

URBAN DESIGN COMMISSION APPLICATION

UDC

#3

City of Madison
 Planning Division
 126 S. Hamilton St.
 P.O. Box 2985
 Madison, WI 53701-2985
 (608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District 19

Zoning District _____

Urban Design District 2

Submittal reviewed by _____

55395

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 601 S. GAMMON ROAD

Title: VERIZON

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested MAY 8, 2019

- New development
- Alteration to an existing or previously-approved development
- Informational
- Initial approval
- Final approval

3. Project Type

- Project in an Urban Design District
- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
- Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify SIGN PLAN IN UDD #2

4. Applicant, Agent, and Property Owner Information

Applicant name CO TOM SANFORD Company ROYAL PARTNERS, LLC

Street address 6816 SEYBOLD RD City/State/Zip MADISON, WI 53719

Telephone 608-347-8199 Email Tom@SEICommercial.com

Project contact person MARY BETH GROWNEY SELENE Company RYAN SIGNS, INC.

Street address 3207 PERRY ST. City/State/Zip MADISON, WI 53713

Telephone 271-7979 Email mbgrowneyseleene@ryansigns.net

Property owner (if not applicant) SAME

Street address _____ City/State/Zip _____

Telephone _____ Email _____

5. Required Submittal Materials

- Application Form
- Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans (Refer to checklist provided below for plan details)
- Filing fee
- Electronic Submittal*



Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

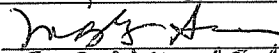
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with JANINE BLAESER/CHRISSEY THIELE on APRIL 1, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name MARY BETH BROWNEY SELENE Relationship to property AGENT FOR OWNER
 Authorized signature of Property Owner  Date 4-10-19
SERVING AS AGENT TO OWNER

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Ryan Signs, Inc.

3007 Perry Street
Madison, WI 53713
Phone 608-271-7979
Fax 608-271-7853

mbgrowneyselene@ryansigns.net

April 10, 2019

To: The City of Madison Urban Design Commission
Attn: Ms. Janine Glaeser, Secretary
From: Mary Beth Growney Selene, Serving as Agent to the Owner
Re: **6918 SEYBOLD ROAD**
EXTERIOR SIGNAGE PLAN FOR VERIZON

Dear Urban Design Commission Members;

Attached please find the **Sign Plan** for the new Verizon location at 6918 Seybold Road. The zoning lot was recently attached to the City of Madison and is Zoned CC (Commercial Center District) and is in Urban Design District #2.

BACKGROUND

1. The property was formerly located in the Town of Middleton.
2. The original occupant of the property was Arby's Restaurant and then Slice Restaurant.

CURRENT INFORMATION

1. The property is being redeveloped as a single-tenant building for Verizon.
2. The property is now complying with the City of Madison Chapter 31 Sign Control Ordinance.
 - The property has street frontage on Seybold Road, Gammon Road and the W. Beltline Hwy, with customer parking on the East and West elevations, which allows for up to four (4) wall signs
 - The property is allowed two (2) freestanding signs, not to exceed 75/150 sf2 in cumulative area (between the two freestanding signs).

Following are the SIGN GUIDELINES per 33.02(8) URBAN DESIGN DISTRICT #2

4. Signs . Because of the relationship between the residential and commercial activities of this area, it is necessary that the location and treatment of signs be appropriate to both activities. In this sense the Urban Design Commission shall evaluate proposed signs based on the following guidelines and requirements:

a. Guidelines .

- i. Signs should identify the activity without imposing upon the view of residents, businesses, or activities of the district. **The submitted drawings meet this guideline. Note: There are no residential buildings in relationship to this site or the surrounding area.**
- ii. Signs should be appropriate to the type of activity and clientele at which its message is aimed. **They are.**
- iii. Signs should be designed so as to be legible to the intended viewer in relation to the surrounding circumstances. **All of the signs are designed for the intended viewer and in relationship to the surrounding area. The exception requests are specific to the existing sign placements and sign area on Gammon Road and the entrance ramp detached signs.**
- iv. Signs should avoid covering or impinging upon landscape features or significant structures. **Avoided.**

b. Requirements .

- i. Signs, if located on or adjacent to buildings, shall be integrated with the architectural design of the buildings. **The building signs are integrated with the building's architecture.**
- ii. Signs shall be located and designed only to inform the intended clientele. **They do.**
- iii. Signs shall be used only as identification of the establishment and shall have no more than a total of eight (8) symbols and/or words. **The sign plan meets the criteria.**

- iv. No portion of an illuminated sign shall have a luminance greater than two hundred (200) foot lamberts for any portion of the sign within a circle two (2) feet in diameter. No sign or part of any sign shall change its level of illumination more than once every one (1) hour. (Am. by ORD-09-00091, 8-1-09) **They will not.**
- v. Electronic changeable copy signs, if permitted in the District, shall comply with [31.046\(1\)](#) which requires that electronic changeable copy signs in Urban Design Districts shall not alternate, change, fade in, fade out, or otherwise change more frequently than once every one (1) hour. (Am. by ORD-09-00091, 8-1-09) **N/A**
- vi. A minimum setback of five (5) feet is required of all detached signs. A minimum setback of ten (10) feet from the public right-of-way is required for signs exceeding ten (10) square feet in net area and fifteen (15) feet in height. **A minimum setback of twenty (20) feet is required for all signs exceeding twenty (20) square feet in net area or twenty (20) feet in height. No detached sign shall exceed seventy-five (75) square feet in net area and twenty-five (25) feet in height.** Based upon the following criteria the Urban Design Commission may specifically approve a larger sign or reduce the setbacks above: **PLEASE SEE REQUEST FOR EXCEPTION BELOW**
 - A. **An exception from the size and setback limitation is necessary for a sign located on the site of an establishment to be identifiable and legible from the nearest roadway at prevailing speeds; PLEASE SEE REQUEST FOR EXCEPTION BELOW** and
 - B. **An exception from the size and setback limitation will result in a sign more in scale with the building and site and will result in a superior overall design.** (Am. by Ord. 9593, 10-14-88) **PLEASE SEE REQUEST FOR EXCEPTION BELOW**
- vii. No detached sign shall occupy the space between two (2) feet and ten (10) feet above grade within fifteen (15) feet of the public right-of-way except for its support, which shall not exceed a total cross-section area of one (1) square foot. **The Gammon Road pylon sign does not; the entrance ramp sign, as a monument sign occupies space between 2'-0" and 10'-0", however, it does not interfere with other signage in the area or present a traffic hazard.**
- viii. The net area of an attached sign of any occupancy on any facade shall not exceed forty (40) square feet. **None of the attached wall signs will exceed 40 sf2.**
- ix. All signs and their words shall be mounted parallel to the building surface to which they are attached. No sign or words shall project more than eighteen (18) inches from the surface to which they are attached. **None of the wall signs or symbols project more than 18"** Attached signs shall not be mounted on roofs and shall not project above roofs. **None of the wall signs will be mounted on the roof or project more than 4'-0" above the parapet walls.** (Am. by ORD-09-00091, 8-1-09)

PROPOSED SIGN PLAN

1. WALL SIGNS

- a. To allow for one wall sign per street elevation, or elevation adjacent to a customer parking lot of 33'-0' or more in width.
- b. No wall sign shall exceed 40 sf2 in area.
- c. Wall signs can be internally, externally or non-illuminated.
- d. Wall signs will not extend more than 18'-0" from the face of the building.
- e. Wall signs will not extend more than 4'-0" above a parapet wall.
- f. Wall signs will be used for identification of the establishment and will not have more than eight (8) words or symbols.

