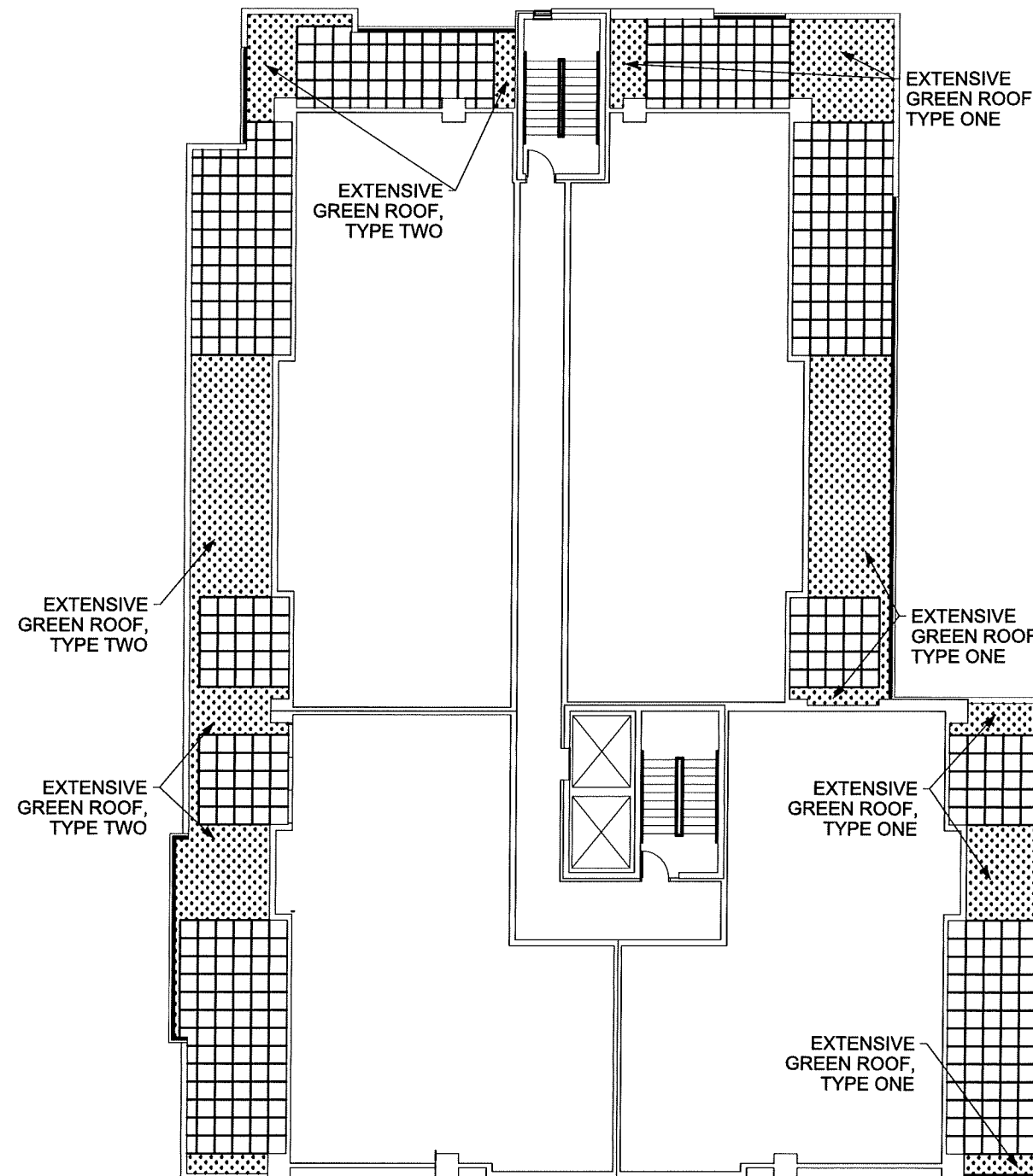
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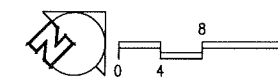
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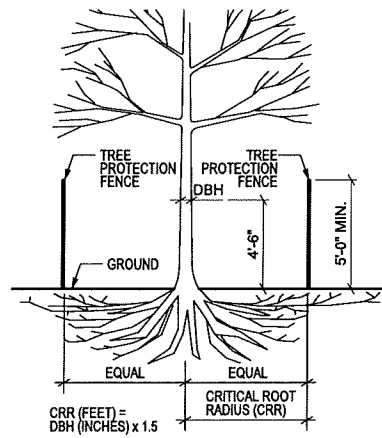


1 GREEN ROOF PLAN - SECOND FLOOR  
1/8" = 1'-0"



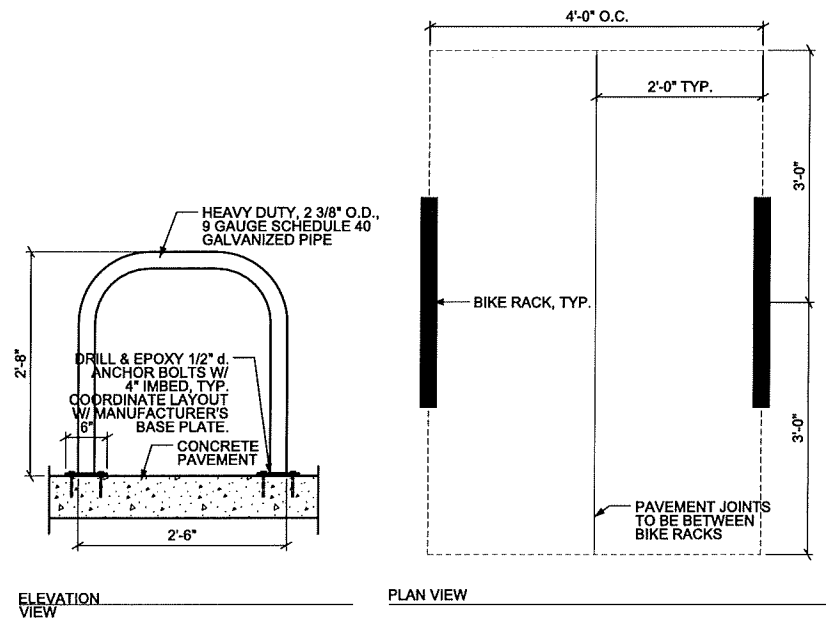
2 GREEN ROOF PLAN - FIFTH FLOOR  
1/8" = 1'-0"



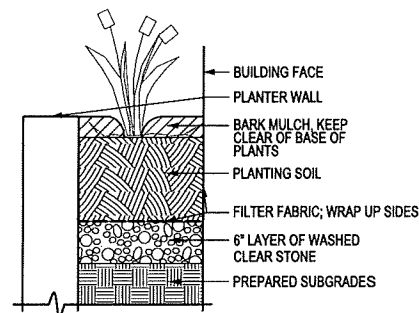


- NOTES:**
1. ALL TREES INDICATED TO BE RETAINED ON THE PLANS SHALL BE PROTECTED DURING CONSTRUCTION WITH FENCING CONFORMING TO THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION), SECTION 107.13 "TREE PROTECTION SPECIFICATION".
  2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE DEMOLITION OR PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT. NO CONSTRUCTION MATERIALS, EQUIPMENT, OR SUPPLIES MAY BE STORED IN THE TREE PROTECTION AREA.
  3. PLACE PROTECTION FENCE AT THE BACK OF CURB AND EDGE OF SIDEWALK AND A MINIMUM OF 5'-0" ON EITHER SIDE OF THE TRUNK WITHIN THE TERRACE, OR AS INDICATED BY A CITY OF MADISON REPRESENTATIVE.
  5. PLACE TREE PROTECTION FENCE STAKES AT 5'-0" O.C. MAX.

**1 TREE PROTECTION**  
NOT TO SCALE



**2 BICYCLE PARKING**  
NOT TO SCALE



**3 PLANTING**  
NOT TO SCALE

Plant List - At-Grade Plants						
Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
	<b>Perennials/Grasses/Groundcovers</b>					
pv	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	6	1 Gal.	Cont.	
tp	<i>Tiarella</i> 'Pink Skyrocket'	Pink Skyrocket Foamflower	14	1 Gal.	Cont.	

