



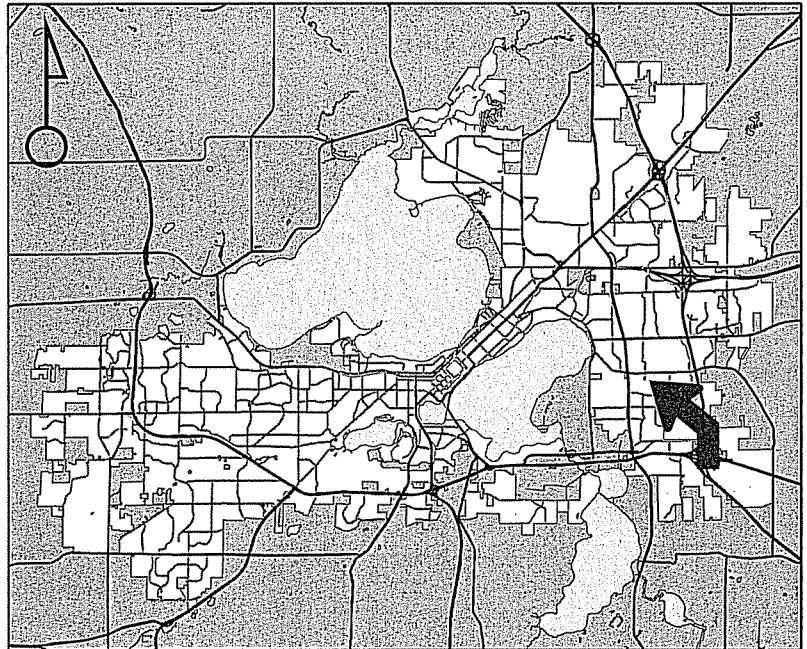
Location & Applicant  
 1908-1910 Dondee Rd - Eric Gordon  
 1914-1916 Dondee Rd - Don Imhoff  
 1920-1922 Dondee Rd - Michael Vesperat

Project Name  
 Buckeye Meadows Condominium

Existing Use  
 Vacant lands

Proposed Use  
 Construct 3, two-family-twin residences

Public Hearing Date  
 Plan Commission  
 27 January 2014



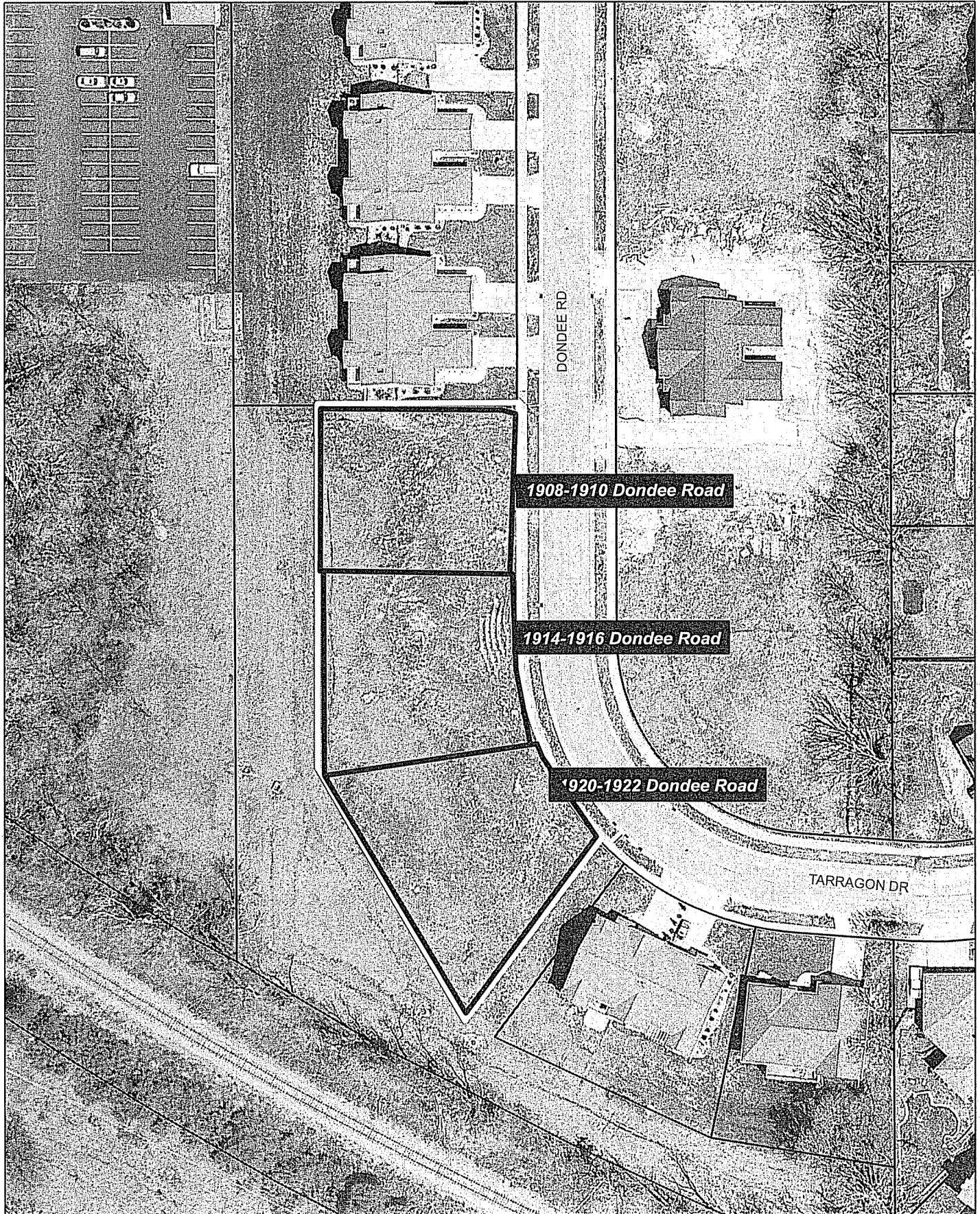
For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 23 January 2013

11-13





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt. Paid	\$ 600 <sup>~</sup> Receipt No. 149496
Date Received	11/25/13
Received By	PDA
Parcel No.	0710-152-145-0
Aldermanic District	16 DEMARB
Zoning District	SR-C3
Special Requirements	
Review Required By:	PDA
<input type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 1920-1922 Dondoe Rd Lot 10  
 Project Title (if any): BURKEY MEADOWS CONDOMINIUMS

### 2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

Applicant Name: MICHAEL JEREMY VESERAT Company: \_\_\_\_\_  
 Street Address: 6305 SOUTHERN CIR City/State: MONONA W Zip: 53711  
 Telephone: 608 220-7392 Fax: ( ) \_\_\_\_\_ Email: MVESERAT@YAHOO.COM

Project Contact Person: MICHAEL VESERAT Company: \_\_\_\_\_  
 Street Address: Same City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: TWIN HOME / DUPLEX

Development Schedule: Commencement ASAP / SPRING 2014 Completion JUNE 2014

**5. Required Submittal Information**

All Land Use applications are required to include the following:

**Project Plans** including:\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

**6. Applicant Declarations**

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

*Alder Denise Demaree & Buccary Meadows Community Assn* 11/22/13

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: *Michael Vidale* Date: 11/22/13 Zoning Staff: *Matt Tucker* Date: 11/22/13

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant *Michael Vidale* Relationship to Property: *Owner*

Authorizing Signature of Property Owner *Michael Vidale* Date *11/23/2013*

City of Madison

Conditional Use Application

Michael & Jeryn Vesperat

1920-1922 Dondee Rd (Lot 10)

Letter of Intent

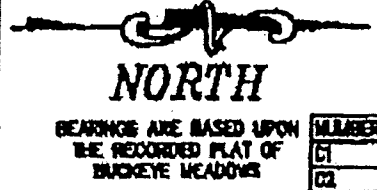
It is our intention to construct a high quality duplex building in the Buckeye Meadows Condominium Association consistent with the neighborhood and current zoning regulations. The planned development is 16 duplex buildings with 7 duplex buildings currently completed.