2. DETACHED SIGNS

- a. The property will have two (2) freestanding signs.
- b. The combined area of the freestanding signs will be limited to an area of 96/192 sf2 (for the property, not to exceed two freestanding signs), versus the UDD #2 limitation of 75/150 sf2, not to exceed two detached signs. (The calculation is based on the proposed detached signage and is under the code allowance for variance of 50% increase in area.)
- c. The freestanding signs will be limited to 15'-0" in overall height (pylon) and 13'-0" in overall height (monument).
- d. The existing sign structures will be utilized.
- e. The structure of Sign #4, located on the Gammon Road frontage, meets with the Sign Ordinance regulation that a pylon structure cannot exceed 1/3 the total width of the sign.
- f. The structure of Sign #5, located on the W. Beltline Hwy. frontage, is being submitted as a monument sign. As such, the sign will be reduced to 13'-0" in overall height.
- g. Because the proposed signs exceed 20 sf2 in area, they are required to have a setback of 20'-0". The signs do not meet the setback requirement of 20'-0". We are requesting an exception to the UDD#2 Guidelines for setback to allow for the signs to remain in their existing locations and to be legible and viewable at prevailing speeds.

REQUEST FOR EXCEPTIONS TO THE SIGNAGE REGULATIONS IN URBAN DESIGN DISTRICT #2

In order for the signs to be legible and viewable at prevailing speeds, and given the Gammon Road ROW of 175' to 210', we ask that the signs be approved as submitted, and approved to remain in their existing locations. Additionally, the signs are obscured by the overpass bridge until you are nearly through the intersection. For best visibility and readability, we ask that the signs be allowed to remain in their existing locations and that the sign area of 48 sf2 (per face/per sign), be allowed as an exception to UDD #2 through UDC approval. (Please see attached photos.)

1. SIGN AREA FOR DETACHED SIGNAGE

- a. The applicant is requesting an exception to allow a combined area of up to 96/192 sf2 for two (2) detached signs.
 - This request is consistent with a Variance allowance, as included in Chapter 31, of up to 50% more area of a sign.
 - Approval will allow for each sign to be identifiable and legible from each roadway at prevailing speeds.
 - The ROW on Gammon Road is between 175' and 210', with its widest measurement at the location of the sign placement.
 - Approval will allow for each sign to be consistent with neighboring signs, not in UDD #2.

2. SETBACK FOR DETACHED SIGNS EXCEEDING 20 SF2 IN AREA (See attached photos)

- a. The applicant is requesting an exception to allow for the signs to remain in their current locations.
 - A 20'-0" setback will place each of the signs in the parking lot of the property.
 - There is no place on the property where the signs could be located to meet the setback requirement, without impinging on paved parking areas.
 - The ROW on Gammon Road is between 175' and 210', with its widest measurement at the location of the sign placement.
 - The current placement of the freestanding signs keeps them in scale with the building and the site.
 - The overall height of Sign #5 will be reduced to 13'-0" to allow for the existing structure to be reused.
 - ATC, the owners of the overhead power lines, have given the applicant their approval for the signs to remain in their current location (see attached).
 - The sign placement is consistent with other freestanding signs located on the W. Beltline Hwy. and Gammon Road frontages (outside the UDD #2).
 - UDD #2 addresses the relationship between residential and commercial activities in the area. There is no residential development in the area of this property.
 - The pipe structures are simple in design and match the vertical lines of the building. They will be painted a neutral color.
 - The sign structures were legally installed when the property was located in the Town of Middleton.

Thank you for your consideration. We are happy to answer any questions you might have.

Respectfully Submitted,

RYAN SIGNS, INC.



Mary Beth Growney Selene
President

Serving as Agent to the Owner

Mary Beth Growney-Selene

Subject: FW: Message from Thomas Sanford (916083478299)

-----Original Message-----

From: Thomas Sanford <Tom@SEICommercial.com>
Sent: Thursday, March 28, 2019 8:53 AM
To: 'Ernst, Matthew' <mernst@atcllc.com>
Cc: Mary Beth Growney <mbgrowneyselene@ryansigns.net>
Subject: RE: Message from Thomas Sanford (916083478299)

Matt:

Thank you very much for the fast reply and clarification... we will go with the existing poles then...

Best Regards,

Thomas B. Sanford
Sanford Enterprises, Inc.
Commercial Real Estate Services

-----Original Message-----

From: Ernst, Matthew <mernst@atcllc.com>
Sent: Thursday, March 28, 2019 8:45 AM
To: Thomas Sanford <Tom@SEICommercial.com>
Subject: RE: Message from Thomas Sanford (916083478299)

Very, very buried here sir...
Was on line when you called and am replying this way...

The email submitted last eve has been reviewed and approved..all previous provisions provided apply yet.

Thanks.

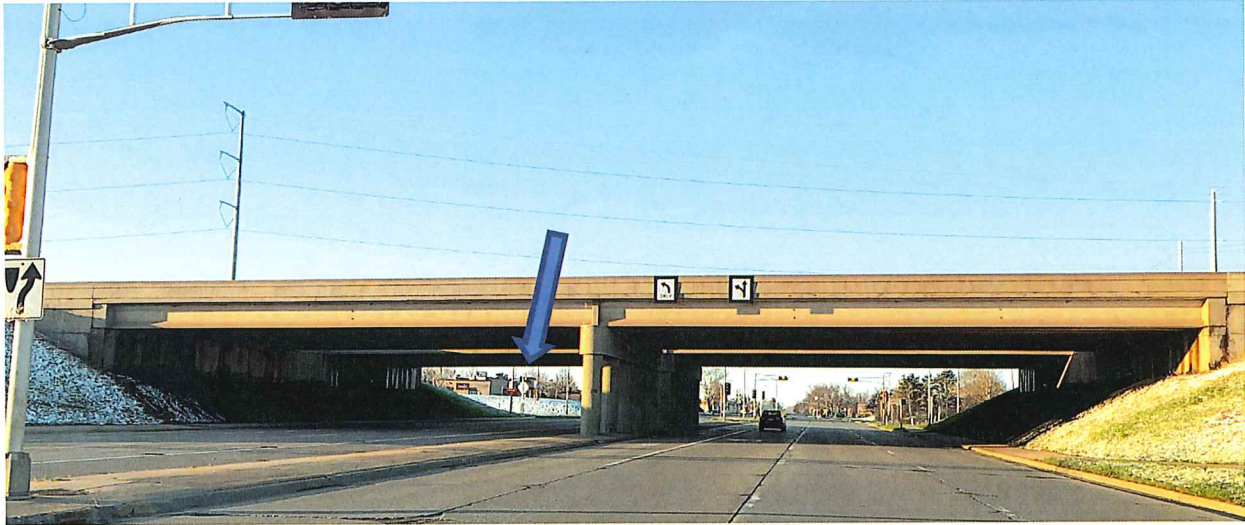
Matt Ernst
Sr. Real Estate Representative
P.O. Box 6113
De Pere, WI 54115
920-338-6573
Ethics: to do the right thing when no one is looking, even if the wrong thing is legal!