Plant List - Green Roof Mixes			
Key	Botanical Name	Quantity	Comments
<b>Green Roof, Type One (Sun)</b>			
	<i>Sedum acre</i> 'Aurea'	2,288 SF	Provide pre-grown sedum mats, tiles or trays that provide an immediate vegetative cover with minimum 95% coverage upon installation.
	<i>Sedum album</i> 'Coral Carpet'		
	<i>Sedum kamtschaticum</i> 'Weihestephaner Gold'		
	<i>Sedum kamtschaticum</i> 'Variegatum'		
	<i>Sedum reflexum</i> 'Blue Spruce'		
	<i>Sedum rupestre</i> 'Angelina'		
	<i>Sedum spurium</i> 'John Creech'		
	<i>Sedum spurium</i> 'Red Carpet'		
<b>Green Roof Type Two (Shade)</b>			
	<i>Sedum acre</i> 'Aurea'	550 SF	Provide pre-grown sedum mats, tiles or trays that provide an immediate vegetative cover with minimum 95% coverage upon installation.
	<i>Sedum album</i> 'Green Ice'		
	<i>Sedum kamtschaticum</i> 'Weihestephaner Gold'		
	<i>Sedum reflexum</i> 'Blue Spruce'		
	<i>Sedum reflexum</i> 'Green Spruce'		
	<i>Sedum sexangulare</i>		
	<i>Sedum spurium</i> 'Album Superbum'		
	<i>Sedum spurium</i> 'Fuldaglut'		
	<i>Sedum spurium</i> 'Summer Glory'		
	<i>Sedum takesimensis</i> 'Golden Carpet'		

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Madison, WI 53703  
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:

**KEN SAIKI DESIGN**

LANDSCAPE ARCHITECTS

303 S. PATERSON  
SUITE ONE  
MADISON, WI 53703  
Phone: 608 251-3600

**1603 Monroe**

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

**Details and Plant Schedules**

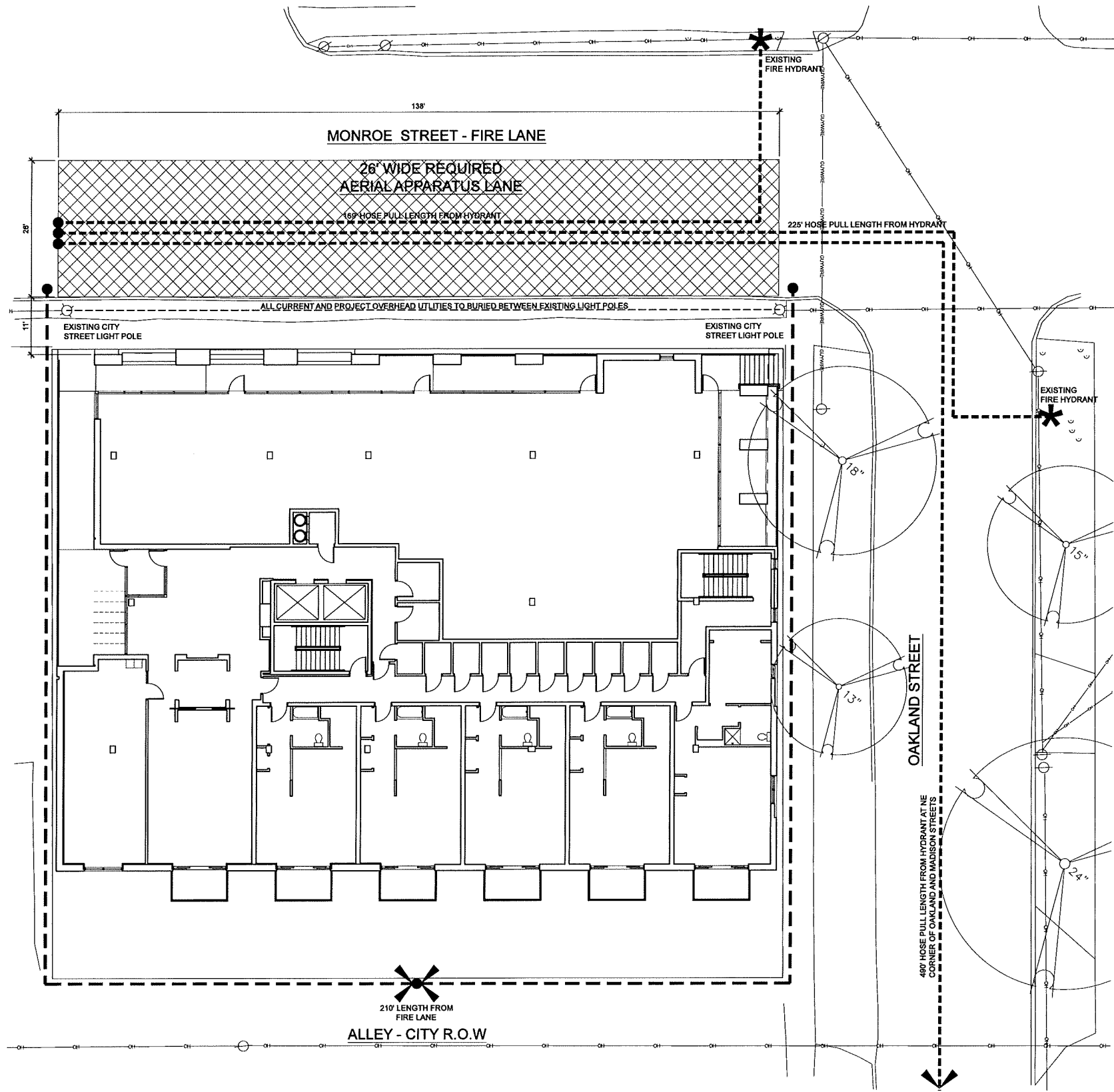
**L102**

**NOT FOR CONSTRUCTION**

Madison Project File: 15002.00 - 1603 Monroe02 Drawing: L102\_T1000.dwg

Project Name: 1603 Monroe  
Project #: 15002.00





Structural Engineering:

Civil Engineering:

Landscape Architecture:

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

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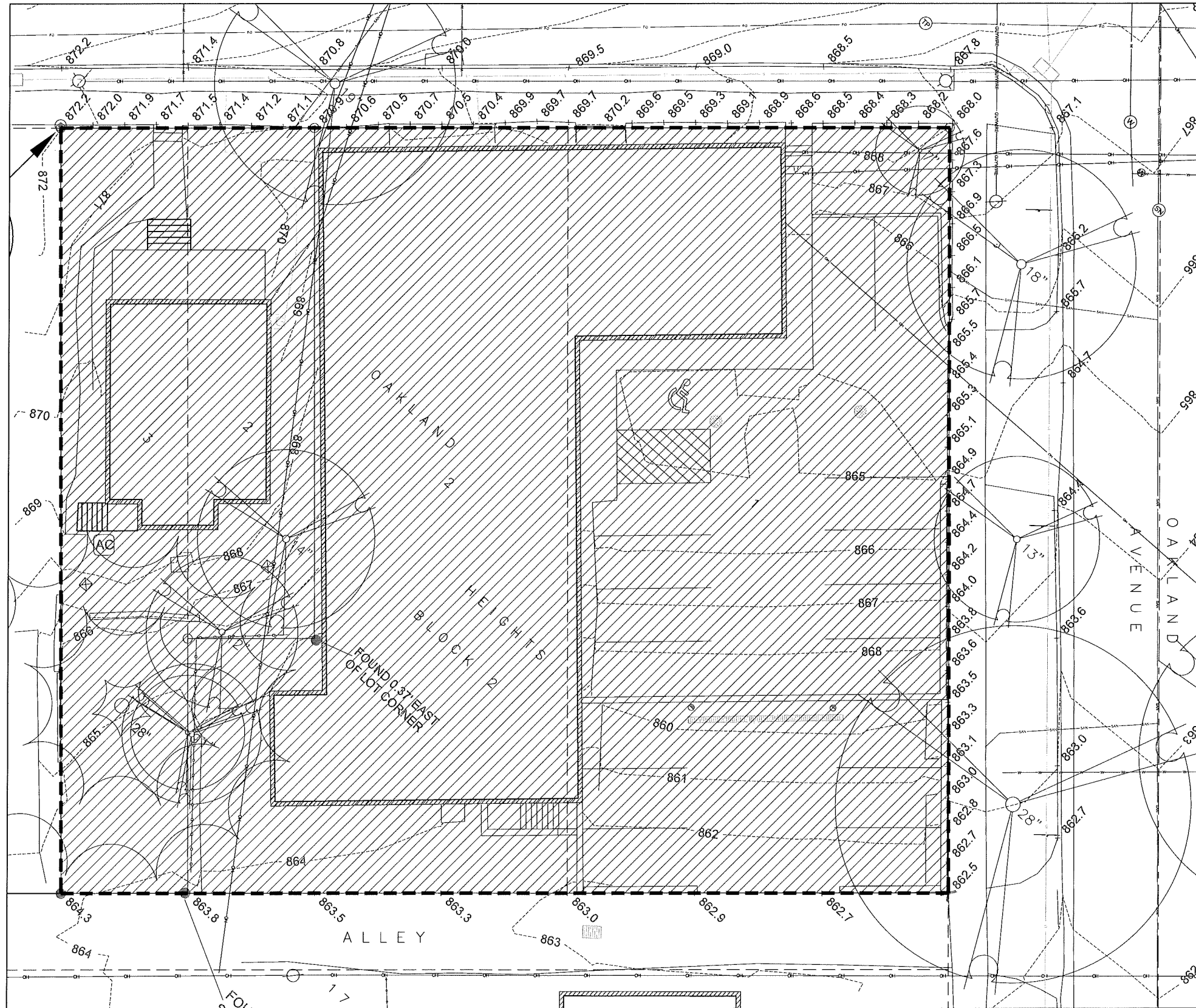
No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Fire Department  
Access Plan