Thank You

Michael Vesperat

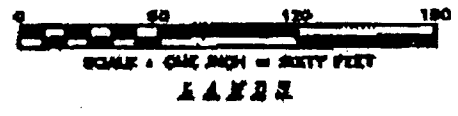
# BUCKEYE MEADOWS CONDOMINIUMS, A CONDOMINIUM PLAT

ALL OF LOTS 1-7, AND 9-17, BUCKEYE MEADOWS, AS RECORDED IN VOLUME 58-0988 OF PLATS, ON PAGES 499-500, AS DOCUMENT NUMBER 4143116, DANE COUNTY REGISTRY, ALSO LOCATED IN THE SOUTHWEST QUARTER (1/4) OF THE NORTHWEST QUARTER (1/4) OF SECTION 15, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

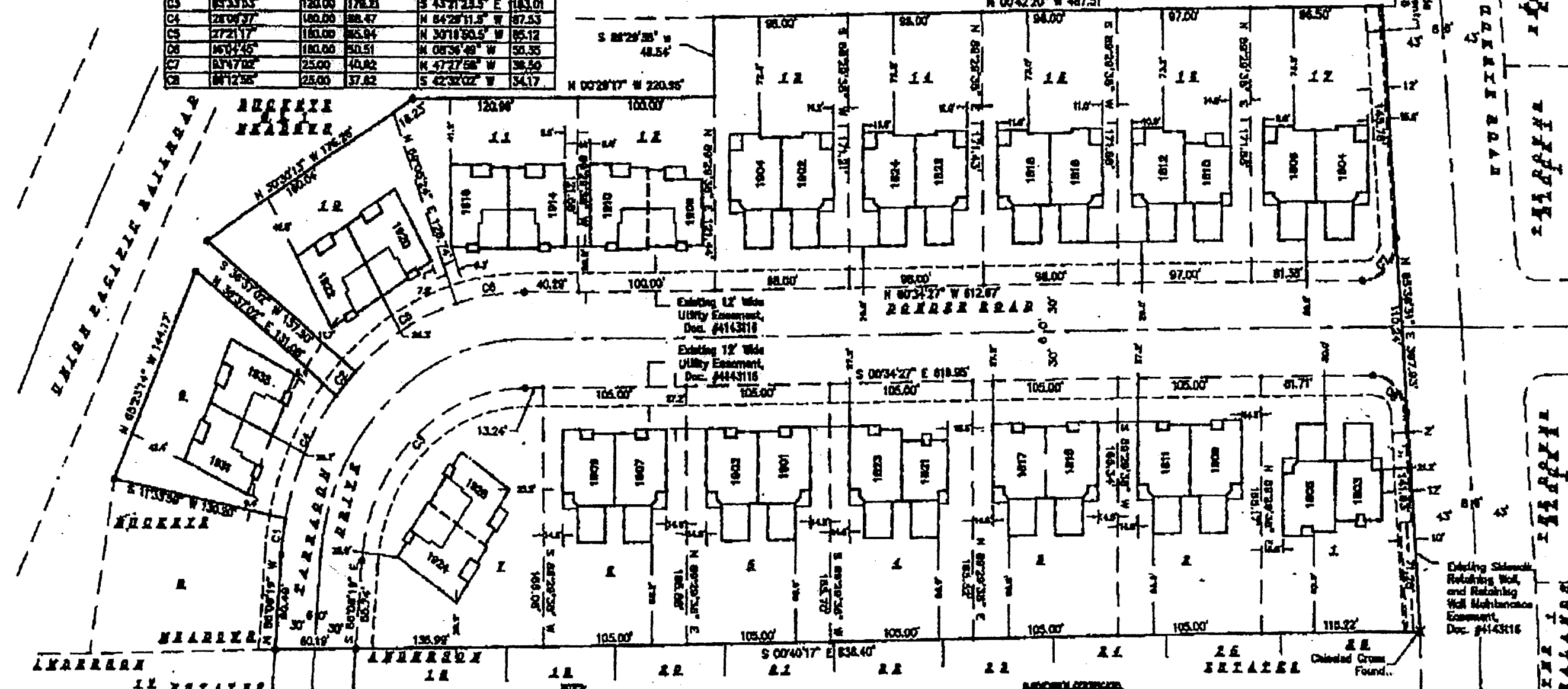


**CURVE TABLE**

NUMBER	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD
C1	073°49'	180.00	23.88	N 82°20'45" W	23.80
C2	063°42'	180.00	20.15	N 47°12'41" W	20.12
C3	053°37'	120.00	178.21	S 43°17'23.5" E	183.01
C4	28°04'37"	80.00	88.47	N 84°28'11.5" W	87.53
C5	27°21'17"	180.00	85.94	N 30°18'50.5" W	85.12
C6	16°04'45"	180.00	50.51	N 08°36'49" W	50.35
C7	13°47'02"	25.00	40.82	N 47°27'58" W	38.50
C8	0°12'35"	25.00	37.82	S 42°32'02" W	34.17



4163216



**LEGEND**

- 3/4" SOLID IRON ROD FOUND
- 1-1/4" SOLID IRON ROD FOUND
- ( ) INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
- UNIT BOUNDARY

**RECORDING DATA**  
**CERTIFICATE OF REGISTER OF DEEDS**  
 Received for recording this 20th day of February, 2006, at 12:16 o'clock P.M. and recorded in Volume 5-105B of Condominium Plats, on pages 1-3

*James Light, Dane County Register of Deeds*

- For the recorded plat of BUCKEYE MEADOWS, each lot within this plat is subject to a non-exclusive easement for driveway purposes and shall be a portion of an (S) lot in which driveway from the property line to the interior of each lot, except that the easement shall be under (S) that is with on the perimeter of the plat. Easements shall not be required on property lines shared with groups or public streets.
- For the recorded plat of BUCKEYE MEADOWS, the lot area shall be subject to the easement with the construction of each building structure in accordance with the approved architectural drawings plan on the site with the city engineer and the zoning administrator, as recorded in accordance with the Madison General Ordinance.
- For the recorded plat of BUCKEYE MEADOWS, this subdivision is subject to the preliminary zoning map of Chapter 22 of the Madison General Ordinance. This requirement shall be satisfied by a separate recorded certificate.
- For the recorded plat of BUCKEYE MEADOWS, lands north of the subject are zoned R-1 and will be developed with R-1 uses. Lots on this plat may be subject to rules from this area, or other tracts.
- For the recorded plat of BUCKEYE MEADOWS, surveys shall be "title-bound" with shared driveway where possible on Lots 1-7, and 9-17.
- The sheets 2 & 3 for floor plans and additional notes.
- The sheet 2 for the layout showing location of related easement elements.