-----Original Message-----

From: Cisco Unity Connection Messaging System <unityconnection@voicemail.atcllc.com>
Sent: Thursday, March 28, 2019 8:35 AM
To: mernst@voicemail.atcllc.com
Subject: Message from Thomas Sanford (916083478299)

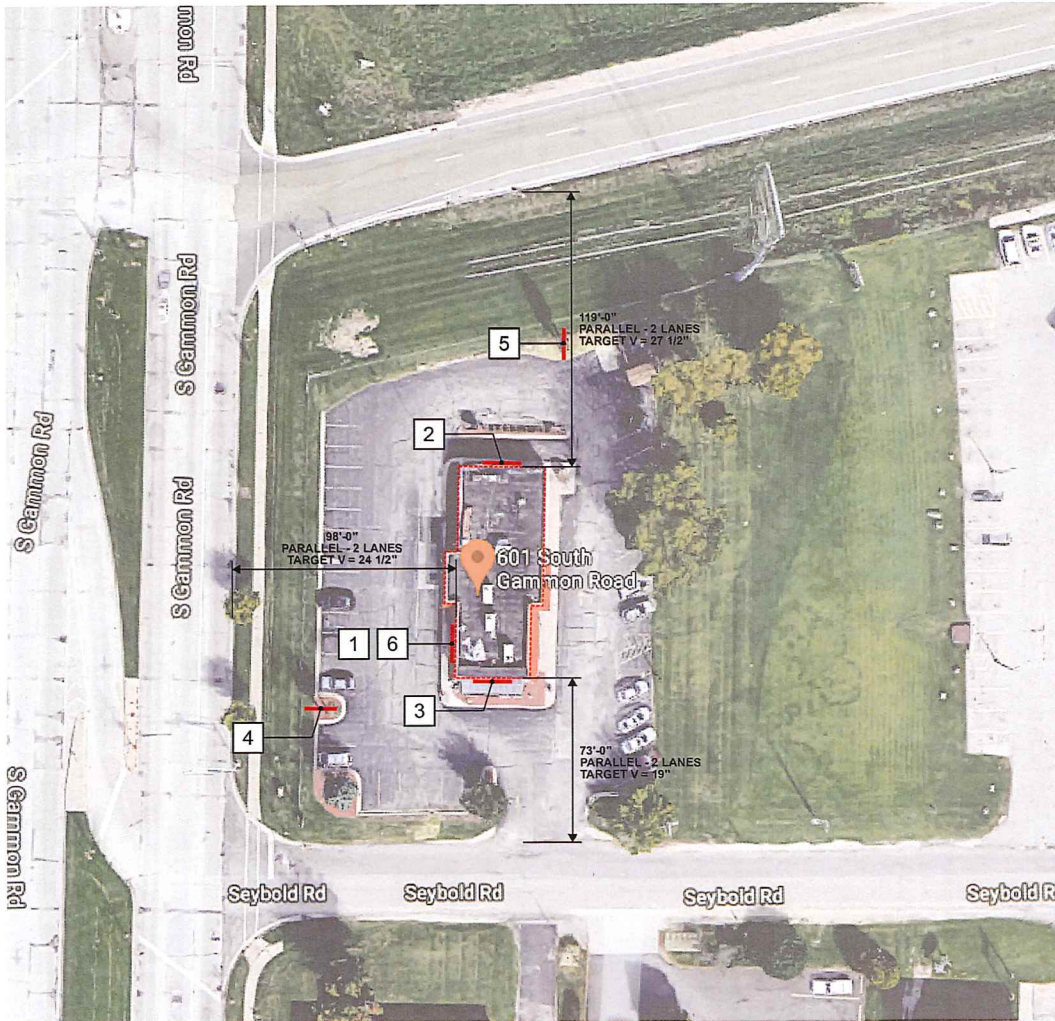
"Matt Tom Sanford. Hey I sent an email last night **this National tenant wants pylon sign underneath your power line actually they're using the same post for an existing pylon sign and I don't think that ever had an approval from ATC.** Just call me back please 608-347-8299. Thank you very much. Bye. Again 608-347-8299 Tom Sanford."

6918 Seybold Road
Southbound on Gammon Road



6918 Seybold Road
Northbound on Gammon Road





LEGEND

		QTY
1	WEST ELEVATION WALL SIGN	1
2	NORTH ELEVATION WALL SIGN	1
3	SOUTH ELEVATION WALL SIGN	1
4	PYLON SIGN #1	1
5	PYLON SIGN #2	1
6	DOOR VINYL	1 SET