# G100

**NOT FOR CONSTRUCTION**



1 DEMOLITION PLAN  
D100 SCALE: 1/8"=1'-0"



**DEMOLITION NOTES**

- DEMOLISH AND REMOVE ALL MATERIALS ON THE SITE AND BOUND BY THE HATCHED AREA.
- SEE CIVIL AND LANDSCAPE DRAWINGS FOR PROTECTION AND EROSION CONTROL MEASURES.
- SEE CIVIL UTILITIES FOR UTILITY DEMOLITION AND TEMPORARY ABANDONMENT.
- COORDINATE WITH APPROPRIATE UTILITIES AND MUNICIPAL SERVICES.
- SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL AND PROTECTION.

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ph 608-709-1250

Structural Engineering:  
  
Civil Engineering:  
  
Landscape Architecture:

**1603 Monroe**  
1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

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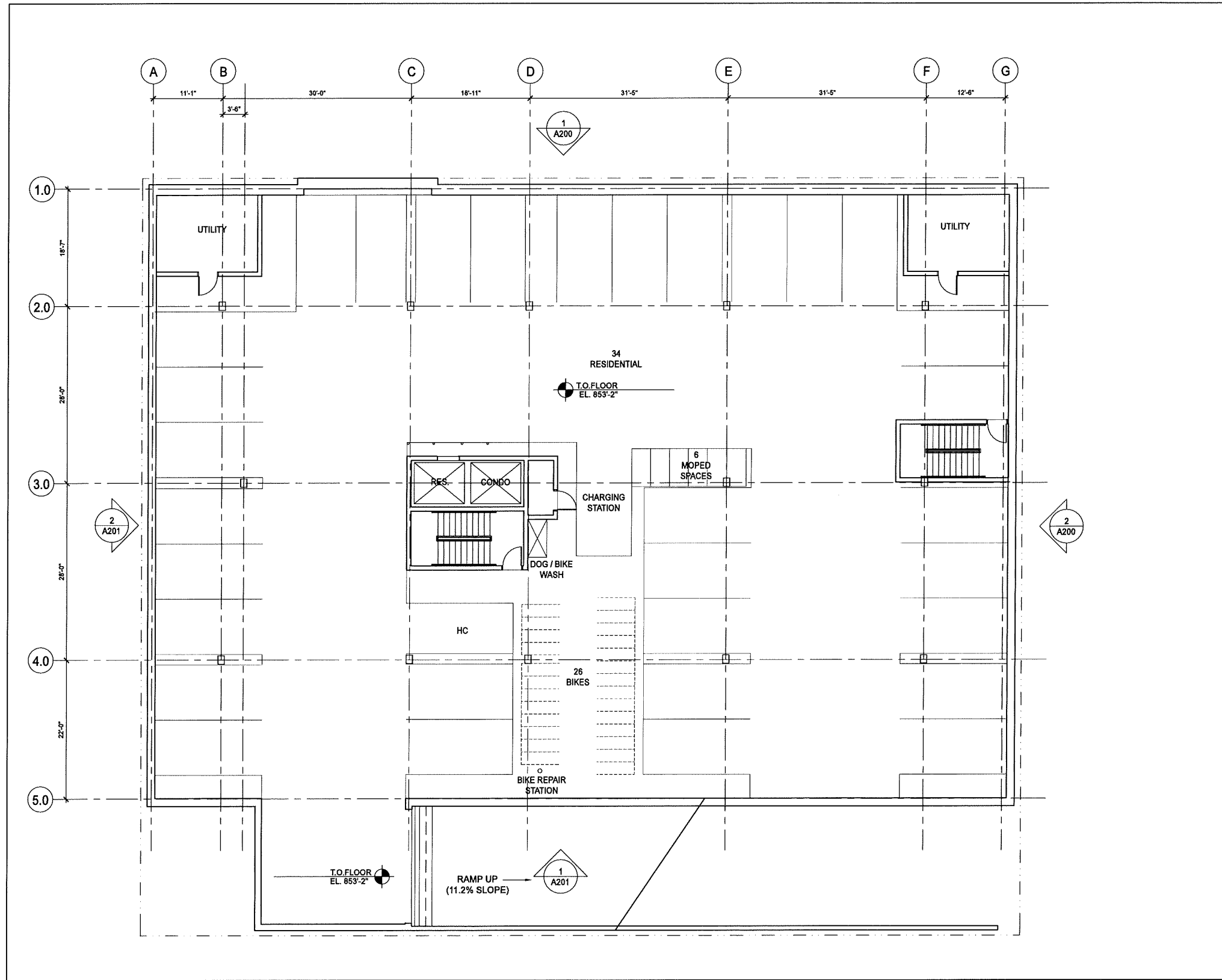
No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-28-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Demolition Plan

**D100**

**NOT FOR CONSTRUCTION**



1  
A100  
LEVEL P2 FLOOR PLAN  
SCALE: 1/8"=1'-0"

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Structural Engineering:

Civil Engineering:

Landscape Architecture:

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

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Level P2 Floor Plan

# A100

**NOT FOR CONSTRUCTION**

Structural Engineering:

Civil Engineering:

Landscape Architecture:

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

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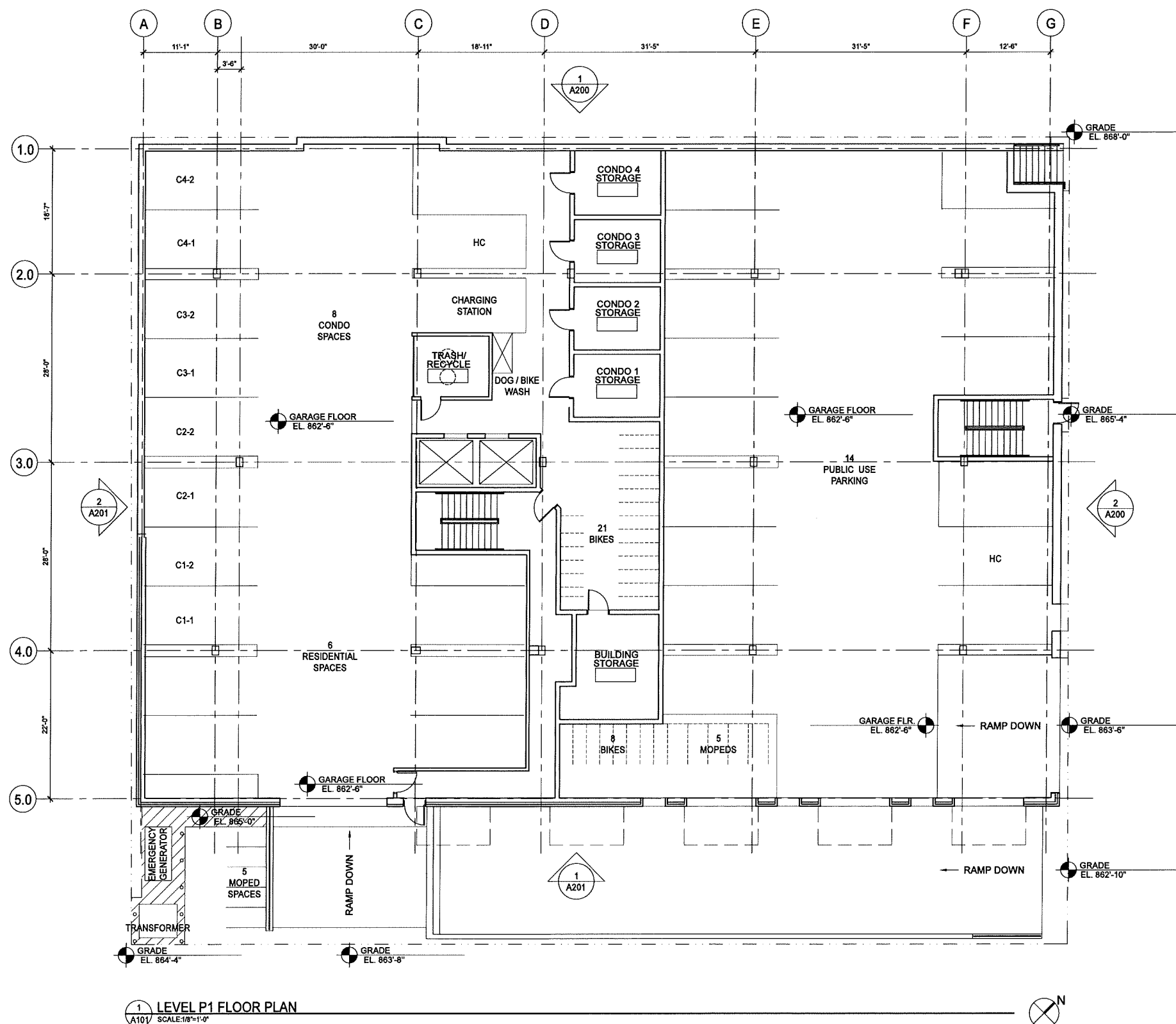
No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