**WISCONSIN CERTIFICATION**

I, Michael S. Marty, Registered Land Surveyor, No. 2462, being duly sworn, do hereby certify that in compliance with the provisions of Chapter 703 of the Wisconsin Statutes, I have accepted the plat of the following described tract:

All of Lots 1-7, and 9-17, BUCKEYE MEADOWS, as recorded in Volume 58-0988 of Plats, on Pages 499-500, of Document Number 4143116, Dane County Registry, also located in the Southwest Quarter (1/4) of the Northwest Quarter (1/4) of Section 15, Township 07 North, Range 10 East, City of Madison, Dane County, Wisconsin.

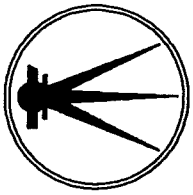
I further certify that the subdivision plat correctly represents the subdivision described, that the floor plans are reproduced from plans reviewed by the architect, and the location and identification of each lot and the common elements can be determined from the plat.

Signed this 21st day of February, 2006.

*Michael S. Marty*  
 Michael S. Marty, RLS No. 2462



**SURVEYED BY**  
 CALKINS ENGINEERING, LLC  
 5010 YOGES ROAD  
 MADISON, WI 53718  
 (608) 838-0444



# WILLIAMSON SURVEYING & ASSOCIATES, LLC

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.

NOA T. PRIEVE & CHRIS W. ADAMS

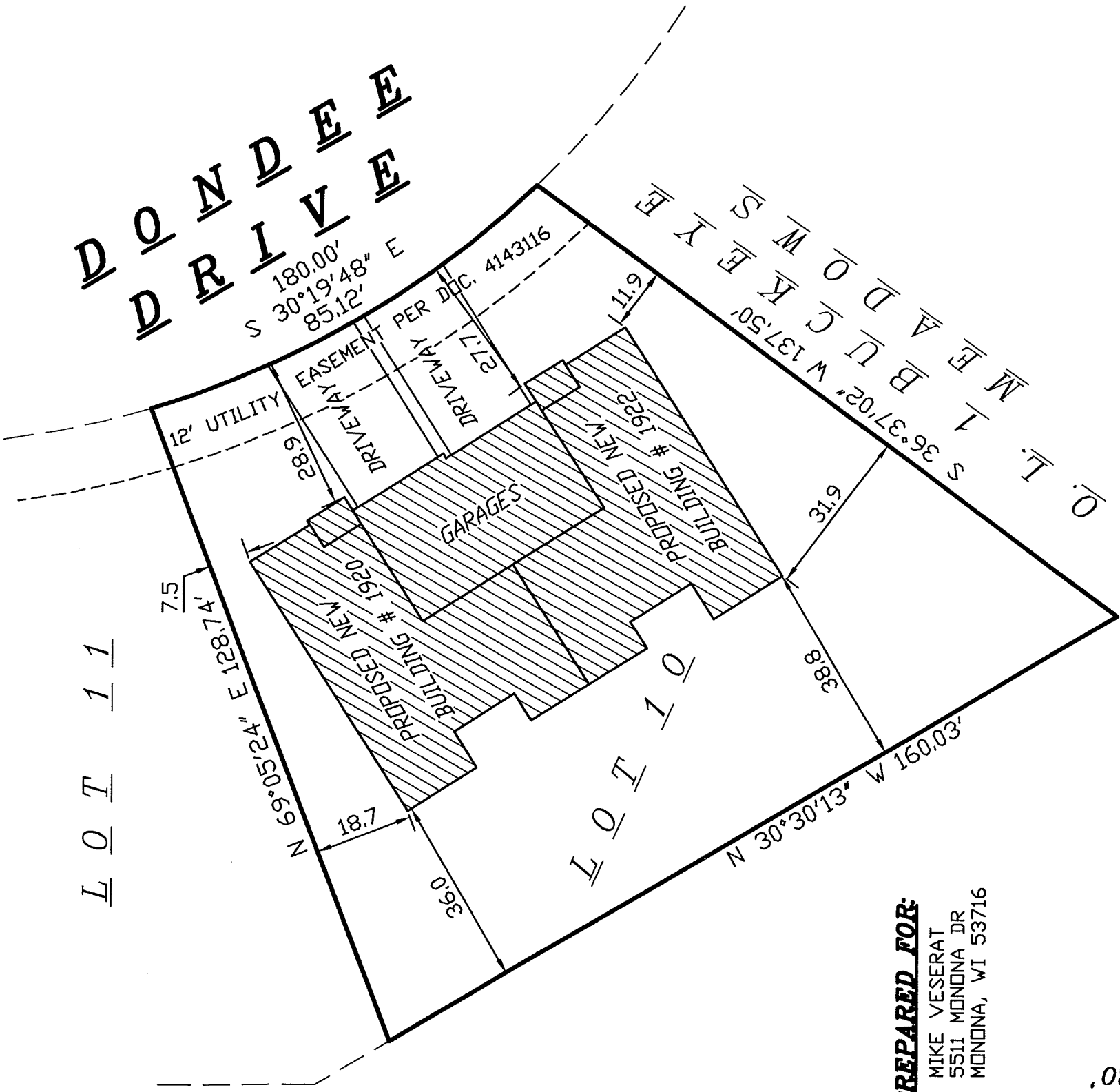
REGISTERED LAND SURVEYORS

PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

## SITE PLAN

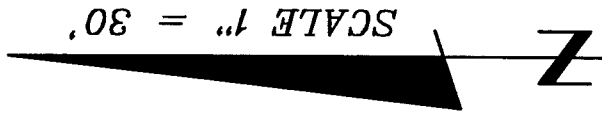
### DESCRIPTION:

UNIT 1920 & 1922, BUCKEYE MEADOWS CONDOMINIUM, RECORDED IN THE DANE COUNTY REGISTER OF DEEDS AS DOCUMENT NUMBER 4143116, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.



### PREPARED FOR:

MIKE VESERAT  
5511 MONONA DR  
MONONA, WI 53716



### NOTES:

- 1.) THIS SITE PLAN IS NOT INTENDED TO BE A SURVEY OF THE PROPERTY LINES AND WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

SITE PLAN DATE: 12-5-2013

AMERICAN DESIGNS CONCEPTS (PLAN DATE 12/03/13)

JOB NO: 13W-406



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

THIS PLAN WAS CREATED AS A DRAFTING SERVICE ONLY. THE DESIGNER IN NO WAY EXPRESSES OR ASSUMES ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLIANCE OF THESE PLANS IN ANY FORM.