KEY

SIGN LOCATION ———

BUILDING OUTLINE - - - - -



STORE NUMBER
WI-CS-WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

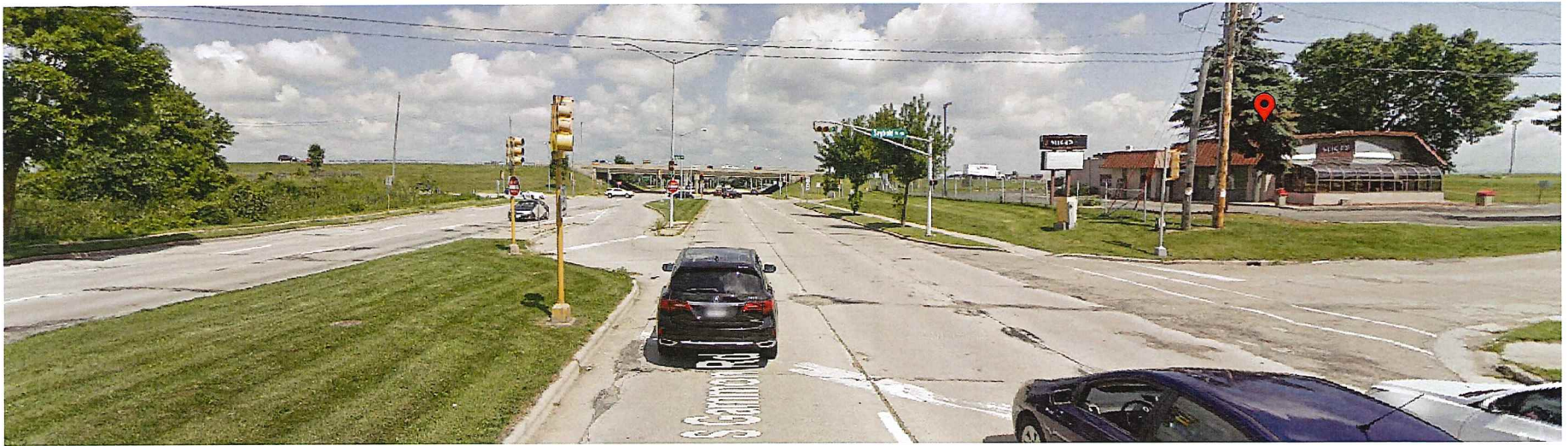
SHEET TITLE
SIGN LOCATION PLAN

DATE
2019-03-07 ct

REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct

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SHEET NUMBER
2



STORE NUMBER
WV-CS-WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

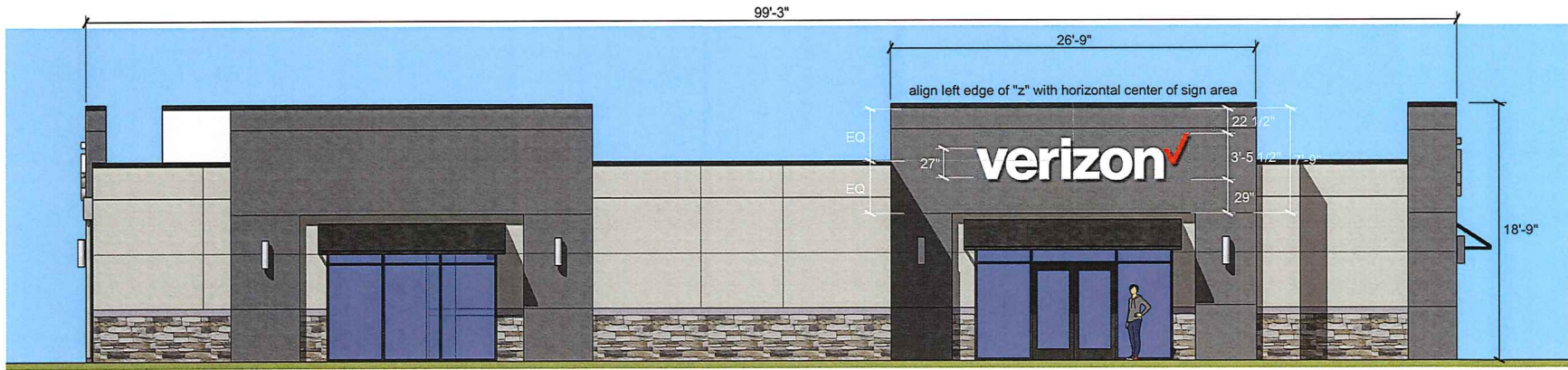
SHEET TITLE
STREET & CONTEXT PHOTOS

DATE
2019-03-07 ct

REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct

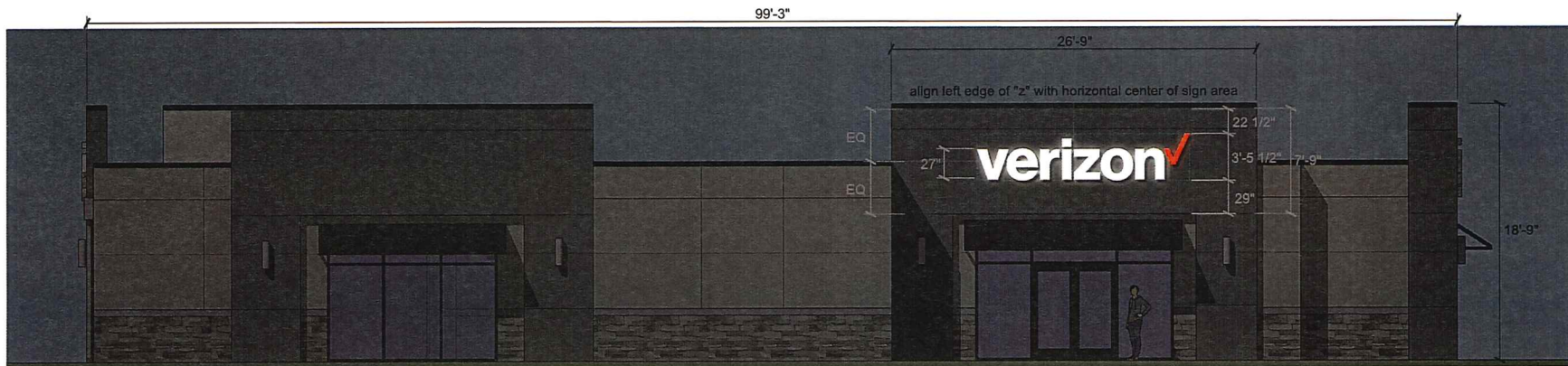
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SHEET NUMBER
4