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Checked by: CaS4 Architecture

Level P1 Floor Plan

# A101

**NOT FOR CONSTRUCTION**



Structural Engineering:

Civil Engineering:

Landscape Architecture:

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

Issued for:

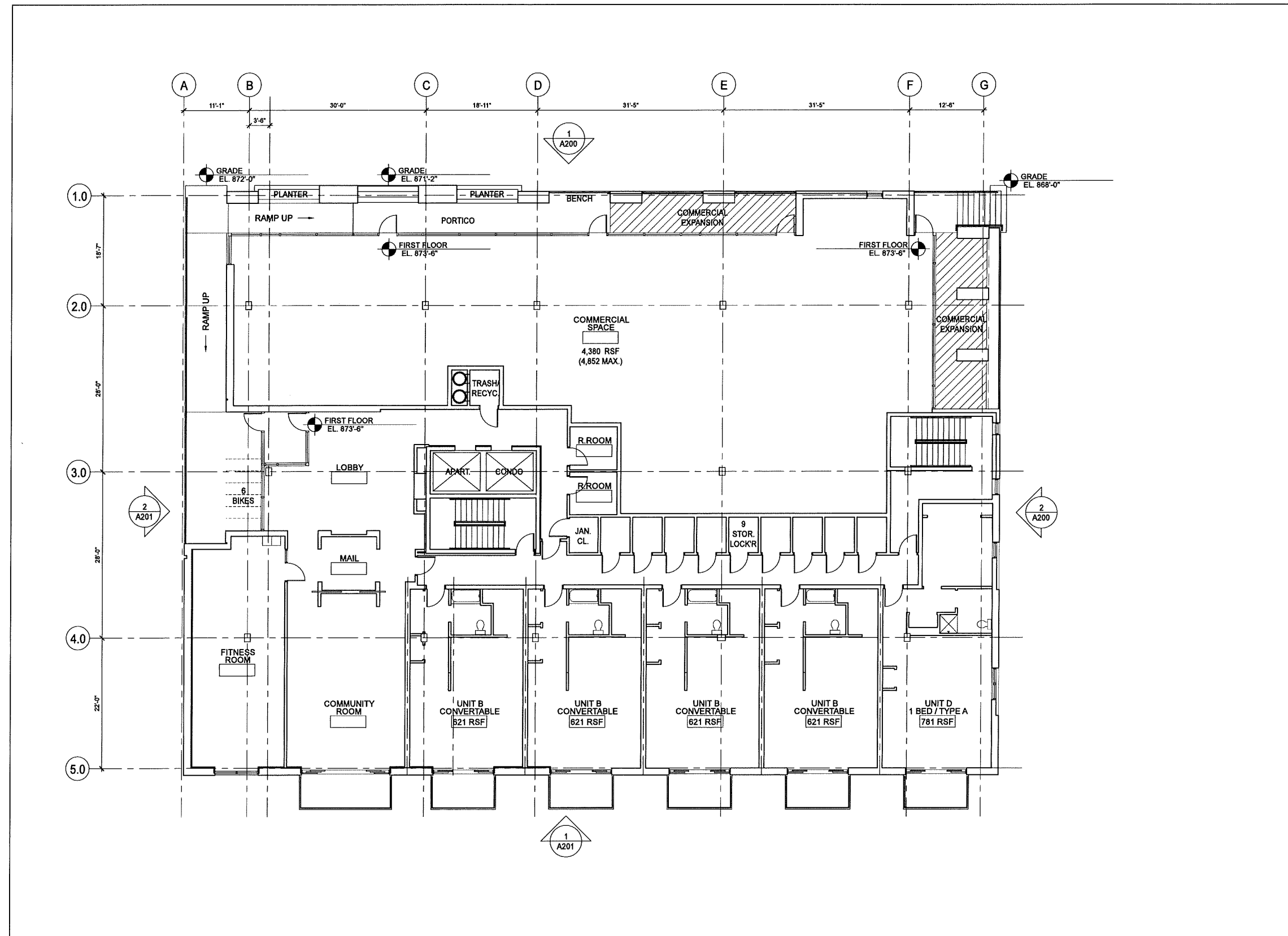
No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Level 1 Floor Plan