ELEVATIONS  
SCALE: 1/4" = 1'

PLAN START DATE 2/20/18

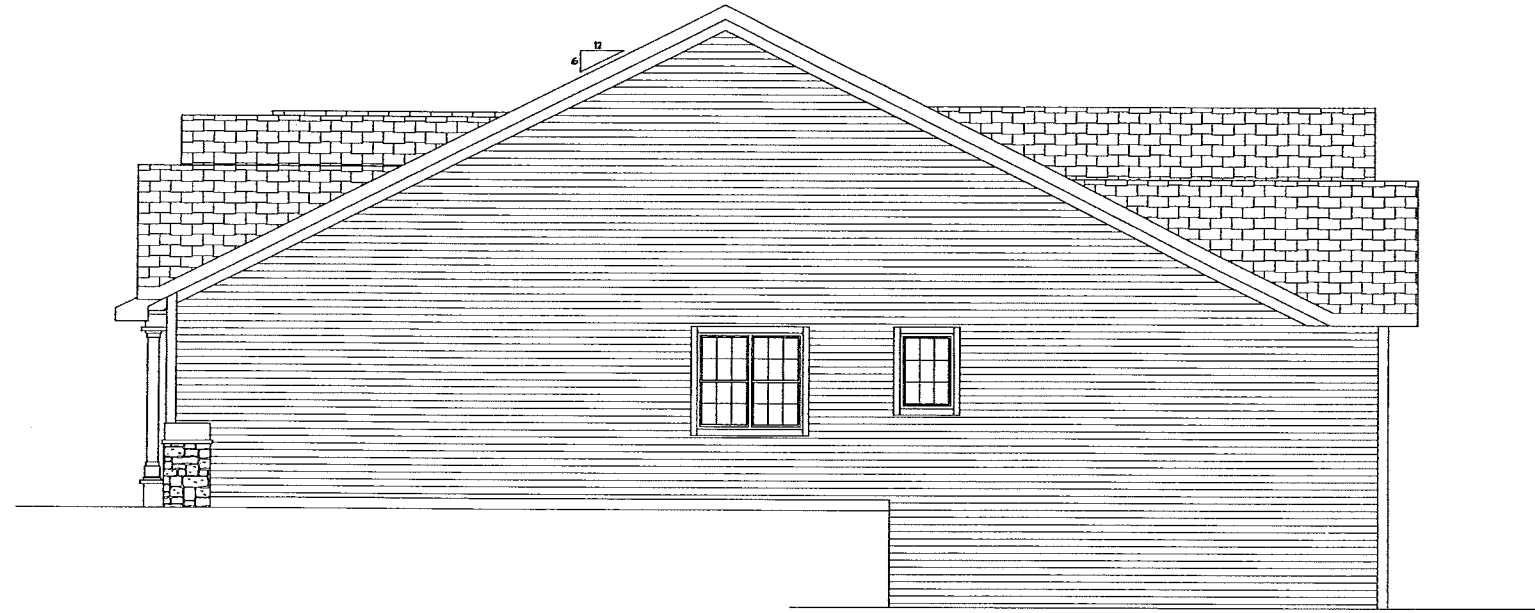
AMERICAN DESIGN CONCEPTS

IMHOFF DON

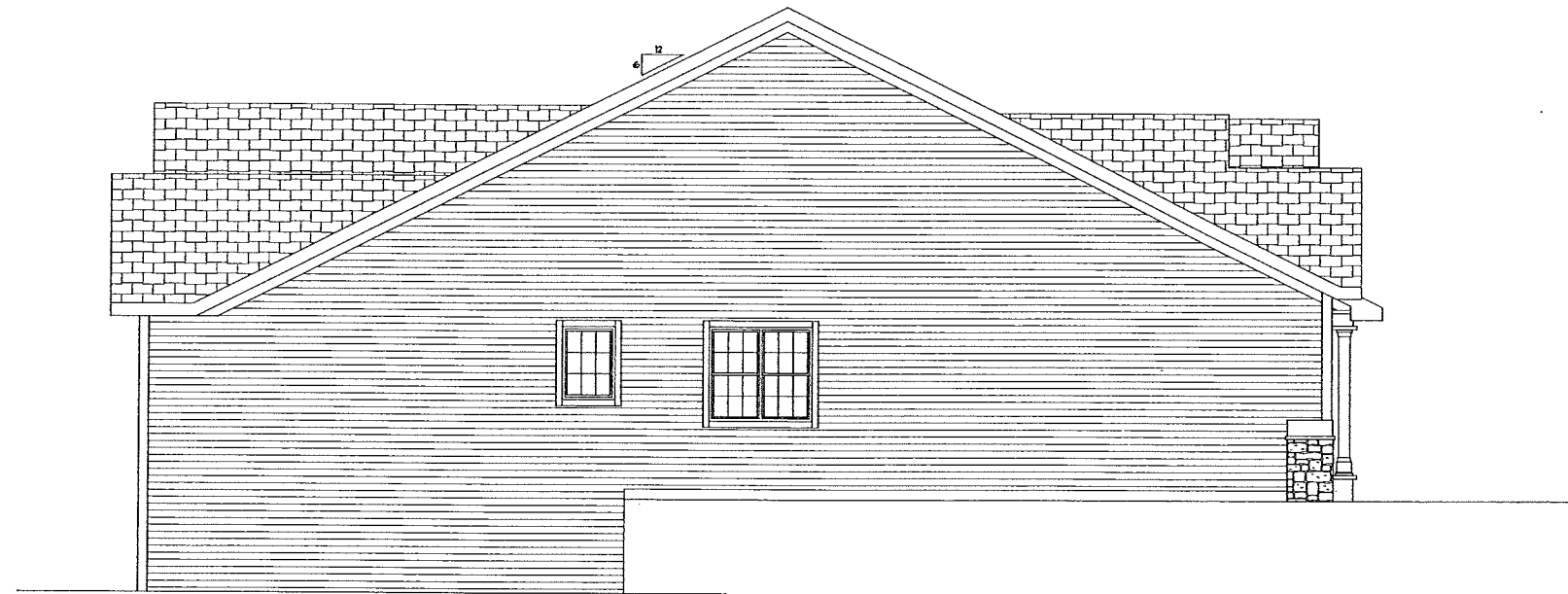
A1

AMERICAN DESIGN CONCEPTS  
DESIGNED BY 1334 APRILEGATE  
MADISON  
(608) 218-0110  
ALL RIGHTS RESERVED  
© AMERICAN DESIGN CONCEPTS





**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

THIS PLAN WAS CREATED AS A DRAFTING SERVICE ONLY. THE DESIGNER IN NO WAY EXPRESSES OR ASSUMES ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLIANCE OF THESE PLANS IN ANY FORM

SIDE ELEVATIONS  
SCALE: 1/4" = 1'