35.6 SF

WEST ELEVATION



35.6 SF

WEST ELEVATION



STORE NUMBER
VW-CS-WI-GR

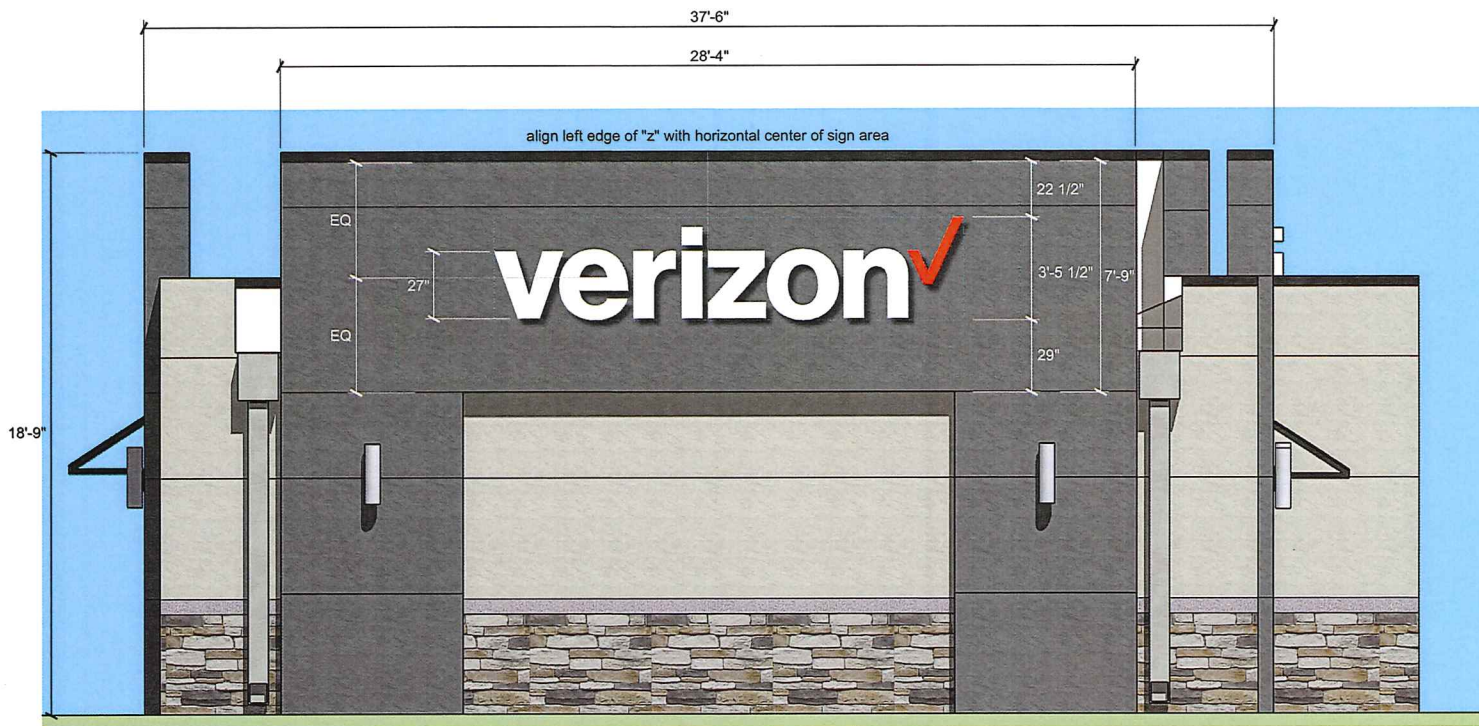
ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

SHEET TITLE
SIGN 1 - WEST ELEVATION - RENDERING

DATE	REVISION
2019-03-07 ct	2019-03-10 ct
	2019-03-22 ct
	2019-03-27 ct
	2019-04-08 ct
	2019-04-26 ct

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SHEET NUMBER
5



35.6 SF

NORTH ELEVATION



STORE NUMBER
VW-CS.WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

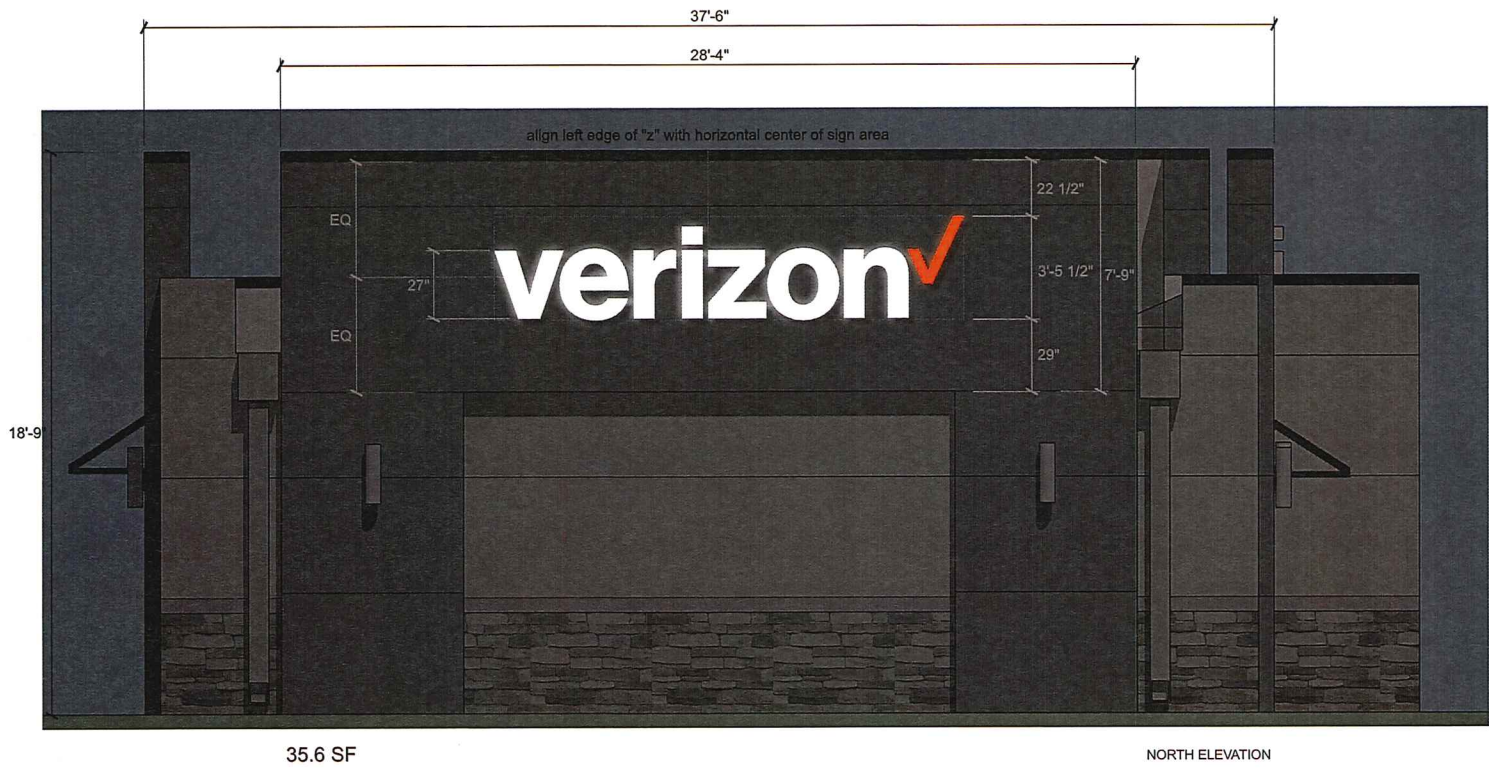
SHEET TITLE
SIGN 2 - NORTH ELEVATION - RENDERING

DATE
2019-03-07 ct

REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct

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SHEET NUMBER
7



STORE NUMBER	ADDRESS	SHEET TITLE	DATE	REVISION	PREPARED BY	SHEET NUMBER
WV-CS.WI-GR	601 S. GAMMON RD. MADISON, WI 53719	SIGN 2 - NORTH ELEVATION - NIGHT RENDERING	2019-03-07 ct	2019-03-10 ct 2019-03-22 ct 2019-03-27 ct 2019-04-08 ct	2019-04-09 ct 2019-04-26 ct	8