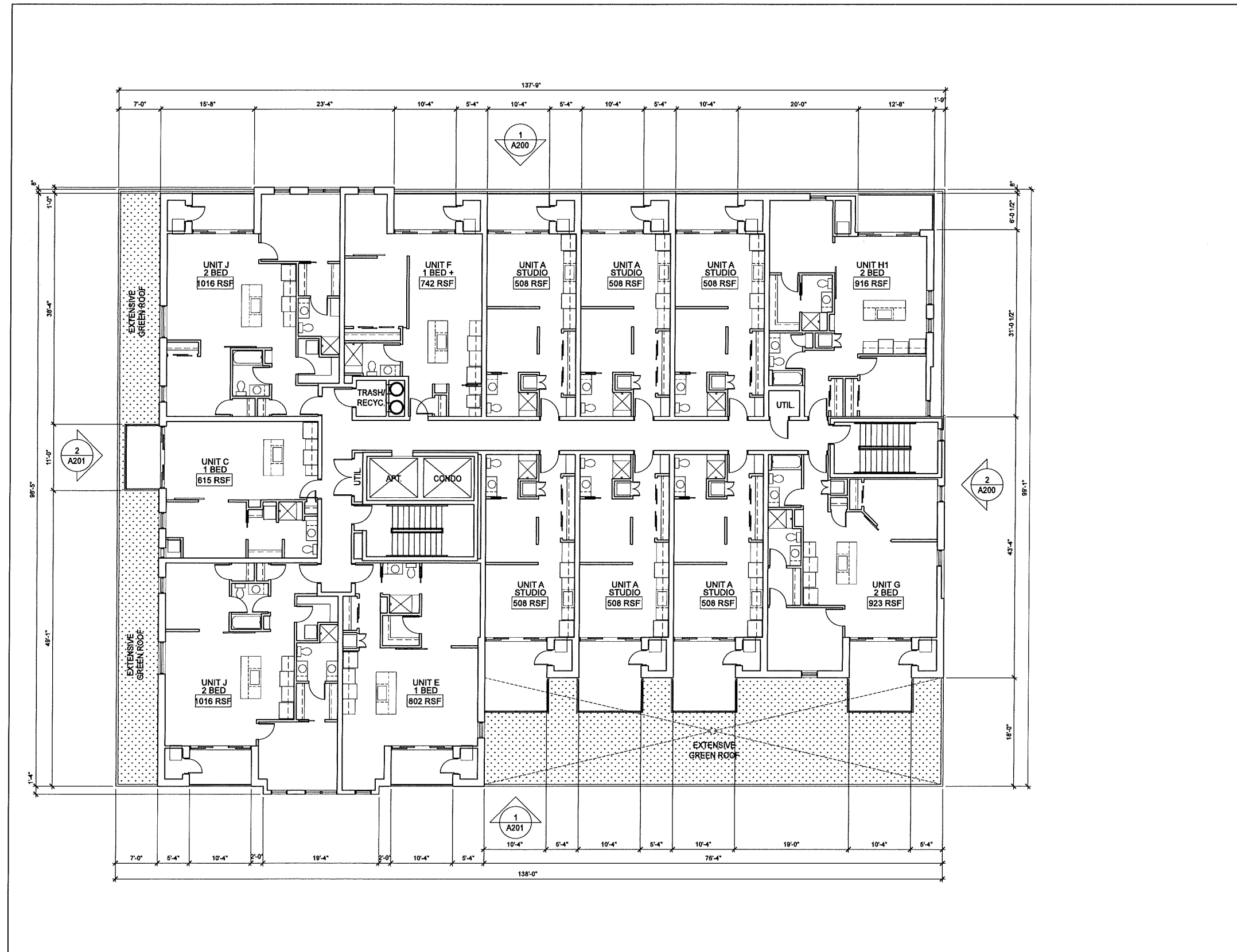
# A102

**NOT FOR CONSTRUCTION**



1 LEVEL 1 FLOOR PLAN  
SCALE: 1/8"=1'-0"





1 LEVEL 2 FLOOR PLAN  
A103 SCALE: 1/8"=1'-0"



Structural Engineering:

Civil Engineering:

Landscape Architecture:

## 1603 Monroe

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

### PRELIMINARY NOT FOR CONSTRUCTION

Issued for:

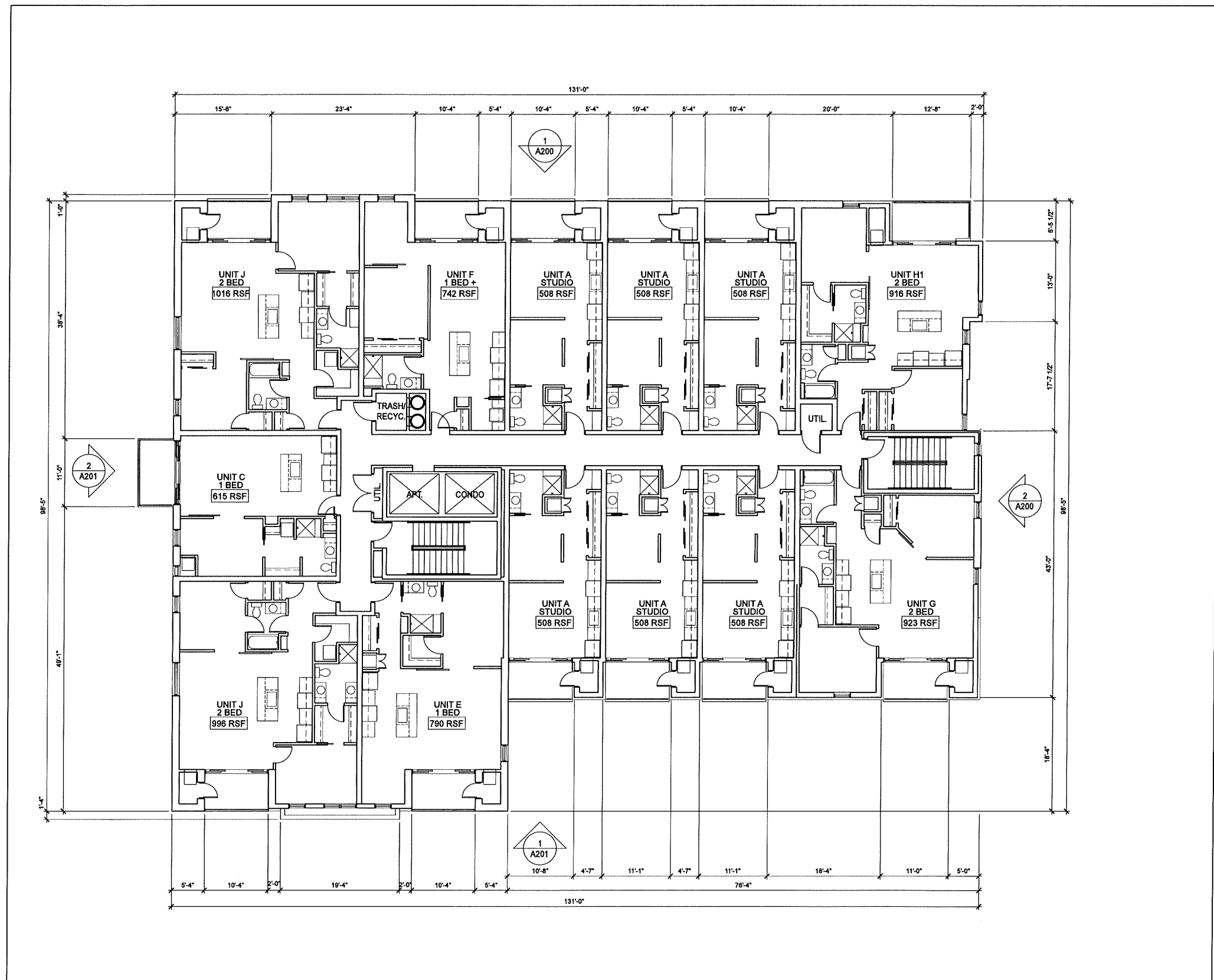
No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Level 2 Floor Plan

# A103

**NOT FOR CONSTRUCTION**



1 LEVEL 3 & 4 FLOOR PLAN  
A104 SCALE: 1/8"=1'-0"



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Structural Engineering:

Civil Engineering:

Landscape Architecture:

**1603 Monroe**

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

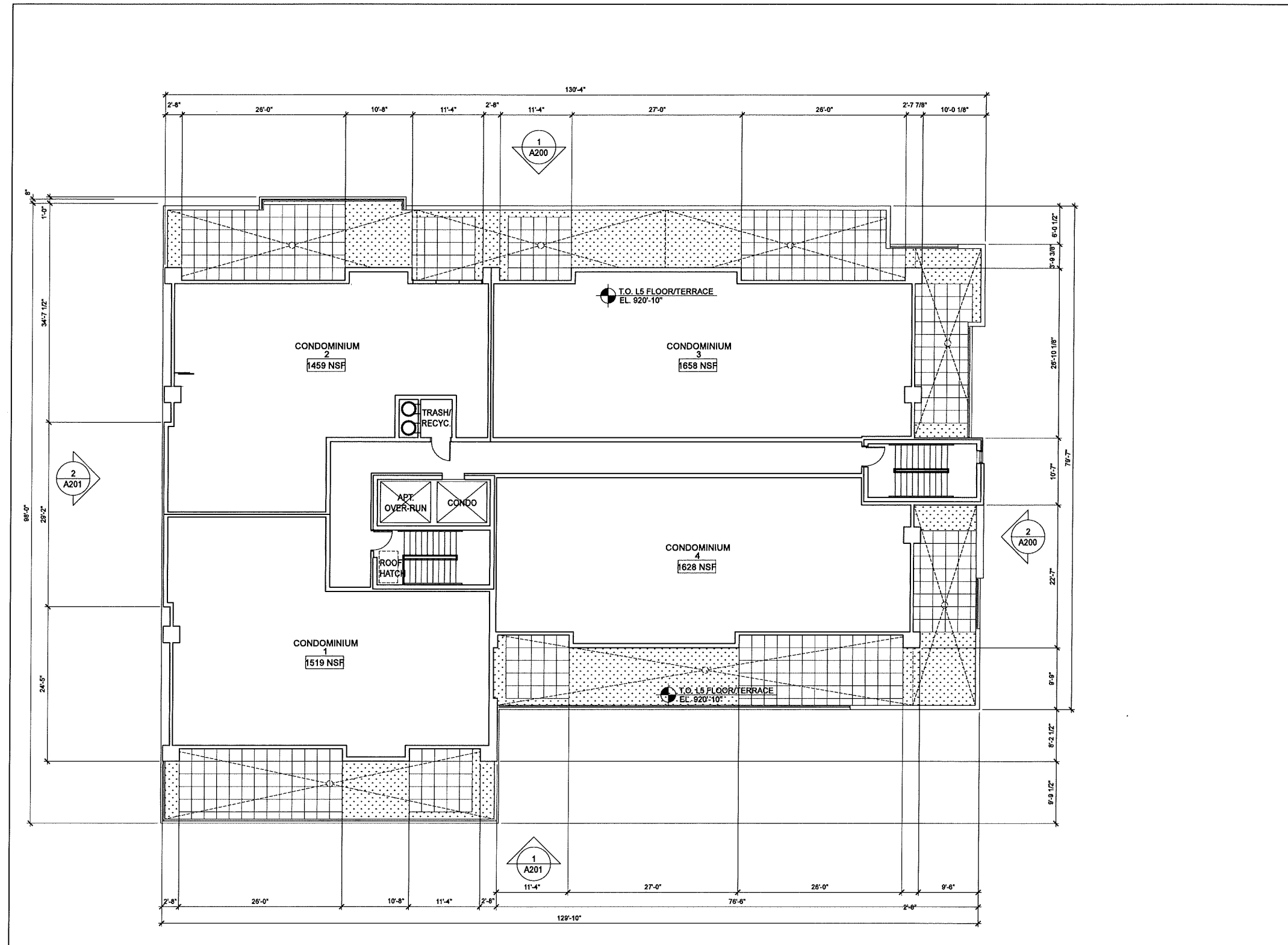
Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Level 3 & 4 Floor Plan