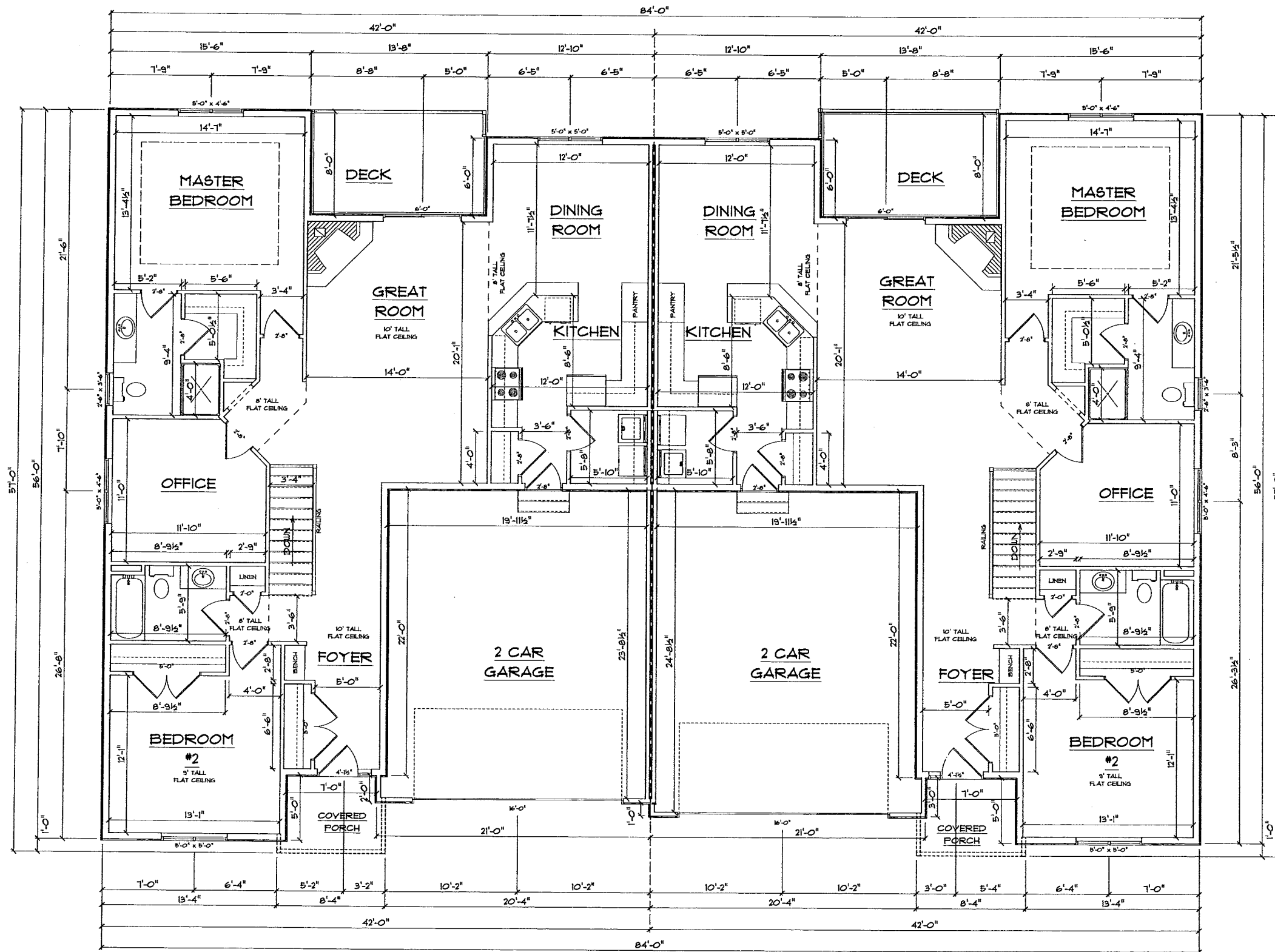
PLAN START DATE 9/29/18

**AMERICAN DESIGN CONCEPTS**

IMHOFF DON

A2

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DESIGNED BY 1334 APRILEGATE  
MADISON  
60877-1507  
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FIRST FLOOR PLAN  
 3254 TOTAL SQFT  
 SCALE: 1/4" = 1'

PLAN START DATE: 10/03  
 REVISED: 12/04/03

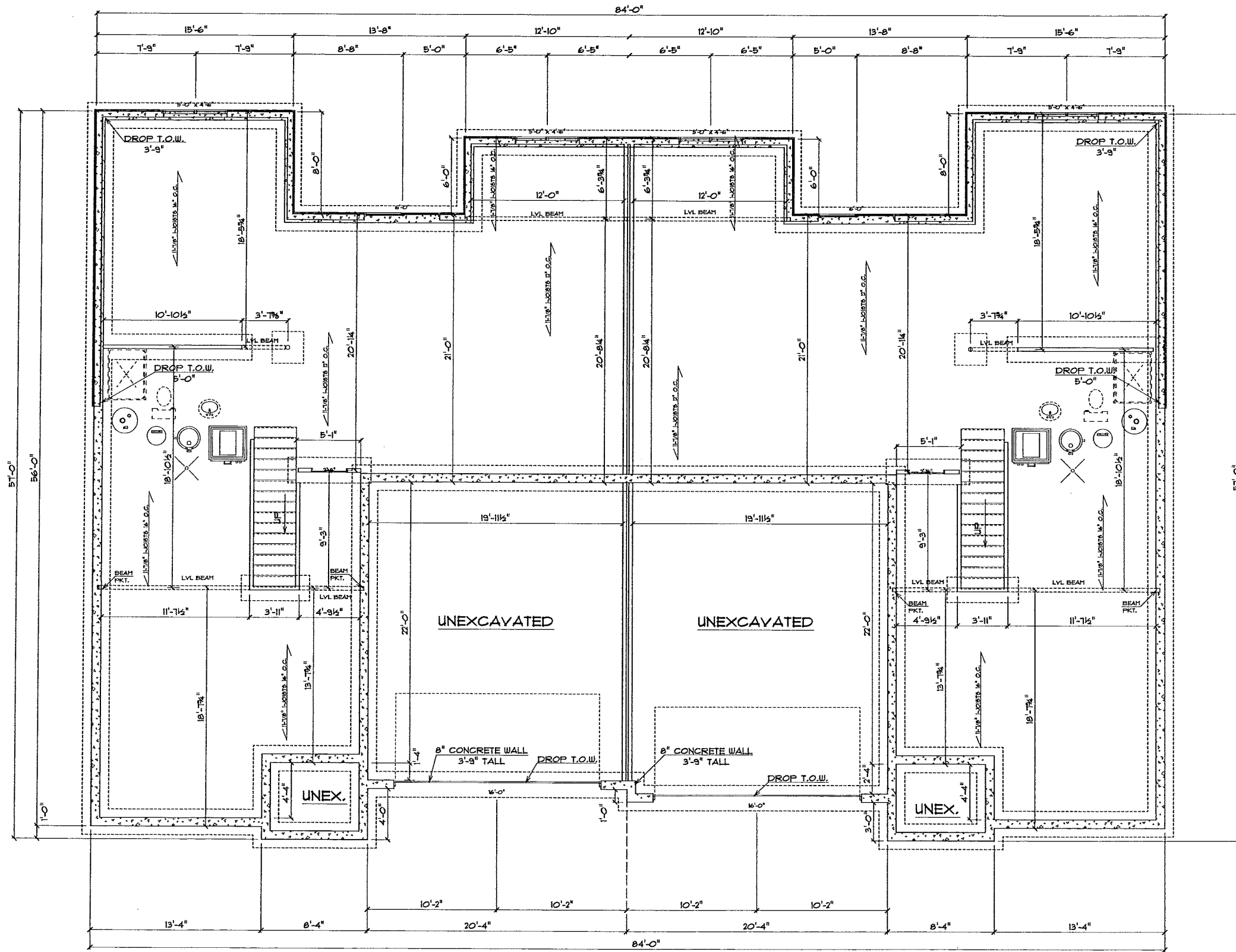
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1ST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"  
 1627 SQFT FINISHED AREA PER UNIT

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FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"  
956 SQFT FINISHED AREA PER UNIT