STORE NUMBER
WV-CS.WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

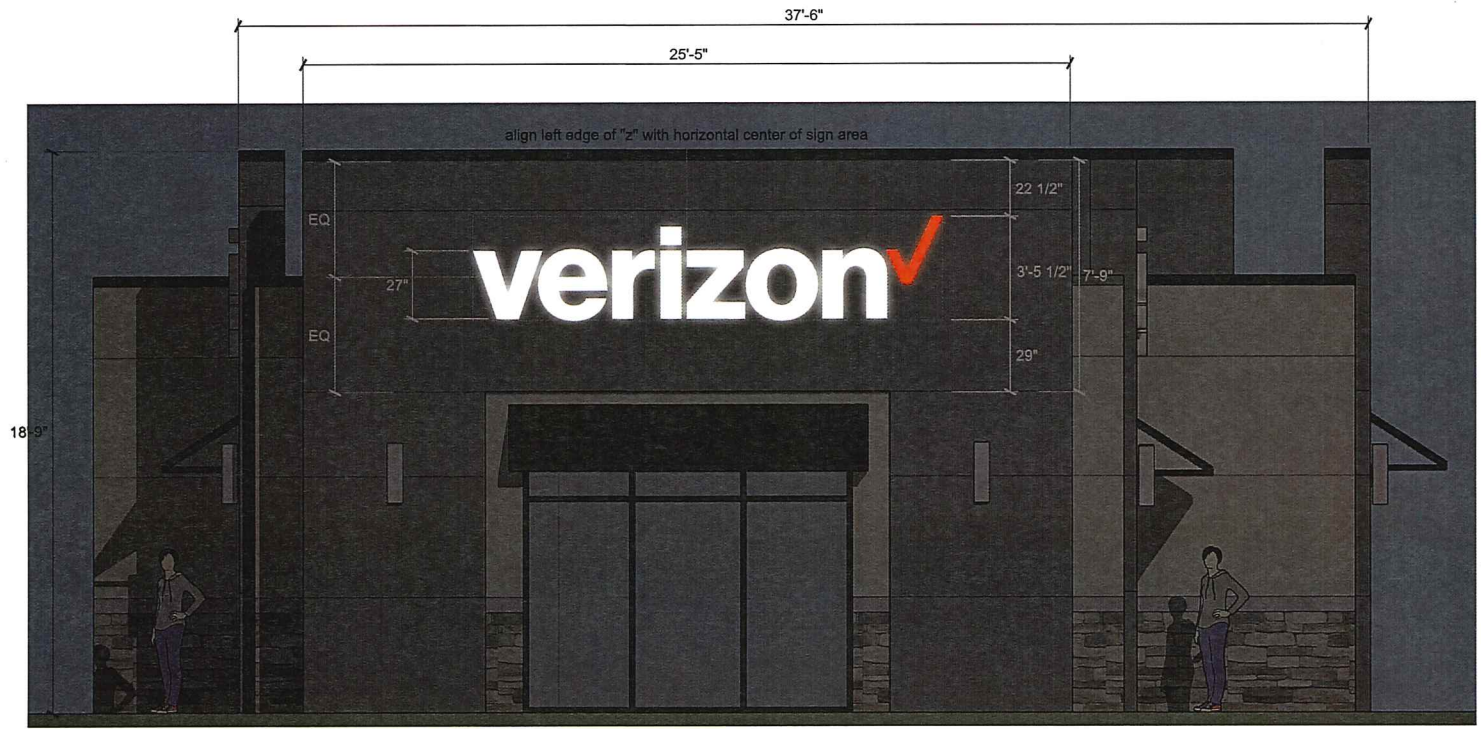
SHEET TITLE
SIGN 3 - SOUTH ELEVATION - RENDERING

DATE
2019-03-07 ct

REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct
2019-04-09 ct
2019-04-26 ct

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SHEET NUMBER
10



35.6 SF

SOUTH ELEVATION



STORE NUMBER
WV-CS.WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

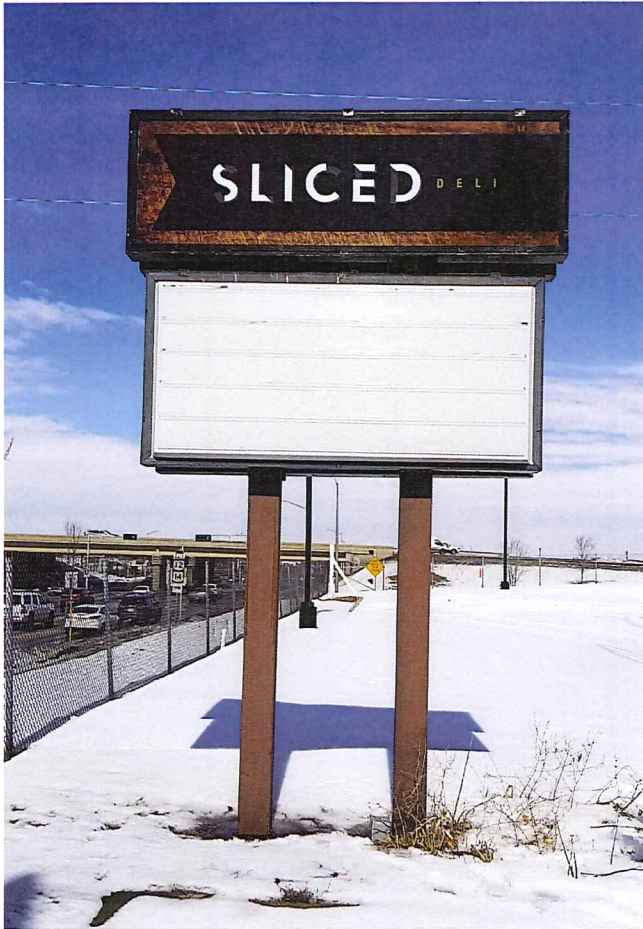
SHEET TITLE
SIGN 3 - SOUTH ELEVATION - NIGHT RENDERING

DATE
2019-03-07 ct

REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct
2019-04-09 ct
2019-04-26 ct

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SHEET NUMBER
11



EXISTING CONDITION



READERBOARD CABINET TO BE REMOVED.
EXISTING STEEL POSTS TO BE UPDATED TO SW 7075 WEB GRAY.