**A104**

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe  
Project #: 15002.00



1 LEVEL 5 FLOOR PLAN  
A105 SCALE: 1/8"=1'-0"



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Structural Engineering:

Civil Engineering:

Landscape Architecture:

**1603 Monroe**

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

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Checked by: CaS4 Architecture

Level 5 Floor Plan

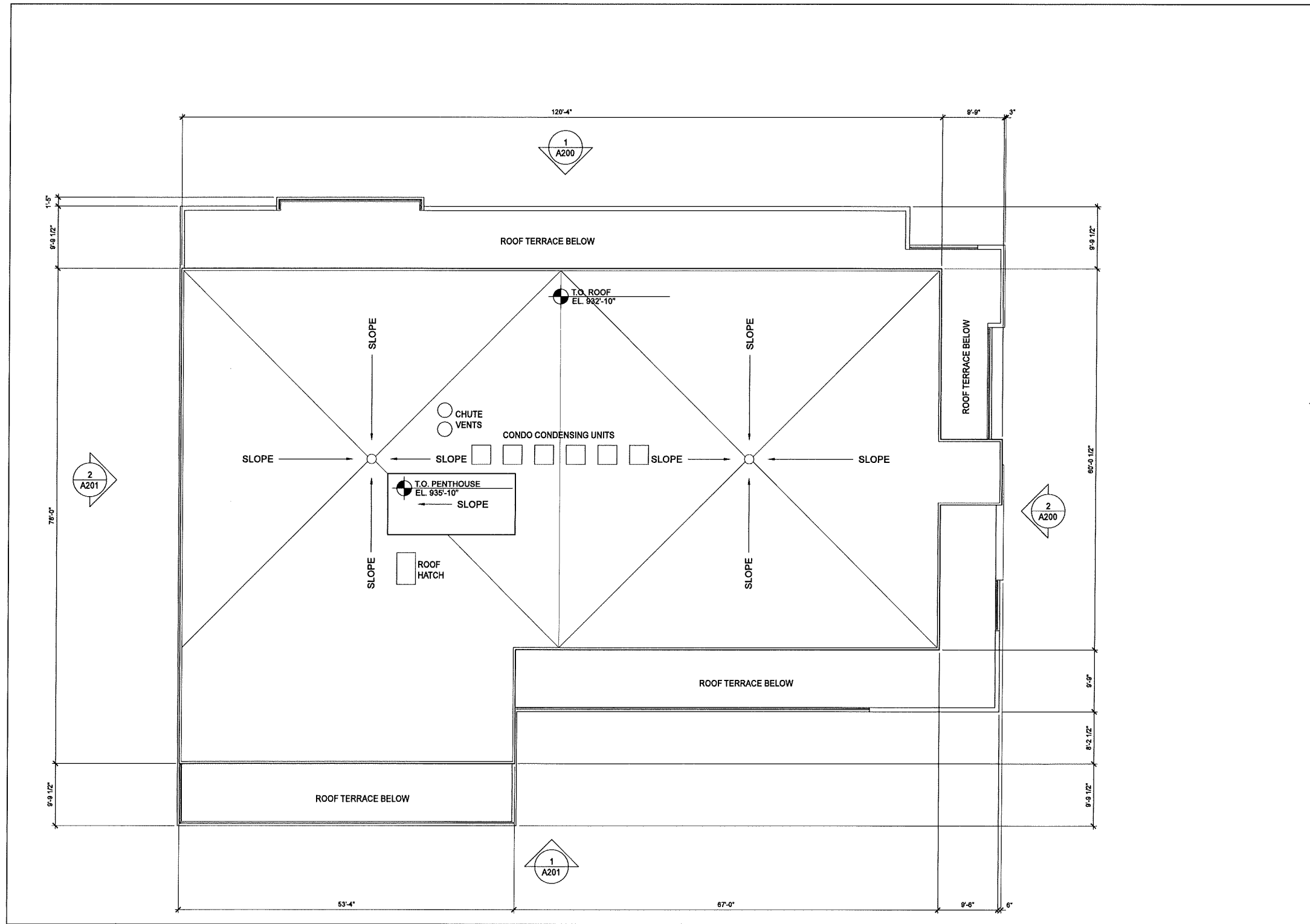
**A105**

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe  
Project #: 15002.00

User: jca@cas4.com Date: 2/10/16 10:02 AM





1 ROOF PLAN  
A106 SCALE: 1/8"=1'-0"



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Structural Engineering:

Civil Engineering:

Landscape Architecture:

**1603 Monroe**

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

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Checked by: CaS4 Architecture

Roof Plan

**A106**

**NOT FOR CONSTRUCTION**

Volume 01 Project Folder\15002.00 - 1603 Monroe\27 Drawing\15002\_APT\_15.dwg

Project Name: 1603 Monroe  
Project #: 15002.00

Volume 01 Project Folder\15002.00 - 1605 Monroe\02 Drawings\15002 ELEVATIONS.dwg

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Madison, WI 53703  
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Structural Engineering:

Civil Engineering:

Landscape Architecture:

**1603 Monroe**  
1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
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Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

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Checked by: CaS4 Architecture

**BUILDING ELEVATIONS**

**A200**

**NOT FOR CONSTRUCTION**

Project Name: 1605 Monroe  
Project #: 15002.00

**ELEVATION KEYNOTE LEGEND**

- 1 SANDBLASTED CAST IN PLACE CONCRETE
- 2 MODULAR SIZE BRICK VENEER
- 3 COMPOSITE METAL PANEL
- 4 HOOK AND STRAP FLAT SEAM METAL PANEL
- 5 TONGUE AND GROOVE WOOD SIDING
- 6 ALUMINUM STOREFRONT SYSTEM WITH CLEAR INSULATED GLAZING
- 7 FIBERGLASS WINDOWS WITH CLEAR INSULATED GLAZING
- 8 FIBERGLASS SLIDING PATIO DOORS WITH CLEAR INSULATED GLAZING
- 9 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STOREFRONT
- 10 PERFORATED ALUMINUM METAL PANEL TO SCREEN PARKING
- 11 PAINTED STEEL BALCONY SUPPORTS
- 12 PREFINISHED ALUMINUM RAILING SYSTEM
- 13 ALUMINUM FRAMED GARAGE DOOR WITH INSULATED TRANSLUCENT GLAZING
- 14 1/2" ALUMINUM PLATE SIGNAGE
- 15 ALUMINUM PLATE BLADE SIGNAGE
- 16 EXTERIOR ACCENT LIGHTING
- 17 ALUMINUM LOUVER TO MATCH ALUMINUM STOREFRONT SYSTEM



**1 NORTH (MONROE STREET) ELEVATION**  
SCALE: 1/8"=1'-0"



**2 EAST (OAKLAND STREET) ELEVATION**  
SCALE: 1/8"=1'-0"

- T.O. COPING @ ELEV. PH  
EL. 162'-4"
- T.O. COPING  
EL. 159'-4"
- LEVEL FIVE  
EL. 147'-4"
- LEVEL FOUR  
EL. 136'-0"
- LEVEL THREE  
EL. 124'-8"
- LEVEL TWO  
EL. 113'-4"
- LEVEL ONE  
EL. 100'-0" (873.5)
- T.O. SITE WALL  
EL. 93'-8"
- LEVEL P1  
EL. 89'-0"
- LEVEL P2  
EL. 79'-8" GARAGE ENTRY  
EL. 78'-8"