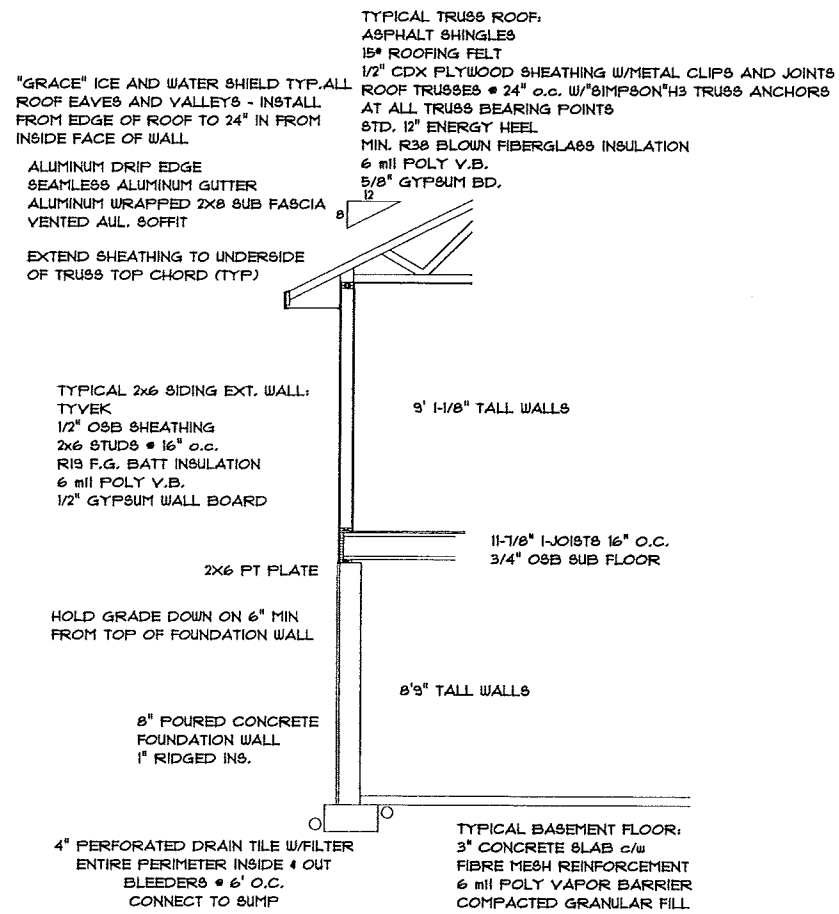
FOUNDATION PLAN  
SCALE: 1/4" = 1'

PLAN START DATE 03/09/10

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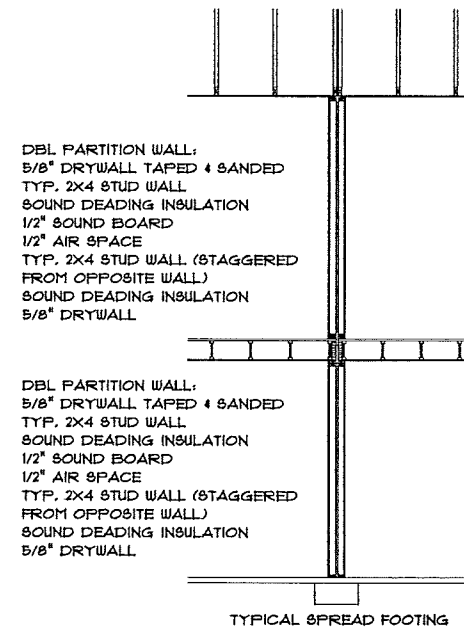
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6080 715-OTTO  
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SECTION THROUGH  
 NO SCALE

TRUSS FIRE SEPARATION  
 2- LAYERS 1/2" DRYWALL  
 STAGGERED JOINTS



NOTE:  
 G.C. TO ENSURE COMMON WALLS MEET  
 OR EXCEED MINIMUM STANDARDS SET IN  
 WISCONSIN CONSTRUCTION STANDARDS COMM. 21.08,  
 AS WELL AS ALL APPLICABLE LOCAL CODES  
 OWNER TO BE CONSULTED ON ANY CHANGES

DETAILS
SCALE: 1/4" = 1'
PLAN START DATE 3/20/05

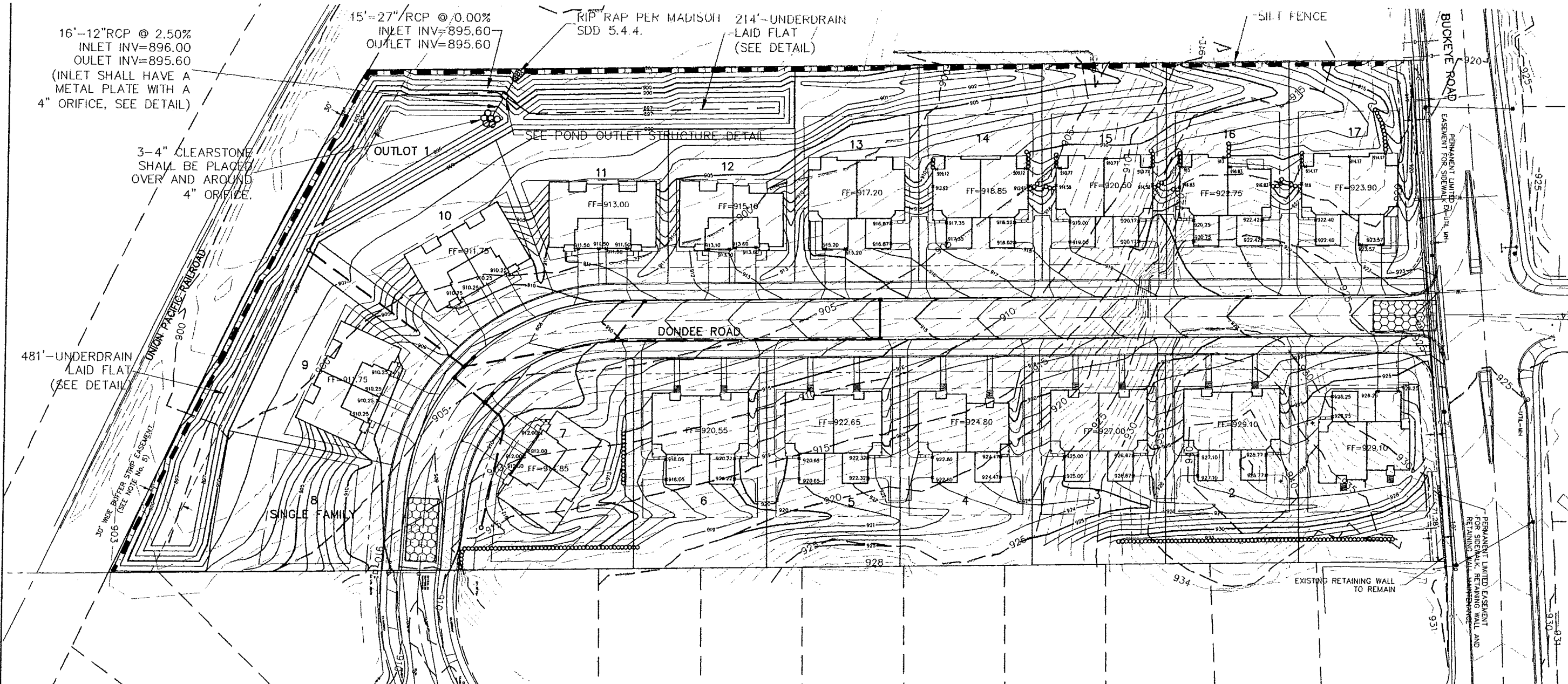
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 IN ANY FORM

A6

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16'-12" RCP @ 2.50%  
 INLET INV=896.00  
 OULET INV=895.60  
 (INLET SHALL HAVE A METAL PLATE WITH A 4" ORIFICE, SEE DETAIL)

3-4" CLEARSTONE SHALL BE PLACED OVER AND AROUND 4" ORIFICE.