REVISED CONDITION



STORE NUMBER
WV-CS.WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

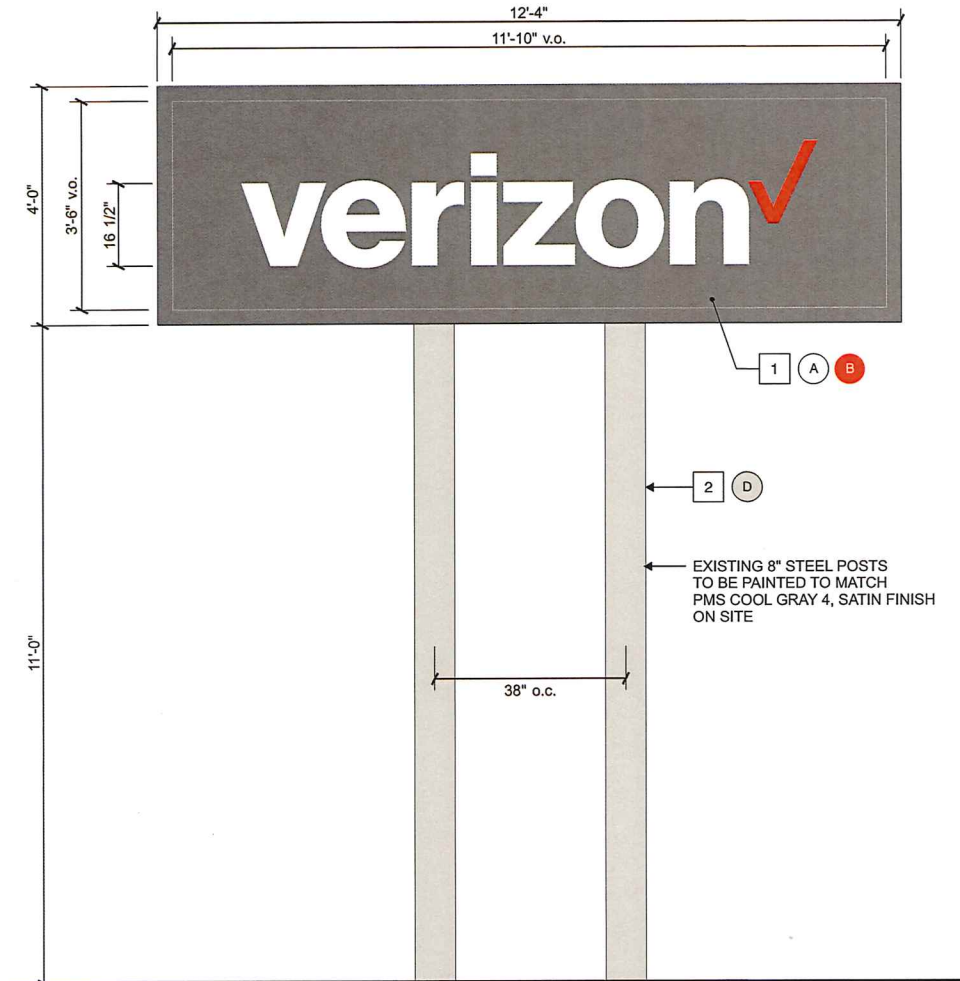
SHEET TITLE
SIGN 4 - PYLON SIGN #1 - RENDERING

DATE
2019-03-07 ct

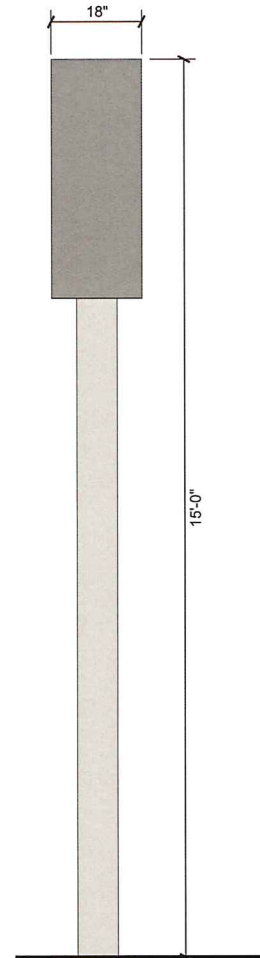
REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct

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SHEET NUMBER
14



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



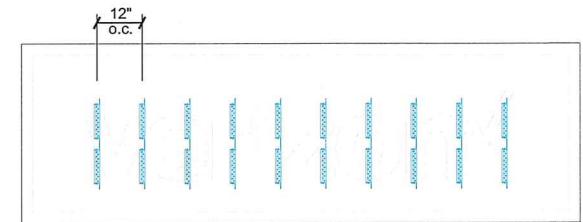
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

1	ONE (1), DF, INTERNALLY ILLUMINATED PYLON SIGN WITH FLEX FACES
2	SIGN TO BE INSTALLED ONTO EXISTING STEEL POSTS WHICH ARE TO BE PAINTED ON SITE.

COLORS

- A WHITE
- B TRANSLUCENT TO MATCH POPPY RED 3M 3630-143 / PMS 485
- C OPAQUE TO MATCH PMS COOL GRAY 10 SATIN FINISH
- D OPAQUE TO MATCH PMS COOL GRAY 4 SATIN FINISH



- E** 20 ea. GEDS71-2
 2 ea. GEPS24-100U
 Total Electrical Amp Load = 2.2 Amps
 One (1) 120 Volt - 20 Amp
 Circuit Breaker Required for Sign

LED LAYOUT
SCALE: NTS



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



STORE NUMBER
VW-CS-WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

SHEET TITLE
SIGN 4 - PYLON SIGN #1 - FABRICATION DETAIL

DATE
2019-03-07 ct

REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct

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SHEET NUMBER
15



EXISTING STEEL POSTS TO BE UPDATED TO SW 7075 WEB GRAY.



STORE NUMBER
WV-CS-WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

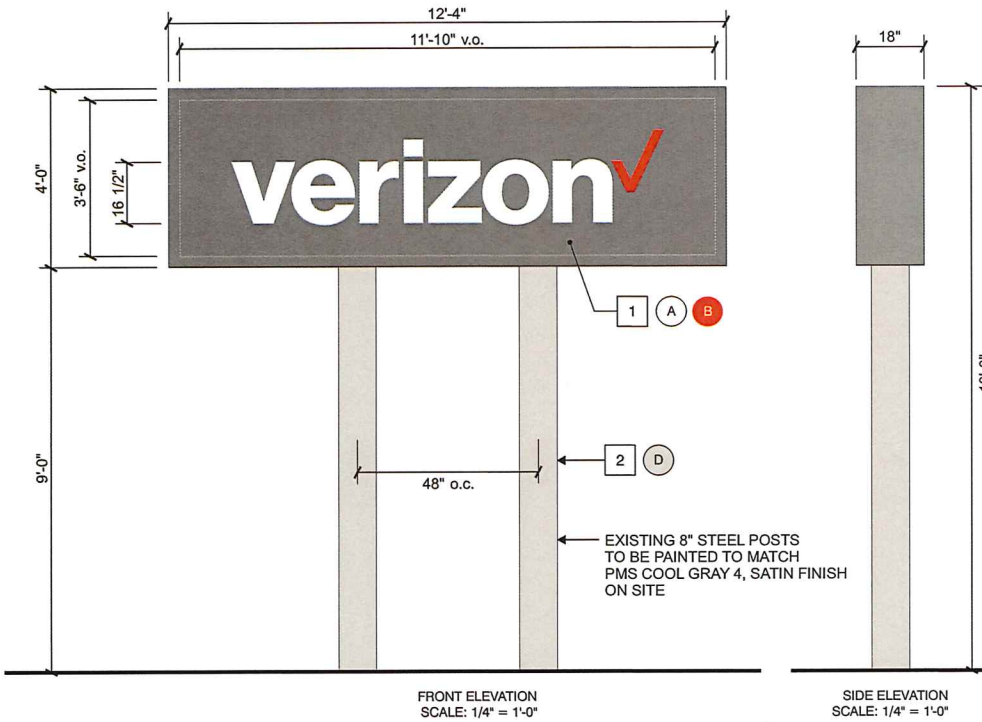
SHEET TITLE
SIGN 5 - PYLON SIGN #2 - RENDERING