1 SOUTH (ALLEY) ELEVATION  
SCALE: 1/8"=1'-0"

- T.O. COPING @ ELEV. PH  
EL. 162'-4"
- T.O. COPING  
EL. 159'-4"
- LEVEL FIVE  
EL. 147'-4"
- LEVEL FOUR  
EL. 136'-0"
- LEVEL THREE  
EL. 124'-8"
- LEVEL TWO  
EL. 113'-4"
- LEVEL ONE  
EL. 100'-0" (873.5)
- LEVEL P1  
EL. 89'-0"
- LEVEL P2  
EL. 79'-8"



2 WEST ELEVATION  
SCALE: 1/8"=1'-0"

**ELEVATION KEYNOTE LEGEND**

- 1 SANDBLASTED CAST IN PLACE CONCRETE
- 2 MODULAR SIZE BRICK VENEER
- 3 COMPOSITE METAL PANEL
- 4 HOOK AND STRAP FLAT SEAM METAL PANEL
- 5 TONGUE AND GROOVE WOOD SIDING
- 6 ALUMINUM STOREFRONT SYSTEM WITH CLEAR INSULATED GLAZING
- 7 FIBERGLASS WINDOWS WITH CLEAR INSULATED GLAZING
- 8 FIBERGLASS SLIDING PATIO DOORS WITH CLEAR INSULATED GLAZING
- 9 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STOREFRONT
- 10 PERFORATED ALUMINUM METAL PANEL TO SCREEN PARKING
- 11 PAINTED STEEL BALCONY SUPPORTS
- 12 PREFINISHED ALUMINUM RAILING SYSTEM
- 13 ALUMINUM FRAMED GARAGE DOOR WITH INSULATED TRANSLUCENT GLAZING
- 14 1/2" ALUMINUM PLATE SIGNAGE
- 15 ALUMINUM PLATE BLADE SIGNAGE
- 16 EXTERIOR ACCENT LIGHTING
- 17 ALUMINUM LOUVER TO MATCH ALUMINUM STOREFRONT SYSTEM

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303 S. Paterson Street, Ste. 1  
Madison, WI 53703  
ph 608-709-1250

Structural Engineering:

Civil Engineering:

Landscape Architecture:

**1603 Monroe**

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
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3	Plan Commission Submittal	4-13-2016

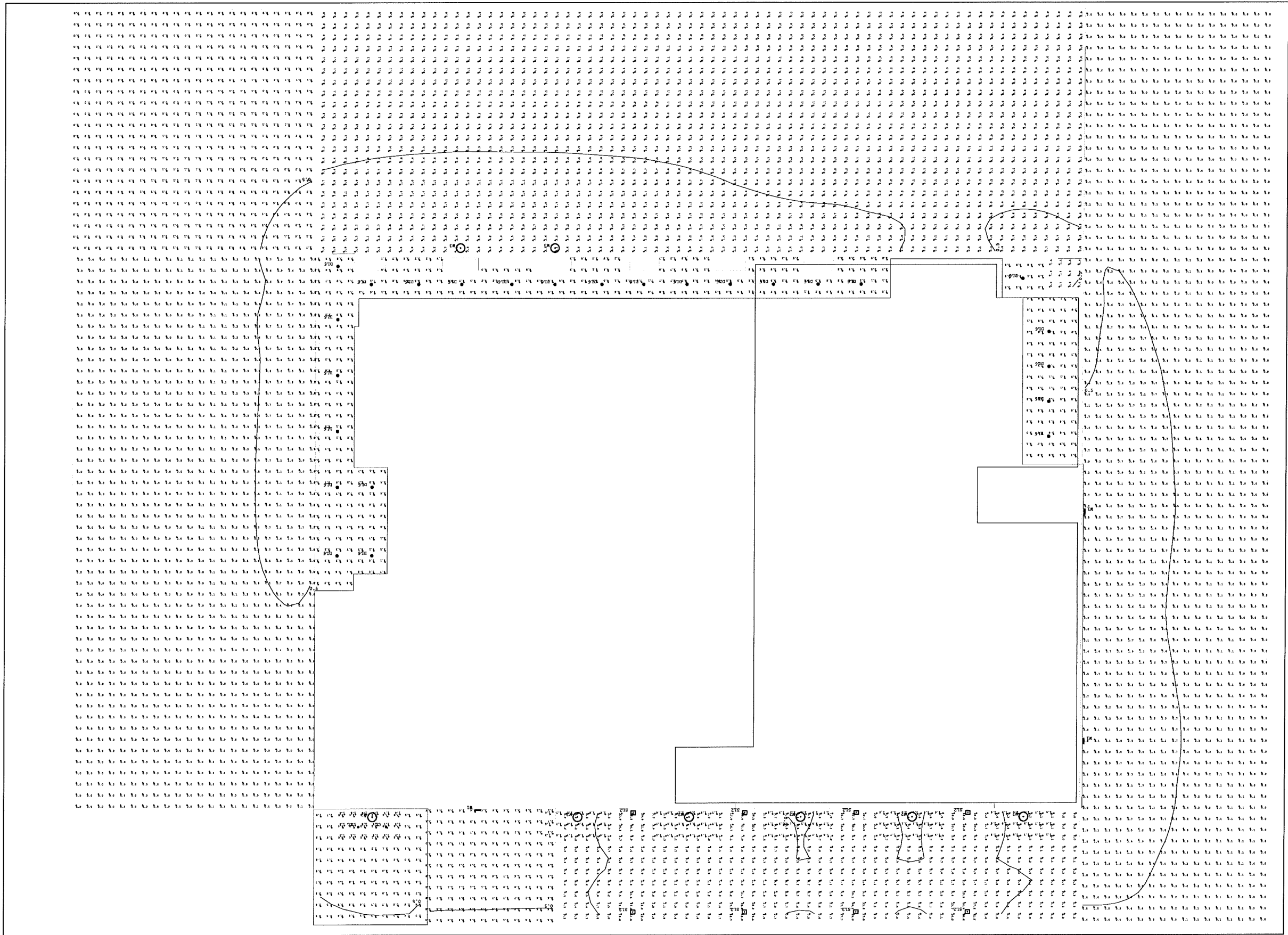
Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

BUILDING ELEVATIONS

**A201**

**NOT FOR CONSTRUCTION**

Project Name: 1603 Monroe  
Project #: 15002.00



1 EXTERIOR PHOTOMETRICS - GRADE LEVEL  
 E001 SCALE: 1/8"=1'-0"

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 ph 608-709-1250

Structural Engineering:  
  
 Civil Engineering:  
  
 Landscape Architecture:

**1603 Monroe**  
 1603 Monroe Street  
 Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
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Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
 Checked by: CaS4 Architecture