15'-27" RCP @ 0.00%  
 INLET INV=895.60  
 OULET INV=895.60

RIP RAP PER MADISON 214-UNDERDRAIN LAID FLAT (SEE DETAIL)

SILT FENCE

BUCKEYE ROAD

481'-UNDERDRAIN LAID FLAT (SEE DETAIL)

DONDEE ROAD

SINGLE FAMILY

PERMANENT LIMITED EASEMENT FOR SIDEWALK, RETAINING WALL AND RETAINING WALL MAINTENANCE

Calkins Engineering, LLC  
 5010 Vogel Road  
 Independence, MO 64050  
 (816) 838-0444

DATE: 06-30-05
REVISIONS:
07-13-05
08-09-05
09-05-05
12-23-05
01-09-06

**BUCKEYE MEADOWS**  
 GRADING AND EROSION CONTROL PLAN

FN: CE-41

Calkins Engineering, LLC  
 Civil Engineers & Land Surveyors

**EROSION CONTROL NOTES:**

STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL ROCK BASE COURSE IS INSTALLED.

SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

AREAS OUTSIDE THE STREET RIGHT-OF-WAYS SHALL BE STABILIZED (E.G., SEED & MULCH, COMPOST, EROSION MAT, POLYMER) WITHIN 30 DAYS OF INITIAL DISTURBANCE, OR WITHIN 7 DAYS OF ACHIEVING FINAL GRADE, WHICHEVER OCCURS FIRST.

SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATION AND SHALL BE APPLIED AT A RATE OF THREE POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.

MULCH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS UNIFORMLY COVERED. ACTUAL APPLICATION RATES MAY VARY DEPENDING UPON THE INDIVIDUAL SITE CHARACTERISTICS AND THE TYPE OF MULCH USED. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A MIN. RATE OF 2.0 TONS PER ACRE. MULCH MUST BE CRIMPED.

FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, PROVISION SHALL BE MADE FOR WATERING WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSE.

POLYMER MUST BE APPLIED TO DISTURBED AREAS THAT REMAIN UNSTABILIZED PAST THE SEEDING, FERTILIZING, AND MULCHING DATE INDICATED IN THE SCHEDULE.

ALL PROPOSED AND EXISTING DOWNSTREAM INLETS SHALL BE PROTECTED WITH WOOD TYPE D "CATCH ALL" INSERTS OR EQUIVALENT. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL PLAT-LEVEL STABILIZATION IS COMPLETE.

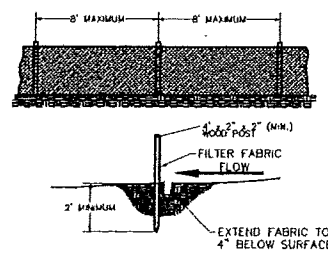
TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

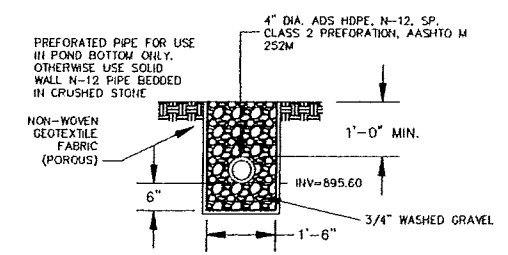
SILT FENCE SHALL BE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM ANY SOIL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH EITHER SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS.

RIP RAP SHALL BE INSTALLED PER CITY OF MADISON STANDARD DETAIL DRAWING 5.4.4.

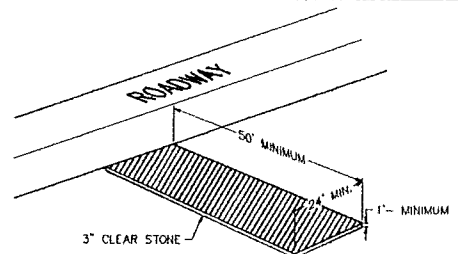
DETENTION BASIN SHALL BE CONSTRUCTED PRIOR TO ANY OTHER GRADING.



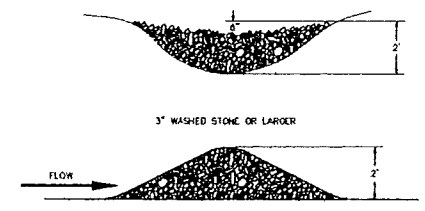
SILT FENCE CONSTRUCTION



STONE TRENCH DETAIL



STONE CONSTRUCTION ENTRANCE

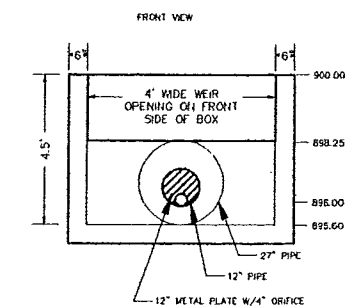
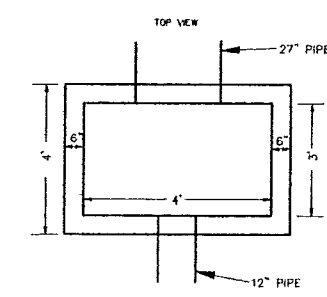


ROCK CHECK DAM

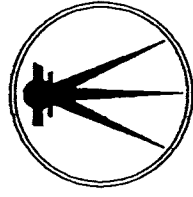
- LEGEND:**
- = SILT FENCE
  - = GRAVEL CONSTRUCTION ENTRANCE
  - = RETAINING WALL
  - - - = STORM SEWER

**PROJECT SCHEDULE:**  
 EROSION CONTROL MEASURES INSTALLED:  
 SEPTEMBER 1, 2005  
 BEGIN GRADING: SEPTEMBER 1, 2005  
 FERT., SEED, & MULCH: JUNE 1, 2006  
 VEGETATION ESTABLISHED: AUGUST 1, 2006

SCALE: 1" = 40' (24"x36")  
 SCALE: 1" = 80' (11"x17")



POND OUTLET STRUCTURE DETAIL



# WILLIAMSON SURVEYING & ASSOCIATES, LLC

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.