DATE
2019-03-07 ct

REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct

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SHEET NUMBER
16

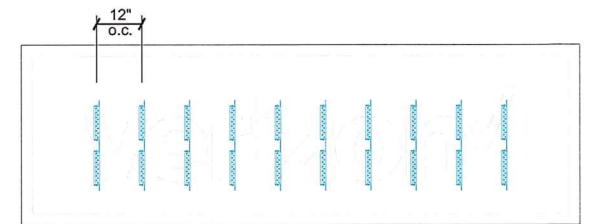


KEY NOTES

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- A WHITE
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RED 3M 3630-143 / PMS 485
- C OPAQUE TO MATCH
PMS COOL GRAY 10 SATIN FINISH
- D OPAQUE TO MATCH
PMS COOL GRAY 4 SATIN FINISH



- E**
- 20 ea. GEDS71-2
 - 2 ea. GEPS24-100U
 - Total Electrical Amp Load = 2.2 Amps
 - One (1) 120 Volt - 20 Amp
 - Circuit Breaker Required for Sign



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 800 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



STORE NUMBER
VW-CS.WI-GR

ADDRESS
601 S. GAMMON RD.
MADISON, WI 53719

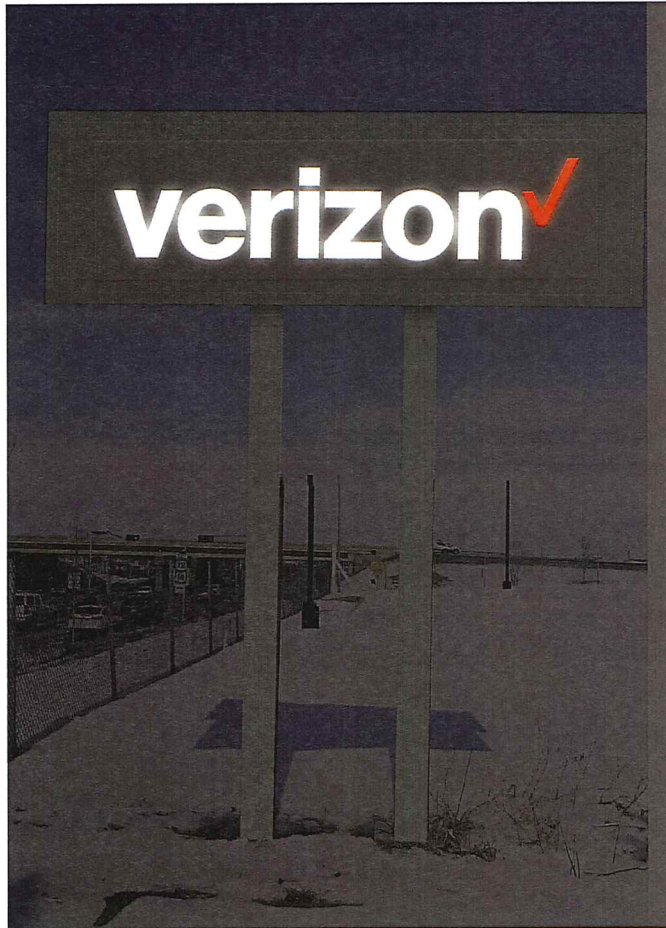
SHEET TITLE
SIGN 5 - PYLON SIGN #2 - FABRICATION DETAIL

DATE
2019-03-07 ct

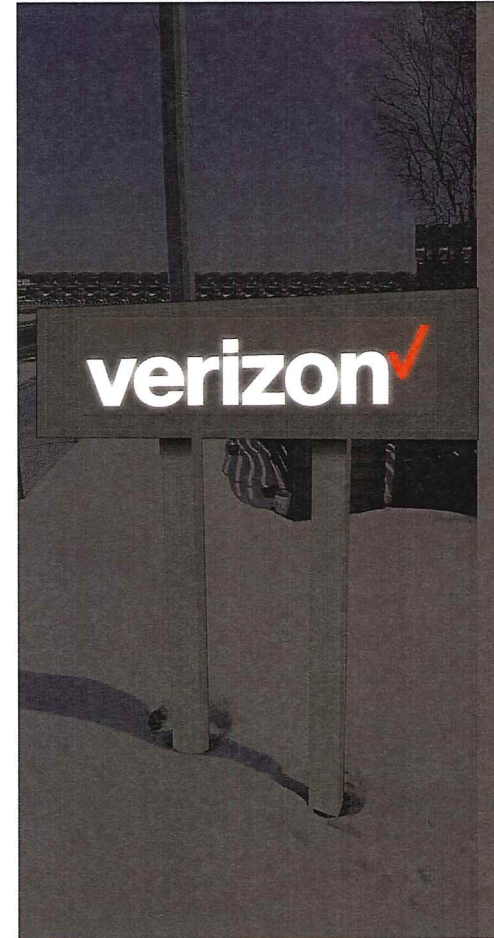
REVISION
2019-03-10 ct
2019-03-22 ct
2019-03-27 ct
2019-04-08 ct

PREPARED BY
 YOUR BRAND AT ITS BEST™

SHEET NUMBER
17



PYLON #1 - NIGHT RENDERING



PYLON #2 - NIGHT RENDERING



STORE NUMBER	ADDRESS	SHEET TITLE	DATE	REVISION	PREPARED BY	SHEET NUMBER
WV-CS.WI-GR	601 S. GAMMON RD. MADISON, WI 53719	SIGNS 4 & 5 - PYLON SIGNS - NIGHT RENDERING	2019-03-07 ct	2019-03-10 ct 2019-03-22 ct 2019-03-27 ct 2019-04-08 ct	2019-04-09 ct 2019-04-26 ct	18