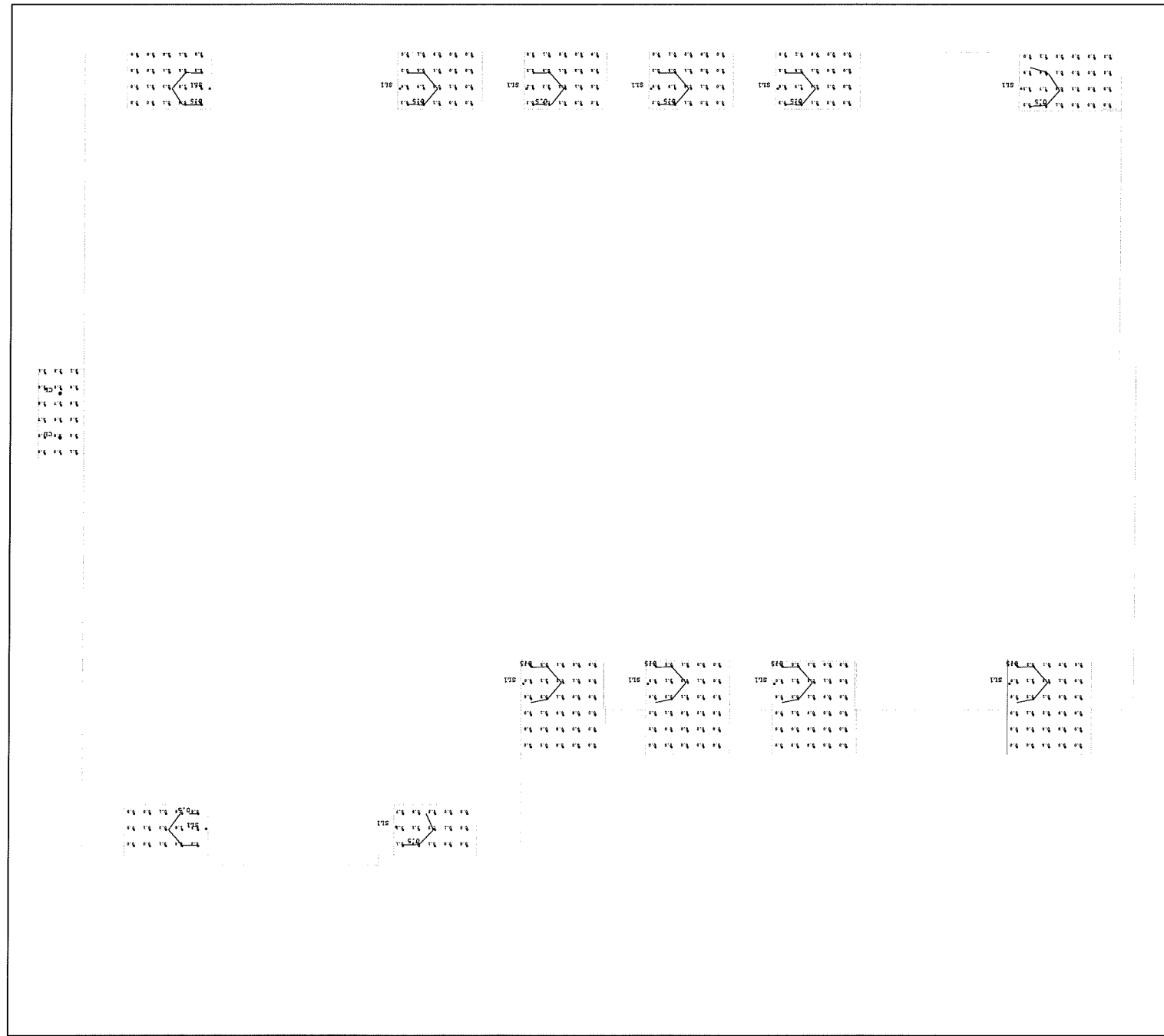
Exterior Photometrics -  
 Grade Level

**E001**

**NOT FOR CONSTRUCTION**

Pathname: D:\Project\Folders\15002.00 - 1603 Monroe\02 Drawing\15002\_E001\_Exterior.dwg  
 Project Name: 1603 Monroe  
 Project #: 15002.00

Luminaire Schedule						
Symbol	Qty	Tag	Description	Lum. Lumens	Lum. Watts	LLF
⊙	4	CL	Halo SLD405830WH	650	12.5	0.900
⊙	31	DL4	Halo EL406935-TL410H	720	13	0.900
⊙	25	DL6	Halo ML5606835-692H	722	9	0.900
⊙	12	SL1	FC Lighting FCSL550 LED-5W	44	6	0.900
⊙	8	SL2	FC Lighting FCSL500 4K 1000 Lumens	1068	20	0.900
⊙	3	W1	McGraw-Edison IST-E01-LED-E1-BL2-8030	2311	24.7	0.900
⊙	7	W2	Approximate file to replicate Progress	3300	10	0.200
⊙	2	W3	ARB-B1-LED-D1-T2-7030	1893	24	0.900



1 EXTERIOR PHOTOMETRICS - LEVELS 2-4  
E002 SCALE: 1/8"=1'-0"

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Madison, WI 53703  
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Structural Engineering:

Civil Engineering:

Landscape Architecture:

**1603 Monroe**

1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Issued for:

No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Luminaire Schedule &  
Exterior Photometrics -  
Levels 2-4

**E002**

**NOT FOR CONSTRUCTION**

M:\Users\DTI\Project Folder\15002.00 - 1603 Monroe\Drawings\15002\_E002\_Ext Photometrics.dwg

Project Name: 1603 Monroe  
Project #: 15002.00

Structural Engineering:

Civil Engineering:

Landscape Architecture:

**1603 Monroe**  
1603 Monroe Street  
Madison, WI 53703

Project #: 15002.00

**PRELIMINARY  
NOT FOR CONSTRUCTION**

Issued for:

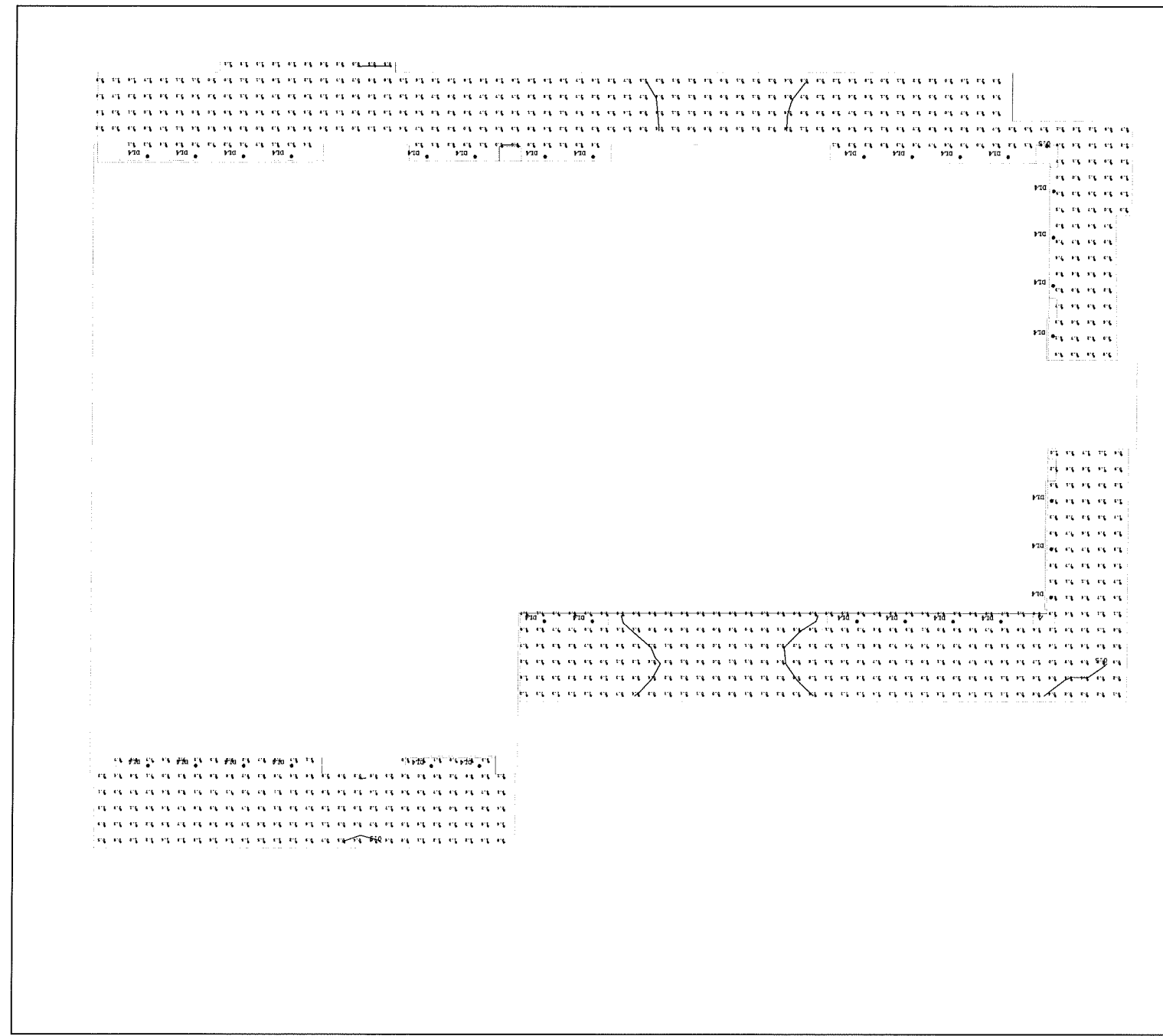
No.	Description	Date
1	UDC Informational Submittal	2-10-2016
2	Preliminary Contractor Set	2-26-2016
3	Plan Commission Submittal	4-13-2016

Drawn by: CaS4 Architecture  
Checked by: CaS4 Architecture

Exterior Photometrics -  
Level 5

# E002

**NOT FOR CONSTRUCTION**



**1** EXTERIOR PHOTOMETRICS - LEVEL 5  
E002 SCALE: 1/8"=1'-0"