NDA T. PRIEVE & CHRIS W. ADAMS

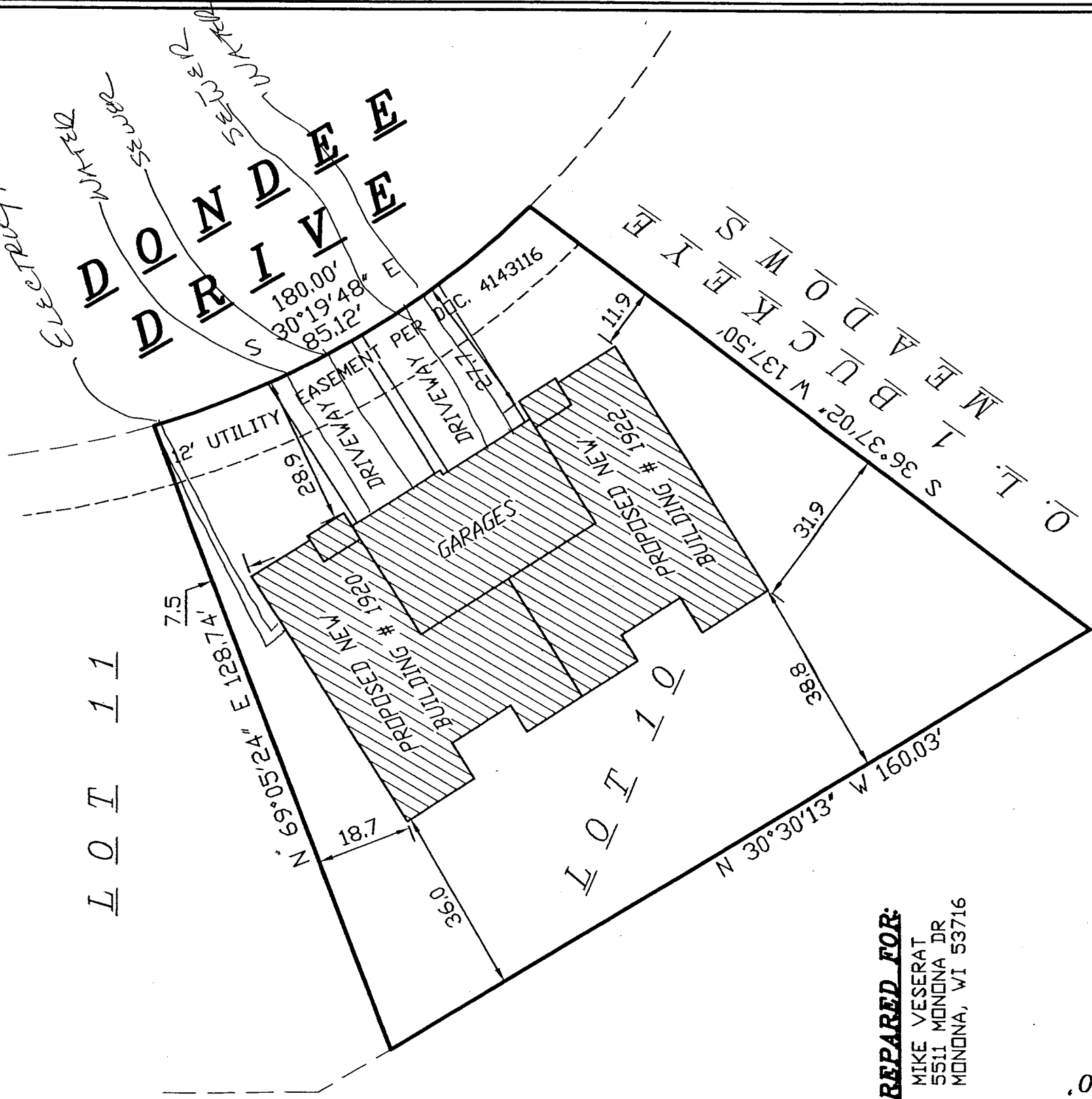
REGISTERED LAND SURVEYORS

PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

## SITE PLAN

### DESCRIPTION:

UNIT 1920 & 1922, BUCKEYE MEADOWS CONDOMINIUM, RECORDED IN THE DANE COUNTY REGISTER OF DEEDS AS DOCUMENT NUMBER 4143116, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.



### PREPARED FOR:

MIKE VESERAT  
5511 MONONA DR  
MONONA, WI 53716

SCALE 1" = 30'



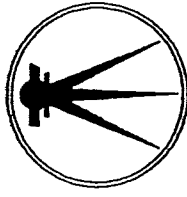
### NOTES:

- THIS SITE PLAN IS NOT INTENDED TO BE A SURVEY OF THE PROPERTY LINES AND WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

SITE PLAN DATE: 12-5-2013  
AMERICAN DESING CONCEPTS (PLAN DATE 12/03/13)

JOB NO: 13W-406

# UTILITY PLAN



# WILLIAMSON SURVEYING & ASSOCIATES, LLC

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.

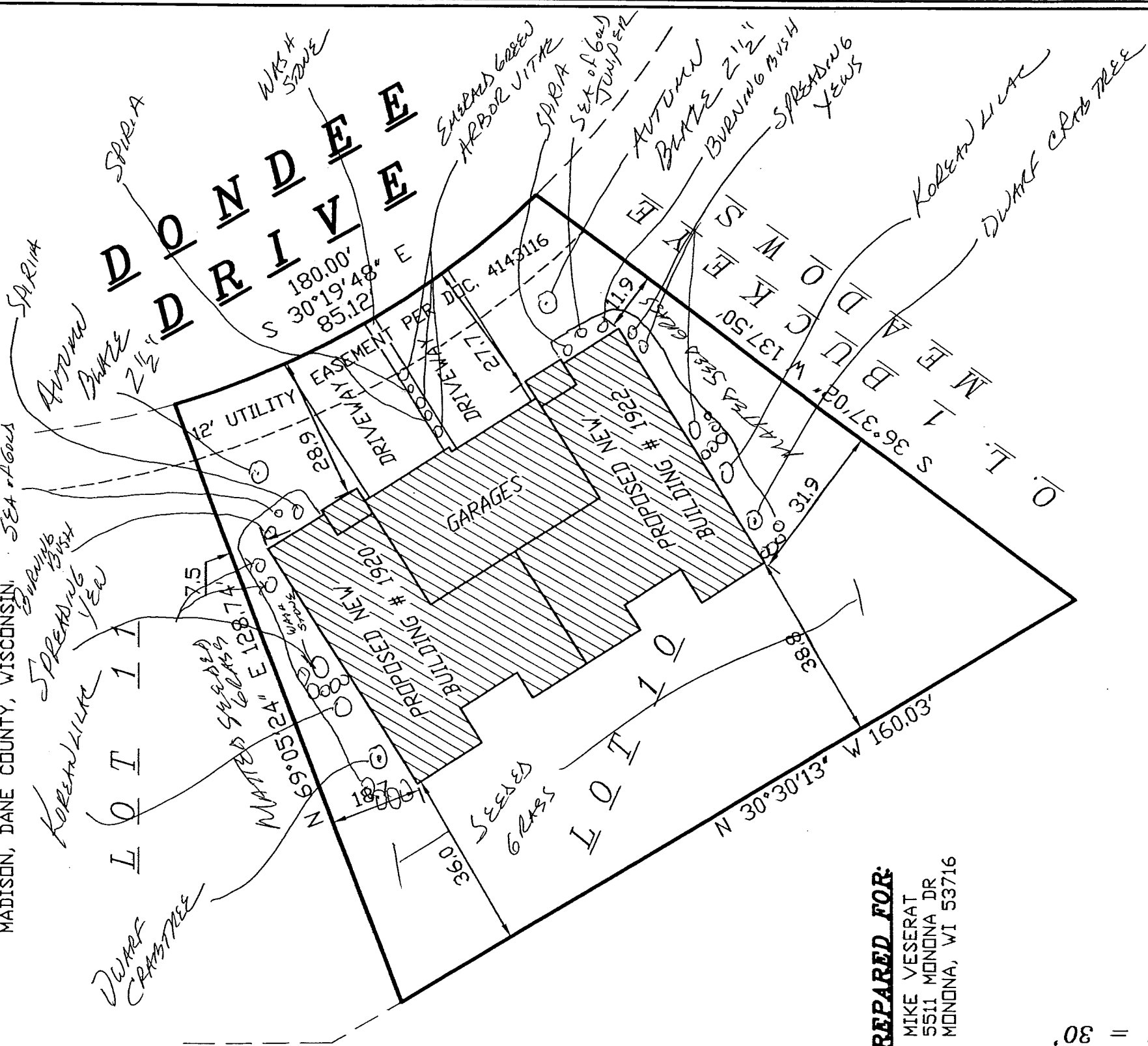
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REGISTERED LAND SURVEYORS

PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

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- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

SITE PLAN DATE: 12-5-2013  
AMERICAN DESIGN CONCEPTS (PLAN DATE 12/03/13)

JOB NO: 13W-406

# LANDSCAPE PLAN

by STUBBINS GARDEN CTR